



MARKETING PACKAGE

SOUTHGATE SHOPPING CENTER

RETAIL PROPERTY FOR SALE

LIBERAL, KS 67901



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PROPERTY SUMMARY



PROPERTY DESCRIPTION

This 104,000 SF shopping center in Liberal presents a rare opportunity to acquire a fully stabilized, income-producing retail asset anchored by a strong regional grocer. The property is 97% occupied and generates a current Net Operating Income of \$763,000 annually, offering immediate cash flow with minimal lease-up risk.

The center is anchored by El Rancho Mexican Grocery Store, which serves as a primary traffic driver for the surrounding community. The tenant mix is further strengthened by nationally recognized and necessity-based retailers including Harbor Freight Tools and Galleria Furniture, creating a well-balanced blend of daily-needs retail and durable goods offerings.

Originally constructed and recently renovated in 2024, the property benefits from significant capital improvements, reducing near-term maintenance concerns and enhancing long-term asset durability. The recent upgrades position the center competitively within the market while supporting tenant retention and future leasing stability.

Strategically located within the primary retail corridor of Liberal, the center serves as a key shopping destination for the trade area. Its strong occupancy, diversified tenant base, and consistent foot traffic provide investors with a stable income stream and potential for long-term appreciation.

OFFERING SUMMARY

Sale Price:	\$8,450,000
Lot Size:	13.5 Acres
Building Size:	140,000 SF
NOI:	\$763,140.00
Cap Rate:	9%

DEMOGRAPHICS	1 MILE	3 MILES	5 MILES
Total Households	1,783	5,935	6,460
Total Population	4,943	17,687	19,377
Average HH Income	\$70,522	\$77,439	\$77,668

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ADDITIONAL PHOTOS



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MARKET DESCRIPTION



THE LIBERAL KANSAS MARKET

Located in the southwestern region of Kansas near the Oklahoma and Texas borders, Liberal serves as the primary economic and retail hub for Seward County and the surrounding rural trade area. Its strategic positioning along U.S. Highway 54 and proximity to regional agricultural and energy production centers make it a critical service point for a multi-county population base.

The local economy is driven by a diverse mix of agriculture, energy, transportation, and manufacturing, providing a stable employment base that supports consistent retail demand. Liberal is home to several major employers, including National Beef Packing Company—one of the largest employers in the region—as well as a network of agricultural processing and distribution operations that contribute to year-round economic activity.

As the dominant retail node within a largely rural region, Liberal captures consumer spending from a broad trade area extending well beyond city limits into southwestern Kansas, the Oklahoma Panhandle, and parts of the Texas Panhandle. This regional draw supports national and regional retailers seeking limited competition and strong customer loyalty in an underserved market.

Retail fundamentals in Liberal are characterized by low vacancy, limited new development, and high barriers to entry relative to market size. These dynamics create a favorable environment for existing shopping centers, particularly those with established anchors and necessity-based tenants. The city's role as a primary shopping destination for surrounding communities further reinforces tenant stability and long-term occupancy.

Additionally, Seward County Community College contributes to local population stability and workforce development, supporting both retail demand and long-term economic sustainability.

Overall, Liberal offers investors a stable, cash-flow-oriented retail market with limited supply, strong regional draw, and consistent demand driven by essential industries and a wide trade area.

FINANCIAL SUMMARY

INVESTMENT OVERVIEW

Price	\$8,450,000
Price per SF	\$60
GRM	9.03
CAP Rate	9.03%
Cash-on-Cash Return (yr 1)	9.03%
Total Return (yr 1)	\$763,140

OPERATING DATA

Gross Scheduled Income	\$935,520
Total Scheduled Income	\$935,520
Gross Income	\$935,520
Operating Expenses	\$172,380
Net Operating Income	\$763,140
Pre-Tax Cash Flow	\$763,140

INCOME & EXPENSES

INCOME SUMMARY

GROSS INCOME **\$935,520**

EXPENSES SUMMARY

Property Taxes \$53,100

Property Insurance \$102,756

Repairs & Maintenance \$2,544

Utilities \$13,980

OPERATING EXPENSES **\$172,380**

NET OPERATING INCOME **\$763,140**

RENT ROLL

SUITE	TENANT NAME	SIZE SF	% OF BUILDING	PRICE / SF / YEAR	ANNUAL RENT	LEASE START	LEASE END
Main Bldg	El Rancho Grocery Store	38,960 SF	27.83%	\$7.48	\$291,468	7/29/21	7/6/31
Main Bldg	Harbor Freight	15,000 SF	10.71%	\$8.00	\$120,000	1/4/23	3/31/33
Main Bldg	Galleria Furniture	54,558 SF	38.97%	\$5.50	\$300,000	2/15/23	2/14/33
Main Bldg	Southgate Gym	12,216 SF	8.73%	\$7.37	\$90,000	4/1/26	4/1/28
Main Bldg	Black Friday Bin Store	9,730 SF	6.95%	\$5.30	\$51,600	2/1/26	1/31/30
Main Bldg	Lux Hair Salon	3,556 SF	2.54%	\$11.50	\$40,884	8/1/24	8/1/29
Warehouse	TMT Truck Permitting	840 SF	0.60%	\$7.29	\$6,120	MTM	MTM
Warehouse	Blackbox Contracting	1,000 SF	0.71%	\$7.20	\$7,200	4/22/26	4/22/27
Warehouse	Fernando Perez	1,200 SF	0.86%	\$6.00	\$7,200	3/20/26	3/20/27
Warehouse	Travis Graves	500 SF	0.36%	\$12.00	\$6,000	3/30/26	3/30/27
Parking Lot	Summer Hernandez	-	-	-	\$10,800	MTM	MTM
TOTALS		137,560 SF	98.26%	\$77.64	\$931,272		
AVERAGES		13,756 SF	9.83%	\$7.76	\$84,661		

AERIAL MAP

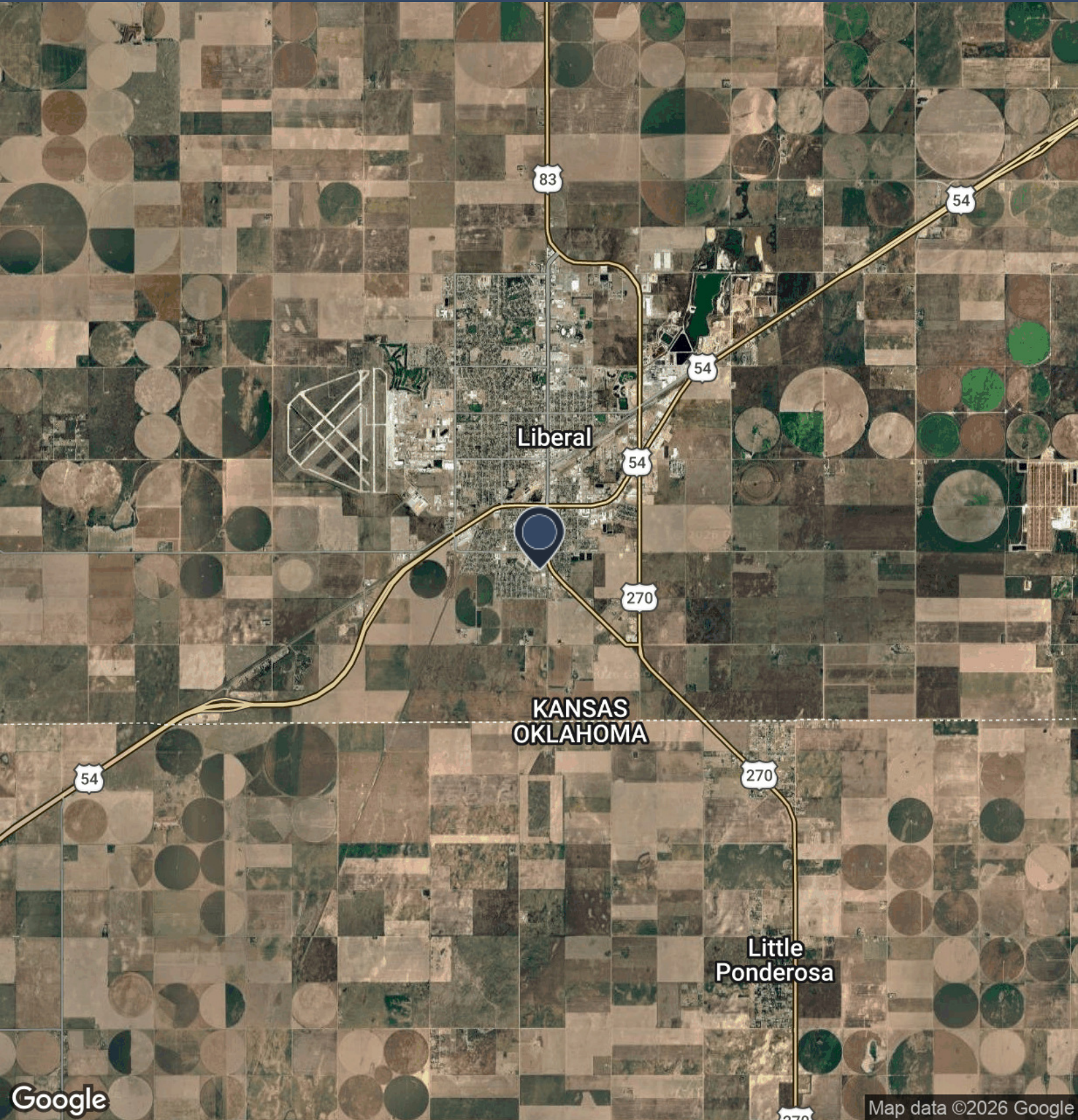


Google

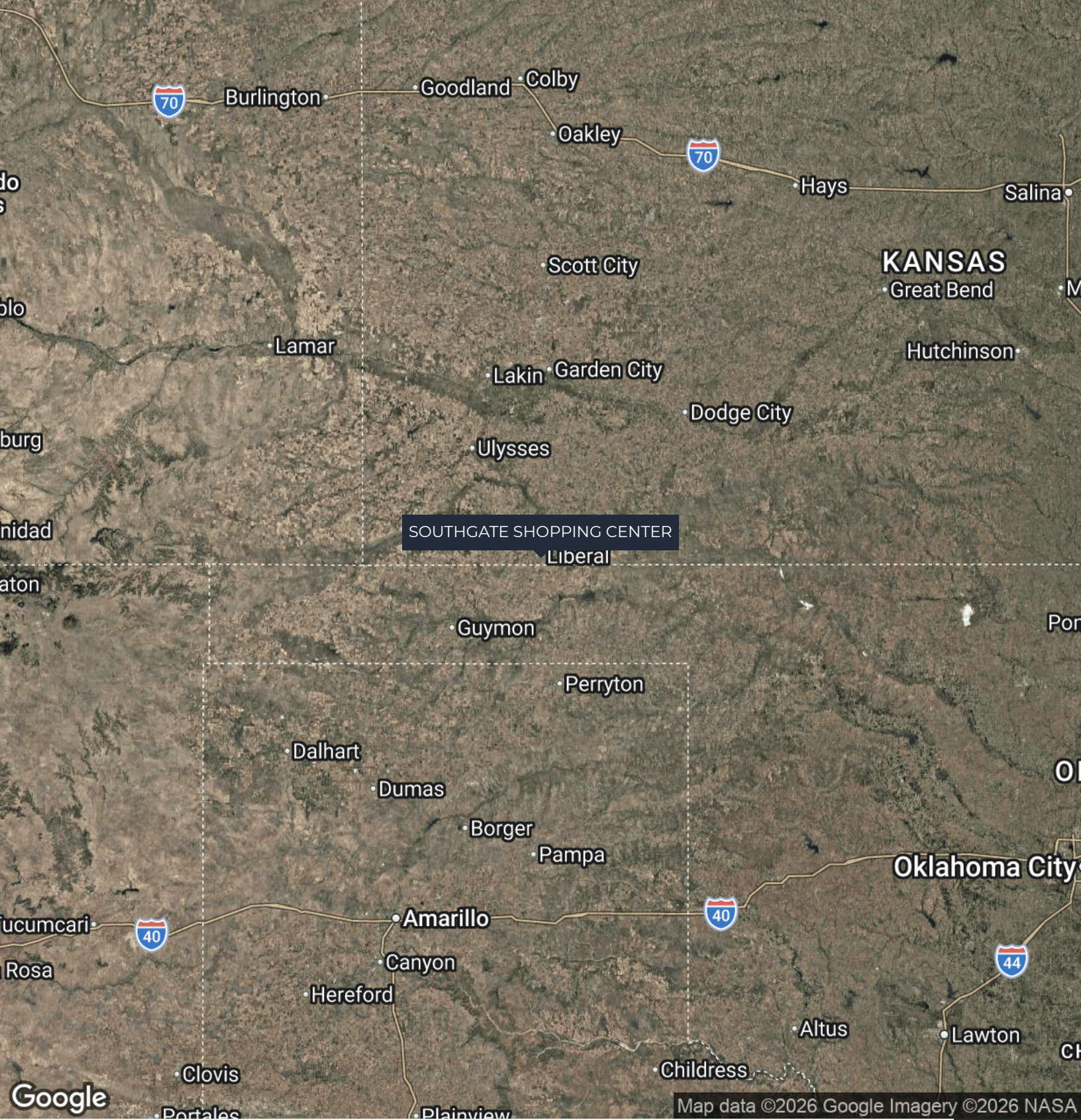
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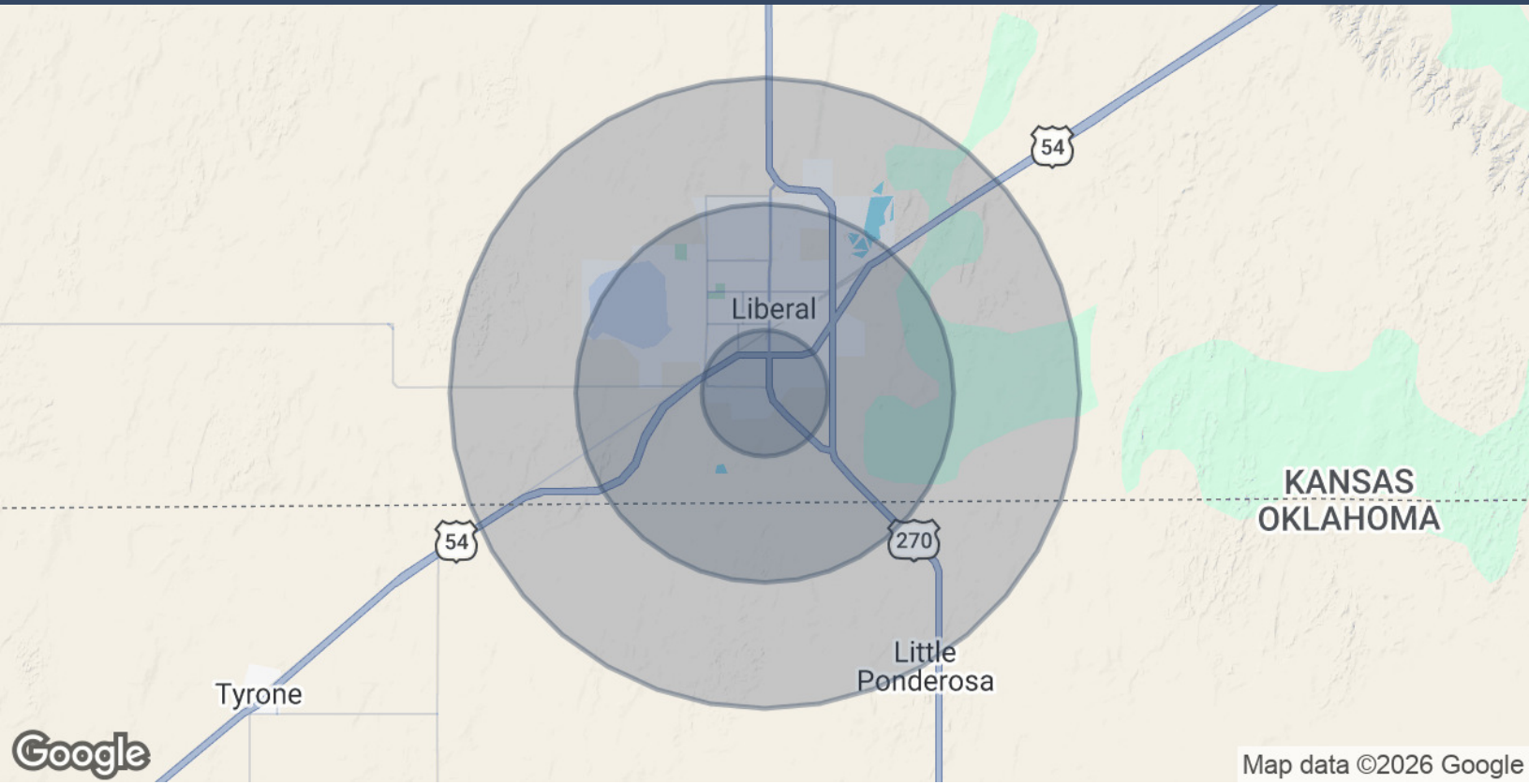
LOCATION MAP



REGIONAL MAP



DEMOGRAPHICS MAP & REPORT



POPULATION	1 MILE	3 MILES	5 MILES
Total Population	4,943	17,687	19,377
Average Age	25.4	30.6	30.9
Average Age (Male)	21.5	29.7	30.0
Average Age (Female)	32.4	33.7	34.3

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	1,783	5,935	6,460
# of Persons per HH	2.8	3.0	3.0
Average HH Income	\$70,522	\$77,439	\$77,668
Average House Value	\$115,123	\$131,054	\$132,965

2023 American Community Survey (ACS)

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