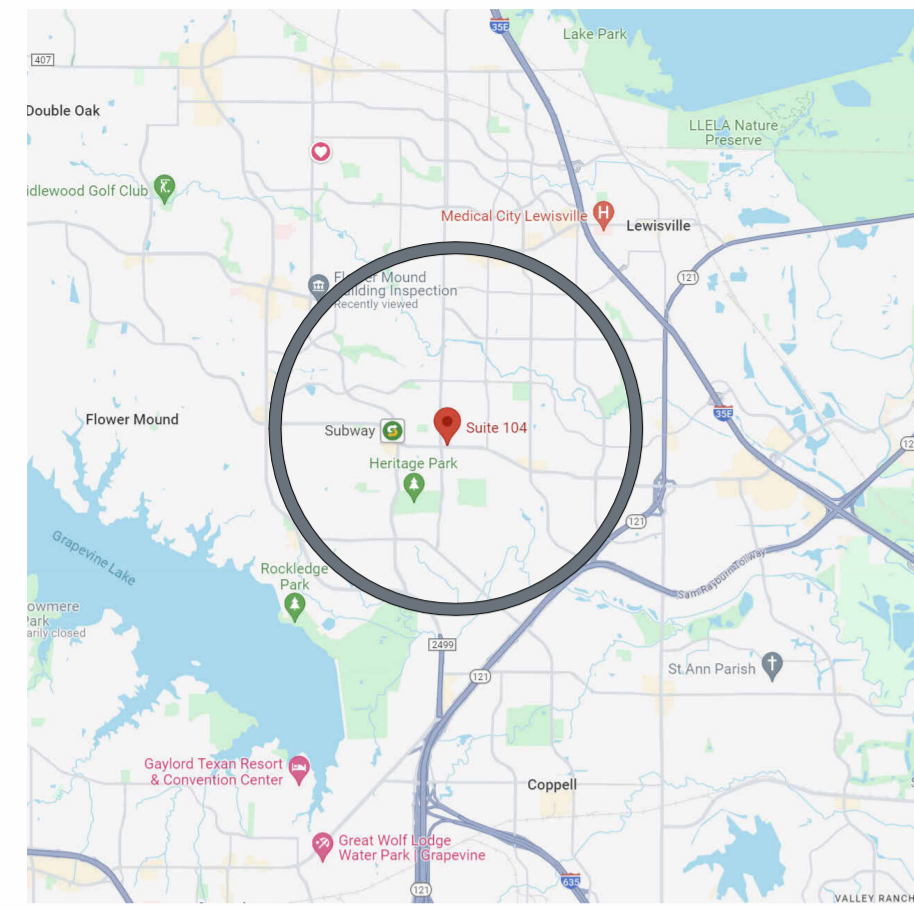
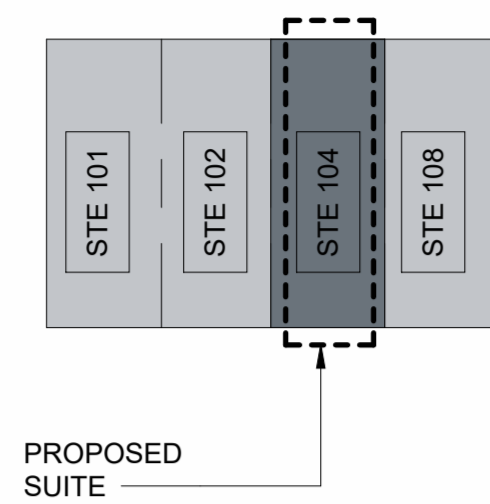


PROJECT VICINITY MAP



KEYPLAN



DRAWING SYMBOLS

ENTRY	ROOM NAME
101	ROOM NUMBER
D1	DOOR MARK
W	WINDOW MARK
3	DRAWING NOTE
A	COLUMN LINE MARK
	DATUM MARK
3	REVISION NUMBER CLOUD AT LAST REV. ONLY

PROJECT INFORMATION

PROJECT DATA & DESCRIPTION:

NUMBER OF STORIES:	1	SPRINKLERS INSTALLED:	YES
SUITE FLOOR ON:	1	STANDPIPES INSTALLED:	N/A
BUILDING TYPE:	COMMERCIAL	FIRE PROTECTION:	YES
TOTAL FLOOR AREA:	1978 SQ FT NET	PROJECT SCOPE:	
CONSTRUCTION TYPE:	TYPE II-B	RETROFIT EXISTING FACILITY FOR NEW BUSINESS USE. ADD ONE BATHROOM TO MEET CODE REQUIREMENTS. REFINISH SURFACES.	
OCCUPANCY:	GROUP B		

APPLICABLE CONSTRUCTION CODES:

BUILDING CODE:	2021 INTERNATIONAL BUILDING CODE (IBC 2021) WITH LOCAL AMENDMENTS
MECHANICAL CODE:	2021 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
ENERGY CODE:	2021 INTERNATIONAL ENERGY CODE WITH LOCAL AMENDMENTS
PLUMBING CODE:	2021 INTERNATIONAL PLUMBING CODE AND 2021 INTERNATIONAL FUEL GAS CODE
FIRE CODE:	2021 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
FUEL GAS CODE:	2021 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS
ELECTRICAL CODE:	2020 NATIONAL ELECTRICAL CODE
ACCESSIBILITY:	2017 ICC A117.1 AND 2021 NCTCOG AMENDMENTS / TAS 2012

PROJECT CONTACTS

OWNER:	GENERAL CONTRACTOR:	MECHANICAL:	PLUMBING
SUSHANT POU DYAL 301 PARK DR, EULESS, TX 76040	OXYZEN DIGITAL INC (469) 623-1910 rabi@oxyzen.digital		MF PLUMBING CO (214) 695-1693
RABI ADHIKARI (469) 623-1910 rabi@oxyzen.digital	RABINDRA ADHIKARI (469) 623-1910	FULL NAME (000) 000-0000	FRANCISCO AMARO (214) 695-1693
ELECTRICAL			
ABSOLUTE ELECTRICAL (469) 233-7531			
JOSE ALBA (469) 233-7531			



KIDNCODE

500 FLOWER MOUND RD, STE 104,
FLOWER MOUND, TX 75028

GENERAL NOTES

- THESE NOTES SHALL APPLY UNLESS OTHERWISE INDICATED BY DRAWINGS OR SPECIFICATIONS.
 - ALL WORK INCLUDING CIVIL, MECHANICAL, PLUMBING, & ELECTRICAL SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, & LOCAL CODE REQUIREMENTS, AND IN ACCORDANCE WITH ACCEPTED CONSTRUCTION INDUSTRY STANDARDS.
 - OWNER SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS. GC TO HANDLE INSPECTIONS AND APPROVALS, INCLUDING THOSE RELATED TO BUILDING AND CONTRACTOR SIGNAGE.
 - PRIOR TO TURNING BUILDING OVER TO OWNER, REPAIR OR REPLACE ALL MATERIALS, GLASS, OR ASSEMBLIES DAMAGED OR BROKEN DURING CONSTRUCTION.
 - SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. SMOKE DETECTORS SHALL BE TESTED FOR COMPLIANCE UPON COMPLETION OF WORK.
 - AT ALL RATED WALLS, FLOORS AND RATED CEILINGS, ALL PLUMBING, ELECTRICAL, & HVAC PENETRATIONS SHALL BE SEALED WITH APPROVED FIRESTOP MATERIALS.
 - SEAL ALL PENETRATIONS THROUGH FLOOR DECK.
 - FRAMER SHALL PROVIDE IN-WALL BLOCKING AS REQUIRED AT TOILET ACCESSORIES.
 - GC TO PROVIDE ALL MISC. STEEL AND STL. STUD SUPPORT AND HANGERS FOR COMPLETE INSTALLATION FOR ALL NEW ARCHITECTURAL AND MEP SYSTEMS.
 - PROVIDE ALL ROOFING REPAIR/REPLACEMENT AS REQUIRED FOR MECHANICAL UNIT AND ELECTRICAL PENETRATIONS.
 - GENERAL CONTRACTOR SHALL SUBMIT ALL CHANGES TO PLANS, MATERIAL AND EQUIPMENT TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW AND APPROVAL. THE ARCHITECT AND/OR ENGINEER SHALL THEN SUBMIT THE CHANGE REQUEST TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO THE INSTALLATION OF THE CHANGE.
- THE CITY APPROVED AND STAMPED DRAWING SET MUST BE AVAILABLE AT THE CONSTRUCTION SITE FOR ALL INSPECTIONS.
 - GENERAL CONTRACTOR TO COORDINATE ALL INSPECTIONS AS REQUIRED BY CITY.
 - GENERAL CONTRACTOR TO FOLLOW WORKING HOURS TO COMPLY WITH LOCAL CODES.
 - GENERAL CONTRACTOR TO COORDINATE WORKING DAYS AS PER LOCAL CODES.
 - GENERAL CONTRACTOR TO PROVIDE AND COORDINATE DUMPSTER AND TRASH REMOVAL.
 - ALL PERMITS MUST BE POSTED ON A FREE STANDING SIGN LOCATED AT THE FRONT OF THE CONSTRUCTION LOCATION. THE SIGN TO REMAIN UNTIL FINAL BUILDING INSPECTION IS APPROVED BY THE CITY.
 - GC TO MAKE AVAILABLE A PORTABLE LAVATORY FOR CREW. NO BUILDING EXISTING FACILITIES SHALL BE USED AT ANYTIME.
 - GC TO GET SWPPP PLANS AS REQUIRED BY THE CITY.
 - GC/OWNER IS RESPONSIBLE TO CONFIRM AND FOLLOW PRESCRIPTIVE REQUIREMENTS OF SECTION R602 OF THE 2021 INTERNATIONAL BUILDING CODE GETTING SERVICES FROM COMPETENT PROFESSIONAL.

DRAWING INDEX

DRAWING NUMBER	DRAWING NAME	Current Revision	Current Revision Date	Current Revision Description
10_GENERAL				
CS01	COVER SHEET			
G01	LIFE SAFETY PLAN	2	2024/7/29	REVISION 02
30_ARCHITECTURE				
A1	FLOOR PLANS			
A1.1	EXISTING & DEMOLITION FLOOR PLAN	1	2024/7/12	REVISION 01
60_MECHANICAL				
ME1	ME FLOOR PLAN	1	2024/7/12	REVISION 01
70_PLUMBING				
P1	PLUMBING FLOOR PLAN	1	2024/7/12	REVISION 01
P2	PLUMBING RISER DIAGRAM	1	2024/7/12	REVISION 01

KIDNCODE

1201 N MAIN ST, STE 100,
EULESS, TX 76039



307 PECOS TRL, IRVING, TX 75063

Date	Description
2024/6/10	ISSUE FOR PERMITTING AND CONSTRUCTION

Seal / Signature

FOR PERMITTING / REVIEW

Project Name
KIDNCODE FM

Project Number
07KNC_001

Description
COVER SHEET

Scale
12" = 1'-0"

CS01

KIDNCODE

1201 N MAIN ST, STE 100,
EULESS, TX 76039



307 PECOS TRL, IRVING, TX 75063

Date	Description
1 2024/7/12	REVISION 01
2 2024/7/29	REVISION 02

LIFE SAFETY NOTES

- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS.
- WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- LOCATE THE TOP-MOST OPERABLE PORTION OF FIRE ALARM INITIATING DEVICES NO MORE THAN 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
- EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

OCCUPANCY CALCULATION

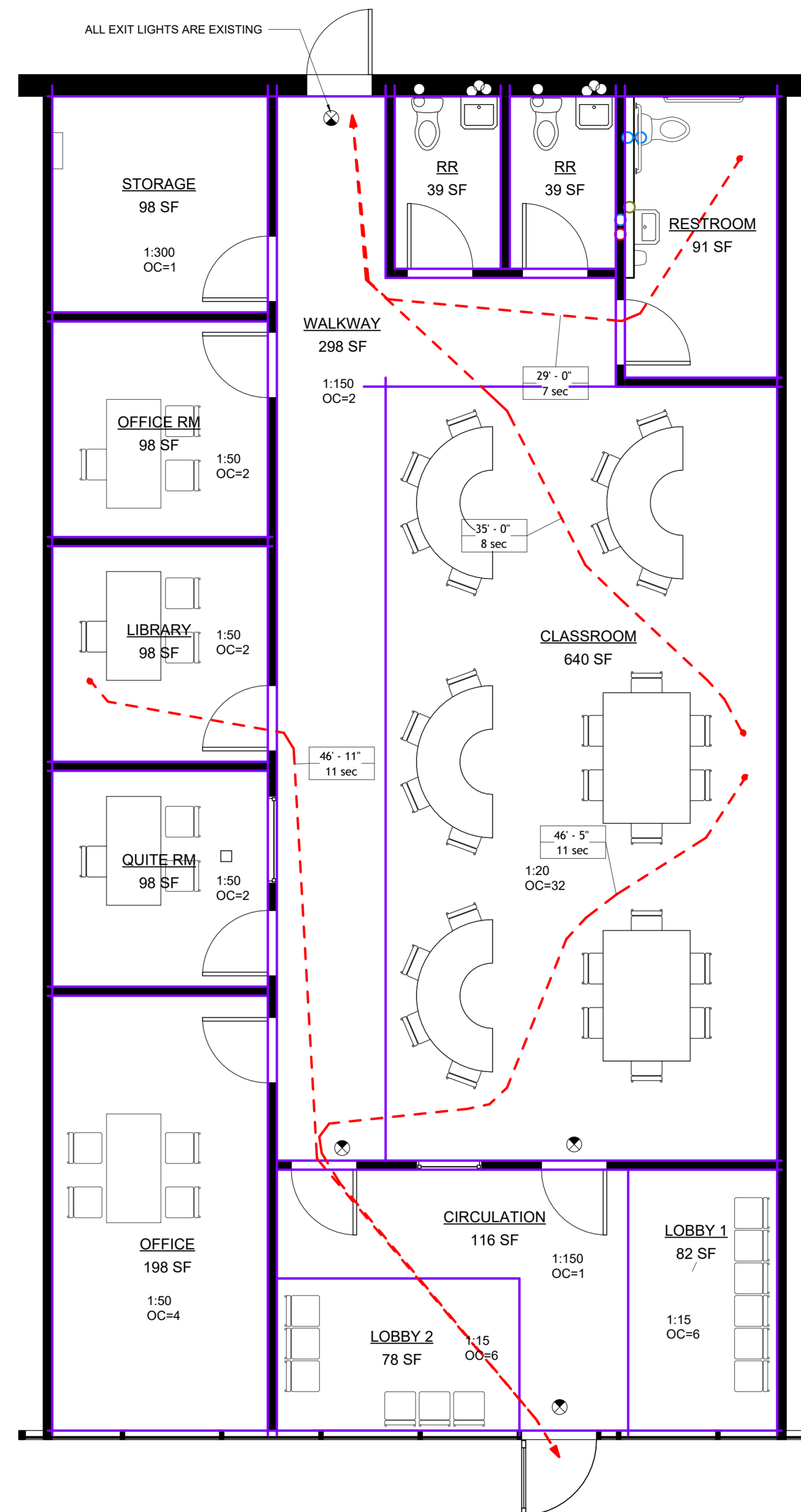
OCCUPANT LOAD FACTORS:

- STORAGE: 300 SQUARE FEET PER PERSON (IBC TABLE 1004.5).
- OFFICE ROOM: 50 SQUARE FEET PER PERSON (IBC TABLE 1004.5).
- LIBRARY: 50 SQUARE FEET PER PERSON FOR READING ROOMS (IBC TABLE 1004.5).
- QUIET ROOM: 50 SQUARE FEET PER PERSON (SIMILAR TO OFFICE/BUSINESS USE).
- OFFICE ROOM: 50 SQUARE FEET PER PERSON (SIMILAR TO OFFICE/BUSINESS USE).
- RESTROOMS: GENERALLY NON-OCCUPIABLE FOR CALCULATION PURPOSES.
- CLASSROOM: 20 SQUARE FEET PER PERSON (EDUCATIONAL OCCUPANCY, IBC TABLE 1004.5).
- CORRIDOR: 150 SQUARE FEET PER PERSON (BUSINESS USE CORRIDORS, IBC TABLE 1004.5).
- LOBBY: 15 SQUARE FEET PER PERSON (WAITING AREAS, IBC TABLE 1004.5).
- BREAK RM (OPTION): 15 SQUARE FEET PER PERSON.

SUMMARY OF OCCUPANT LOADS BY SPACE:

- STORAGE: 1 PERSON
- OFFICE ROOM: 2 PERSONS
- LIBRARY: 2 PERSONS
- QUIET ROOM: 2 PERSON
- OFFICE ROOM: 4 PERSON
- CLASSROOM: 32 PERSONS
- WALKWAY: 2 PERSONS
- LOBBY1+LOBBY2+CIRCULATION : 6+6+1 = 13 PERSONS

TOTAL OCCUPANT LOAD = 1+2+2+4+32+2+13 = 58 PERSONS



**TOTAL OCCUPANT LOAD = 58
BUSINESS OCCUPANCY**

RESTROOM REQUIREMENTS:

FOR AN OCCUPANT LOAD OF 58 PERSONS, THE IPC TYPICALLY REQUIRES:

WATER CLOSET (TOILET):
1 PER 25 OCCUPANTS.

FOR 58 OCCUPANTS:

WATER CLOSETS:

MALES: 1 PER 25 OCCUPANTS.
CONSIDERING 50% MALES = 29 MALES
NUMBER OF WATER CLOSET = 29/25 = 1.16 ≈ 2 WC

FEMALES: 1 PER 25 OCCUPANTS.
CONSIDERING 50% FEMALES = 29 FEMALES
NUMBER OF WATER CLOSET = 29/25 = 1.16 ≈ 2 WC

WITH AN OCCUPANT LOAD OF 58 (29 MALE/29 FEMALE) PER TABLE 403.1 OF THE 2021 IPC, WE NEED ONLY ONE LAVATORY/SINK FOR EACH SEX, AND WE NEED TWO WATER CLOSETS FOR EACH SEX PER SECTION 403.1 OR YOU CAN HAVE THREE SINGLE USER TOILET FACILITIES PER EXCEPTION #3 IN SECTION 403.1.1. WE OPTED FOR 3 SINGLE USER TOILET FOR THIS FACILITY.

LAVATORIES (SINKS):
1 PER 40 OCCUPANTS.

FOR 64 OCCUPANTS:

LAVATORIES (SINKS):

MALES: 1 PER 40 OCCUPANTS.

CONSIDERING 50% MALES = 32 MALES

NUMBER OF SINKS = 32/40 ≈ 1 SINK

FEMALES: 1 PER 40 OCCUPANTS.

CONSIDERING 50% FEMALES = 32 FEMALES

NUMBER OF SINKS = 32/40 ≈ 1 SINK

SINCE LAVATORIES ARE PROVIDED IN THIS FACILITY WE REQUIRE 2 LAVATORIES.

EXIT COUNTS

FOR A BUILDING WITH AN OCCUPANT LOAD OF 53, THE INTERNATIONAL BUILDING CODE (IBC) OUTLINES SPECIFIC REQUIREMENTS FOR THE NUMBER AND TYPE OF EXITS. HERE'S A SUMMARY BASED ON THE IBC 2021:

NUMBER OF EXITS:

OCCUPANT LOAD THRESHOLD:

FOR AN OCCUPANT LOAD OF 1-500, AT LEAST 2 EXITS ARE REQUIRED FROM EACH STORY AND FROM EACH SPACE WITHIN A STORY. THIS APPLIES TO BUSINESS OCCUPANCIES (GROUP B). DISTANCE TO EXITS:

THE MAXIMUM TRAVEL DISTANCE TO AN EXIT VARIES BY OCCUPANCY TYPE AND WHETHER THE BUILDING IS SPRINKLERED. FOR GROUP B OCCUPANCIES:

WITHOUT SPRINKLERS: MAXIMUM TRAVEL DISTANCE IS TYPICALLY 200 FEET.
WITH SPRINKLERS: MAXIMUM TRAVEL DISTANCE CAN BE INCREASED TO 300 FEET.

WIDTH OF EXITS:

EXIT DOOR WIDTH:

THE MINIMUM WIDTH OF EXIT DOORS IS 32 INCHES CLEAR WIDTH.
THE TOTAL EXIT WIDTH REQUIRED IS CALCULATED BASED ON THE OCCUPANT LOAD:
FOR DOORS, THE WIDTH FACTOR IS 0.2 INCHES PER OCCUPANT (IBC SECTION 1005.3.2).
FOR STAIRS, THE WIDTH FACTOR IS 0.3 INCHES PER OCCUPANT.

GIVEN AN OCCUPANT LOAD OF 64:

REQUIRED DOOR WIDTH: 64 OCCUPANTS × 0.2 INCHES = 12.8 INCHES
THEREFORE, A STANDARD 32-INCH DOOR WILL BE SUFFICIENT.

ADDITIONAL CONSIDERATIONS:
EXIT SIGNS AND LIGHTING:

CLEARLY VISIBLE EXIT SIGNS MUST BE INSTALLED TO DIRECT OCCUPANTS TO EXITS.
EMERGENCY LIGHTING IS REQUIRED TO ILLUMINATE EXITS AND EGRESS PATHS.
ACCESSIBLE EXITS:

AT LEAST ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FOR INDIVIDUALS WITH DISABILITIES.

REFERENCES:

IBC 2021 CHAPTER 10: MEANS OF EGRESS
IBC SECTION 1005.3.2: EGRESS WIDTH

1 LEVEL 1 - EGRESS PLAN

SCALE: 1/4" = 1'-0"

Seal / Signature

FOR PERMITTING / REVIEW

Project Name

KIDNCODE FM

Project Number

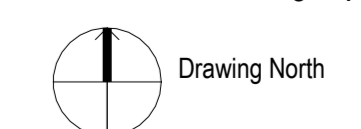
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Description

LIFE SAFETY PLAN

Scale

1/4" = 1'-0"



G01

KIDNCODE

1201 N MAIN ST, STE 100,
EULESS, TX 76039



307 PECOS TRL, IRVING, TX 75063

ROOM SCHEDULE

101	ENTRANCE LOBBY	276 SF
110	LIBRARY	198 SF
109	QUIET ROOM	98 SF
108	CONSULTATION	98 SF
107	INSTRUCTOR'S ROOM	98 SF
106	STORAGE	98 SF
102	CLASSROOM	938 SF
105	RR1	39 SF
104	RR2	126 SF
103	RR3	Redundant Room
Grand total: 10		1970 SF

GENERAL NOTES

- THESE ARE DESIGN INTENT DOCUMENTS. CONTRACTORS SHALL INCLUDE REQUIRED ALLOWANCES TO ACCOMMODATE FOR DIMENSIONAL CHANGES AS DETERMINED BY THE EXISTING CONDITIONS OF THE BUILDING.
- THERE ARE TWO ENTRIES AND EXITS IN THE BUILDING. THE PRIMARY ENTRY BEING AT THE FRONT OF THE BUILDING. BACK ENTRY IS FOR SERVICE USE.
- PROJECT SHALL MEET THE ACCESSIBILITY REQUIREMENTS SET FORTH IN THE 2012 TEXAS ACCESSIBILITY STANDARDS. DRAWINGS DEMONSTRATE COMPLIANCE WITH THESE STANDARDS IN MOST INSTANCES HOWEVER MAY NOT BE ALL ENCOMPASSING. THIS DOES NOT RELIEVE THE CONTRACTOR RESPONSIBILITY FOR ENSURING CONSTRUCTION COMPLIANCE WITH THE 2012 TAS.
- DIMENSIONS ARE SHOWN FROM STUD TO STUD U.N.O. FIELD VERIFY OVERALL DIMENSIONS OF EXISTING SPACE PRIOR TO BEGINNING WORK. COORDINATE DISCREPANCIES IN DIMENSIONS WITH OXYZEN PRIOR TO BEGINNING WORK.
- IF OWNER CHOOSES TO USE TEXTURED WALL SURFACE INSTEAD OF LEVEL 4 SMOOTH WALL SURFACE, COORDINATE WITH OWNER TO SELECT THE TEXTURE CHOICES.
- ALL STUDS ARE 3 5/8" UNLESS NOTED OTHERWISE.
- EXISTING RESTROOMS ARE TECHNICALLY LAVATORY AS PER 2021 IBC AND IPC.

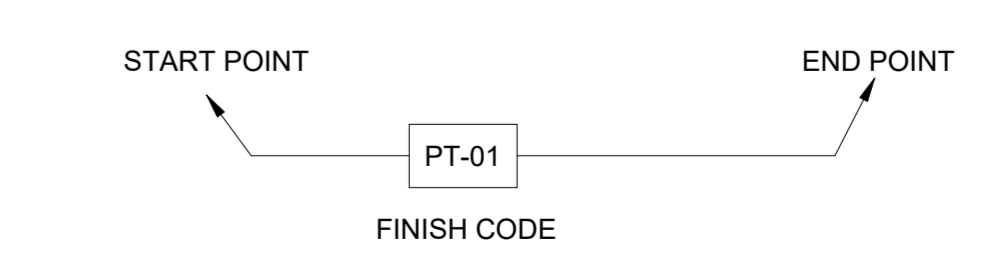
GENERAL NOTES - RCP

- ALL CEILINGS MATERIALS TO MATCH BUILDING CODE AND HEALTH CODES REQUIREMENTS.
- PROVIDE REINFORCEMENT FOR FURDOWNS. ALL CAN LIGHTS TO BE MOUNTED IN GYPSUM BOARDS CEILINGS.
- ALL AIR TERMINALS TO BE COORDINATED WITH OWNER FOR FINISH SCHEDULE AND REQUIREMENTS.

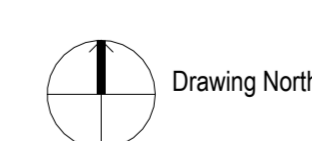
GENERAL NOTES - FINISHES

- INSTALL SLIP RESISTANT CERAMIC OR PORCELAIN TILES. CONSULT WITH THE OWNER FOR SPECIFIC FINISHES AND PATTERNS.
- BREAK ROOM AND BEHIND THE COUNTER NEEDS CITY APPROVED CERAMIC TILES.

LEGEND



PT-01 : TBD



Date	Description
------	-------------

Seal / Signature

FOR PERMITTING / REVIEW

Project Name

KIDNCODE FM

Project Number

07KNC_001

Description

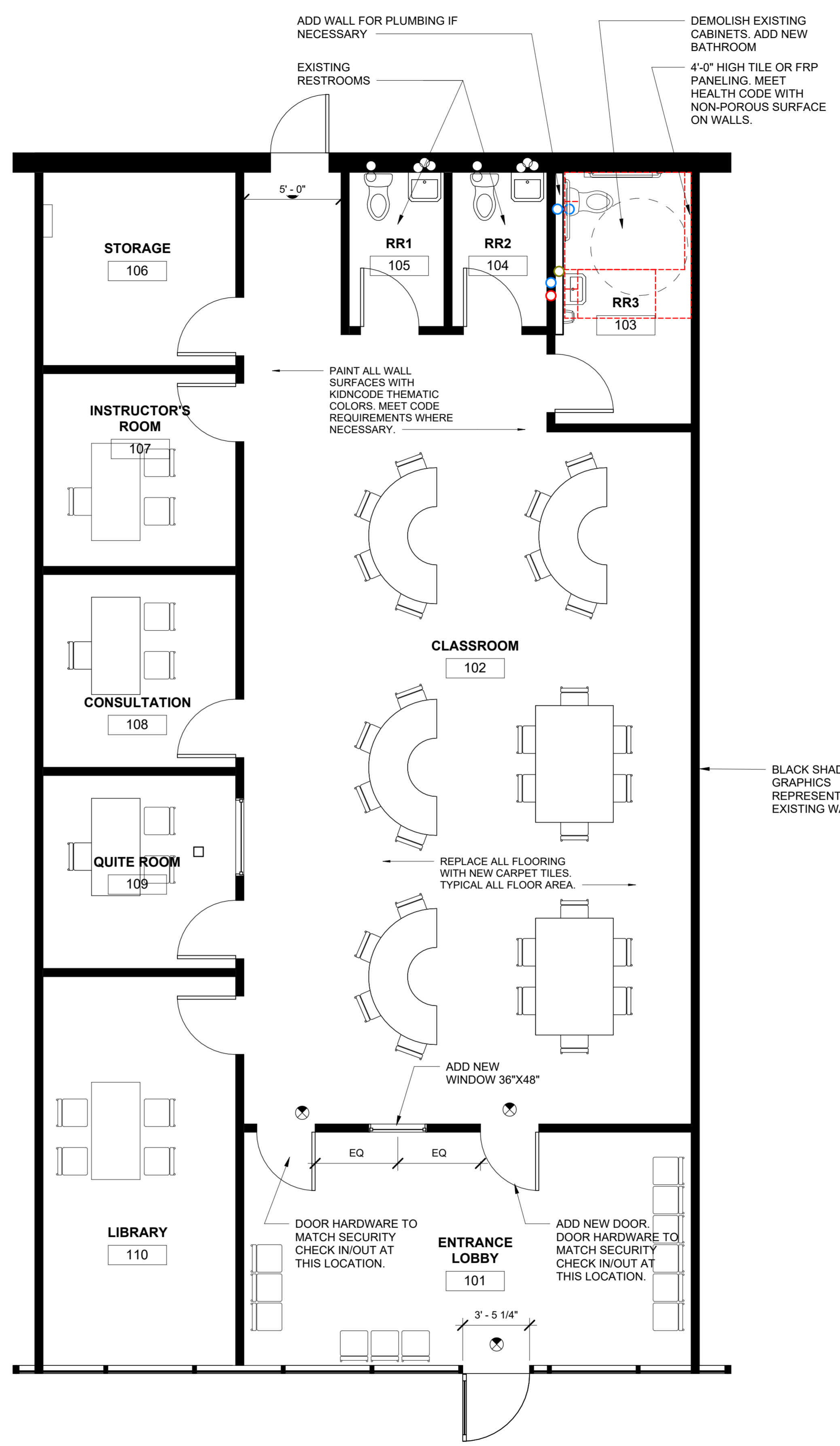
FLOOR PLANS

Scale

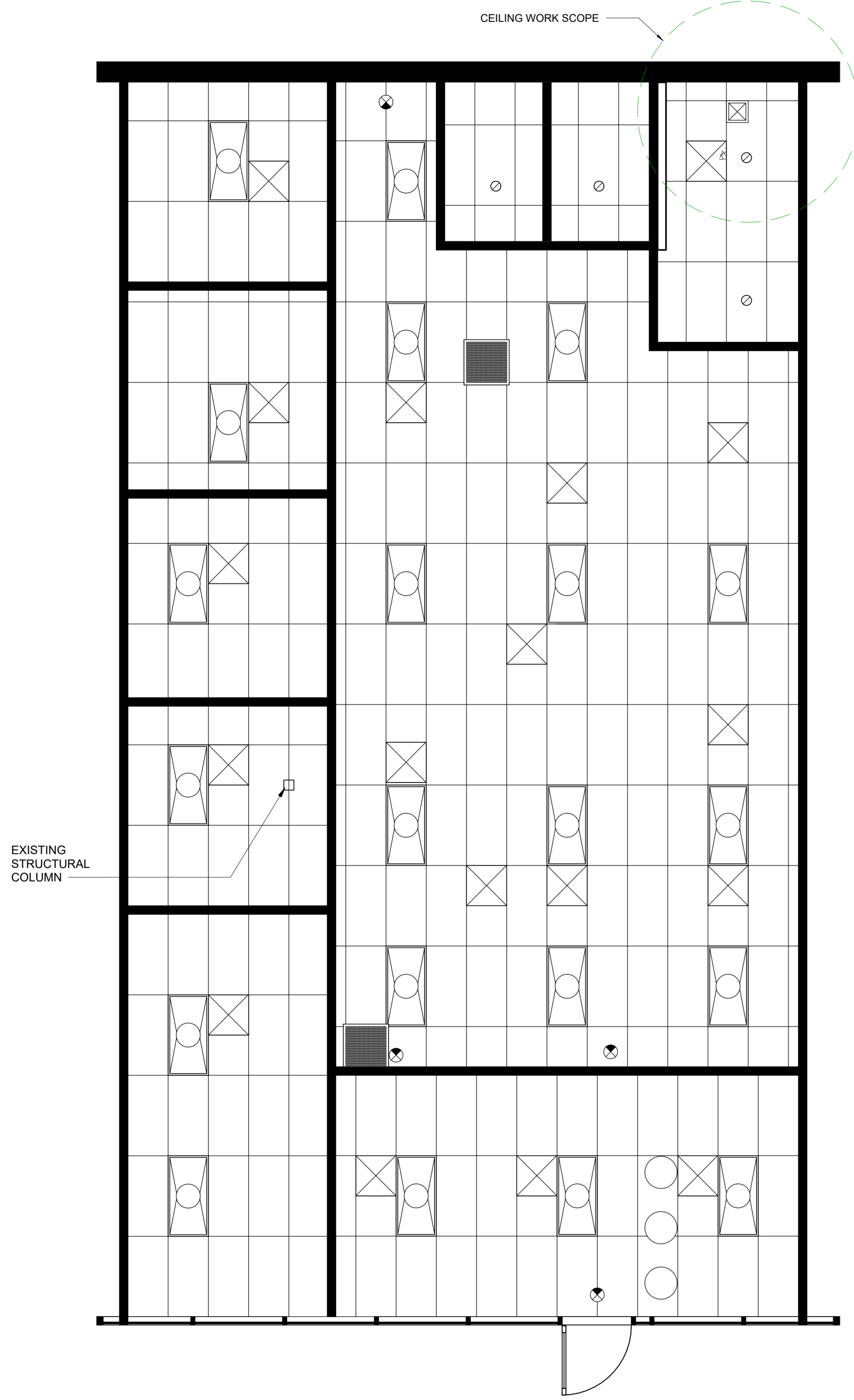
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A1

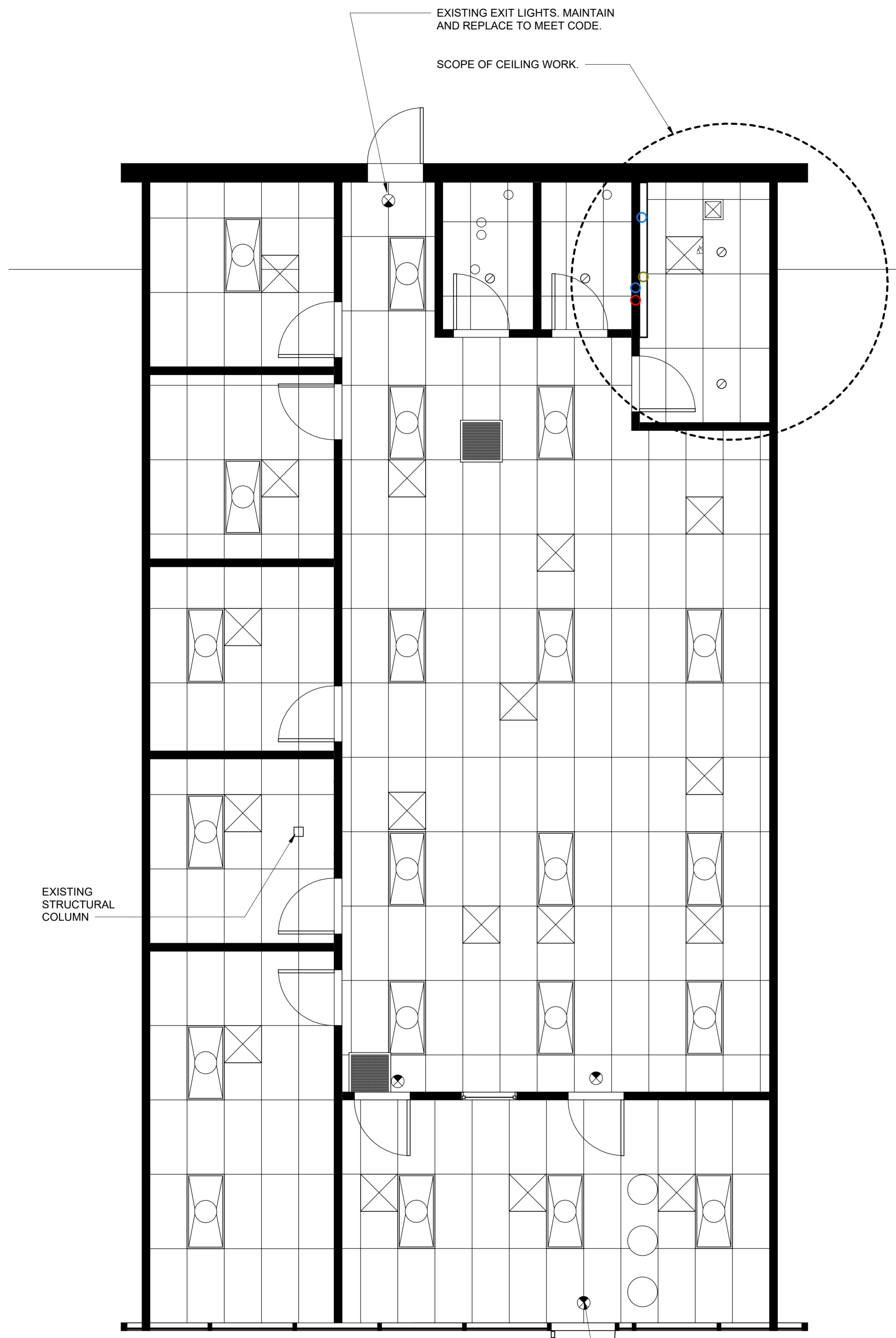


1 LEVEL 1
SCALE: 1/4" = 1'-0"

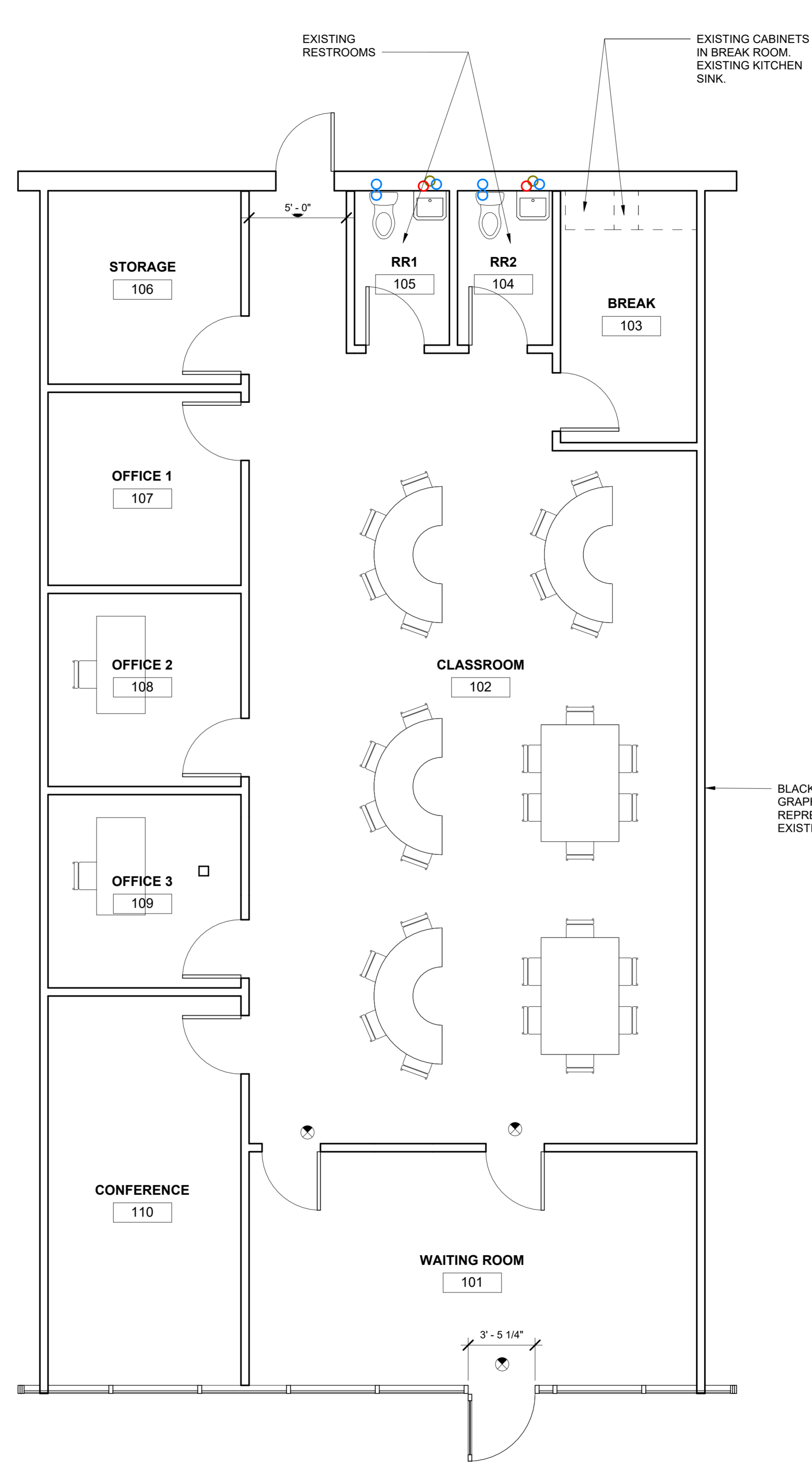


2 LEVEL 1 - RCP
SCALE: 1/4" = 1'-0"

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2 LEVEL 1 - RCP EXISTING
SCALE: 1/4" = 1'-0"

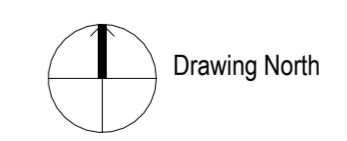
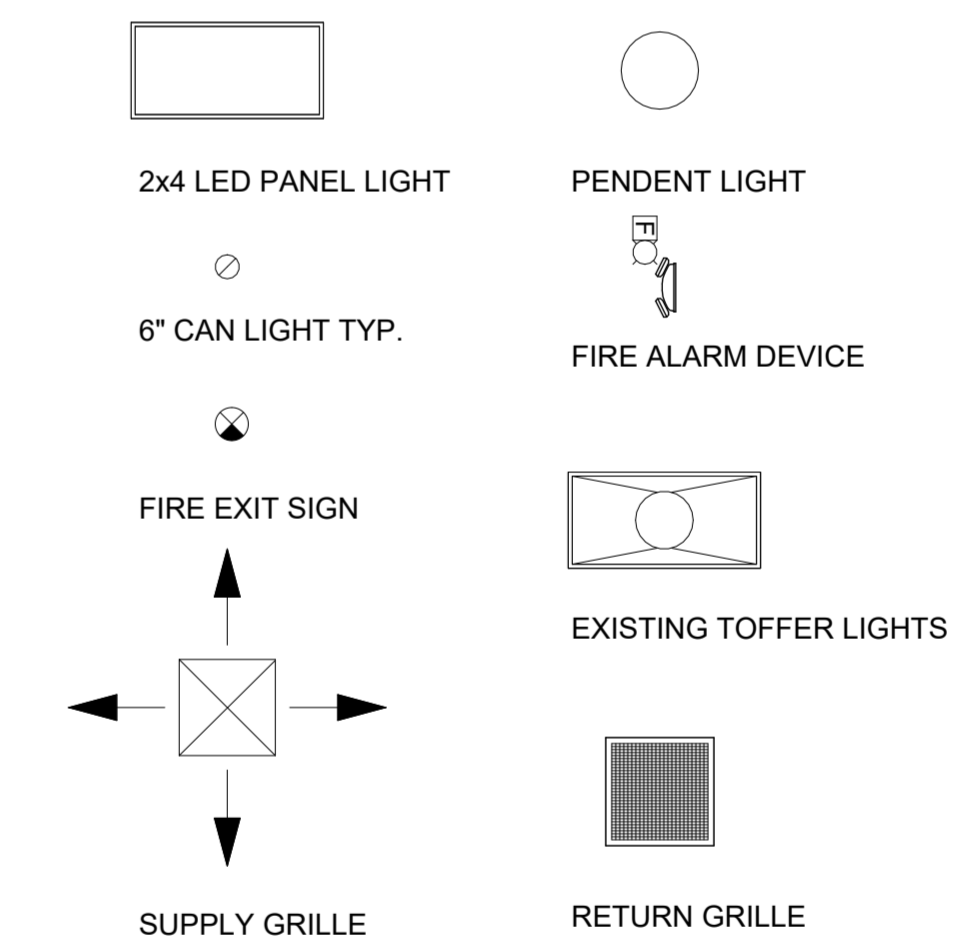


1 LEVEL 1 EXISTING
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- GC TO ENSURE DIMENSIONS AFTER DEMOLITION IS COMPLETED.
- COORDINATE WITH EXISTING BUILDING UTILITIES TO TIE INTO. NEW UTILITY LINES AS SHOWN IN THE DRAWINGS MAY NEED TO BE ADJUSTED.
- PROVIDE ALL REINFORCEMENT TO PARTITION WALLS. FOLLOW IBC PRESCRIBED CONNECTIONS AND JOINTS FOR ALL PARTITION WALL.
- MAINTAIN ALL FIRE SUPPRESSION SYSTEM AND SPRINKLER HEADS AT ALL TIMES. REPLACE IMMEDIATELY IF TAMPERED OR BROKEN DURING DEMOLITION. COORDINATE WITH FIRE MARSHAL FOR RELOCATION OR ADDITIONAL SPRINKLER HEADS AS NECESSARY BASED ON THE NEW DESIGN.
- GC TO REMOVE AND LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS ON A DAILY BASIS. ENSURE A CLEAN JOB SITE AT THE END OF EACH DAY. FOLLOW CITY'S DIRECTION FOR GARBAGE DISPOSAL LOCATION.

CEILING LEGEND



KIDNCODE
1201 N MAIN ST, STE 100,
EULESS, TX 76039



Date	Description
1 2024/7/12	REVISION 01

Seal / Signature

FOR PERMITTING / REVIEW

Project Name
KIDNCODE FM

Project Number
07KNC_001

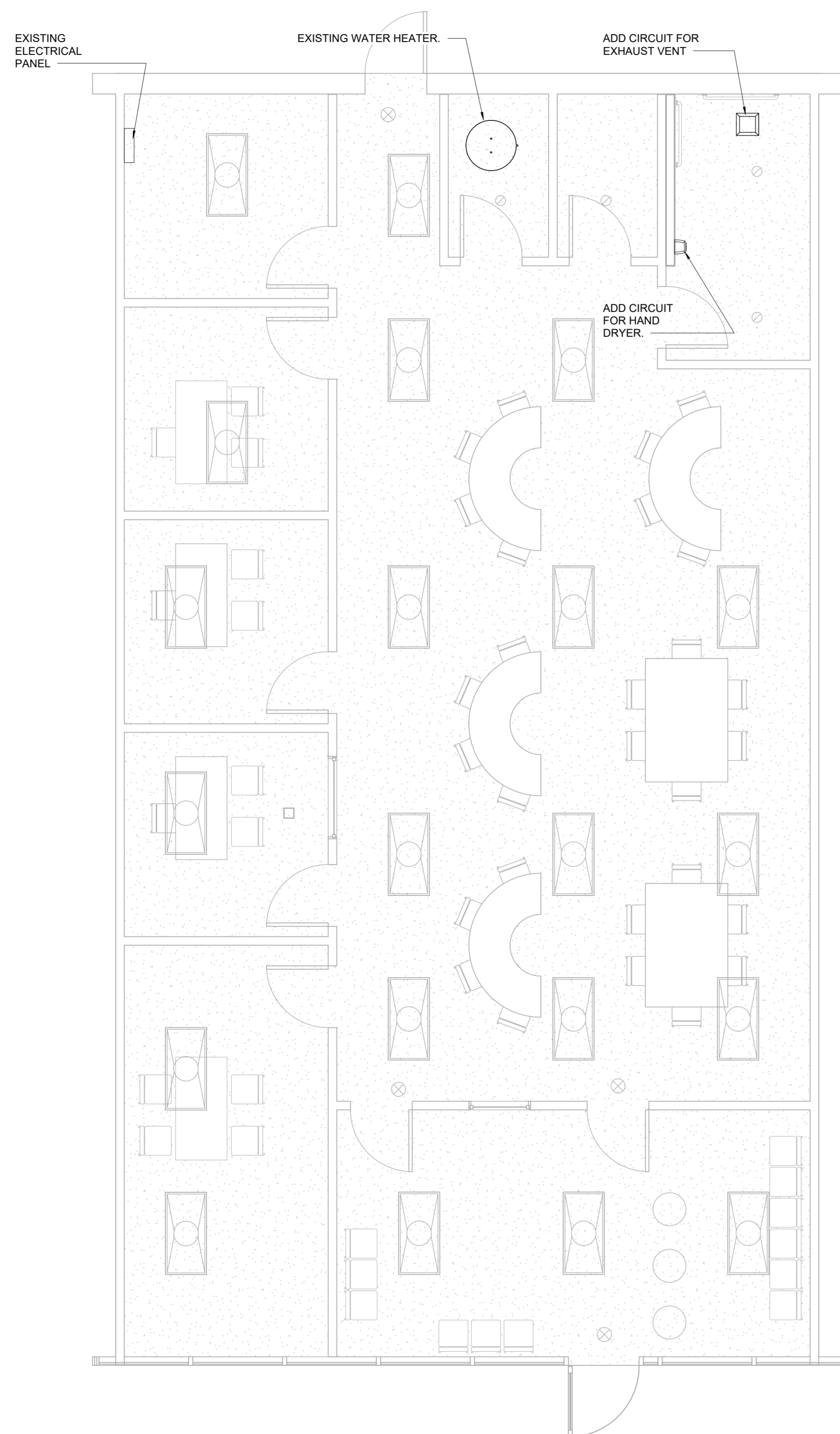
Description
EXISTING & DEMOLITION FLOOR PLAN

Scale
As indicated



A1.1

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NOTE:
 MAINTAIN REST OF THE ELECTRICAL
 OUTLETS AND LIGHT FIXTURES. MEET
 CODE REQUIREMENTS WHERE
 NECESSARY

1 ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- 1 MAINTAIN ELECTRICAL CONNECTION TO RTU AND CONDENSOR UNIT. MEET CODE REQUIREMENTS.

MECHANICAL NOTES:

- 1 NO NECESSARY MECHANICAL MODIFICATION ARE NECESSARY. GC TO MAINTAIN AND KEEP EXISTING SYSTEM IN RUNNING CONDITIONS. MEET ALL CODE REQUIREMENTS.
- 2 MAINTAIN DRAIN LINE PLUMBING FROM RTU, WATER HEATER, TO THE NEAREST DRAIN LINE. MEET CODE REQUIREMENTS.
- 3 GC TO COORDINATE WITH ELECTRICAL TO DETERMINE CONNECTION REQUIREMENT FOR ADDITIONAL EXHAUST FAN. THE ASSUMPTION IS EVERYTHING IS IN WORKING ORDER. FOLLOW MANUFACTURER'S INSTRUCTION AND MEET CODE REQUIREMENTS.

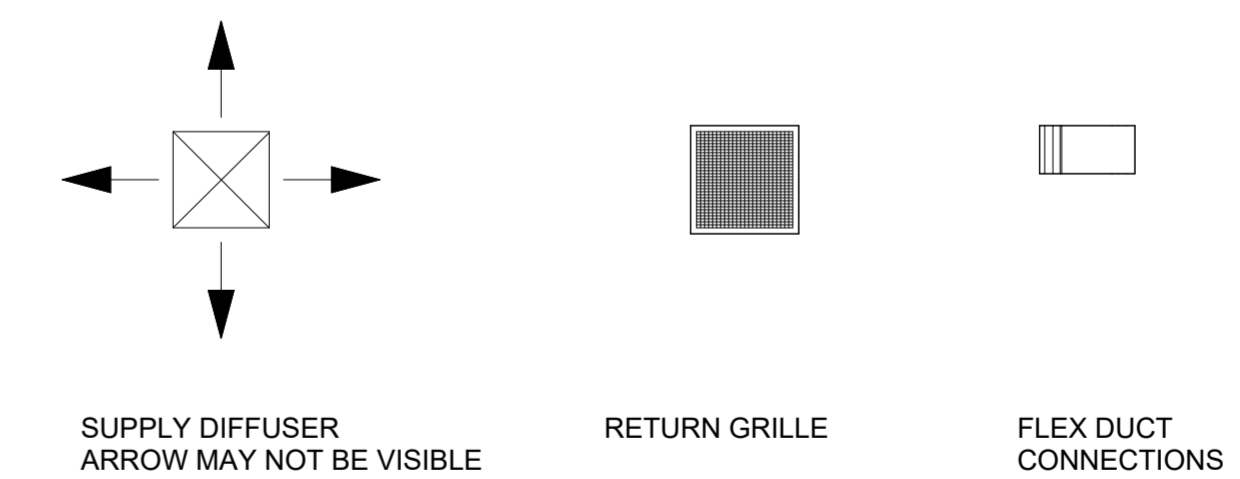
PLUMBING NOTES:

- 1 THE CURRENT WATERLINE CONNECITONS ARE UNKNOWN. GENERAL CONTRACTOR NEEDS TO COORDINATE AND DETERMINE TO UPDATE THE CONNECTION AND DETAILS. MEET CODE REQUIREMENTS.
- 2 THE CONDITION OF EXISTING WATER HEATER IS ASSUMED TO BE IN WORKING CONDITION. GC TO VERIFY AND ALERT BUSINESS OWNER OF ANY PROBLEMS.
- 3 THE CURRENT BUILDING HAS ACCESS TO GAS. GC TO COORDINATE WITH ATMOS AND CITY TO CONNECT WATER HEATER AND ROOF TOP AC UNIT FOR GAS CONNECTION.

GENERAL NOTES

1. INTENT IS TO USE EXISTING SYSTEMS IN PLACE. GC TO REVIEW AND ENSURE ALL UNITS ARE IN WORKING CONDITION AND IN CASE OF ANY DISCOVERY OF NOT FUNCTIONING SYSTEM, ALERT THE BUSINESS AND PROPERTY OWNER AS SOON AS THE DISCOVERY IS MADE.
2. ENSURE ALL FIRE EXIT LIGHTS ARE MEETING CITY CODES.
3. ENSURE ALL EXISTING LIGHT FIXTURES ARE SECURED AND IN WORKING CONDITIONS. IF ANYTHING NEEDS ATTENTION, ALERT BUSINESS OWNER.
4. MAINTAIN EXISTING AIR TERMINALS.
5. COORDINATE WITH CITY FOR ALL CITY INPSECTIONS.

LEGEND



KIDNCODE
 1201 N MAIN ST, STE 100,
 EULESS, TX 76039

XYZEN
 307 PECOS TRL, IRVING, TX 75063

Date	Description
1 2024/7/12	REVISION 01

Seal / Signature

FOR PERMITTING / REVIEW

Project Name
KIDNCODE FM

Project Number
07KNC_001

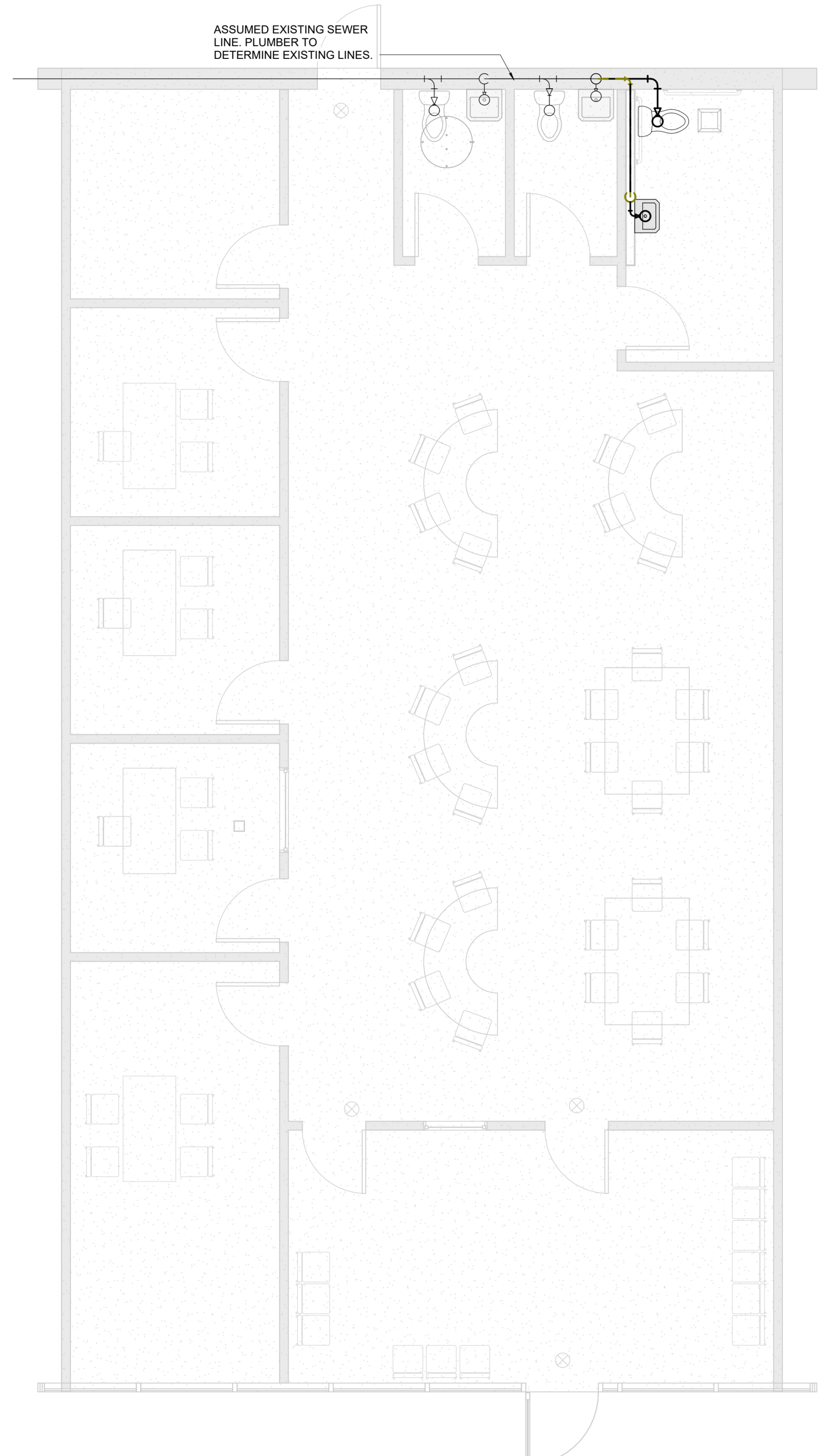
Description
ME FLOOR PLAN

Scale
 As indicated

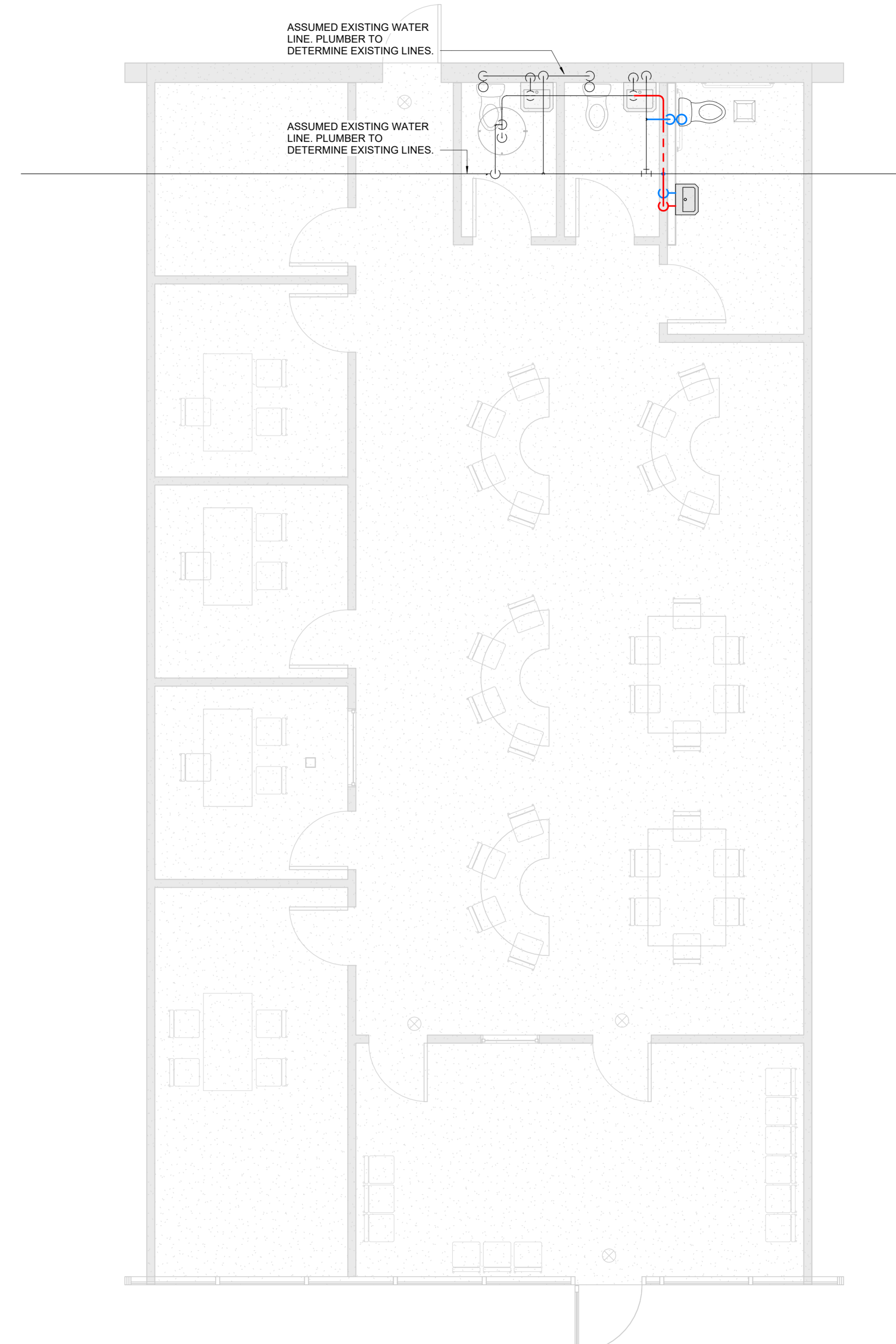


ME1

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1 PLUMBING PLAN - SANITARY
SCALE: 1/4" = 1'-0"



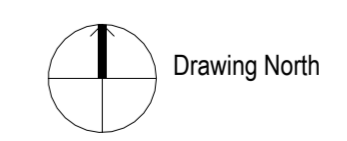
2 PLUMBING PLAN - WATER
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. INSPECT EXISTING WATER HEATER. IF NEW WATER NEEDS TO BE INSTALLED, INSTALL TANKLESS WATER HEATER IN THE WALL ABOVE JANITOR CLOSET FLOOR. MEET HEALTH DEPARTMENT CODE REQUIREMENTS FOR SIZING BASED ON REQUIRED HOT WATER SUPPLY.
2. USE BUILDING GAS LINE CONNECTION AND METER. PROVIDE PROPER PLUMBING TO DRAIN WATER FROM ALL HVAC UNITS ABOVE.
3. WHENEVER POSSIBLE USE EXISTING FD TO AVOID MAKING NEW CONCRETE CUT FOR PLUMBING WORK. CONTACT OWNER/DESIGNER TO VERIFY. FOLLOW CITY'S GUIDELINES.
4. FLOOR SINK TO BE FLUSH WITH FINISHED FLOOR UNLESS OTHERWISE GOVERNED BY LOCAL CODE. MEET CODE REQUIREMENTS. IF EXISTING MAINTAIN.
5. MINIMUM REQUIRED PRESSURE FOR GAS CONNECTION - LESS THAN 2.0 PSI. GAS PIPE SIZING BASED ON 2021 IFGC TABLE 402.4(1). CONFIRM EXISTING.
6. PROVIDE THERMOSTATIC MIXING VALVE AT ALL HOT WATER SUPPLY FOR END USER. SET TEMPERATURE TO 100 DEG F.
7. PROVIDE WATER HAMMER ARRESTOR WHERE APPLICABLE.
8. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 50 FT IN HORIZONTAL DRAINAGE LINES. PROVIDE CLEANOUT AT THE BASE OF EACH VERTICAL WASTE, SOIL STACK OF THE SANITARY AND STORM SEWER LINES. MEET ALL IPC CODE FOR CLEANOUT INSTALLATION REQUIREMENTS.
9. INSTALL SHUT-OFF VALVES AS SUITABLE FOR MAINTAINACE WHERE NECESSARY.
10. COMPLY WITH APPLICABLE CODES FOR BARRIER FREE STANDARDS FOR ALL PLUMBING FIXTUERS. COMPLY WITH ADA REQUIREMENTS.
11. FIRE SUPPRESSION SYSTEM FOR THE BUILDING IS BEYOND THE SCOPE OF THESE DRAWINGS. CONSULT AND COORDINATE WITH FIRE SUPPRESSION CONTRACTOR TO MAINTAIN THE SERVICE.

LEGEND

PLUMBING LEGENDS	
SYMBOL	DESCRIPTION
—	COLD WATER (CW)
- - -	HOT WATER (HW)
—	SANITARY (S)
- - -	VENT (VTR)



KIDNCODE
1201 N MAIN ST, STE 100,
EULESS, TX 76039

XYZEN
307 PECOS TRL, IRVING, TX 75063

Date	Description
1 2024/7/12	REVISION 01

Seal / Signature

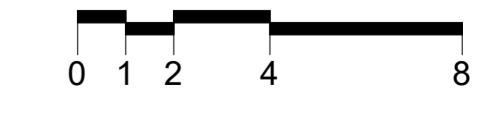
FOR PERMITTING / REVIEW

Project Name
KIDNCODE FM

Project Number
07KNC_001

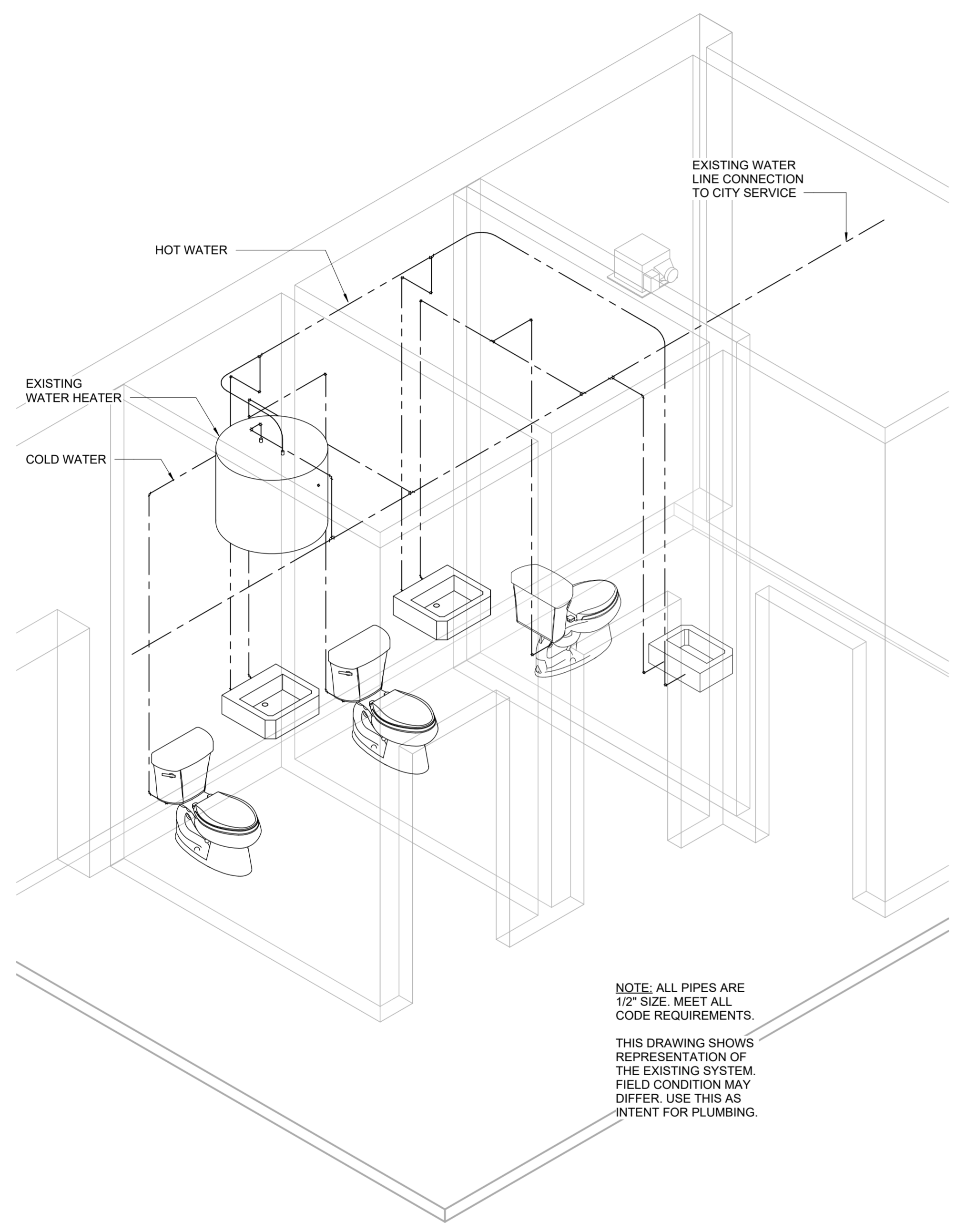
Description
PLUMBING FLOOR PLAN

Scale
As indicated

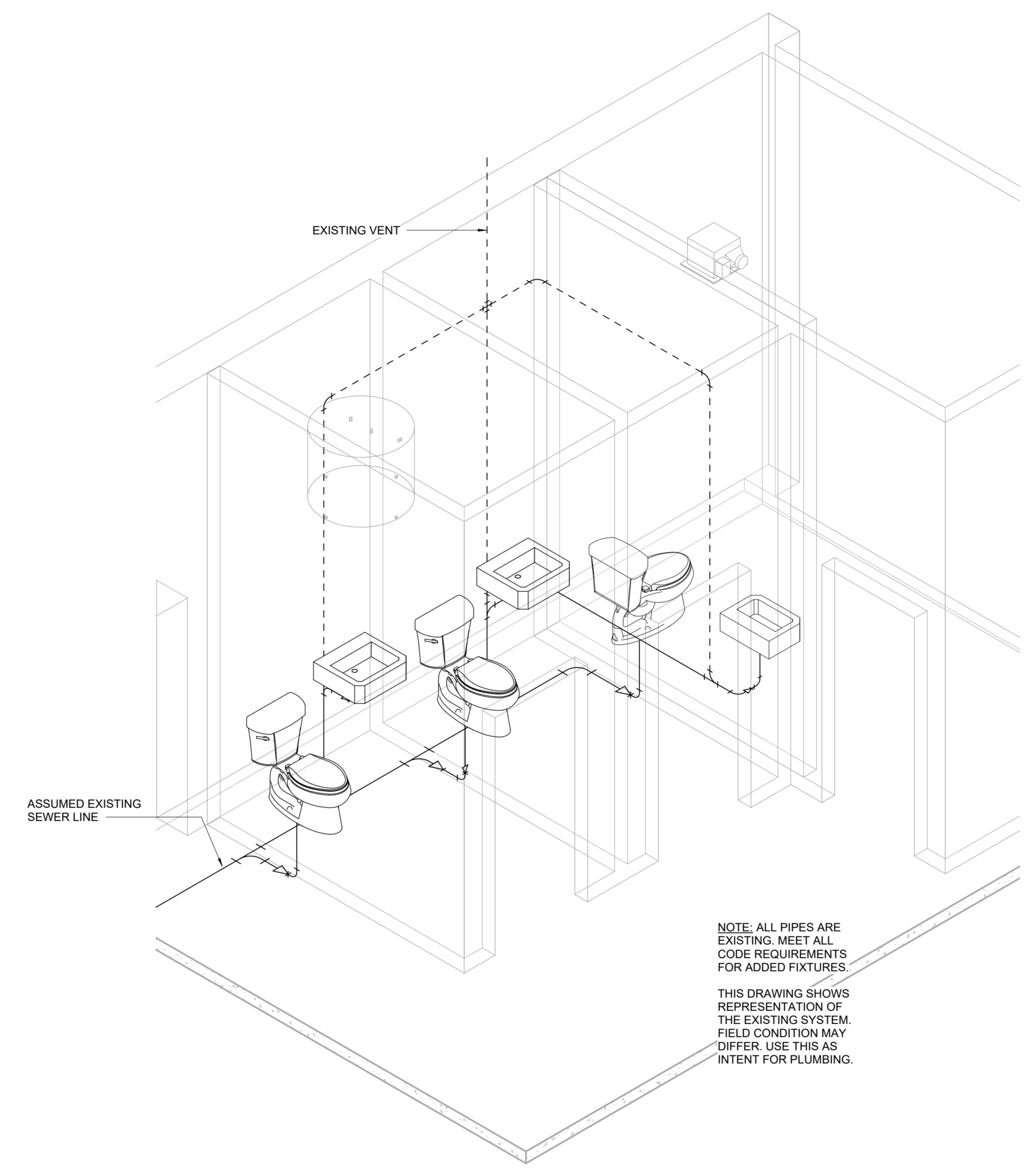


P1

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2 PLUMBING RISER - WATERLINE
SCALE:



1 PLUMBING RISER - SANITARY
SCALE:

GENERAL NOTES

1. INSPECT EXISTING WATER HEATER. IF NEW WATER HEATER NEEDS TO BE INSTALLED, INSTALL TANKLESS WATER HEATER IN THE WALL ABOVE JANITOR CLOSET FLOOR. MEET HEALTH DEPARTMENT CODE REQUIREMENTS FOR SIZING BASED ON REQUIRED HOT WATER SUPPLY.
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LEGEND

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△	Date	Description
1	2024/7/12	REVISION 01

Seal / Signature

FOR PERMITTING / REVIEW

Project Name
KIDNCODE FM

Project Number
07KNC_001

Description
PLUMBING RISER DIAGRAM

Scale
As indicated

△ **P2**