

CODE REFERENCES:

JURISDICTION: SAVANNAH, CHATHAM COUNTY, GEORGIA.

GENERAL NOTE: ALL CODES TO INCLUDE CURRENT GEORGIA AMENDMENTS

- A. ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH ALL CURRENT EDITIONS AND REVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES.
- B. ALL INSTALLATIONS OF ELECTRICAL SYSTEMS SHALL COMPLY WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT, EQUIPMENT, APPLIANCES, FIXTURES AND FITTINGS.
- C. ALL INSTALLATIONS OF GAS SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL FUEL GAS CODE (IFGC), INCLUDING GAS PIPING FROM POINT OF DELIVERY AND GAS APPLIANCES.
- D. ALL INSTALLATIONS OF MECHANICAL SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT OF MECHANICAL SYSTEMS.
- E. ALL INSTALLATIONS OF PLUMBING SYSTEMS SHALL COMPLY WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC), INCLUDING ALTERATIONS, REPAIRS, REPLACEMENT, EQUIPMENT, APPLIANCES, FIXTURES AND FITTINGS.
- F. ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH ALL CURRENT EDITIONS AND REVISIONS OF THE 2018 INTERNATIONAL FIRE CODE (IFC), INCLUDING ALL FIRE CODES ADOPTED BY THE STATE OF GEORGIA.
- G. ALL CONSTRUCTION, ALTERATIONS, MOVEMENT, ENLARGEMENT, REPLACEMENT, AND REPAIR SHALL COMPLY WITH THE 2010 GEORGIA ACCESSIBILITY STANDARDS, THE 2018 LIFE SAFETY CODE (NFPA 101), THE AMERICANS WITH DISABILITIES ACT (ADA).
- H. ALL DESIGN AND MATERIALS SHALL COMPLY WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, (IECC).

PROJECT DESCRIPTION:

NO CHANGE IN OCCUPANCY TYPE (BUSINESS)
 LIFE SAFETY PLAN FOR FIRST FLOOR BUSINESS OCCUPANCY
 ONLY FIRST FLOOR BEING USED AS BUSINESS OCCUPANCY
 TOTAL GROSS SQUARE FOOTAGE OF FIRST FLOOR OF STRUCTURE: 2,533
 NO WORK BEING CONDUCTED WITHIN HISTORIC STRUCTURE.
 NO EXTERIOR WORK BEING CONDUCTED. ALL ADA ACCESSIBILITY WILL BE THROUGH ONLINE ACCESS.

- 1. (6) PRIVATE OFFICES (RANGING FROM 187-384 SF) NET S.F. 150/PERSON = 12
 - 2. ACCESSORY STORAGE TO BUSINESS 236 NET S.F. 300/PERSON = 2 (2 SEPARATE SPACES)
 - 3. ACCESSORY BREAKROOM TO BUSINESS 200 SF NET S.F. 150/PERSON = 2
- TOTAL OCCUPANTS = 16**

LONGEST TRAVEL DISTANCE TO PUBLIC WAY 75'-0"

GENERAL NOTES:

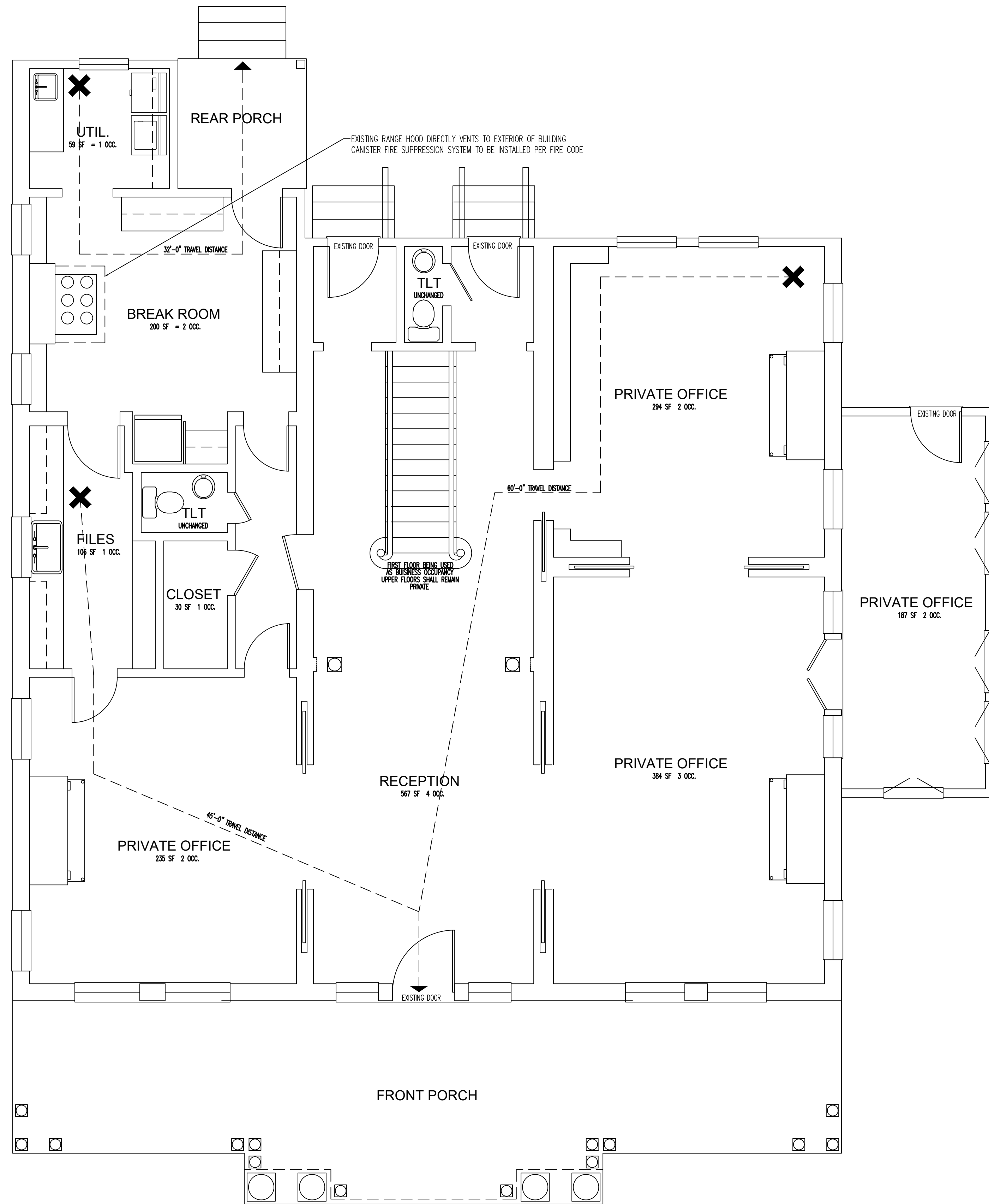
- 1. ALL ELECTRICAL WORK SHALL BE COMPLETED BY LICENSED GA ELECTRICAL CONTRACTOR
- 2. ALL MECHANICAL WORK SHALL BE COMPLETED BY LICENSED GA HVAC CONTRACTOR
- 3. ALL PLUMBING WORK SHALL BE COMPLETED BY LICENSED GA PLUMBING CONTRACTOR
- 4. ALL ELECTRICAL, MECHANICAL, AND PLUMBING SHALL BE TIED BACK TO EXISTING SYSTEMS
- 5. NO CHANGE TO INTERIOR OF HISTORIC STRUCTURE
- 6. SERVICE SINK PROVIDED
- 7. NO DRINKING FOUNTAIN REQUIRED. WATER PROVIDED AT BREAKROOM

SECTION R317

PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY

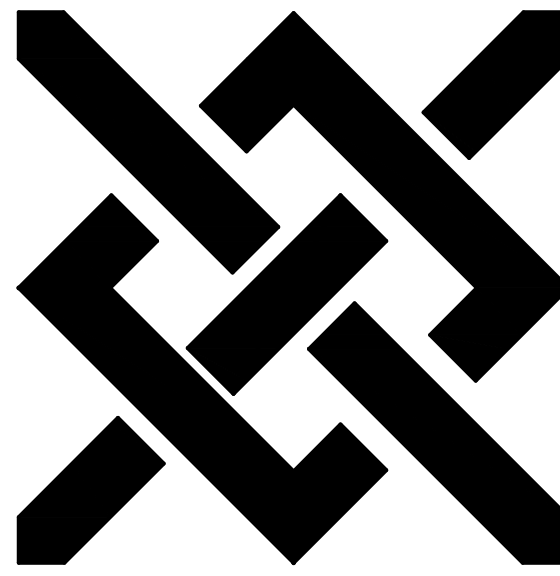
R317.1 Location required. Protection of wood and woodbased products from decay shall be provided in the following locations by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1.

- 1. Wood joists or the bottom of a wood structural floor where closer than 18 inches (457 mm) or wood girders where closer than 12 inches (305 mm) to the exposed ground in crawl spaces or unexcavated area located within the periphery of the building foundation.
- 2. Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches (203 mm) from the exposed ground.
- 3. Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated from such slab by an impervious moisture barrier.
- 4. The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch (12.7 mm) on tops, sides and ends.
- 5. Wood siding, sheathing and wall framing on the exterior of a building having a clearance of less than 6 inches (152 mm) from the ground or less than 2 inches (51 mm) measured vertically from concrete steps, porch slabs, patio slabs and similar horizontal surfaces exposed to the weather.
- 6. Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
- 7. Wood furring strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the furring strips or framing members.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMETRIUS HUDDLESTON
 Architect

SAVANNAH, GEORGIA
 912.667.8830
 archimech@aol.com

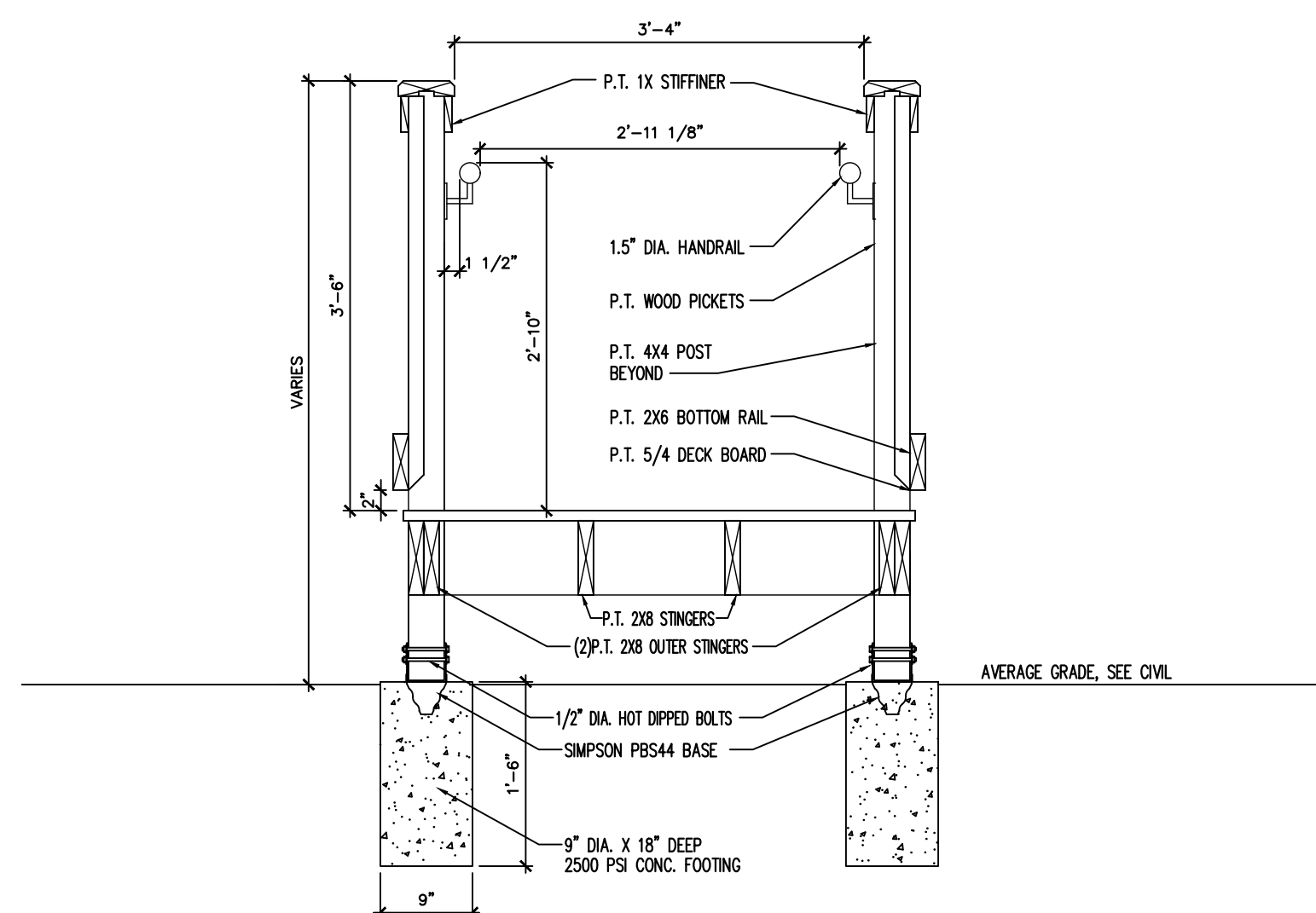
LIFE SAFETY PLAN
18 WEST 34TH STREET

SAVANNAH, GEORGIA

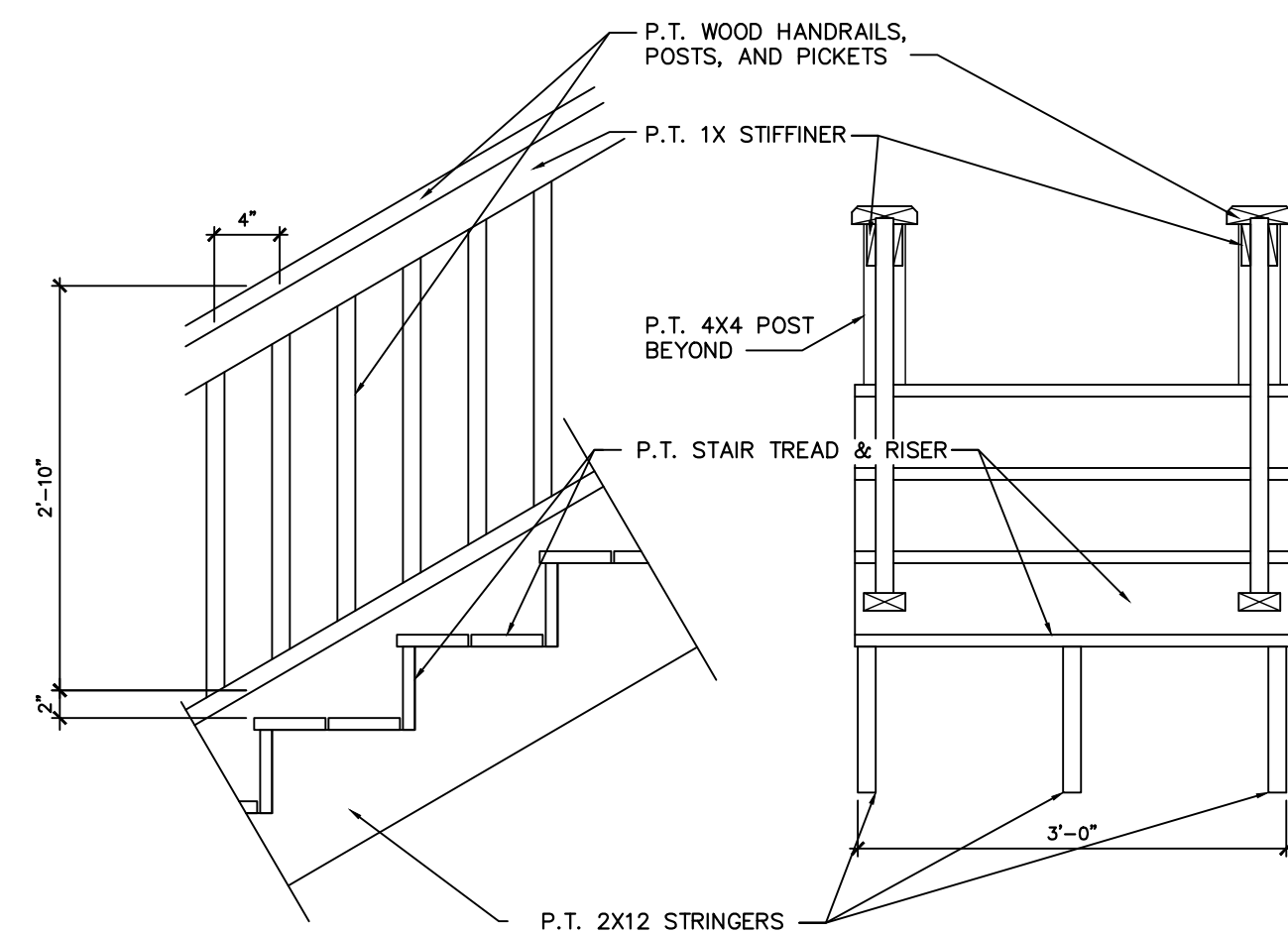
THE PLANS, ELEVATIONS, DRAWINGS, ILLUSTRATIONS, AND OTHER MATERIAL CONTAINED WITHIN THIS SET ARE THE PROPERTY OF DEMETRIUS F. HUDDLESTON, ARCHITECT, AND MAY NOT BE REPRODUCED, EITHER IN PART OR WHOLLY, IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF DEMETRIUS F. HUDDLESTON. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS CONTAINED WITHIN THIS SET OF DOCUMENTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR IMMEDIATE RESOLUTION.

DRAWN BY DPH
 CHECKED BY DPH
 DATE 20240803
 SCALE AS SHOWN
 JOB NO. - -

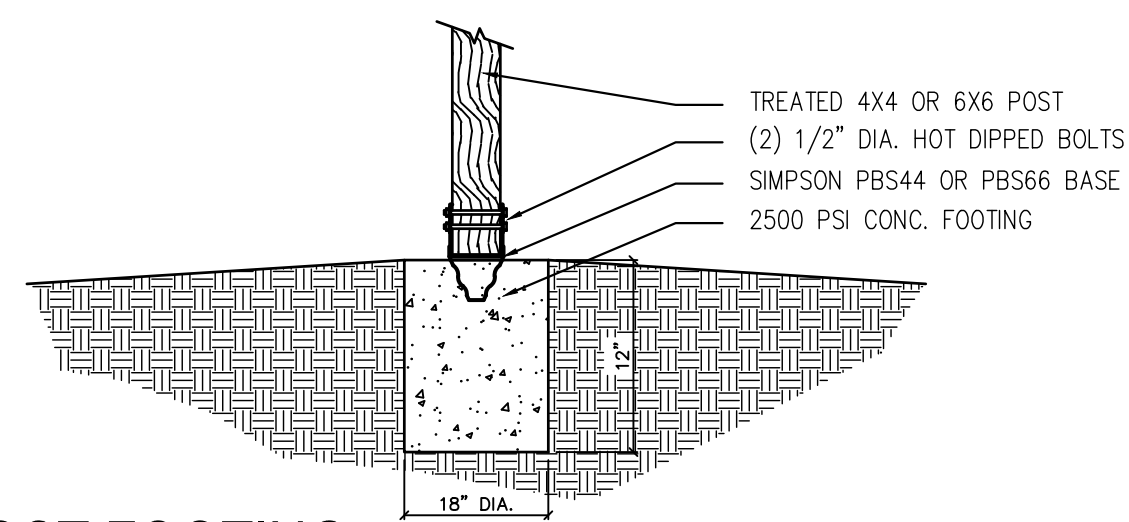
LS-1
 SHEET



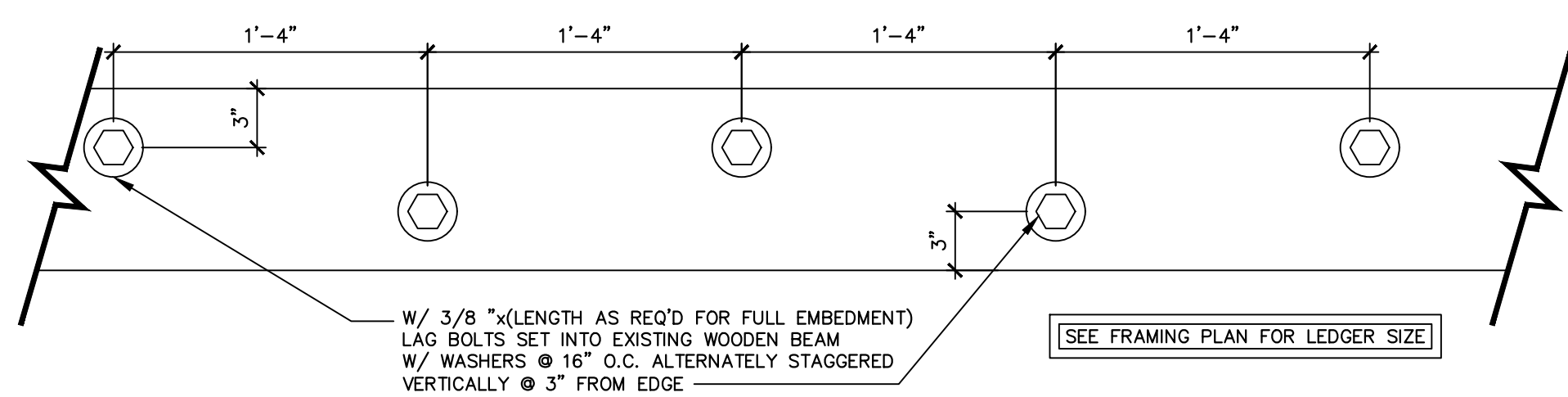
RAMP SECTION
SCALE: 3/4" = 1'-0"



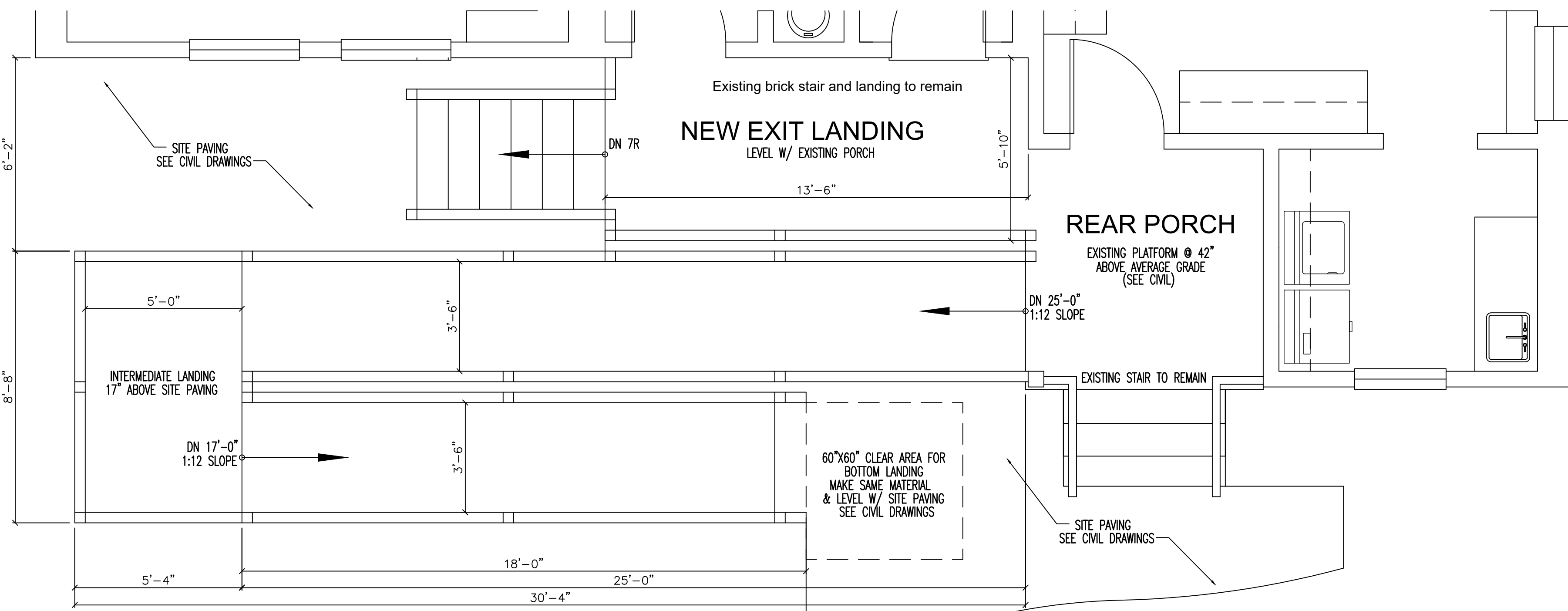
STAIR DETAIL
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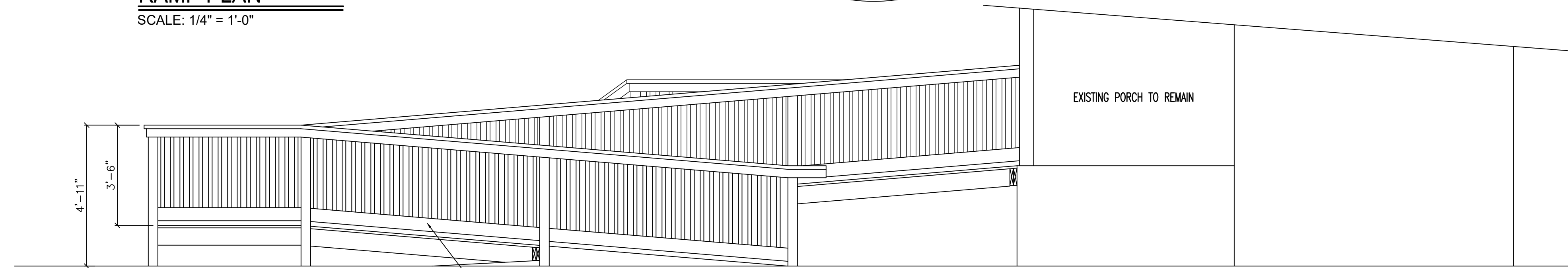
POST FOOTING
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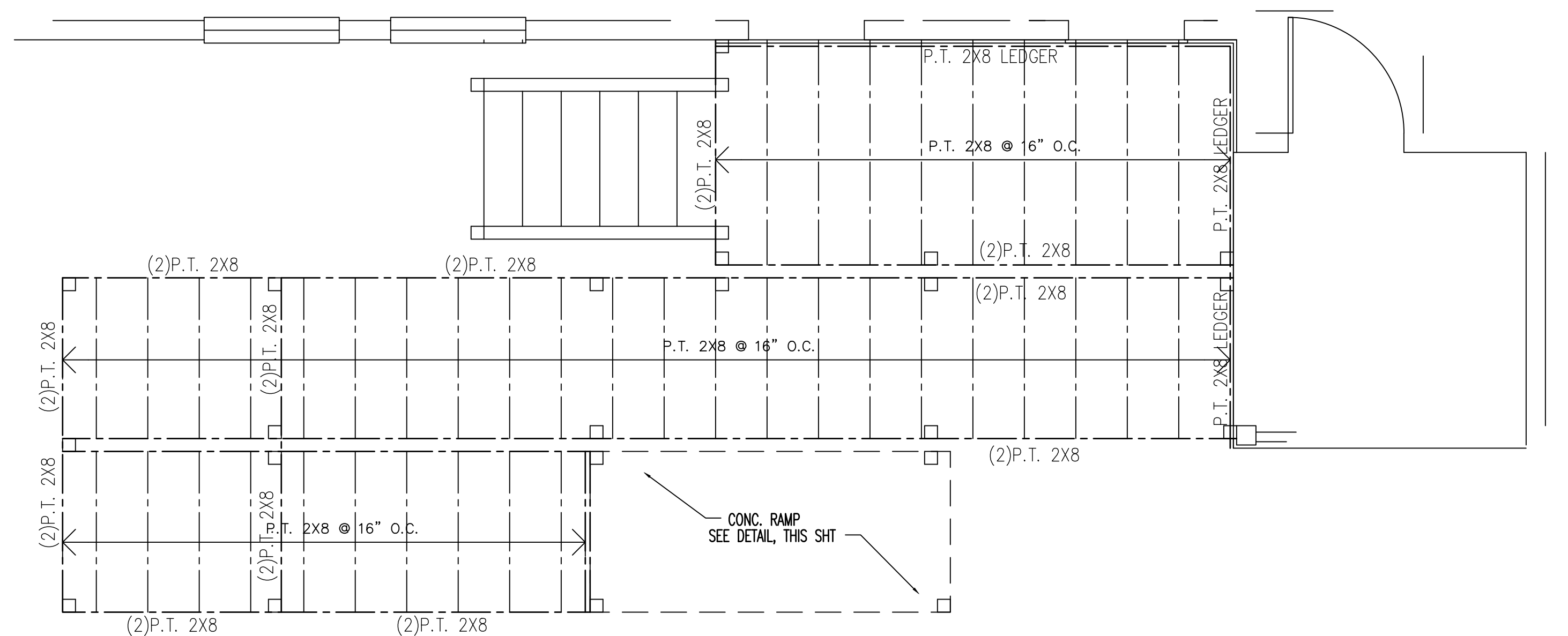
LEDGER DETAIL
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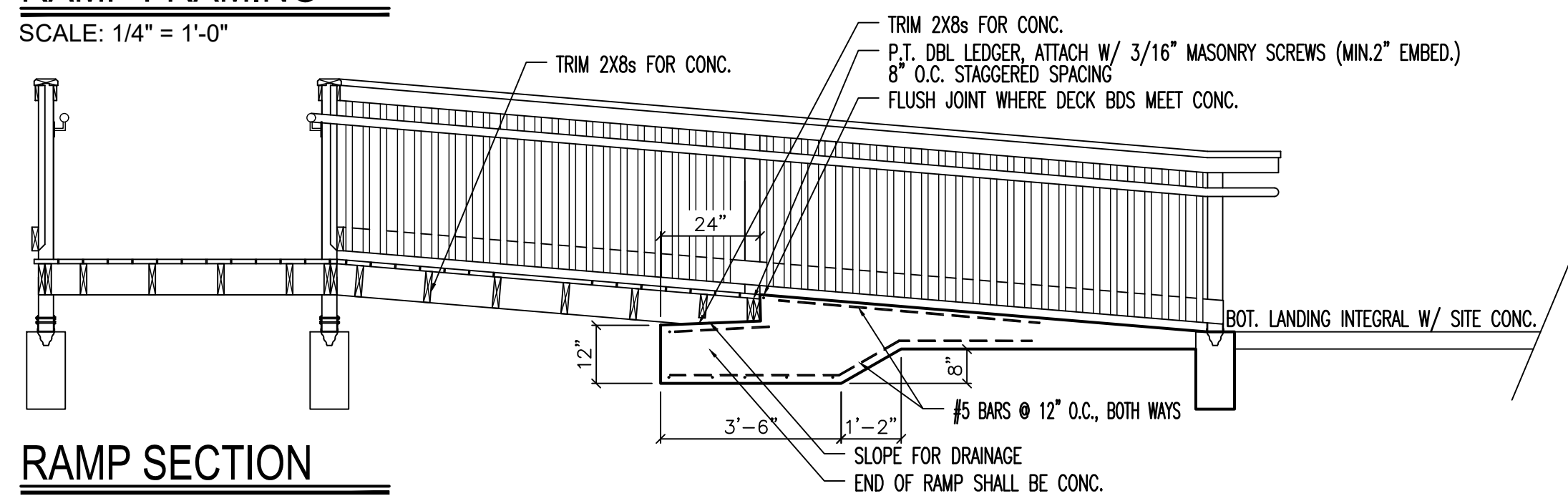
RAMP PLAN
SCALE: 1/4" = 1'-0"



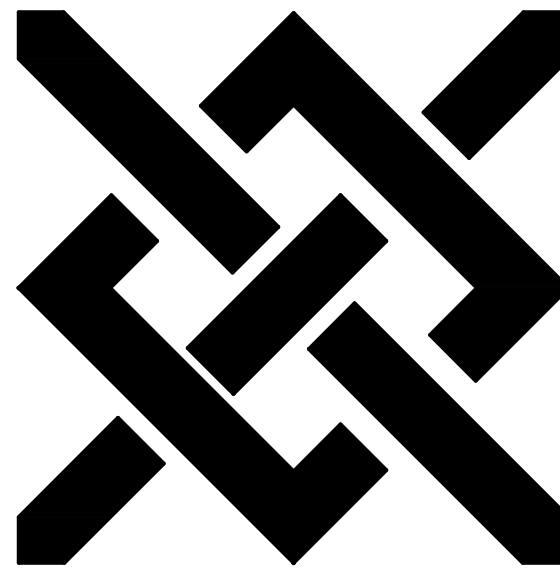
RAMP ELEVATION
SCALE: 1/4" = 1'-0"



RAMP FRAMING
SCALE: 1/4" = 1'-0"



RAMP SECTION
SCALE: 1/4" = 1'-0"



DEMETRIUS HUDDLESTON
Architect

SAVANNAH, GEORGIA
912.667.8830
archimech@aol.com

ADA RAMP FOR:
18 WEST 34TH STREET

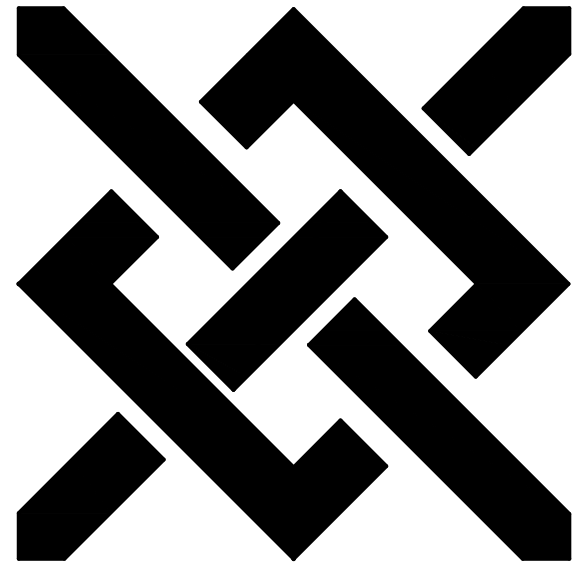
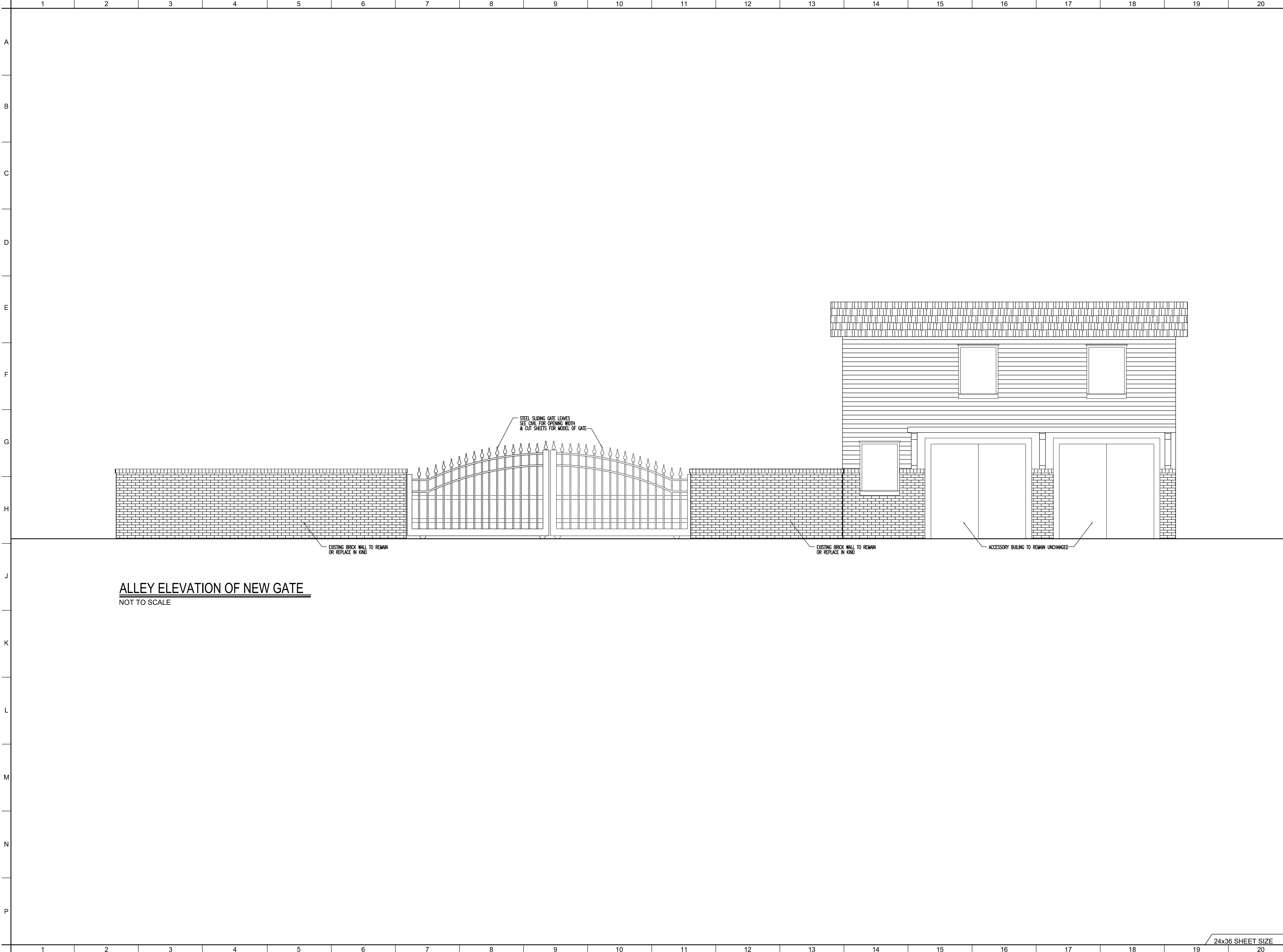
SAVANNAH, GEORGIA

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DRAWN BY: DPH
CHECKED BY: DPH
DATE: 20240803
SCALE: AS SHOWN
JOB NO.:

LS-2
SHEET

24x36 SHEET SIZE



**DEMETRIUS
HUDDLESTON**
Architect

SAVANNAH, GEORGIA
912.667.8830
archimeech@aol.com

**ALLEY GATE ACCESS FOR:
18 WEST 34TH STREET**

SAVANNAH, GEORGIA

ALLEY ELEVATION OF NEW GATE
NOT TO SCALE

THE PLANS ELEVATIONS, DRAWINGS, ILLUSTRATIONS, AND OTHER MATERIAL CONTAINED WITHIN THIS SET ARE THE PROPERTY OF DEMETRIUS F. HUDDLESTON, ARCHITECT, AND MAY NOT BE REPRODUCED, EITHER IN PART OR WHOLLY, IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION ON DEMETRIUS F. HUDDLESTON. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS CONTAINED WITHIN THIS SET OF DOCUMENTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR IMMEDIATE RESOLUTION.

DRAWN BY	DFH
CHECKED BY	DFH
DATE	20240803
SCALE	AS SHOWN
JOB NO.	- -

A-3
SHEET

24x36 SHEET SIZE

MINOR SITE PLANS FOR:

18th EAST 34th STREET

CITY OF SAVANNAH

CHATHAM COUNTY, GEORGIA

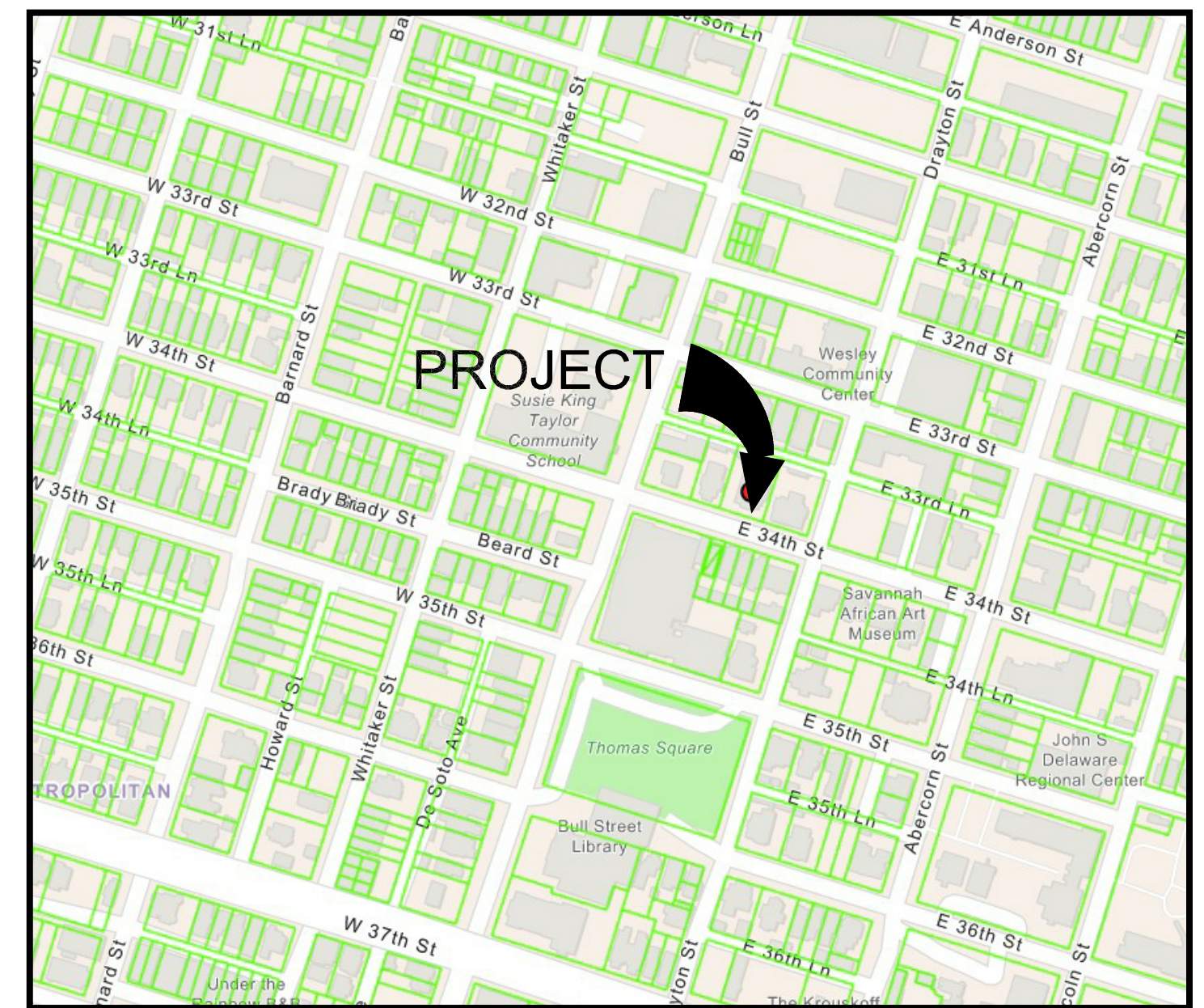
TAX PARCEL ID #20053-37003

SIZE: 0.2686 AC

DISTURBED AREA: 2800 SF

FLOOD ZONE: X

ZONING: TN-2



VICINITY MAP
NTS

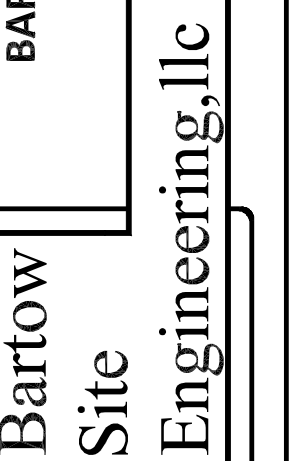
INDEX OF DRAWINGS FOR CONSTRUCTION

COVER	G1
NOTES AND DETAILS	G2
SURVEY AND DEMO	VF-01
DIMENSION PLAN	DP-01
SITE PLAN	CS-01



REVISIONS

BARTOW SITE ENGINEERING, LLC
 209 WOOD DUCK WAY
 SPRINGFIELD, GA 31329
 (912) 856-3289
 pbartsmith@yahoo.com



CIVIL CONSTRUCTION PLANS
18TH EAST 34TH STREET

COVER AND INDEX

SHEET NUMBER
G1



DISTURBED AREA IS LESS THAN 1 ACRE. ES&PC PLANS ARE NOT REQUIRED FOR PERMITTING

DEMOLITION AND REMOVAL NOTES:

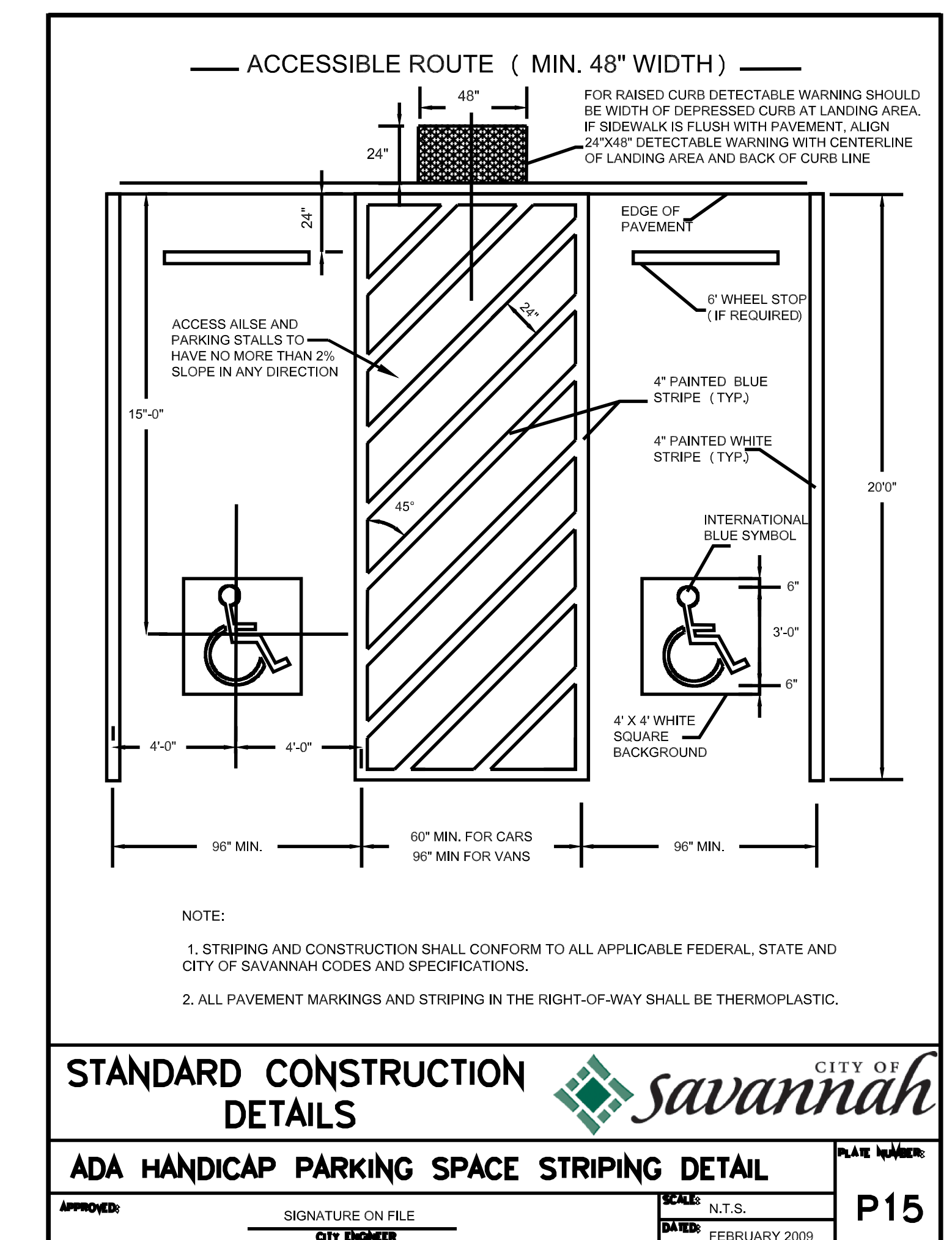
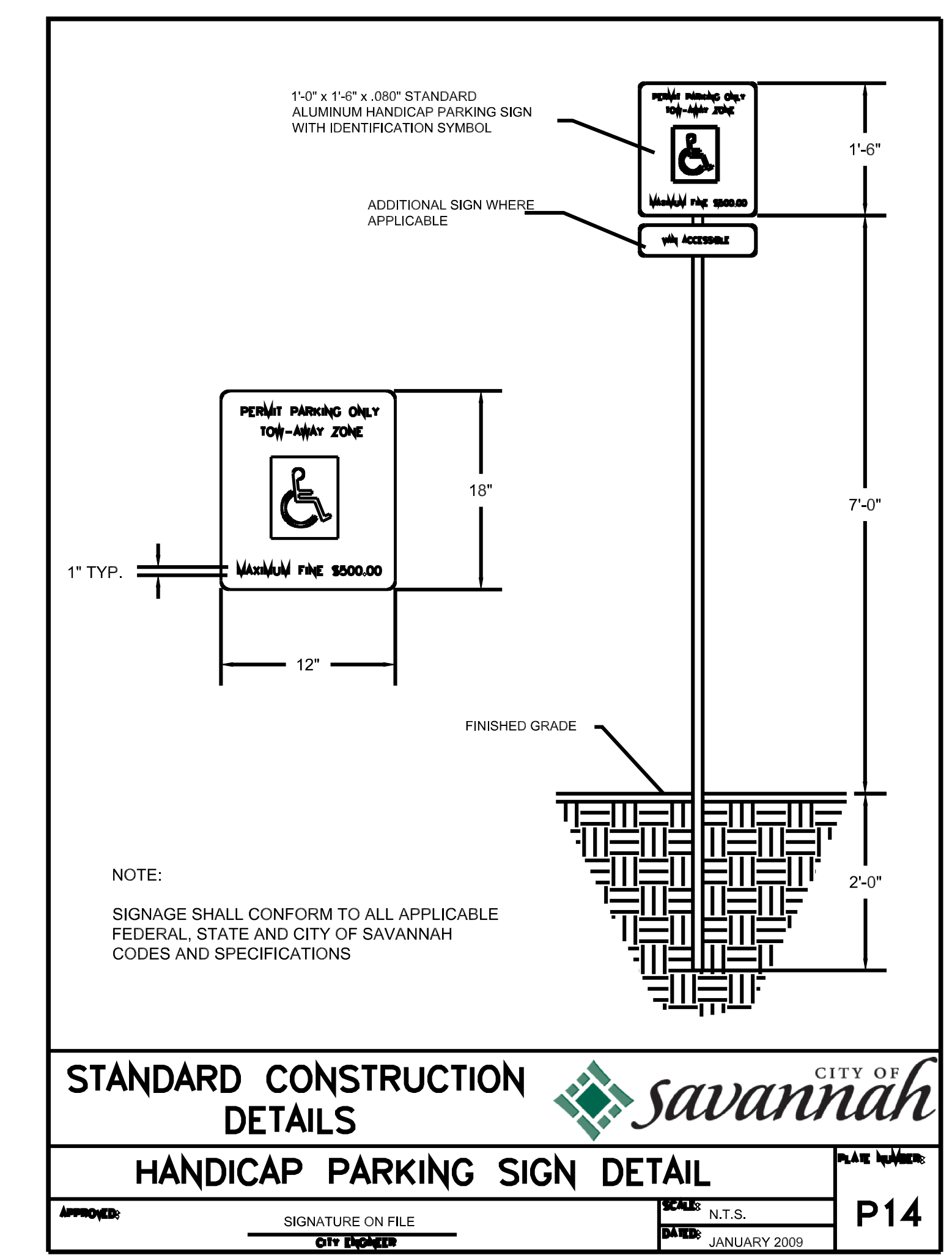
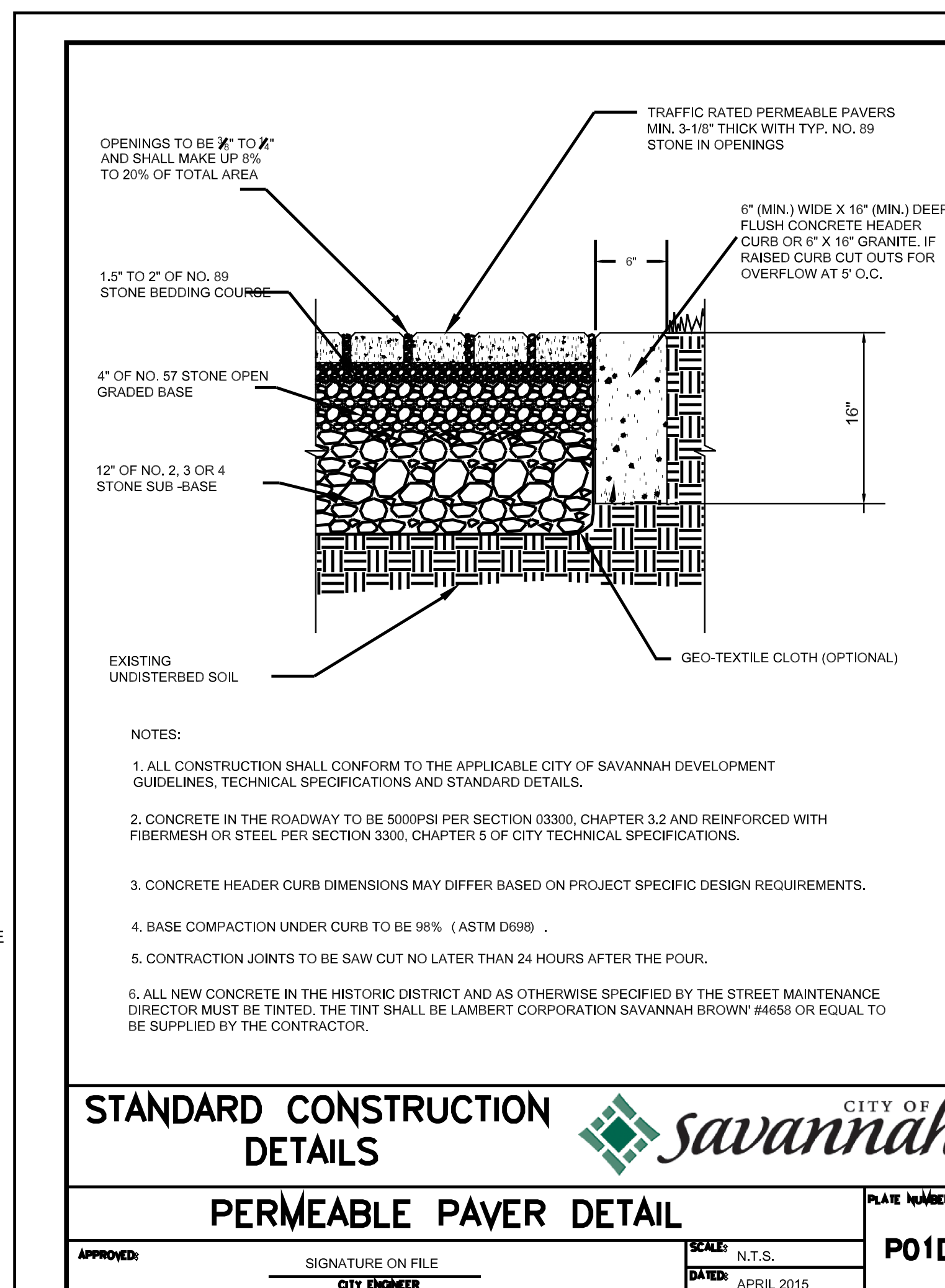
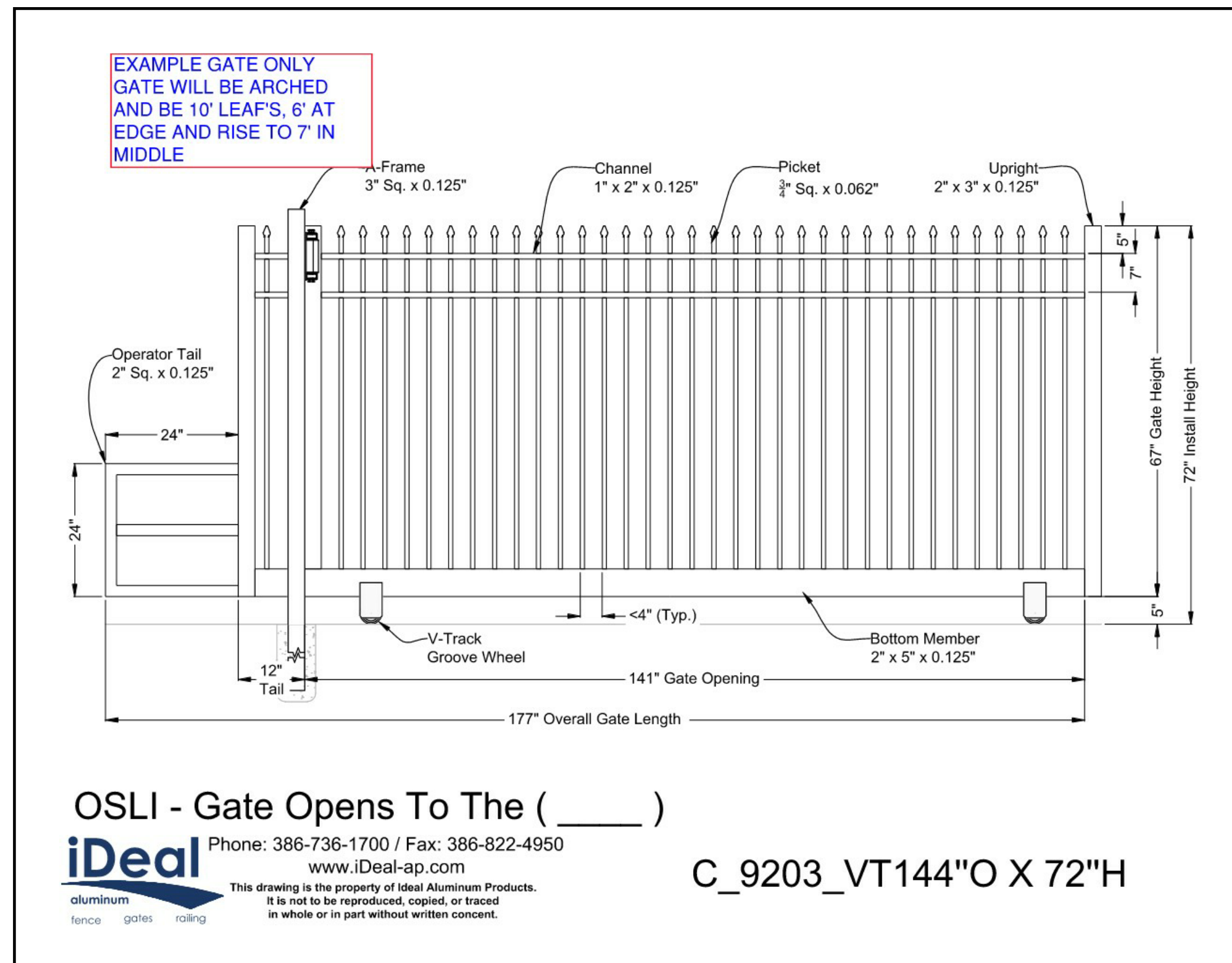
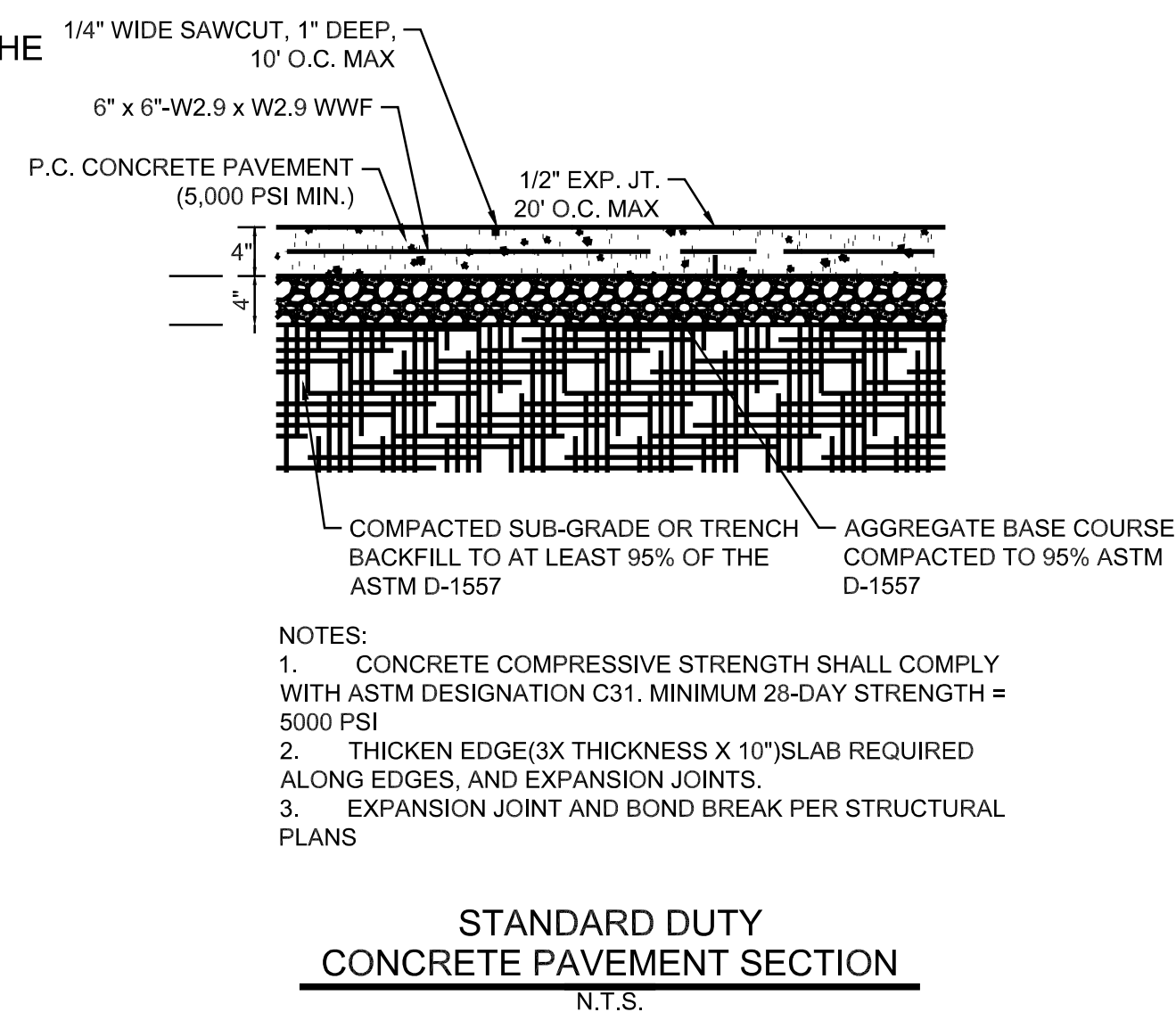
- INITIAL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR REMOVALS.
- TOPSOIL SHALL BE STRIPPED FROM THE SITE AND STOCKPILED. TOPSOIL SHALL BE SPREAD 4 INCHES THICK ON AREAS IDENTIFIED TO BE GRASSED OR LANDSCAPED. TOPSOIL MAY NOT BE PILED HIGHER THAN 5 FT IF STOCKPILED ON SITE. CONTRACTOR SHALL TEST THE TOPSOIL FOR SUITABILITY OF THE ESTABLISHMENT OF THE SPECIFIED TURF AND LANDSCAPING. APPROVED SOIL AMENDMENTS SHALL BE ADDED TO MAINTAIN SOIL SUITABILITY.
- PAVEMENTS TO BE REMOVED SHALL BE SAW CUT ALONG THE EDGE OF REMOVAL TO PROVIDE A SMOOTH TIE IN OF NEW PAVEMENT.
- SAW CUT EDGES ARE TO BE PROTECTED BY THE CONTRACTOR. DAMAGED EDGES SHALL BE RE-SAWN TO PROVIDE ONE UNIFORM EDGE.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR REMOVAL AND DISPOSAL OF LEAD PAINT AND ASBESTOS CONTAINING MATERIALS.
- TREES OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED BY CONSTRUCTION EQUIPMENT. THE CONTRACTOR IS NOT TO REMOVE ANY TREES LARGER THAN 4 INCHES DBH (DIAMETER AT BREAST HEIGHT), OTHER THAN THOSE SHOWN FOR REMOVAL ON THE PLANS, WITHOUT PRIOR WRITTEN PERMISSION FROM OWNER, ENGINEER, AND APPROVED BY THE CITY.
- THE LIMITS OF CONSTRUCTION ARE WITH THE BRICK FENCE AND TIE TO THE LANE AND GRADING OF THE LANE.
- TEMPORARY STOCKPILE LOCATIONS OF EXCAVATED MATERIALS FROM THE INSTALLATION OF UTILITIES SHALL BE COORDINATED WITH OTHER WORK.
- EXCAVATION FOR THE REMOVAL OF BUILDING FOUNDATIONS, SLABS, AND UNDERGROUND UTILITIES SHALL BE KEPT TO THE MINIMUM DEPTH NECESSARY FOR THEIR REMOVAL. BACKFILL OF THE EXCAVATED AREAS SHALL BE AS SPECIFIED IN THE GEOTECHNICAL REPORT. REMOVAL OF EXISTING STRUCTURES INCLUDES ENTIRE FOOTINGS AND FOUNDATIONS.

LAYOUT NOTE:

- ALL DIMENSIONS ARE MEASURED PERPENDICULAR FROM PROPERTY LINES AND FACE OF BUILDING, UNLESS INDICATED OTHERWISE.
- PARKING LOT DIMENSION ARE MEASURED FROM THE FACE OF CURB.

CONTRACTOR STAGING AREA:

- CONTRACTOR LAYDOWN AND STAGING AREA WILL BE ONSITE, AND APPROVED BY THE OWNER. CONTRACTOR SHALL ACCESS THE SITE VIA THE EXISTING ACCESS ROAD ON THE EAST AND SOUTH SIDES OF THE PROPERTY.



REVISIONS

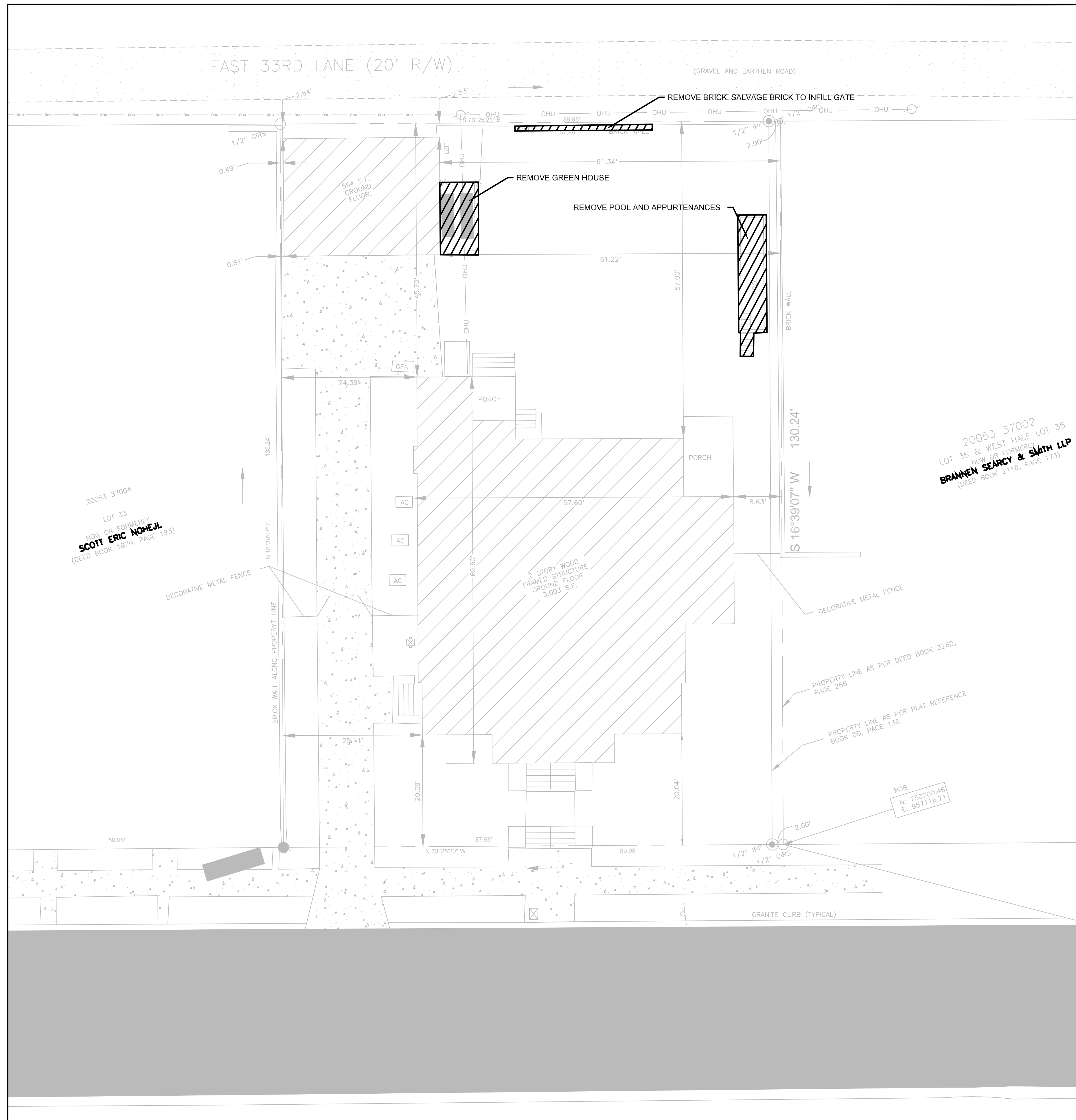
BARTOW SITE ENGINEERING, LLC
209 WOOD DUCK WAY
SPRINGFIELD, GA 31329
(912) 856-3289
pbartsmith@yahoo.com

Bartow Site Engineering, LLC

CIVIL CONSTRUCTION PLANS
18TH EAST 34TH STREET

GENERAL NOTES

SHEET NUMBER
G-02



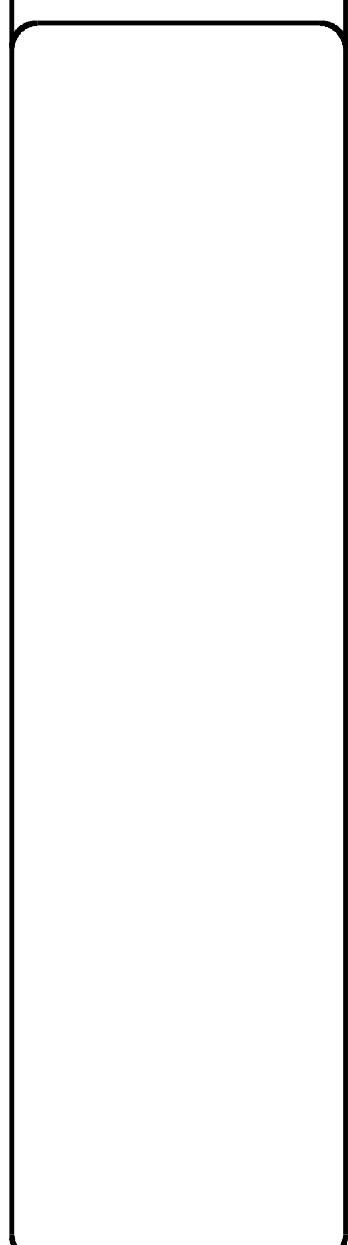
NOTES

1. CONTRACTOR SHALL DEPOSE OF ALL MATERIAL IN APPROVED LANDFILL.
2. DEMOLITION SHALL BE COORDINATED WITH ETHOS PRESERVATION AND MAY REQUIRE REINFORCEMENT DUE TO UNKNOWN EXISTING STRUCTURAL CONDITIONS
3. LIMITS OF GATE DEMOLITION WILL BE ACCORDING TO THE MANUFACTURE REQUIREMENTS

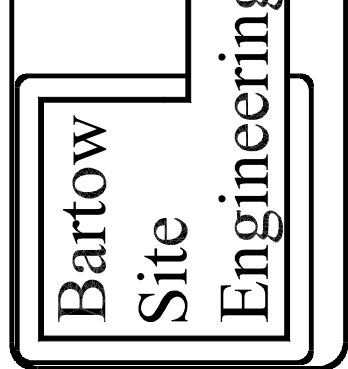


REVISIONS

NO.	DESCRIPTION

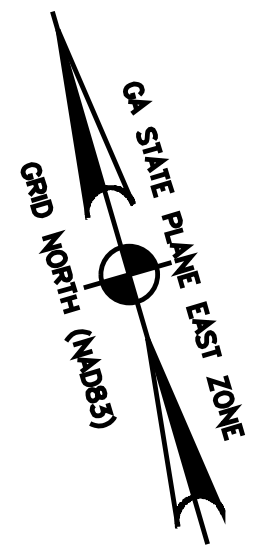


BARTOW SITE ENGINEERING, LLC
 209 WOOD DUCK WAY
 SPRINGFIELD, GA 31329
 (912) 856-3289
 pbartsmith@yahoo.com



CIVIL CONSTRUCTION PLANS
 18 EAST 34TH STREET
SURVEY AND DEMOLITION PLAN

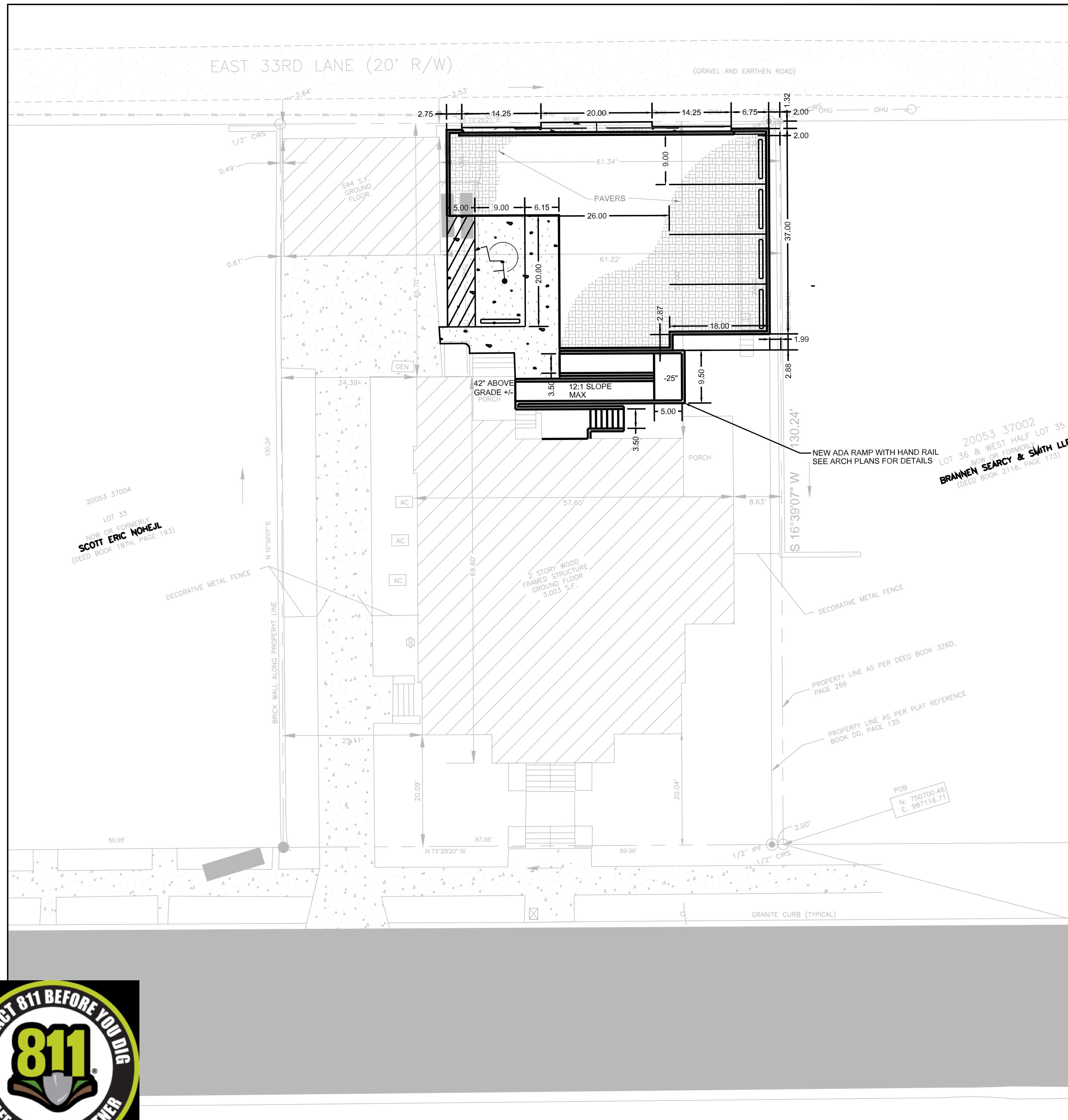
SHEET NUMBER
VF-01



20053 37002
 LOT 36 & WEST HALF LOT 35
 NOW OR FORMERLY
BRAWEN SEARCY & SMITH LLP
 (DEED BOOK 2118, PAGE 173)

20053 37004
 LOT 33
 NOW OR FORMERLY
SCOTT ERIC MOHEJL
 (DEED BOOK 1874, PAGE 193)

POB
 N: 750700.46
 E: 987116.11



IMPORTANT CONTRACT NOTES:

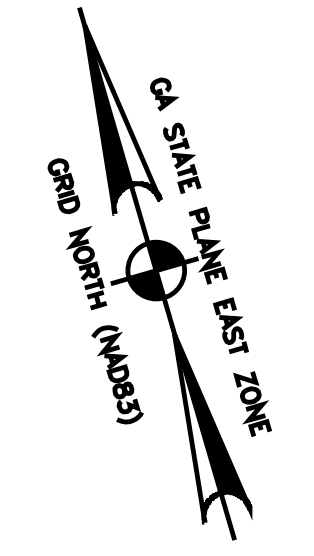
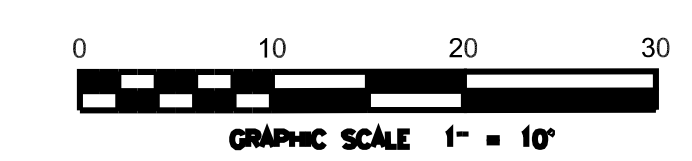
1. A TOPOGRAPHIC SURVEY WAS NOT COMPLETED.
2. CONTRACTOR IS RESPONSIBLE TO SET MINIMUM SLOPES AND GRADES.
3. SITE WORK FOR THIS CONTRACT MUST BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAVANNAH STANDARD SPECIFICATIONS DIVISION 2 AND DIVISION 3.
4. PERFORMING CONTRACTORS IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH
5. CONTRACTOR GRADE ALLEY AND COORDINATE THIS WORK WITH THE CITY OF SAVANNAH TWO WEEKS PRIOR TO EXECUTING.
6. EXISTING WATER AND SEWER LINES ARE APPROXIMATE LOCATIONS AND WILL NEED TO BE FIELD VERIFIED.
7. LOADING, UNLOADING, AND STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL NOT BE ALLOWED IN THE PUBLIC R/W WITHOUT PRIOR APPROVAL.
8. NO IRRIGATION SYSTEM WILL BE PROVIDED.
9. NO INDUSTRIAL WILL BE GENERATED FROM THIS PROJECT.



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 SPRINGFIELD, GA 31329
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 pbartsmith@yahoo.com

Bartow Site Engineering, LLC



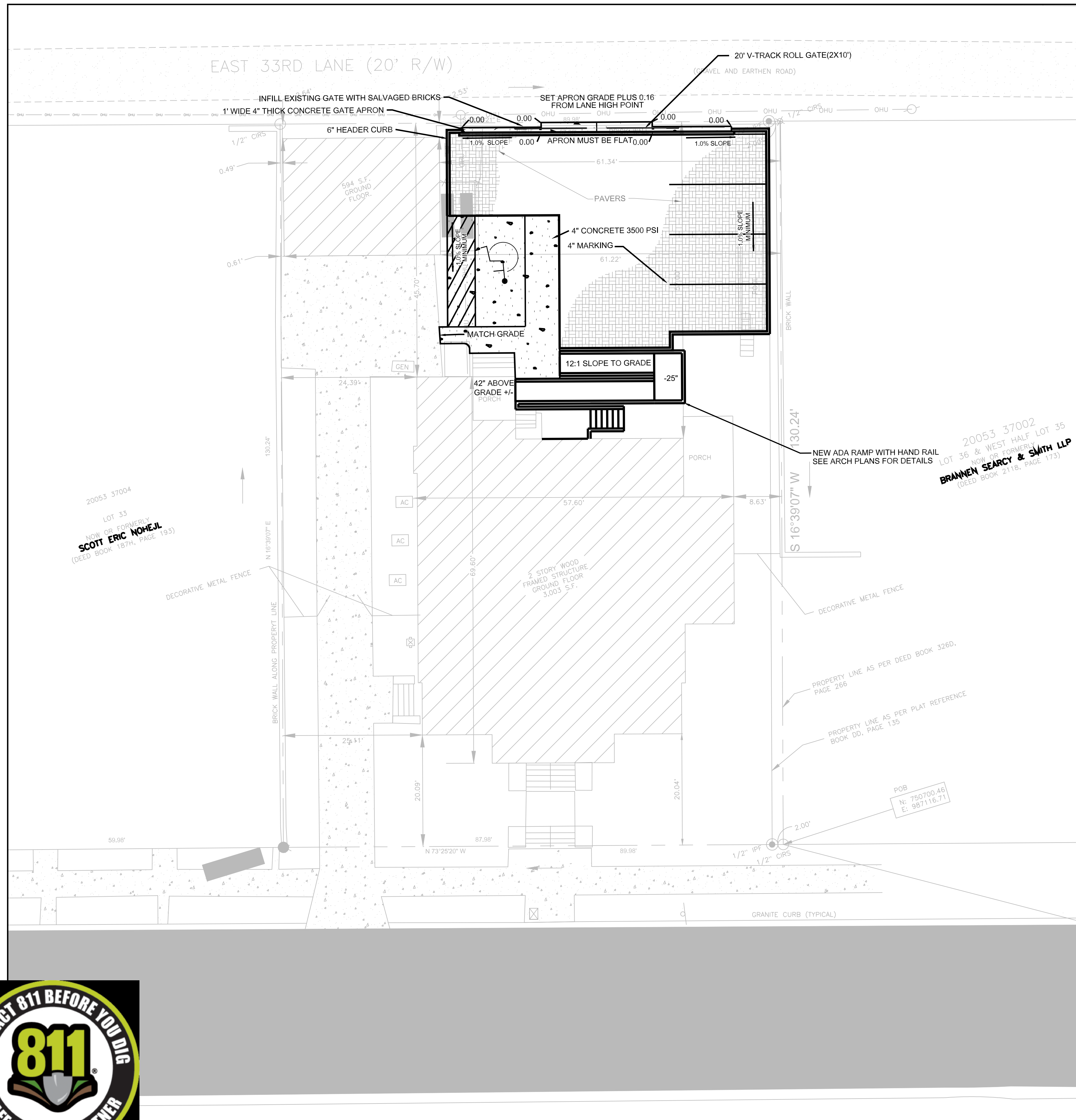
CIVIL CONSTRUCTION PLANS
 18 EAST 34TH STREET
 DIMENSION PLAN

SHEET NUMBER
 DP-01

20053 37004
 LOT 33
 NOW OR FORMERLY
 SCOTT ERIC MOHEJL
 (DEED BOOK 1874, PAGE 193)

20053 37002
 LOT 36 & WEST HALF LOT 35
 NOW OR FORMERLY
 BRANNEN SEARCY & SMITH LLP
 (DEED BOOK 2118, PAGE 173)

POB
 N: 750700.46
 E: 987116.11

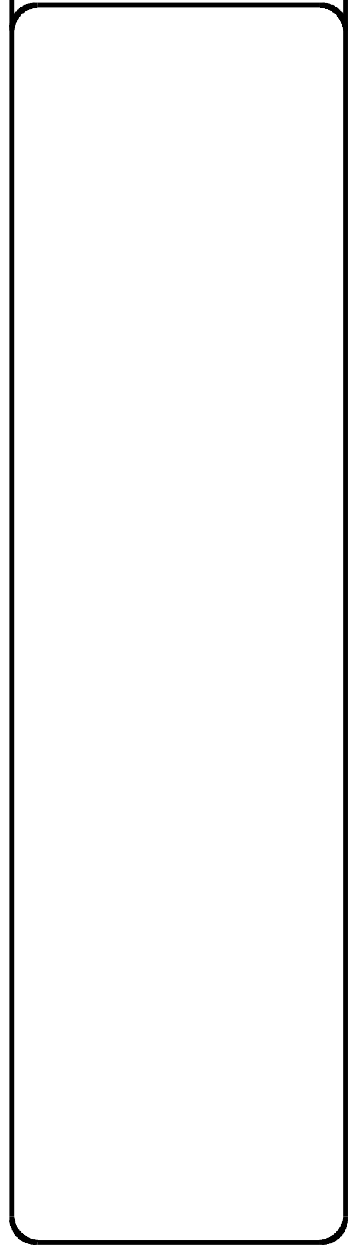


IMPORTANT CONTRACT NOTES:

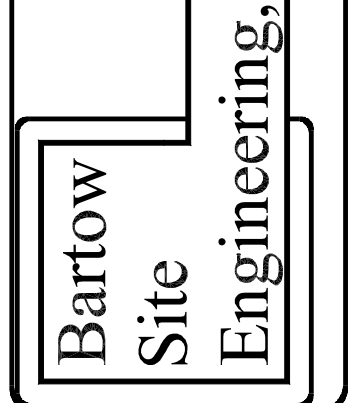
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8. NO IRRIGATION SYSTEM WILL BE PROVIDED.
9. NO INDUSTRIAL WILL BE GENERATED FROM THIS PROJECT.
10. GATE APRON AND INSTALLATION SHALL BE INSTALLED PER MANUFACTURES INSTRUCTIONS.



REVISIONS

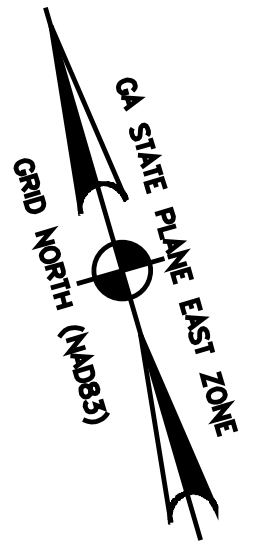
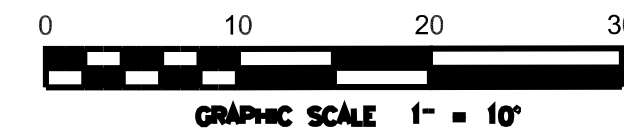


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 (912) 856-3289
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CIVIL CONSTRUCTION PLANS
 18 EAST 34TH STREET
 SITE PLAN

SHEET NUMBER
CS-01



20053 37002
 NOW OR FORMERLY
BRANNEN SEARCY & SMITH LLP
 (DEED BOOK 2118, PAGE 173)

20053 37004
 LOT 33
 NOW OR FORMERLY
SCOTT ERIC MOHEJL
 (DEED BOOK 1874, PAGE 193)

POB
 N: 750700.46
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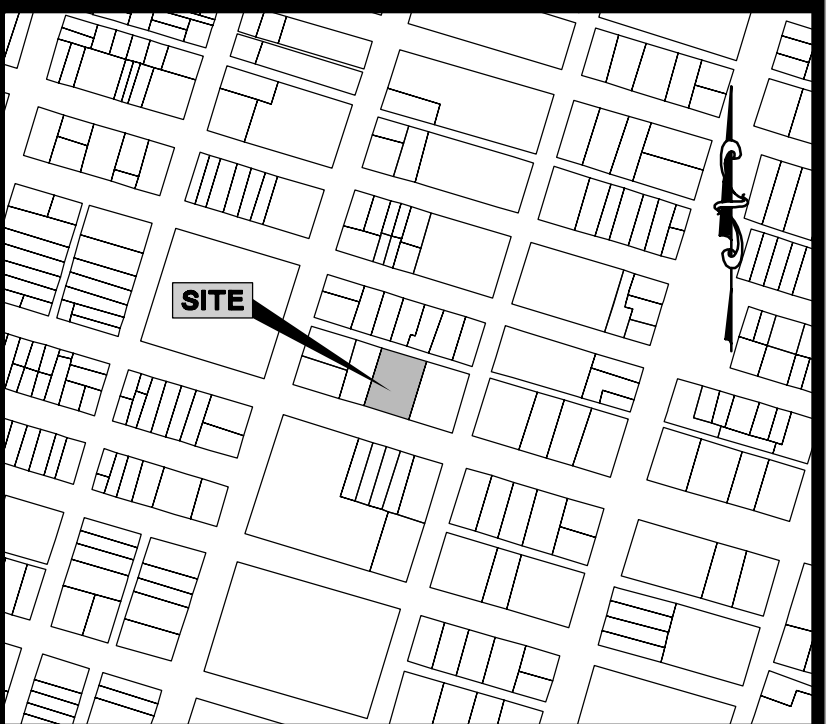
CERTIFICATION

TO:
CHRISTOPHER D. CAMPIONE, SR.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
LENDER: TBD

THIS IS TO CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(b-1), AND 8, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 7/15/2025.

DATE OF PLAT OR MAP OR SURVEY WAS REVISED: ---/---/---

THOMAS G GAMMON SURVEYOR, GA. P.L.S. 3005



VICINITY MAP (NOT TO SCALE)

THIS DOCUMENT AND ALL REPRODUCIBLE COPIES OF THIS DOCUMENT ARE THE PROPERTY OF SHUPE SURVEYING COMPANY, P.C. REPRODUCTION OF THIS DOCUMENT IS NOT PERMITTED WITHOUT WRITTEN CONSENT OF SHUPE SURVEYING COMPANY, P.C. UNLESS THIS DOCUMENT BECOMES A MATTER OF PUBLIC RECORD. ALTERATIONS TO THIS DOCUMENT ARE NOT PERMITTED.

TITLE PACKAGE:
OLD REPUBLIC TITLE INSURANCE COMPANY,
CHRISTOPHER D. CAMPIONE, SR.
COMMITMENT NUMBER: 2025-14515-MJHS
COMMITMENT DATE: XX/XX/XXXX 8:00 AM

SURVEYORS RECORDING CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



THOMAS G. GAMMON, GA. PLS #3005

NO.	REVISION	BY	DATE

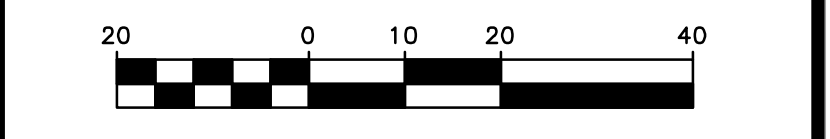
ALTA/NSPS LAND TITLE SURVEY OF
**18 EAST 34TH STREET
LOT 34 & EAST HALF
OF LOT 35
REPPARD WARD**
7TH G.M.D.
CITY OF SAVANNAH
CHATHAM COUNTY, GEORGIA

PREPARED FOR:
FBQC SAVANNAH LLC
OLD REPUBLIC TITLE
INSURANCE COMPANY

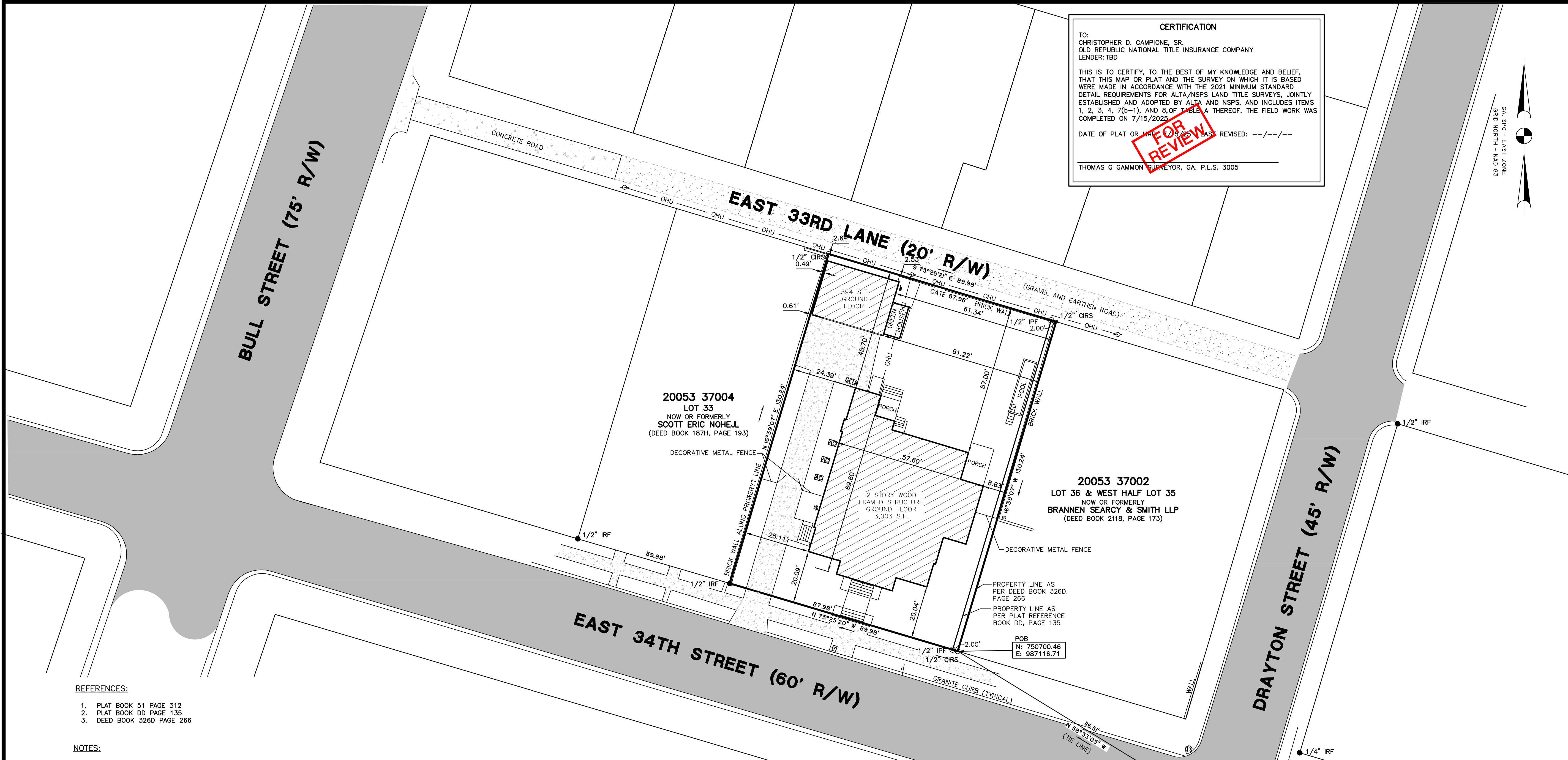


SHUPE SURVEYING COMPANY, P.C.
3837 DARLEN HIGHWAY
BRUNSWICK, GA 31525
912-265-0562

CERTIFICATE OF AUTHORIZATION: LSF317



SCALE	1" = 20'	DRAWING DATE	7/15/2025
FILE	25315	DRAWN BY	DW
DRAWING	25315	CREW CHIEF	PM



**20053 37004
LOT 33
NOW OR FORMERLY
SCOTT ERIC NOHEUL
(DEED BOOK 187H, PAGE 193)**

**20053 37002
LOT 36 & WEST HALF LOT 35
NOW OR FORMERLY
BRANNEN SEARCY & SMITH LLP
(DEED BOOK 2118, PAGE 173)**

POB
N: 750700.46
E: 987116.71

POC
N: 750639.68
E: 987216.11

- REFERENCES:**
1. PLAT BOOK 51 PAGE 312
 2. PLAT BOOK DD PAGE 135
 3. DEED BOOK 326D PAGE 266

- NOTES:**
1. BEARINGS AND COORDINATES SHOWN ON THIS SURVEY ARE BASED ON THE GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD83 AND WERE ESTABLISHED USING RTK GPS WITH A VRS NETWORK.
 2. FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM 90 AND CARLSON BRX7 RTK GPS WITH VRS NETWORK (@GPS SOLUTIONS)
 3. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A RELATIVE POSITIONAL TOLERANCE OF 0.05 FEET AT THE 95% ACCURACY CONFIDENCE LEVEL AND WAS ADJUSTED USING LEAST SQUARES.
 4. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,009,625 FEET.
 5. THIS SURVEY AND ALL SUBSEQUENT REVISIONS ARE BASED SOLELY ON FIELD WORK THAT WAS COMPLETED ON 7/15/25 (UNLESS OTHERWISE NOTED). SHUPE SURVEYING COMPANY, P.C. IS NOT RESPONSIBLE FOR ANY CHANGES TO SITE CONDITIONS AFTER THIS DATE.
 6. THE ADJOINING PROPERTY INFORMATION AND CURRENT OWNERSHIP OF THE SUBJECT PROPERTY SHOWN ON THIS SURVEY WERE TAKEN FROM THE CHATHAM COUNTY GIS WEBSITE (WWW.SAGIS.ORG) AND COURTHOUSE RESEARCH. THE CURRENT OWNER IS BISHOP OF THE EPISCOPAL DIOCESE OF GEORGIA INC. (DEED BOOK 1284 PAGE 392).
 7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A FULL TITLE EXAMINATION.
 8. ACCORDING TO F.I.R.M. MAP NO. 13051C, PANEL 0161G, EFFECTIVE DATE 8/16/2018, IT IS MY OPINION THAT THE PROPERTY SHOWN ON THIS PLAT LIES WITHIN ZONE X (UNSHADED), WHICH IS NOT A SPECIAL FLOOD HAZARD AREA.

ZONE X (UNSHADED) - AREAS OF MINIMAL FLOOD HAZARD.
 9. FRESHWATER WETLANDS MAY BE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER MAY BE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATIONS AND APPROVAL. FRESHWATER WETLANDS WERE NOT SURVEYED AS PART OF THIS PROJECT.
 10. THE TERM "CERTIFICATION" AS USED IN BOARD RULE 180-6-.09(2) AND (3) AND RELATING TO PROFESSIONAL SURVEYING SERVICES AS DEFINED IN O.C.G.A. 43-15-2(6) AND (11) SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
 11. THE LOCATION OF THE UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND, READILY VISIBLE STRUCTURES (MANHOLES, VALVES, POLES, ETC.). THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UTILITIES NOT OBSERVED OR LOCATED MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION.
 12. A CARLSON BRX7 DUAL FREQUENCY RTK GPS WITH A VRS NETWORK WAS USED TO ESTABLISH STATE PLANE COORDINATES AND ESTABLISH THE VERTICAL DATUM. THE RELATIVE POSITIONAL TOLERANCE IS 0.05 FEET AT THE 95% ACCURACY CONFIDENCE LEVEL.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF CHATHAM, STATE OF GEORGIA AND IS DESCRIBED AS FOLLOWS:

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF SAVANNAH, CHATHAM COUNTY, GEORGIA AND SHOWN AS LOT 34 AND THE WESTERN HALF OF LOT 35, REPPARD WARD ON THAT PLAT ENTITLED "A BOUNDARY SURVEY OF LOT 34 AND THE WESTERN HALF OF LOT 35, REPPARD WARD, 4TH G.M. DISTRICT, SAVANNAH, CHATHAM COUNTY, GEORGIA," PREPARED BY COLEMAN COMPANY, INC. DATED NOVEMBER 9, 2017, AND RECORDED IN PLAT BOOK 51, PAGE 312, IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF CHATHAM COUNTY, GEORGIA. SAID PROPERTY WAS CONVEYED TO BISHOP OF THE EPISCOPAL DIOCESE OF GEORGIA, INC., BY LIMITED WARRANTY DEED DATED FEBRUARY 15, 2018, RECORDED IN DEED BOOK 1284, PAGE 392 AND BY QUIT CLAIM DEED DATED FEBRUARY 15, 2018, RECORDED IN DEED BOOK 1284, PAGE 396, AFORESAID CLERK'S OFFICE. SAID SAID PLAT AND DEEDS ARE INCORPORATED HEREIN BY SPECIFIC REFERENCE, CONTAINING IMPROVEMENTS THEREON KNOWN AS 18 EAST 34TH STREET, SAVANNAH, GEORGIA. PIN #2-0053-37-003.

SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD.

SURVEY LEGAL DESCRIPTION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF SAVANNAH, THE 7TH G.M.D., CHATHAM COUNTY, GEORGIA AND KNOWN AS LOT 34 AND THE WESTERN HALF OF LOT 35 OF REPPARD WARD, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT A POINT AT THE INTERSECTION OF DRAYTON STREET AND EAST 34RD STREET, THENCE N 58 33'05" A DISTANCE OF 116.51' TO A CAPPED IRON PIN, SAID POINT BEING THE POINT OF BEGINNING, AND HAVING GEORGIA STATE PLANE COORDINATES, EAST ZONE OF N: 750639.68 E: 987216.11; THENCE N 73°25'20" W A DISTANCE OF 2.00' TO AN IRON PIPE ON LINE; THENCE N 73°25'20" W A DISTANCE OF 87.98' TO AN EXISTING IRON PIN; THENCE N 16°39'07" E A DISTANCE OF 130.24' TO AN IRON PIN; THENCE S 73°25'21" E A DISTANCE OF 87.98' TO AN IRON PIPE ON LINE; THENCE S 73°25'21" E A DISTANCE OF 2.00' TO A POINT; THENCE S 16°39'07" W A DISTANCE OF 130.24' TO A CAPPED IRON PIN; WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 11719.00 SQUARE FEET, 0.269 ACRES

2020-14151-MJHS SCHEDULE B IL EXCEPTIONS

13. ALL MATTERS SHOWN ON PLAT OF SURVEY BY COLEMAN COMPANY, INC., DATED 11/09/2017, AND RECORDED IN PLAT BOOK 51, PAGE 312, AFORESAID RECORDS. (AFFECTS BLANKET)

- LEGEND:**
- CIRCS CAPPED IRON PIN SET
 - CMF CONCRETE MONUMENT FOUND
 - IRF IRON REBAR FOUND
 - ⊙ IPF IRON PIPE FOUND
 - × NMC NON-MONUMENTED CORNER
 - ⊕ WATER METER
 - ⊖ STORM DRAIN MANHOLE
 - UTILITY POLE
 - GUY WIRE
 - ⊕ GAS METER
 - ⊕ ELECTRICAL METER
 - SIGN
 - ⊕ MAILBOX
 - POC POINT OF COMMENCEMENT
 - POB POINT OF BEGINNING
 - ▨ ASPHALT
 - ▨ BUILDING
 - ▨ CONCRETE
 - ▨ GRAVEL
 - X FENCE
 - OHU OVERHEAD UTILITIES

Certificate of Appropriateness
Downtown Savannah Historic District
25-004311 COA
Approved 9.24.2025
Stamped 10.1.2025 by Jodie Brown