

9TH STREET PHASE II

1155 AND 1177 9TH STREET
BEND, OREGON



Legal Description

PROPERTY LOCATED IN THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER SECTION 4, TOWNSHIP 18 SOUTH, RANGE 12 EAST OF THE WILLAMETTE MERIDIAN, CITY OF BEND, DESCHUTES COUNTY, OREGON.
ALSO KNOWN AS TAX LOT 18-12-04D-01800 AND 01801 PER DESCHUTES COUNTY TAX ASSESSOR'S ROLL.

Deferred Design and Inspection Requirements

- 1 - DEFERRED DESIGN**
LB ENGINEERING, INC. SHALL REVIEW ALL DEFERRED SUBMITTALS AND SHALL BE IN COMPLIANCE WITH THE DESIGN INTENT PRIOR TO SUBMITTING TO THE BUILDING DEPARTMENT.
- PRI-MANUFACTURED STEEL BUILDING DRAWINGS AND CALCULATIONS
SUBMIT SHOP DRAWINGS FOR REVIEW OF DESIGN INTENT COMPLIANCE PRIOR TO FABRICATION
IRRIGATION SYSTEM
LANDSCAPE DESIGN
ELECTRICAL, MECHANICAL, PLUMBING AND HVAC
ALARM SYSTEMS (FIRE/SMOKE AND SECURITY)
FIRE PROTECTION SYSTEMS

- 2 - INSPECTION**
ALL STEEL, HIGH STRENGTH BOLTING AND WELDING PER CURRENT IBC AND AMENDMENTS

Building Occupancy Note

THIS BUILDING IS NOT TO BE OCCUPIED UNTIL FINAL OCCUPANCY HAS BEEN OBTAINED FROM THE CITY OF BEND.
ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE CODE AND EDITIONS LISTED BELOW.

Applicable Building Codes

- 1**
- 2004 OREGON STRUCTURAL SPECIALTY CODE
 - 2004 OREGON MECHANICAL SPECIALTY CODE (OSMC)
 - 2006 OREGON PLUMBING SPECIALTY CODE (OPSC)
 - 2007 OREGON ELECTRICAL SPECIALTY CODE (OESC)
 - 2004 OREGON INTERNATIONAL FIRE CODE

Project Data

PROJECT NAME: 9TH STREET, PHASE II
PROJECT ADDRESS: 1155 AND 1177 SE 9TH STREET
BUILDING AGENCY / JURISDICTION: CITY OF BEND

DESIGN CRITERIA: PROJECT LOCATED IN SITE CATEGORY D
85 mph WIND (WITH 3 sec. GUST)
30 psf LIVE LOAD

OCCUPANCY: S1 OR F1 - FACTORY,
B - BUSINESS

BUILDING MIXED USE (PROPOSED)			
OCCUPANCY			
S1	WAREHOUSE *		3680 SF
B	OFFICE *		820 SF
TOTAL BUILDING AREA*			10500 SF

TOTAL BUILDING AREA: BUILDING FOOTPRINT 10500 sq. ft.

SEPARATION WALLS: NONE PER SEC. 302.3.1 - I.B.C. - NONSEPARATED USE METHOD USED

CONSTRUCTION: 11-B NON-SPRINKLED
15500 SF. (FOR M, F1, B, OCCUPANCY)

BASIC ALLOWABLE AREA AS PER TABLE 503 IBC:

SPRINKLER INCREASE (506.3 IBC)

AREA MODIFICATION (506.1 IBC)

FRONTAGE INCREASE (506.2 IBC)

TOTAL ACTUAL AREA =
ACTUAL
ALLOWABLE

TOTAL LOT AREA:

LANDSCAPING REQUIRED:

LANDSCAPING PROVIDED:

PARKING REQUIRED:

PARKING PROVIDED:

CURRENT ZONING:

15500 SF. (FOR M, F1, B, OCCUPANCY)

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General Notes

- STRUCTURAL DETAILING AND REQUIREMENTS WILL HAVE PRECEDENCE OVER THE DESIGN DRAWINGS. SEE STRUCTURAL DRAWINGS FOR DIMENSIONS, CONNECTORS, ETC.
- BUILDING DIMENSIONS ARE TAKEN TO FACE OF STUD, GRIDLINES, FACE OF MASONRY, AND FINISH FLOOR LEVELS UNLESS OTHERWISE NOTED.
- SEE MECHANICAL DRAWINGS FOR LAYOUT, PLACEMENT, AND MOUNTING OF EQUIPMENT AND ASSOCIATED PARTS. VERIFY LOCATION OF FIRE RATED WALLS AND DAMPERS AND DAMPER TYPES REQUIRED.
- ALL WORK TO BE IN STRICT COMPLIANCE WITH PERTINENT CODES.
- DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR AND DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF LB ENGINEERING, INC. PRIOR TO START OF CONSTRUCTION OR PORTION THEREOF.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE DEVELOPMENT.
- SEE ELECTRICAL FOR PANEL LOCATION, LIGHTING REQUIREMENTS AND ELECTRICAL LOADS.
- SEE MECHANICAL DRAWINGS FOR EQUIPMENT DESIGN AND LAYOUT.
- SEAL, CAULK, GASKET, AND LEATHERSTRIP BUILDING EXTERIOR FOR A WEATHER-TIGHT STRUCTURE AS REQUIRED BY THESE DRAWINGS.

Disclaimer: (scope of work)

THESE DRAWINGS ARE INTENDED TO PROVIDE THE DESIGN AND STRUCTURAL ENGINEERING FOR A SHELL STRUCTURE. ALL INTERIOR DEVELOPMENT OTHER THAN WHAT IS INDICATED ON THESE PLANS, FINISHES, FINISH MATERIAL, DOORS, INTERIOR WINDOWS, FIRE AND LIFE SAFETY REQUIRED ELEMENTS, ELECTRICAL, MECHANICAL AND PLUMBING ITEMS ARE NOT A PART OF THESE DOCUMENTS AND NOT THE RESPONSIBILITY OF LB ENGINEERING, INC. REVIEW OR DESIGN.

Disclosure Note

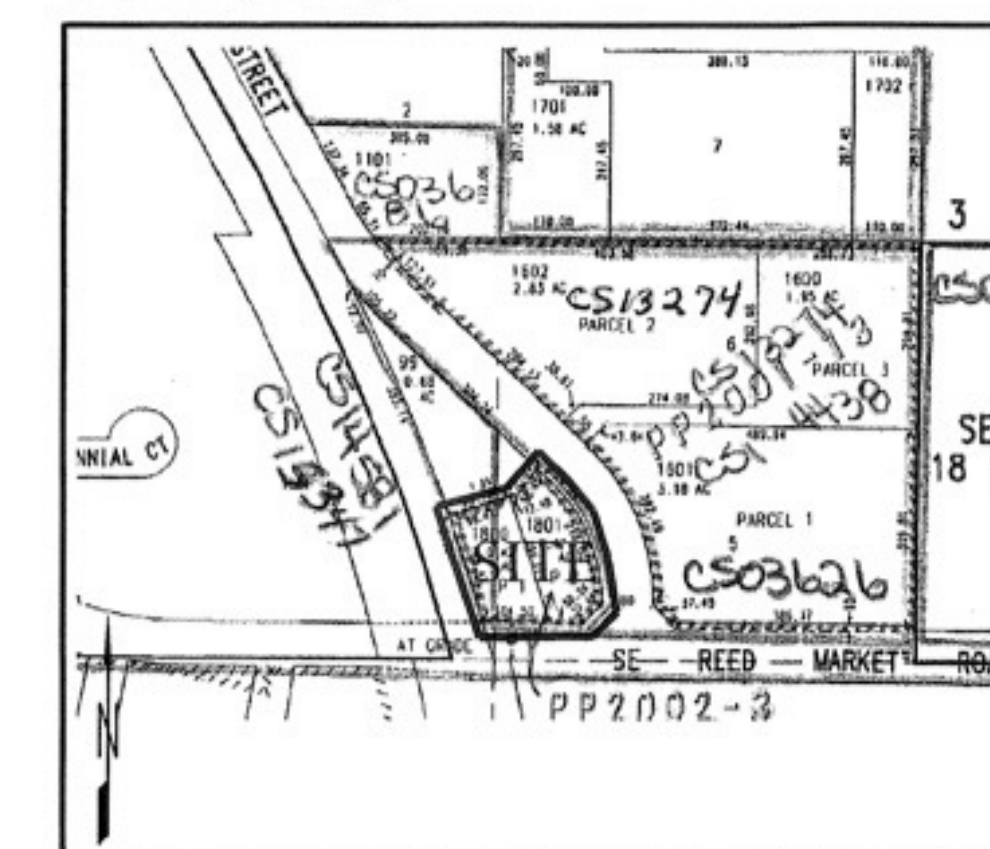
THESE DRAWINGS ARE BASED ON DESIGN BUILD WITH A SELECTED CONTRACTOR. DESIGN IS BASED ON INFORMATION AND DIMENSIONS SUPPLIED TO LB ENGINEERING, INC. EXISTING CONDITIONS MAY VARY, THEREFORE, CHANGES MAY BE REQUIRED BY USERS (OWNER, CONTRACTOR AND SUB CONTRACTORS, ENGINEERS, ETC.) OF THESE DRAWINGS.

LB ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ADDITIONAL COST DUE TO CHANGES OF ENGINEERING REQUIRED. LB ENGINEERING, INC. SHALL BE GIVEN ADEQUATE TIME TO RESPOND TO ALTERNATE DESIGN NEEDS.

LB ENGINEERING, INC. HAS APPRAISED OWNER OF POSSIBLE CHANGES. CONTRACTOR SHALL NEGOTIATE WITH OWNER, PRIOR TO CONSTRUCTION, OF THE POSSIBLE CHANGES AND INVESTIGATE REQUIREMENTS FOR THIS PROJECT.

PLUMBING, MECHANICAL, CIVIL AND ELECTRICAL DESIGNS ARE BY OTHERS. THEY SHALL BE INTEGRATED INTO THE OVERALL DESIGN INTENT OF THESE DRAWINGS AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

Vicinity Map (NOT TO SCALE)



LB ENGINEERING, INC.
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9TH STREET
PHASE II
BEND, OREGON

COVER SHEET

CS

13-04



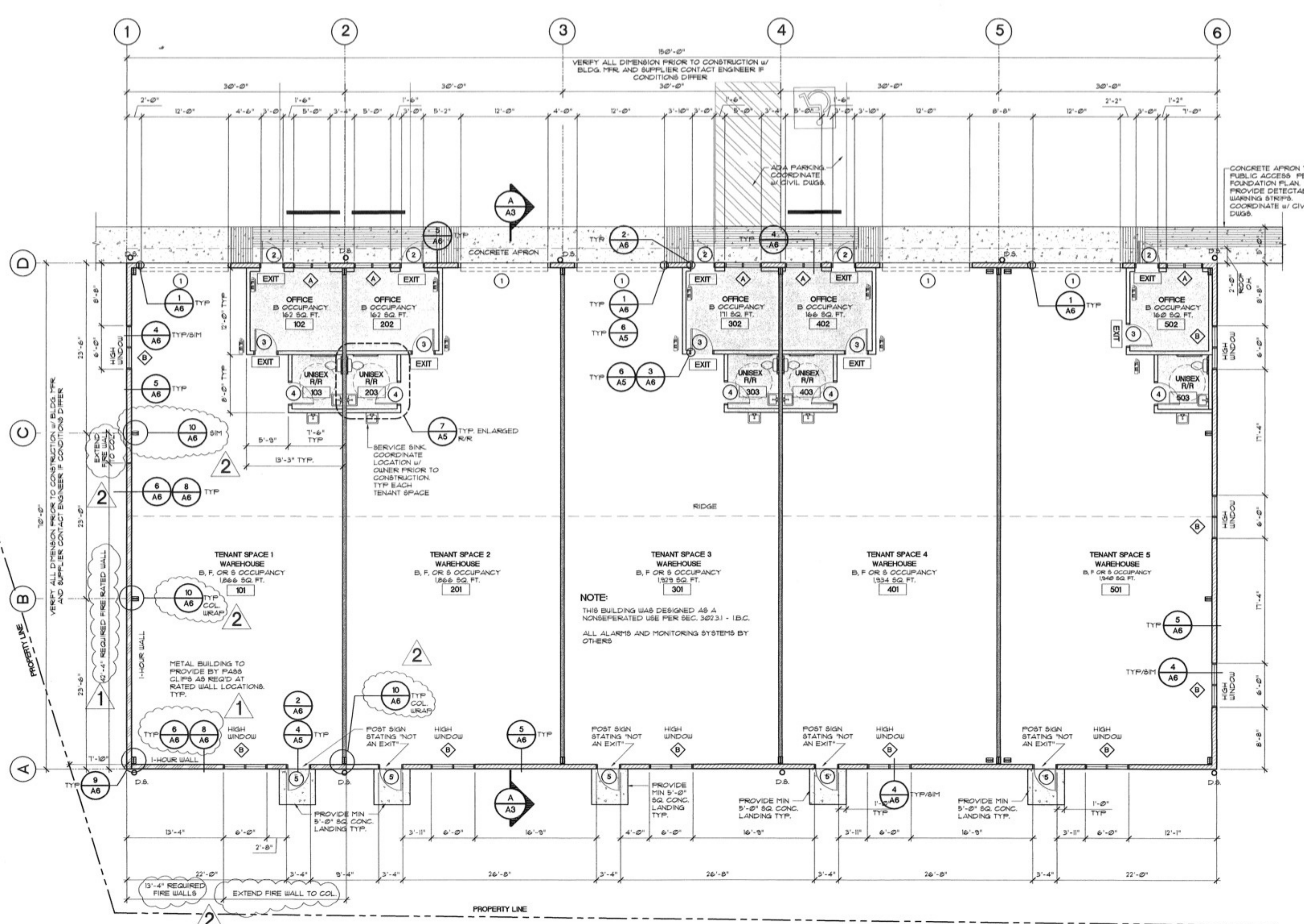
DESIGNED BY	L. DAVIS
DATE	
MARK	REVISIONS
1	8/12/05 PLAN REVIEW
2	9/12/05 PLAN REVIEW

L.B. ENGINEERING, INC.
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9TH STREET
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FLOOR PLAN

A1



WALL LEGEND

1 METAL BUILDING WALL w/ CMU 3'-0" AFF. w/ METAL GIRT WALL ABOVE PER BUILDING PER GIRT WALL TO HAVE A MIN R-13 WHITE VAPL-BACKED INSULATION.

2 1-HOUR RATED METAL BUILDING WALL w/ CMU 3'-0" AFF. w/ METAL GIRT WALL ABOVE PER BUILDING PER GIRT WALL TO HAVE A MIN R-13 WHITE VAPL-BACKED INSULATION AND MOISTURE BARRIER. IT IS RESPONSIBILITY OF CONTRACTOR TO VERIFY WALL DESIGN AND LAYOUT PRIOR TO CONSTRUCTION. 1-HOUR RATED PER GA FILE NO. WP 10020 SEE DETAIL.

3 6-000131-33 METAL STUDS AT 16" O.C. AT INTERIOR PROVIDE MIN R-13 INSULATION w/ 5/8" GYP BD. EA FACE ATTACHED w/ #5 TEKs AT 6" O.C. AT EDGES AND FIELD. BLOCK ALL ALL EDGES. FINISH PER SCHEDULE.

4 FULL HT WALL: 6-000131-33 METAL STUDS AT 24" O.C. w/ R-13 INSULATION w/ 5/8" GYP BD. EA FACE ATTACHED w/ #5 TEKs AT 6" O.C. EDGES AND FIELD. BLOCK ALL EDGES. FINISH PER SCHEDULE.

INDICATES CEILING FRAMING LOCATIONS. POST SIGN STATING "NO STORAGE ABOVE"

NEW CONCRETE APRONS / SIDEWALKS PER CIVIL PLAN

NOTES

VENTILATION PROVIDE VENTILATION PER APPLICABLE CODE. (DESIGN BY OTHERS). PROVIDE ATTIC VENTILATION PER CODE COORDINATED w/ ENGINEERING DRAWINGS (DESIGN BY OTHERS).

FLAME SPREAD AND INSULATION FLAME SPREAD CLASS OR FINISH MATERIALS USED ON INTERIOR WALL AND CEILING SHALL HAVE A MAXIMUM FLAME SPREAD RATING PER IBC 2003 SECTION 803.1 AND TABLE 803.5, AND SMOKE DENSITY PER IBC 2003 SECTION 803.7. ALL EXPOSED INSULATION SHALL HAVE A MINIMUM OF 1-PERM MOISTURE BARRIER. INSULATION OTHER THAN FOAM PLASTICS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25. FOAM PLASTIC INSULATION SHALL COMPLY w/ 088C CHAPTER 26.

GENERAL NOTES VERIFY ALL DOOR TYPES, FINISHES, PAINT, AND WINDOW TYPES WITH OWNER PRIOR TO PURCHASING MATERIALS. ALL DOORS ARE TO BE PLACED 6" FROM STUD WALLS UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE BASED ON DRAWINGS SUPPLIED TO L.B. ENGINEERING, INC. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO BIDDING AND CHANGES OR DEVIATIONS COORDINATED WITH ENGINEER. ANY DESIRED ALTERATIONS TO STRUCTURE FOR TENANT IMPROVEMENTS SHALL BE COORDINATED w/ ENGINEER PRIOR TO ANY MODIFICATION CONSTRUCTION.

PLAN LEGEND

EXIT EXIT SIGNS PER IBC SECTION 1001.1 AND 1001.2 SIGNS SHALL BE ILLUMINATED PER IBC SECTION 1001.2 AT AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLE. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE FLOOR LEVEL. PER IBC SECTION 1006.2 ALSO PROVIDE SIGN STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" PER IBC SECTION 1008.1.3 - MAIN EXIT ONLY. DOORS SHALL COMPLY WITH IBC SECTION 1008.

101 INDICATES ROOM NUMBER w/ FINISHES PER SCHEDULE.

INDICATES WINDOW LETTER AS PER SCHEDULE.

INDICATES DOOR NUMBER AS PER SCHEDULE. VERIFY ALL OPENINGS, SPECIFICATIONS AND CONDITIONS.

X XX DETAIL NUMBER SHEET WHERE DRAWN

X XX SECTION NUMBER SHEET WHERE DRAWN

XX WALL ELEVATION

D XX B SHEET WHERE DRAWN

4'-0" DIMENSION TO FACE OF STRUCTURE EXCEPT BATHROOM FIXTURES AND CASEWORK TO GYP. OR STRUCTURE

EXTINGUISHER MINIMUM 2A-10B:C RATING. VERIFY LOCATIONS AND TYPE WITH FIRE DEPARTMENT, PRIOR TO BIDDING

KN PROVIDE APPROVED KNOX BOX. VERIFY w/ LOCAL FIRE OFFICIALS

D.S. DOWN SPOUTS PER PLAN COORDINATE w/ DRAINAGE SYSTEM. SEE CIVIL DRAWINGS

PLUMBING FIXTURE CALCULATIONS

TYPICAL TENANT SPACE

OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINKS
S-1	4/100 x 1	2325/100 x 1		
B	2/25 x 1	12/40 x 1	1	1

• (1) UNISEX RESTROOM PROVIDED IN EACH TENANT SPACE w/ (1) WATER CLOSET AND (1) LAVATORY PER IBC 2002.2 - 243

• DRINKING FOUNTAINS NOT REQ'D PER IBC TABLE 2002.2 EXCEPTION G

• SERVICE SINK PROVIDED IN EACH TENANT SPACE WAREHOUSE

NATURAL VENTILATION CALCULATIONS

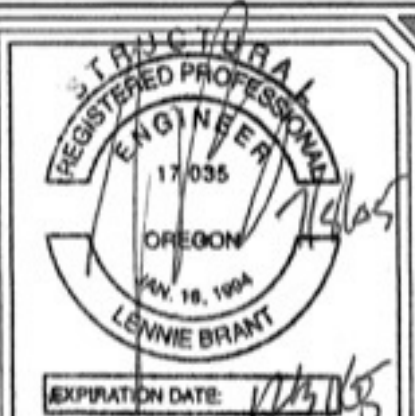
TYPICAL TENANT SPACE

ROOM	FLOOR AREA	VENTILATION REQ'D	VENTILATION PROVIDED
WAREHOUSE	1994 x 24	73.76 SQ. FT.	168 SQ. FT. OH DR'S
OFFICE	171 x 24	6.84 SQ. FT.	21 SQ. FT. DR

OCCUPANCY CALCULATIONS

TENANT SPACE 1					
OCCUPANCY	ROOM/USE	AREA	OCCUPANT LOAD	EXITS REQ'D	
B	OFFICE	162 sq ft / 100	2		
S1	WAREHOUSE	1866 sq ft / 500	4		1
TENANT SPACE 2					
B	OFFICE	162 sq ft / 100	2		
S1	WAREHOUSE	1866 sq ft / 500	4		1
TENANT SPACE 3					
B	OFFICE	171 sq ft / 100	2		
S1	WAREHOUSE	1929 sq ft / 500	4		1
TENANT SPACE 4					
B	OFFICE	166 sq ft / 100	2		
S1	WAREHOUSE	1934 sq ft / 500	4		1
TENANT SPACE 5					
B	OFFICE	160 sq ft / 100	2		
S1	WAREHOUSE	1940 sq ft / 500	4		1
			TOTAL BUILDING OCCUPANT LOAD = 30		





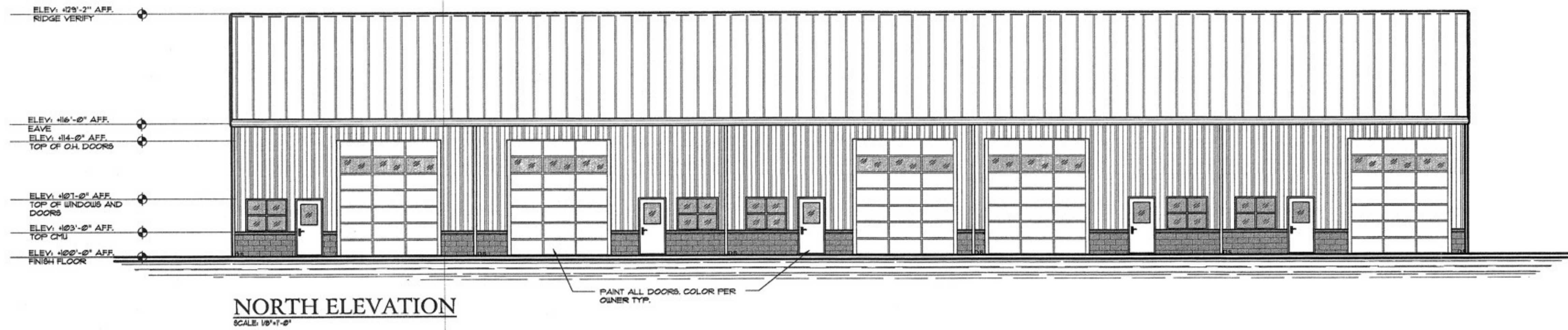
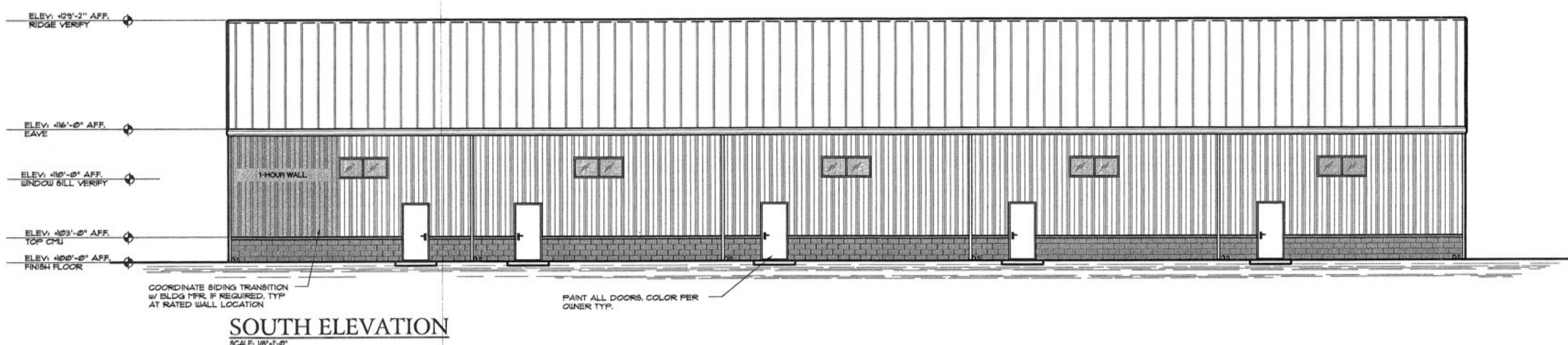
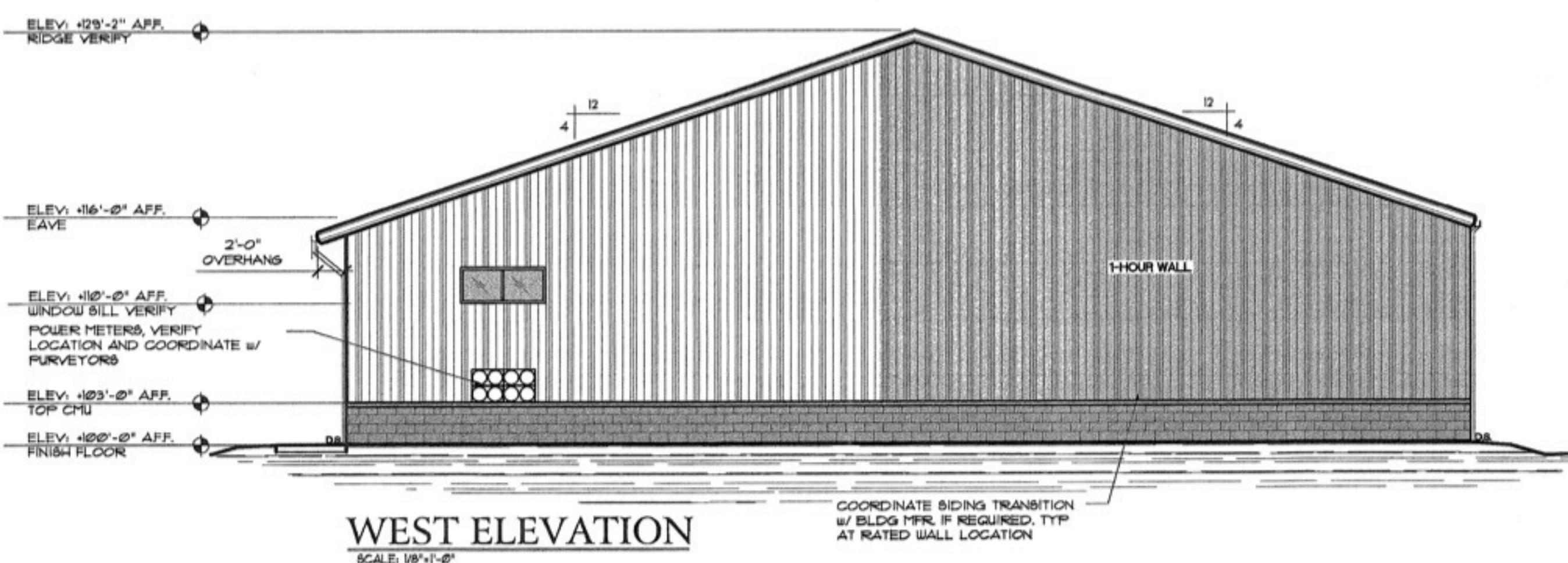
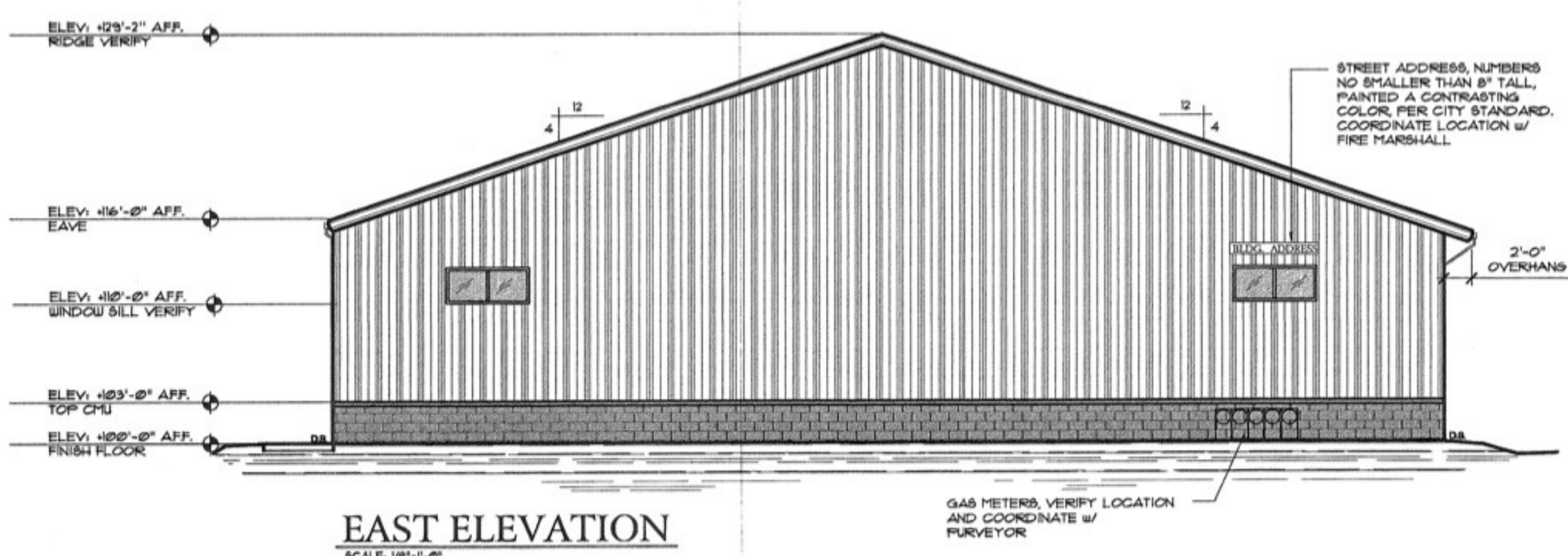
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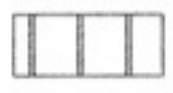
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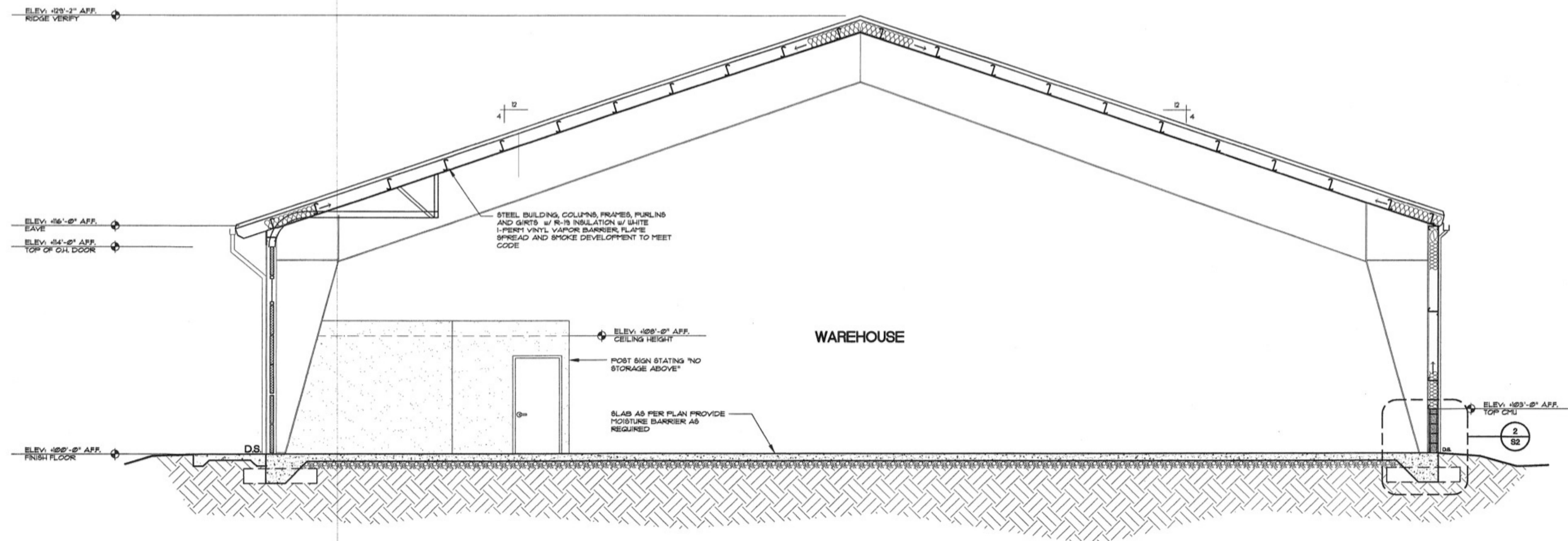
9TH STREET
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BUILDING ELEVATIONS

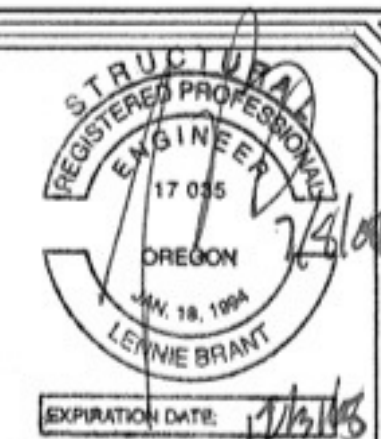
A2



ELEVATION MATERIAL LEGEND	
	METAL SIDING (COLOR BY OWNER)
	STANDING SEAM METAL ROOFING (COLOR BY OWNER)
	KHAKI SPLIT-FACE CHLL
	INDICATES DOWN SPOUT (SEE CIVIL PLAN)



A BUILDING SECTION
SCALE: 1/4" = 1'-0"



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ISSUE DATE	
MARK	REVISIONS

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BUILDING SECTIONS

A3

