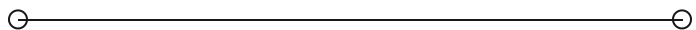




OFFERING MEMORANDUM
23 Unit Multi-family

Oakdale, PA 15071



JASON CAMPAGNA
Managing Director
C: 724.825.3137
jason.campagna@svn.com

PRESENTED BY:
GRANT UNDERWOOD
Associate Advisor
C: 412.715.4160
grant.underwood@svn.com



THREE RIVERS
COMMERCIAL ADVISORS

DISCLAIMER

The material contained in this Offering Memorandum is furnished solely for the purpose of considering the purchase of the property within and is not to be used for any other purpose. This information should not, under any circumstances, be photocopied or disclosed to any third party without the written consent of the SVN® Advisor or Property Owner, or used for any purpose whatsoever other than to evaluate the possible purchase of the Property.

The only party authorized to represent the Owner in connection with the sale of the Property is the SVN Advisor listed in this proposal, and no other person is authorized by the Owner to provide any information or to make any representations other than contained in this Offering Memorandum. If the person receiving these materials does not choose to pursue a purchase of the Property, this Offering Memorandum must be returned to the SVN Advisor.

Neither the SVN Advisor nor the Owner make any representation or warranty, express or implied, as to the accuracy or completeness of the information contained herein, and nothing contained herein is or shall be relied upon as a promise or representation as to the future representation of the Property. This Offering Memorandum may include certain statements and estimates with respect to the Property. These Assumptions may or may not be proven to be correct, and there can be no assurance that such estimates will be achieved. Further, the SVN Advisor and the Owner disclaim any and all liability for representations or warranties, expressed or implied, contained in or omitted from this Offering Memorandum, or any other written or oral communication transmitted or made available to the recipient. The recipient shall be entitled to rely solely on those representations and warranties that may be made to it in any final, fully executed and delivered Real Estate Purchase Agreement between it and Owner.

The information contained herein is subject to change without notice and the recipient of these materials shall not look to Owner or the SVN Advisor nor any of their officers, employees, representatives, independent contractors or affiliates, for the accuracy or completeness thereof. Recipients of this Offering Brochure are advised and encouraged to conduct their own comprehensive review and analysis of the Property.

This Offering Memorandum is a solicitation of interest only and is not an offer to sell the Property. The Owner expressly reserves the right, at its sole discretion, to reject any or all expressions of interest to purchase the Property and expressly reserves the right, at its sole discretion, to terminate negotiations with any entity, for any reason, at any time with or without notice. The Owner shall have no legal commitment or obligation to any entity reviewing the Offering Memorandum or making an offer to purchase the Property unless and until the Owner executes and delivers a signed Real Estate Purchase Agreement on terms acceptable to Owner, in Owner's sole discretion. By submitting an offer, a prospective purchaser will be deemed to have acknowledged the foregoing and agreed to release the Owner and the SVN Advisor from any liability with respect thereto.

To the extent Owner or any agent of Owner corresponds with any prospective purchaser, any prospective purchaser should not rely on any such correspondence or statements as binding Owner. Only a fully executed Real Estate Purchase Agreement shall bind the property and each prospective purchaser proceeds at its own risk.

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FINANCIAL ANALYSIS

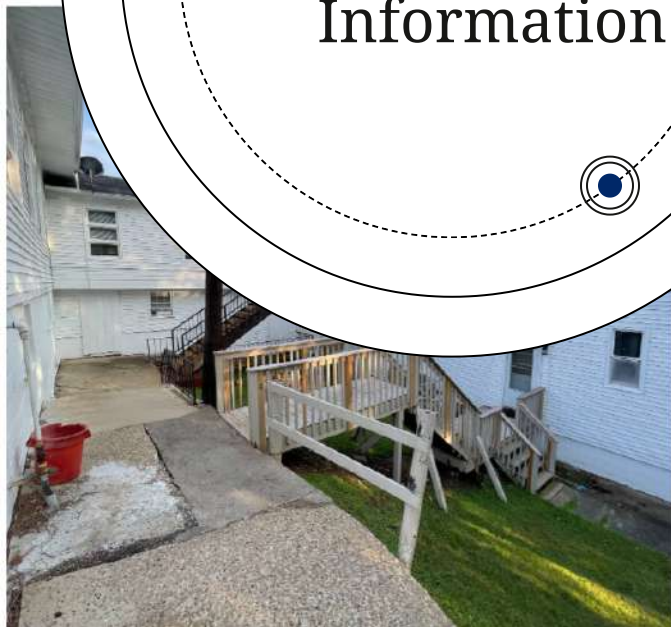
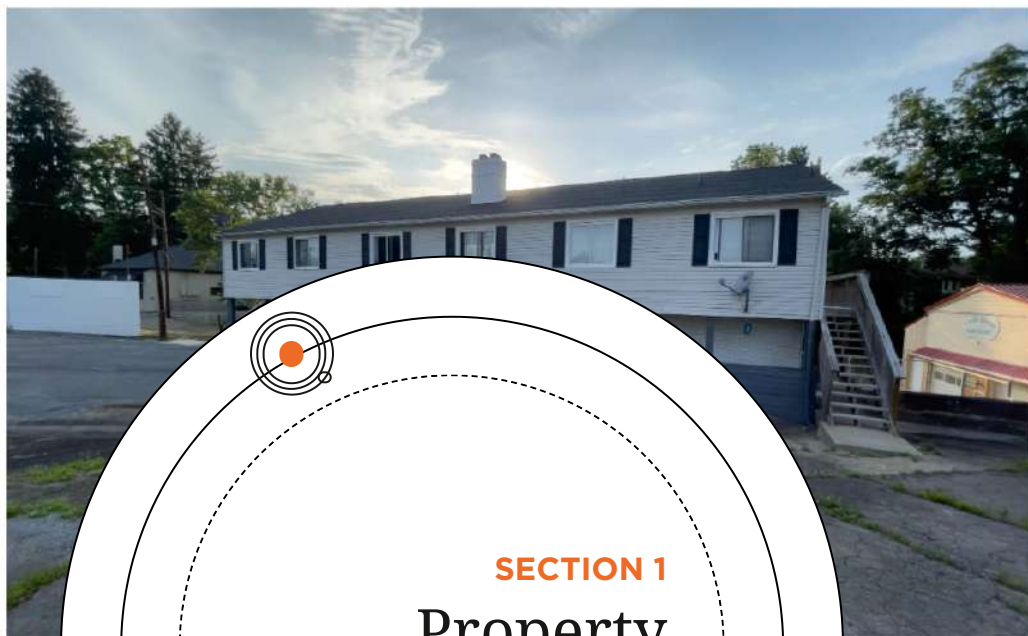
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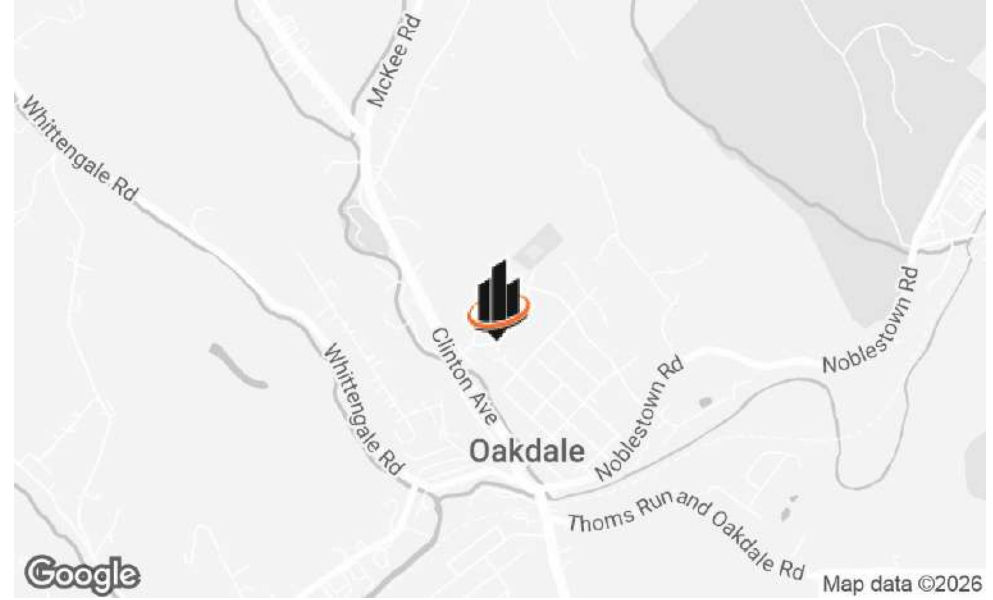
ADVISOR BIOS

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SECTION 1
Property
Information



EXECUTIVE SUMMARY



OFFERING SUMMARY

SALE PRICE:	\$1,670,000
PRICE/UNIT:	\$66,087
NUMBER OF UNITS:	23
LAND SIZE:	4.3 Acres
NOI:	\$117,373
CAP RATE:	7%
ZONING:	R-2
PARCEL NUMBER:	492-D-91

PROPERTY OVERVIEW

SVN Three Rivers Commercial Advisors is pleased to present for sale a 23-unit multifamily portfolio on 4.3 acres consisting of five buildings in the heart of Oakdale, PA. The portfolio consists of two 8-unit buildings, one triplex, and two duplexes. Currently, the portfolio is 100% occupied, offering a turn-key investment opportunity.

The properties are within walking distance of local shops and restaurants and offer convenient access to Robinson Town Centre, Pittsburgh International Airport, Interstate 376, and Downtown Pittsburgh.

PROPERTY HIGHLIGHTS

- 23 Unit Multi-Family Portfolio
- Located in desirable Oakdale location
- Sitting on 4.3 acres; possible future development opportunity
- Strong occupancy; turnkey investment opportunity

305 VINCENNES AVE



PROPERTY OVERVIEW

Property Address: 305 Vincennes Ave, Oakdale, PA, 15071

Units: 8

Unit Mix: (7) studio, (1) 2 bed/ 1 bath, (1) Garage

Descriptions: 305 Vincenes Ave is an 8 unit apartment building located in Oakdale, within the West Allegheny School District. The property is fully leased, including a commercial garage.

303 VINCENNES AVE



PROPERTY OVERVIEW

Property Address: 303 Vincennes Ave, Oakdale, PA, 15071

Units: 3

Unit Mix: (3) 2 bed/ 2 bath

Descriptions: 303 Vincennes Ave is a triplex located in Oakdale, within the West Allegheny School District. The property consists of (3) 2 bed/ 2 bath units. The property includes a covered deck.

302 VINCENNES AVE



PROPERTY OVERVIEW

Property Address: 302 Vincennes Ave, Oakdale, PA, 15071

Units: 9

Unit Mix: (7) 1 bed/ 1 bath, (1) 3 bed/ 1 bath, (1) 2 bed/ 2 bath

Descriptions: 302 Vincennes Ave is a 9 unit apartment building located in Oakdale, within the West Allegheny School District. The property sits in a quiet neighborhood, and consists of various 1-3 bed units, and off-street parking.

300 VINCENNES AVE



PROPERTY OVERVIEW

Property Address: 300 Vincennes Ave, Oakdale, PA, 15071

Units: 2

Unit Mix: (2) 1 bed/ 1 bath

Descriptions: 300 Vincennes Ave is a duplex located in Oakdale, within the West Allegheny School District. The property includes off street parking and private backyard.

200 THIRD ST



PROPERTY OVERVIEW

Property Address: 200 Third St, Oakdale, PA, 15071

Units: 2

Unit Mix: (1) 3-bed/ 1 bath, (1) 2-bed/ 1 bath

Descriptions: 200 Third St is a duplex located in Oakdale, within the West Allegheny School District. The property has off street parking and a covered rear patio.

ADDITIONAL PHOTOS



ADDITIONAL PHOTOS



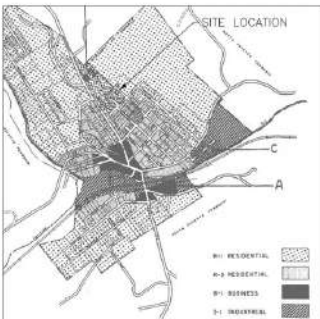
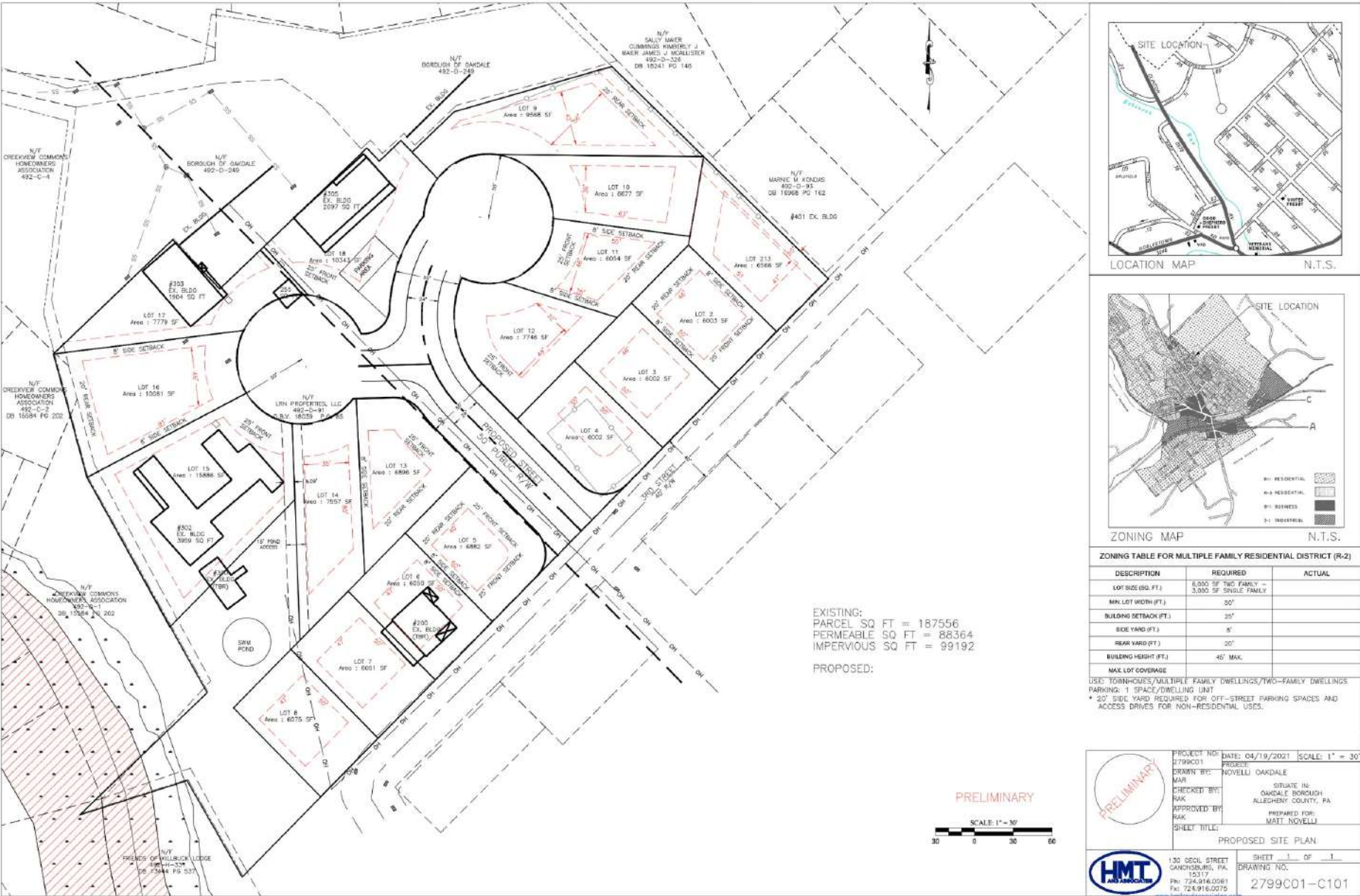
ADDITIONAL PHOTOS



ADDITIONAL PHOTOS



OAKDALE SUBDIVISION



ZONING TABLE FOR MULTIPLE FAMILY RESIDENTIAL DISTRICT (R-2)

DESCRIPTION	REQUIRED	ACTUAL
LOT SIZE (SQ. FT.)	6,000 SF TWO FAMILY = 3,000 SF SINGLE FAMILY	
MIN. LOT WIDTH (FT.)	30'	
BUILDING SETBACK (FT.)	25'	
SIDE YARD (FT.)	5'	
REAR YARD (FT.)	20'	
BUILDING HEIGHT (FT.)	45' MAX.	
MAX LOT COVERAGE		

USE: TOWNHOUSES/MULTIPLE FAMILY DWELLINGS/TWO-FAMILY DWELLINGS
PARKING: 1 SPACE/DWELLING UNIT
* 20' SIDE YARD REQUIRED FOR OFF-STREET PARKING SPACES AND ACCESS DRIVES FOR NON-RESIDENTIAL USES.

PROJECT NO: 2799C01 DATE: 04/19/2021 SCALE: 1" = 30'

DRAWN BY: NOVELLI OAKDALE

CHECKED BY: RAK

APPROVED BY: RAK

SHEET TITLE: PROPOSED SITE PLAN

130 DEOL STREET CANNONBURG, PA 15117 PH: 724.916.0361 FX: 724.916.0075

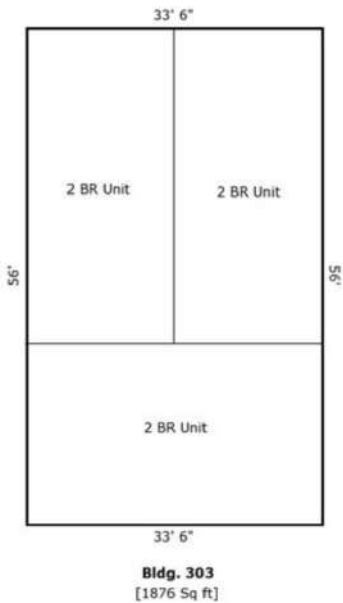
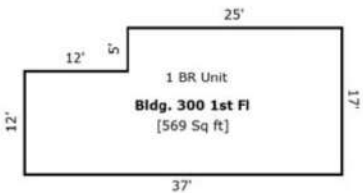
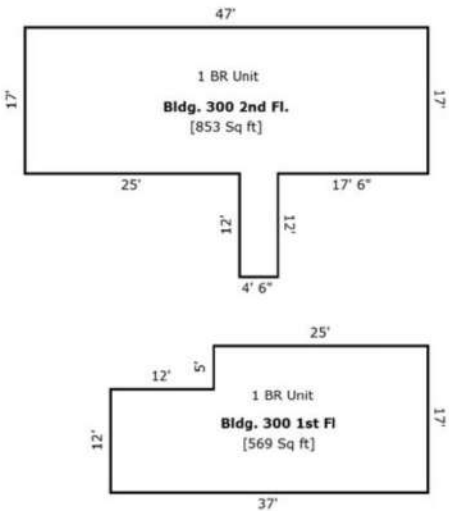
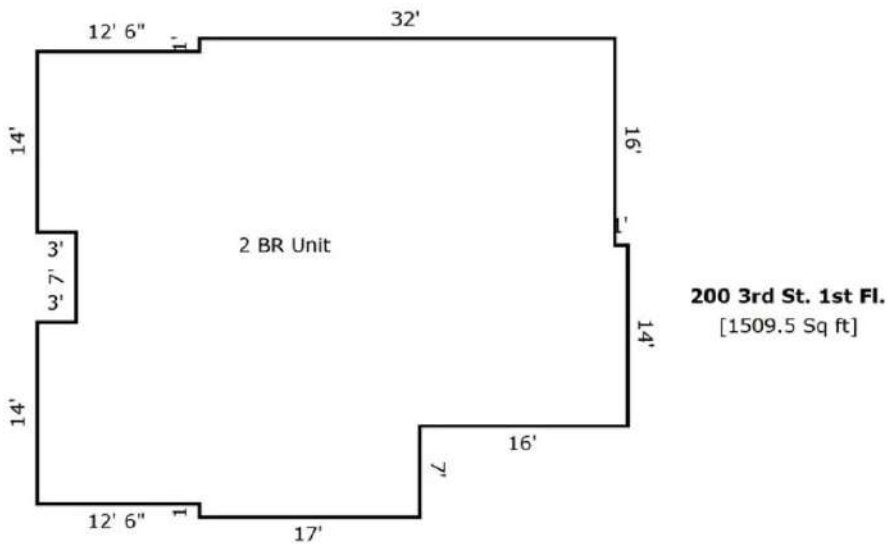
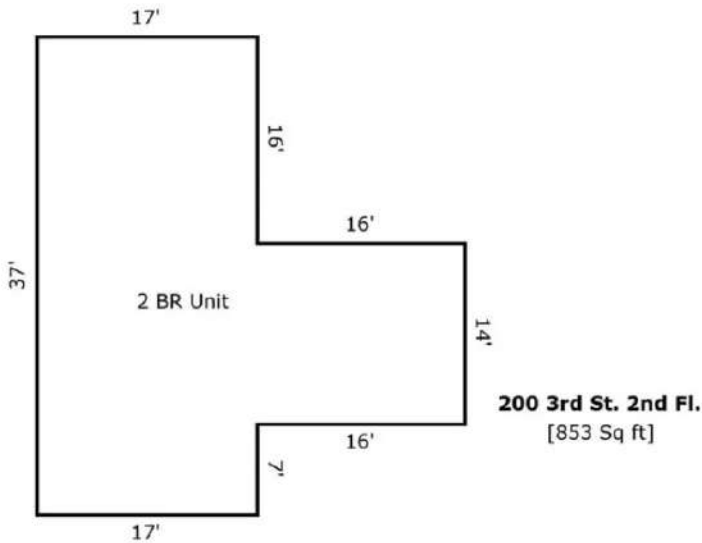
SHEET 1 OF 1 DRAWING NO. 2799C01-C101

EXISTING:
PARCEL SQ FT = 187556
PERMEABLE SQ FT = 88364
IMPERVIOUS SQ FT = 99192

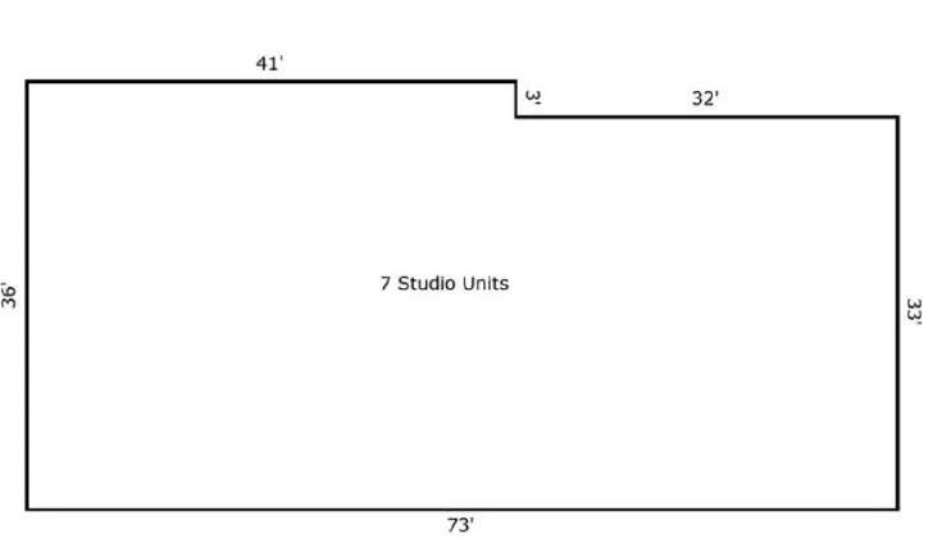
PROPOSED:



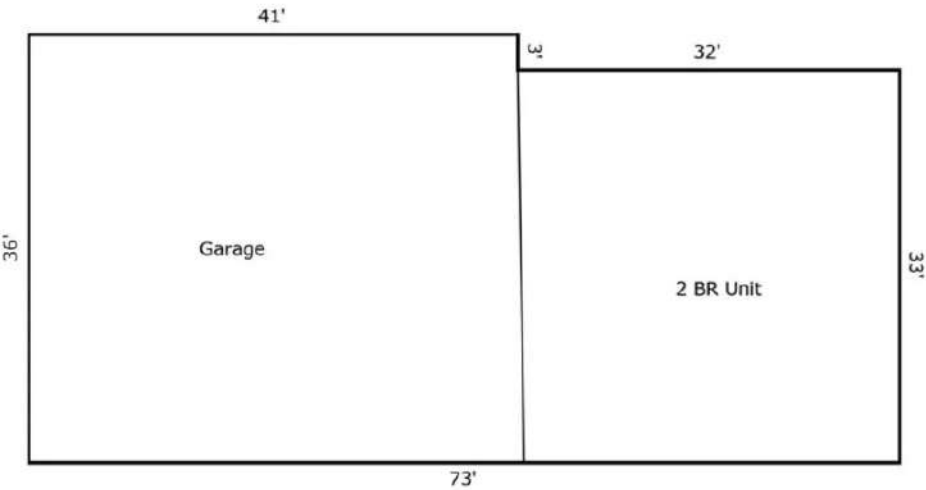
BUILDING SKETCH



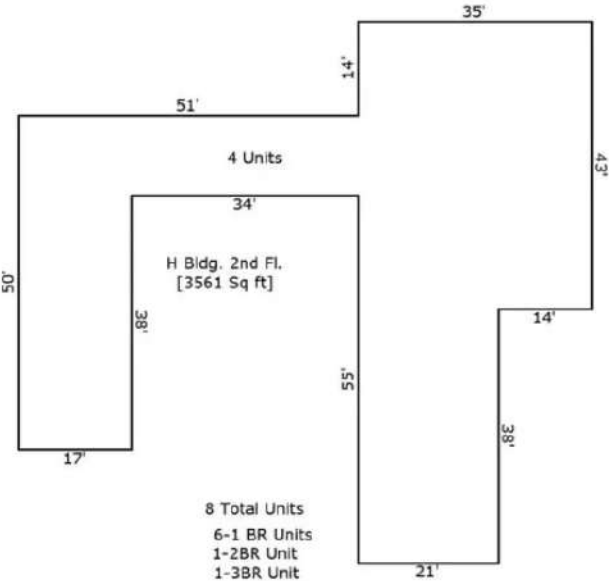
BUILDING SKETCH



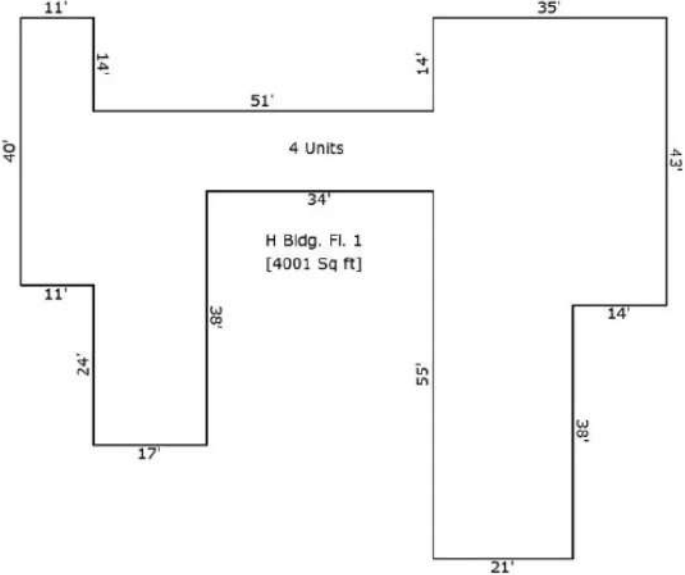
Bldg. 305 Fl. 2
[2532 Sq ft]



Bldg. 305 Fl. 1
[2532 Sq ft]

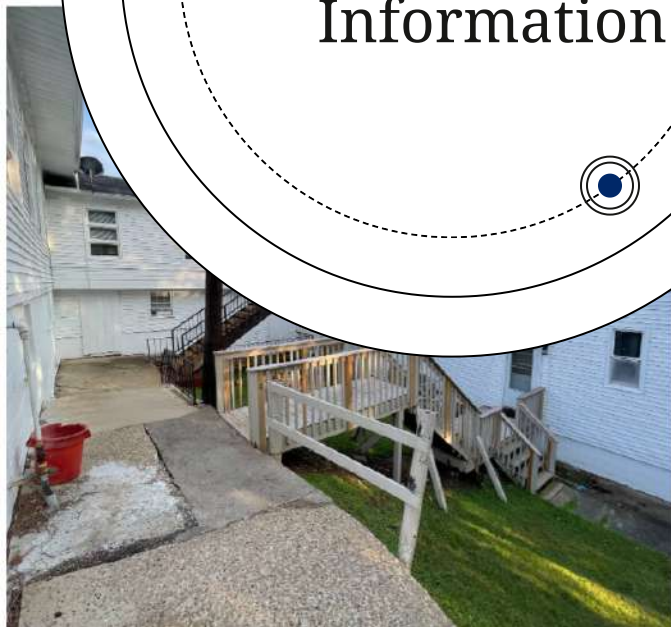
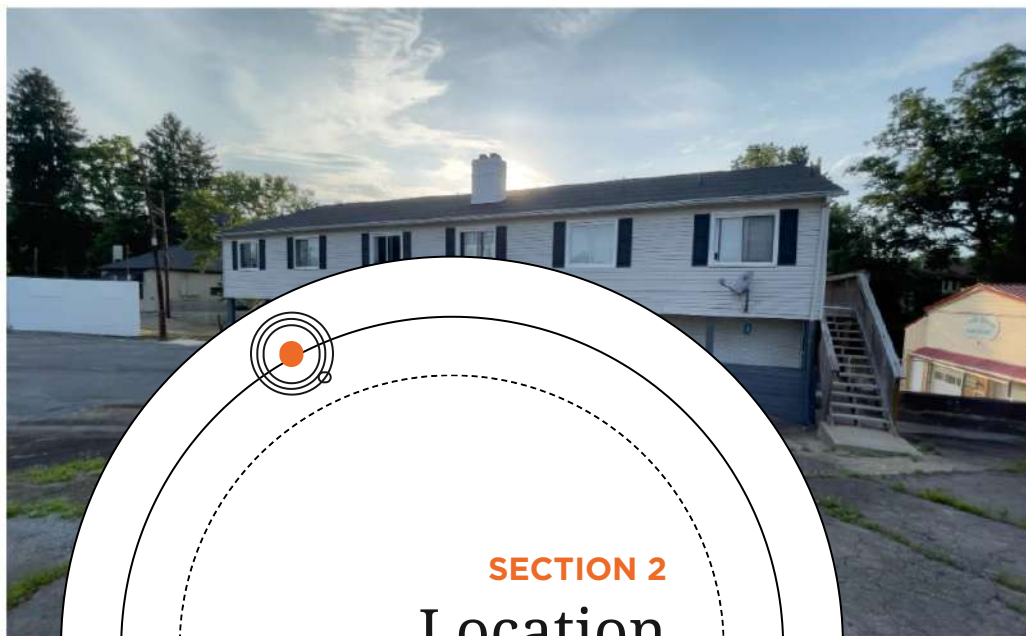


8 Total Units
6-1 BR Units
1-2BR Unit
1-3BR Unit

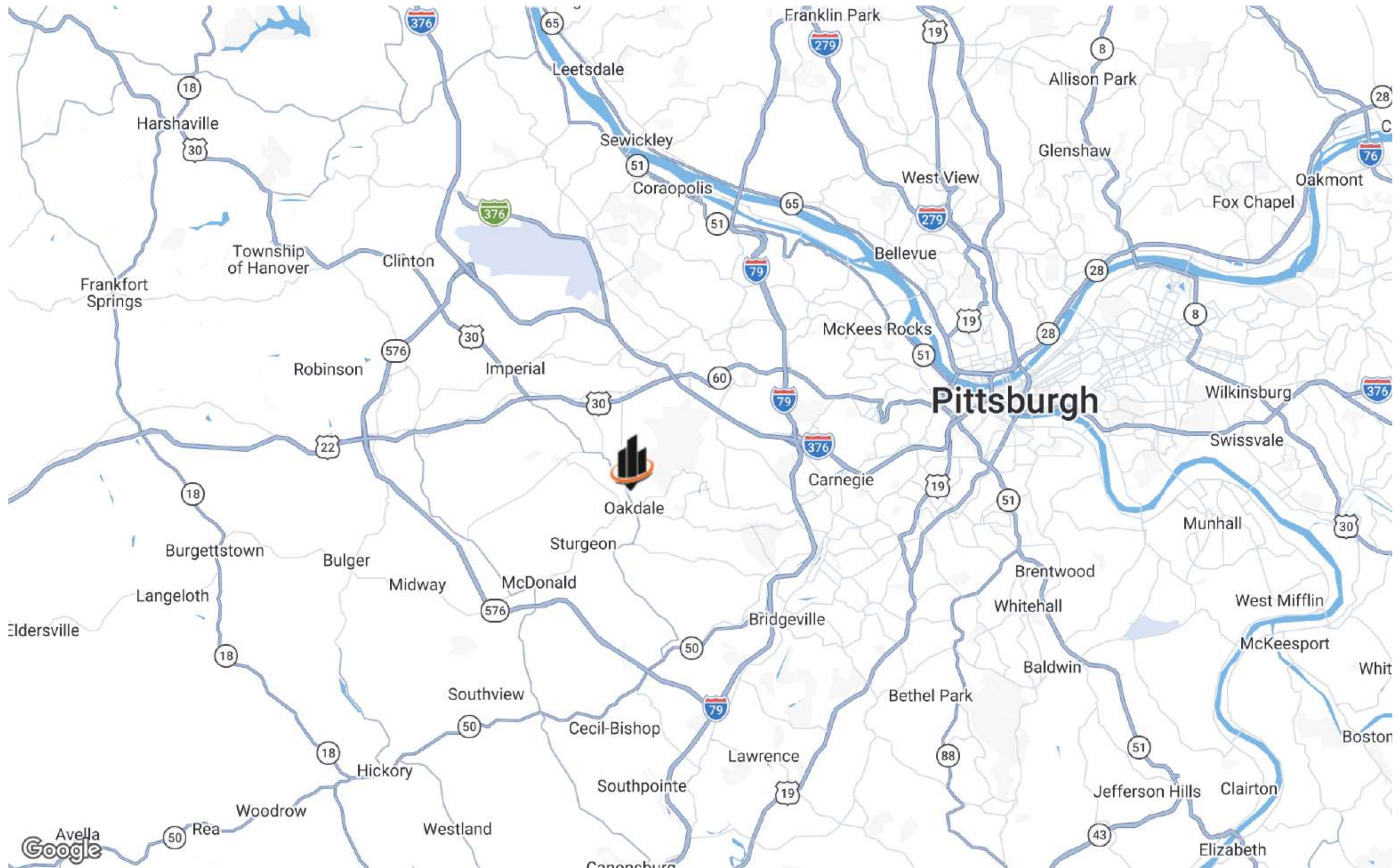


H Bldg. Fl. 1
[4001 Sq ft]

SECTION 2
Location
Information



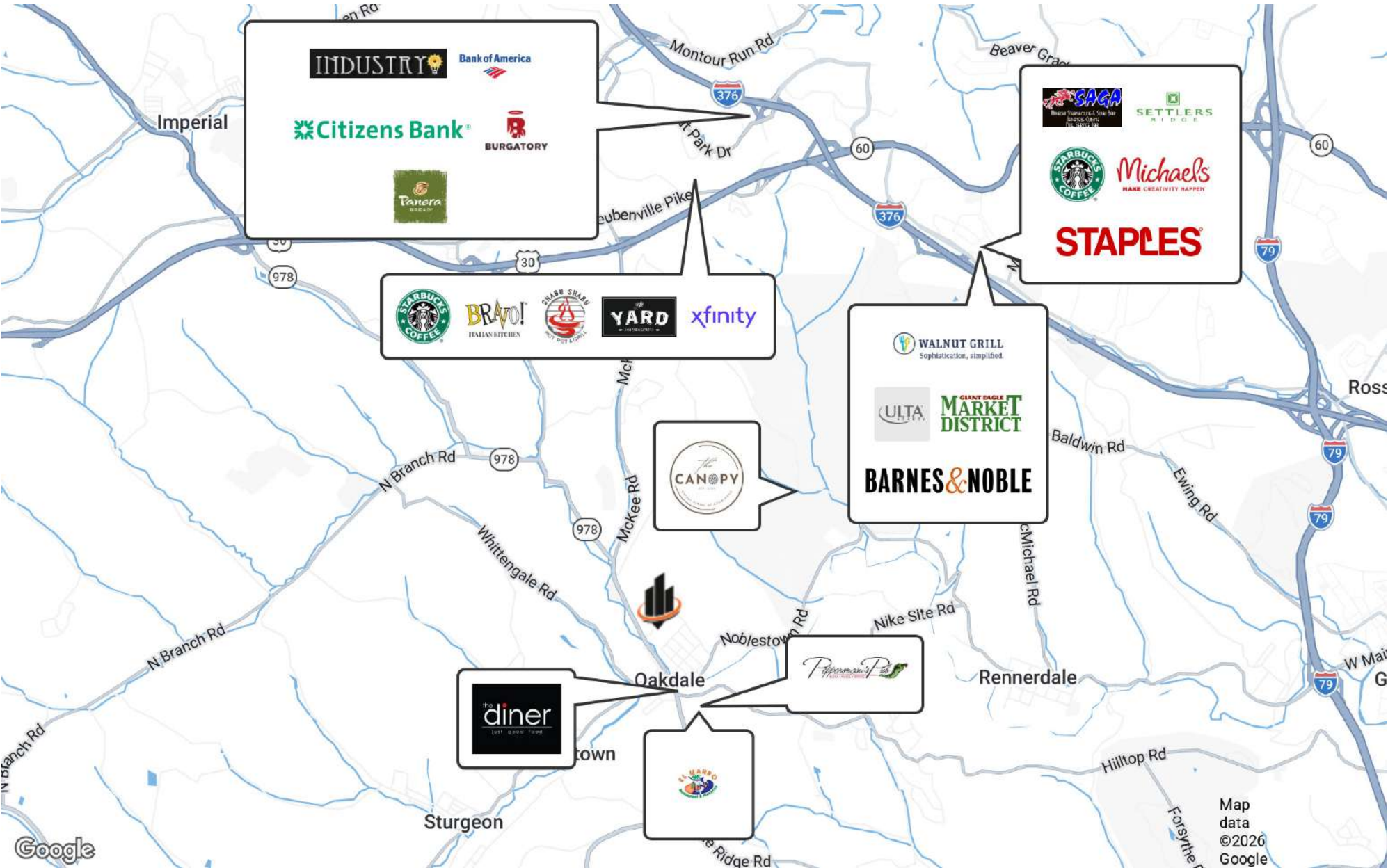
REGIONAL MAP



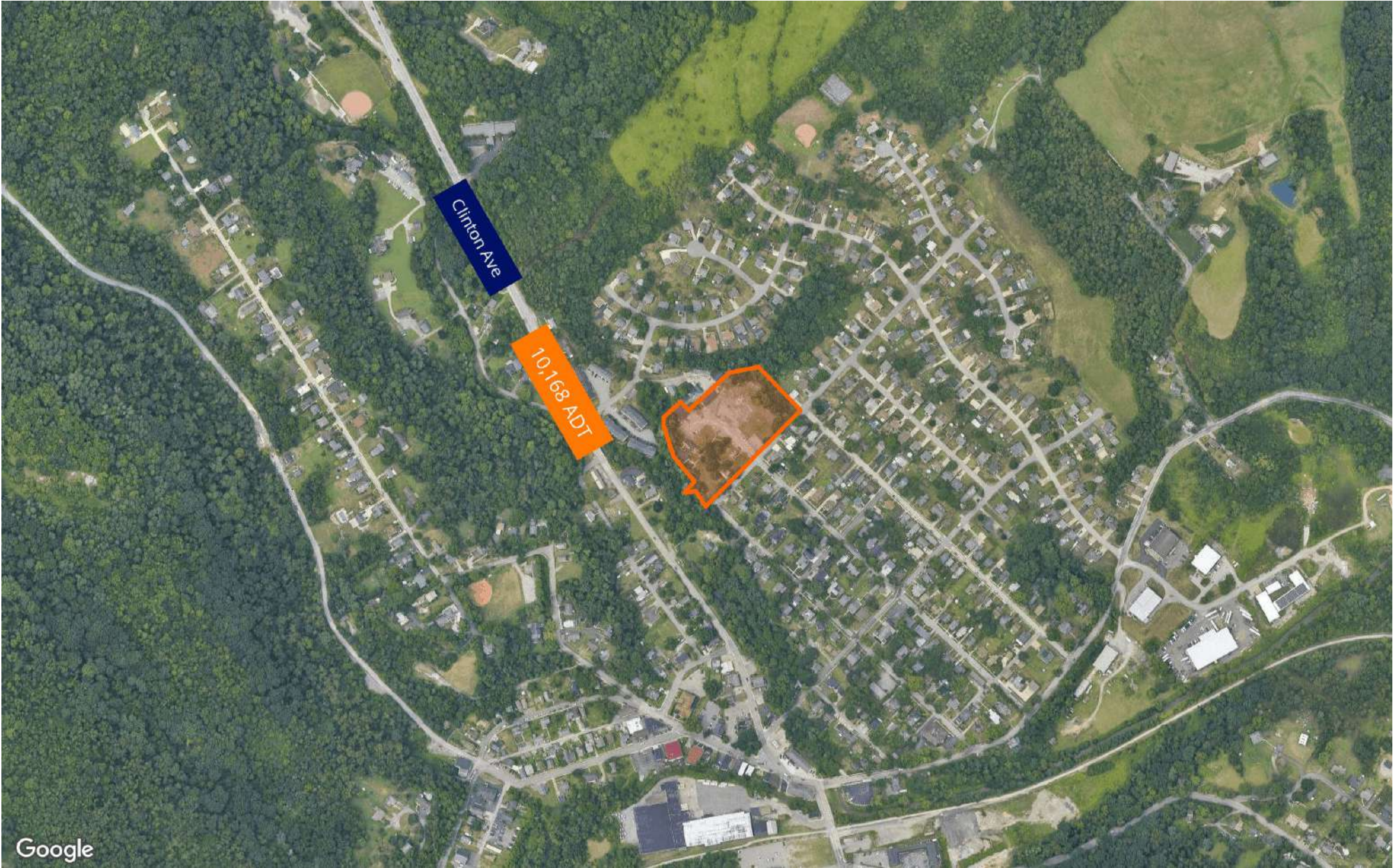
LOCATION MAP



RETAILER MAP



PARCEL MAP



DEMOGRAPHICS MAP & REPORT

POPULATION 0.25 MILES 0.5 MILES 1 MILE

TOTAL POPULATION	544	1,425	2,638
AVERAGE AGE	44.6	44.6	43.5
AVERAGE AGE (MALE)	38.3	38.7	40.2
AVERAGE AGE (FEMALE)	51.1	50.6	47.1

HOUSEHOLDS & INCOME 0.25 MILES 0.5 MILES 1 MILE

TOTAL HOUSEHOLDS	243	628	1,073
# OF PERSONS PER HH	2.2	2.3	2.5
AVERAGE HH INCOME	\$102,763	\$105,227	\$123,093
AVERAGE HOUSE VALUE	\$184,837	\$193,340	\$251,810

2023 American Community Survey (ACS)



LOCATION DESCRIPTION



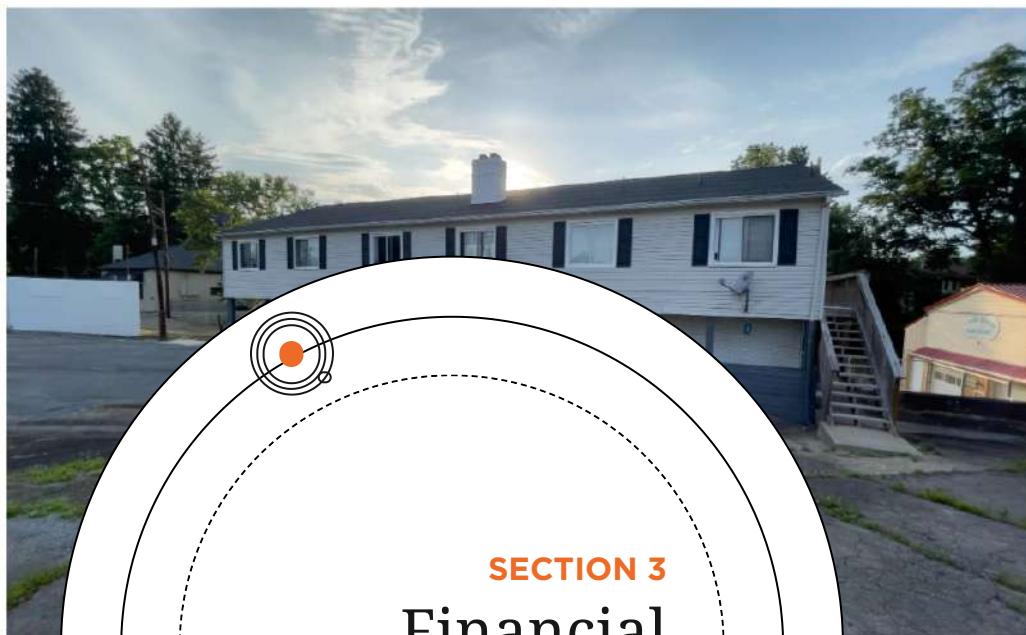
OAKDALE

Oakdale is a borough in Allegheny County, and a suburb of Pittsburgh. Oakdale is affectionately known as “America’s Hometown,” and is home to the Oakdale Inn, Sil’s Market and The ROCK. It is bordered by North Fayette Township to the north and South Fayette Township to the south.



ALLEGHENY

Allegheny County is a county in the southwestern part of Pennsylvania (PA). It is the second most populous county in PA following Philadelphia County. Allegheny County was the first in PA to be given a Native American name, being named after the Allegheny River. Allegheny County was created in September of 1788 from parts of Washington and Westmoreland counties and originally extended all the way north to the shores of Lake Erie and became the “Mother County” for most of northwestern PA before the counties current borders were set. The area developed rapidly throughout the 19th century to become the center of steel production in the nation. The county is known for the three major rivers that flow through it, the Allegheny, the Monongahela, and the Ohio Rivers. Allegheny County is home to three National Sports Teams, multiple major top ten companies as well as various colleges and universities. The county consists of 4 cities, 84 boroughs and 42 townships.



SECTION 3
Financial
Analysis



RENT ROLL

UNIT	BEDROOMS	BATHROOMS	RENT
305 Vincennes Ave - 1	-	-	\$650.00
305 Vincennes Ave - 2	-	-	\$625.00
305 Vincennes Ave - 3	-	-	\$625.00
305 Vincennes Ave - 4	-	-	\$650.00
305 Vincennes Ave - 5	-	-	\$600.00
305 Vincennes Ave - 6	-	-	\$650.00
305 Vincennes Ave - 7	-	-	\$625.00
305 Vincennes Ave - 8	2	1	\$700.00
303 Vincennes Ave - 1	2	1	\$750.00
303 Vincennes Ave - 2	2	1	\$725.00
303 Vincennes Ave - 3	2	1	\$750.00
302 Vincennes Ave - 1	1	1	\$700.00
302 Vincennes Ave - 2	3	1	\$1,000.00
302 Vincennes Ave - 4	1	1	\$700.00
302 Vincennes Ave - 5	1	1	\$700.00
302 Vincennes Ave - 6	1	1	\$700.00
302 Vincennes Ave - 7	1	1	\$725.00
302 Vincennes Ave - 8	1	1	\$700.00
302 Vincennes Ave - 9	2	2	\$500.00
300 Vincennes Ave - 1	1	1	\$700.00

RENT ROLL

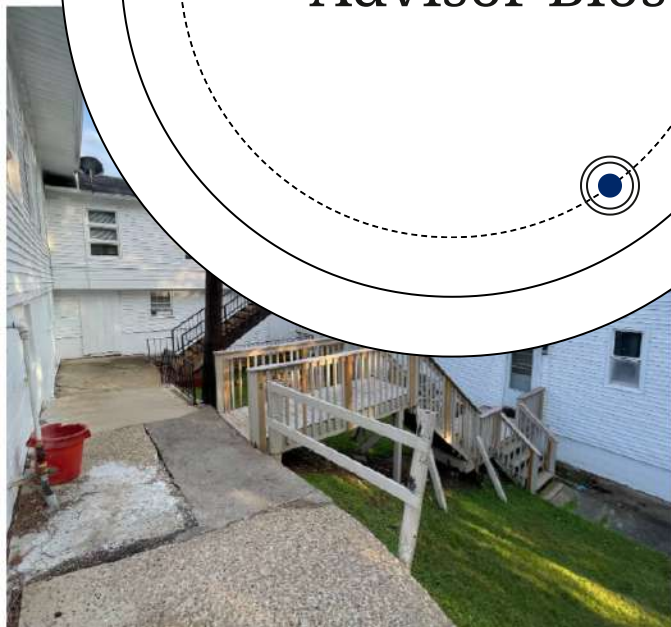
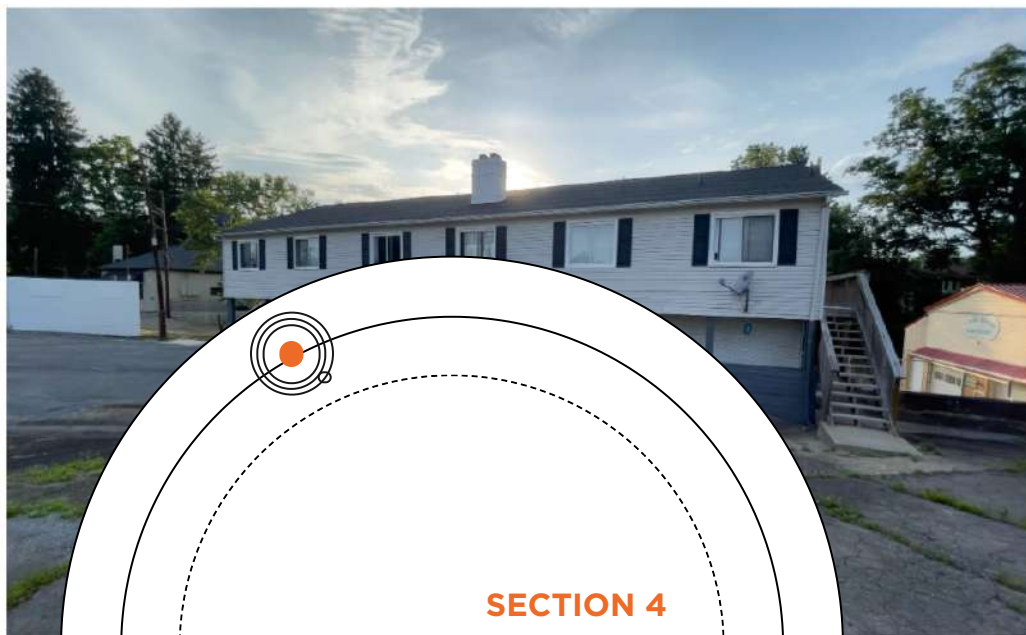
UNIT	BEDROOMS	BATHROOMS	RENT
300 Vincennes Ave - 2	1	1	\$700.00
200 Third St - 1	3	1	\$1,225.00
200 Third St - 2	2	1	\$850.00
Garage	-	-	\$1,000.00
TOTALS			\$17,550.00

INCOME & EXPENSES

INCOME SUMMARY	Amount	Amount/Unit
RENT	\$210,600	\$9,157
VACANCY (5%)	\$10,530	\$458
TOTAL INCOME	\$200,070	\$8,699

EXPENSE SUMMARY		
TAXES	\$12,177	\$529
INSURANCE	\$9,702	\$422
TRASH	\$1,752	\$76
WATER & SEWAGE	\$19,944	\$867
ELECTRIC & GAS	\$11,616	\$505
PROPERTY MANAGEMENT (8%)	\$16,006	\$696
MAINTENANCE	\$11,500	\$500
GROSS EXPENSES	\$82,697	\$3,596
NET OPERATING INCOME	\$117,373	\$5,103

SECTION 4
Advisor Bios



ADVISOR BIO 1



JASON CAMPAGNA

Managing Director
jason.campagna@svn.com
Cell: 724.825.3137

PA #RM424399

PROFESSIONAL BACKGROUND

Jason Campagna serves as a managing partner and senior advisor for SVN | Three Rivers Commercial Advisors. Jason started his commercial real estate brokerage career in 2002. He is experienced in all asset types of commercial real estate and is proficient in investment property sales.

Jason advises on commercial real estate property types such as multifamily, retail, shopping centers and office buildings. The bulk of his transactions are investment sales of multi-family, retail plazas, STNL Retail, Multi-tenant office and various other investment producing property types.

Proficiencies include: 1031 I.R.S. Tax Deferred Exchanges; cash flow analysis calculations, re-positioning analysis and renovation and forecasting.

Jason was born and raised in the South Hills area of Pittsburgh. Between 2002 and 2017 Jason resided in Phoenix, AZ and worked as a commercial real estate broker specializing in multi-family sales. He now resides in the South Hills with his wife and 4 children.

EDUCATION

Canon McMillian H.S. - 1993
Slippery Rock University B.S. Environmental Science - 1998

SVN | Three Rivers Commercial Advisors
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412.535.8050

ADVISOR BIO 2



GRANT UNDERWOOD

Associate Advisor
grant.underwood@svn.com
Cell: 412.715.4160

PROFESSIONAL BACKGROUND

Grant Underwood serves as an Associate Advisor at SVN | Three Rivers Commercial. He brings five years of industry experience in residential sales, investment acquisitions, and new construction.

Prior to joining SVN, Grant worked as a Real Estate Acquisitions Manager for CZ Capital, and as a Community Sales Manager at Maronda Homes.

Grant was born in the South Hills, and graduated from the University of Pittsburgh with a degree in Business Finance.

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