

PROJECT ADDRESS:

1232 S. HOVER STREET
LONGMONT, COLORADO 80501

SCOPE OF PROJECT:

THIS PROJECT INVOLVES NEW TENANT FINISH WORK TO AN EXISTING SHELL, INCLUDING: NEW GENDER SPECIFIC RESTROOMS, A BREAK COUNTER, STAFF OFFICES, LEARNING ROOMS, A RECEPTION/WAITING AREA, AND JANITOR'S CLOSET. NEW LIGHTING AND MECHANICAL DUCTWORK WILL BE INSTALLED. THIS SPACE IS CURRENTLY VOID OF TENANT IMPROVEMENTS.

THE PROJECT IS WITHIN THE CITY LIMITS OF LONGMONT, COLORADO. NO OTHER ALTERATIONS WILL BE MADE TO THE BUILDING'S SHELL.

THE STRUCTURE IS FULLY EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SUPPRESSION SYSTEM. MINOR ALTERATIONS TO THIS SYSTEM WILL BE REQUIRED.

THIS SPACE WILL HAVE A "BUSINESS" OCCUPANCY (A-3, UNDER 50 OCCUPANTS) AND WILL HOUSE A "BRAIN BALANCE" LEARNING ACHIEVEMENT CENTER.

DRAWING INDEX:

COVERSHEET

- D-1 DEMOLITION PLAN
- A-1 FLOOR PLAN
- A-2 DETAILS/SECTIONS
- A-3 REFLECTED CEILING PLAN
- E1.0 ELECTRICAL PLAN
- E2.0 ELECTRICAL NOTES
- M-1 MECHANICAL PLAN
- P-1 PLUMBING PLAN

APPLICABLE CODES:

- 2012 INTERNATIONAL BUILDING CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE

PROJECT TEAM:

TENANT: BRAIN BALANCE
406 CENTER DRIVE
SUPERIOR, COLORADO 80027
(720) 341-0750

OWNER: NewMark Merrill Companies
5850 Canoga Avenue, Suite 650
Woodland Hills, CA 91367
(818)710-6100 xt. 729

ARCHITECT: URBAN WEST STUDIO, LLC
1300 C Yellow Pine Avenue,
Boulder CO 80304
(303)817-2533

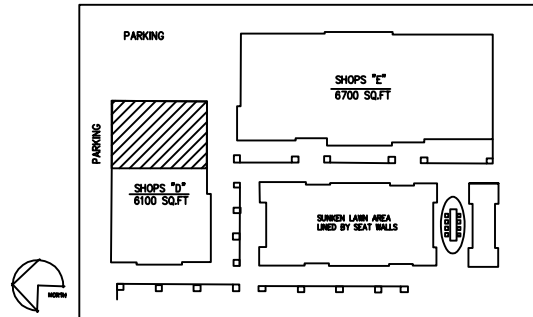
MECHANICAL ENGINEER: SEWARD MECHANICAL SYSTEMS
801 MAIN STREET
LOUISVILLE, COLORADO 80027
(303)926-9245

ELECTRICAL ENGINEER: JNC ENGINEERING
3281 ROUTT ST.
WHEATRIDGE, COLORADO 80303
(303)239-0736

GENERAL CONTRACTOR: MILO CONSTRUCTION
1898 S. FLATIRON COURT
SUITE 200
BOULDER, COLORADO 80301
(303) 444-7775

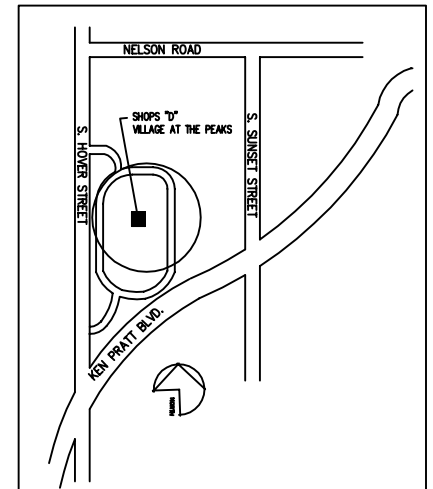
CODE ITEMS: 1232 S. HOVER STREET,
LONGMONT, CO. 80501

ZONING:	OR (COMMERCIAL REGIONAL)
LOT SIZE:	UNKNOWN
CONST. TYPE:	III W/ SPRINKLER SYSTEM IN BASEMENT
TOTAL BLDG AREA:	6,100 SQ. FT. TOTAL
BLDG HEIGHT:	UNKNOWN HEIGHT/ONE LEVEL
NEW LEASABLE AREA:	2320 SQ. FT. TOTAL
OCCUPANCY:	B (PER IBC 303.1.1)
OCCUPANCY LOAD: (TABLE 1004.1.1)	23 (1/100, BUSINESS)
CEILING HEIGHTS:	8'-0" OR GREATER
EGRESS WIDTH REQ'D:	4.8 INCHES (OCC. LOAD X .2 W/ SPRINKLER SYSTEM)
EGRESS WIDTH PROVIDED:	72 INCHES
EXIT ACCESS TRAVEL DISTANCE REQUIRED:	100 FEET (B. WITH SPRINKLER-TABLE 1014.3)
EXIT ACCESS TRAVEL DISTANCE PROVIDED:	< 100 FEET OR LESS
EXITS REQUIRED FOR OCCUP. LOAD:	1
EXITS PROVIDED:	2
CORRIDOR WIDTH REQUIRED:	36 INCHES (B. OCC. LOAD LESS THAN 50)
CORRIDOR WIDTH PROVIDED:	48 INCHES OR GREATER
TOILETS PER GENDER REQUIRED:	1 (PER TABLE 2902.1.1 IBC)
TOILETS PER GENDER PROVIDED:	1
LAVATORIES REQUIRED:	1 (PER TABLE 2902.1.1 IBC)
LAVATORIES PROVIDED:	1
BUILDING IS FULLY FIRE SPRINKLERED	THROUGHOUT SPACE
AREA UNDER CONSTRUCTION WILL BE FULLY HANDICAP ACCESSIBLE	



PROXIMITY PLAN-1232 S. HOVER ST.

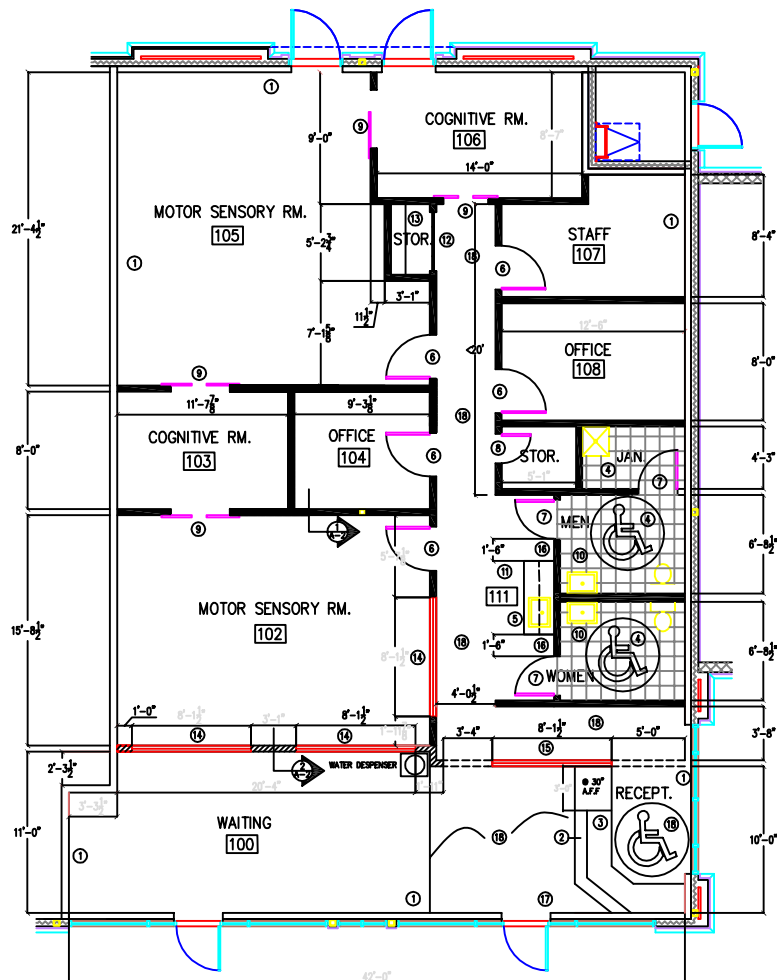
NO SCALE



VICINITY MAP

NO SCALE

1232 S. HOVER STREET, LONGMONT, COLORADO 80501



1 FLOOR PLAN
1/4"=1'-0"

GENERAL NOTES:

1. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION
3. SEE PLUMBING DRAWINGS FOR PLUMBING INFORMATION
4. CARPET TILE THROUGHOUT (SEE PLAN FOR CERAMIC TILE FLOORING)
5. 4" RUBBER COVE BASE THROUGHOUT (COLOR TO BE DECIDED)
6. NEW NO-VOC PAINT THROUGHOUT PROJECT AREA. ASSUME EGGSHELL AND 1 FIELD COLOR.
7. MAINTAIN 1/2" MAX THRESHOLD THROUGHOUT SPACE
8. EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT HAVING INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL.
9. ALL CONSTRUCTION IS TO COMPLY TO 2012 IBC, ACCESSIBILITY, (I.E. ENTRANCES, BATHROOMS, DOOR CLEARANCES AND HARDWARE, THRESHOLD HEIGHTS, SUFFICIENT CORRIDOR WIDTHS AND DOOR ACCESSIBILITY, ETC.) AND ALL RELEVANT SECTIONS OF THE ANSI ACCESSIBILITY MANUAL, OR ANY ADA REQUIREMENTS THAT WOULD SUPERSEDE THE ABOVE LISTED ITEMS.
10. COORDINATE ALL ALARM AND FIRE SUPPRESSION MODIFICATIONS WITH OWNER.
11. COORDINATE ALL DEVIATION FROM PLANS W/ OWNER, GENERAL CONTRACTOR, ARCHITECT, AND TENANT PRIOR TO COMMENCEMENT.

WALL TYPES

- EXISTING WALL TO BE REMAIN. APPLY 5/8" GYP. BD. AS REQUIRED
- NEW 9' PARTIONS, 3-5/8" 25 GA. METAL STUDS @24" O.C. WITH 5/8" TYPE 'X' GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSULATION TO BOTTOM OF CEILING GRID ABOVE. ANCHOR WALL FRAMING AND GYP BOARD PER IBC. SEE 1/A-2 FOR DETAIL
- NEW 12' PARTIONS, 3-5/8" 25 GA. METAL STUDS @24" O.C. WITH 5/8" TYPE 'X' GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSULATION FROM BOTTOM TO TOP OF WALL. ANCHOR WALL FRAMING AND GYP BOARD PER IBC. SEE 2/A-2 FOR DETAIL

FLOOR PLAN KEY NOTES:

- ① EXISTING DEMISING WALL AND EXTERIOR WALLS REQUIRE 5/8" GYP. BD. CONFIRM FRAMING/INSULATION INSPECTION
- ② GRANITE TOP. COLOR AND THICKNESS TO BE DETERMINED.
- ③ PLANNED RECEPTION AREA WORKSTATION.
- ④ CERAMIC TILES THROUGHOUT RESTROOMS AND JANITOR COSET (COLOR TO BE DETERMINED)
- ⑤ SINGLE BOWL STAINLESS STEEL DROP-IN SINKS WITH STAINLESS STEEL SINGLE LEVER FAUCET..
- ⑥ NEW "NATURAL" OAK STAINED DOOR (SOLID CORE WOOD 3'-0" X 6'-8" X 1-3/4" THICK) . INSTALL 24" WIDE X 60" HIGH 1/4" THICK TEMPERED GLASS PANEL TO DOOR. TIMELY 47S FRAME. NEW DOOR HARDWARE TO INCLUDE THE BELOW:
 (1) EA ADA LEVER HARDWARE WITH PASSAGE SET
 (2) HINGES
 (3) WALL STOP
 (4) SET SILENCER
- ⑦ NEW "NATURAL" OAK STAINED DOOR (SOLID CORE WOOD 2'-8" X 6'-8" X 1-3/4" THICK) . NEW DOOR HARDWARE AND FRAME AS LISTED ABOVE.
- ⑧ NEW "NATURAL" OAK STAINED DOOR (SOLID CORE WOOD 2'-0" X 6'-8" X 1-3/4" THICK) . NEW DOOR HARDWARE AND FRAME AS LISTED ABOVE.
- ⑨ NEW "NATURAL" OAK STAINED DOOR (SOLID CORE WOOD 3'-0" X 7'-0" X 1-3/4" THICK) . NEW BARN DOOR HARDWARE.
- ⑩ NEW WALL HUNG LAVE/SINK . SEE PLUMBING FIXTURE SCHEDULE FOR DETAILS. PROVIDE BACKING
- ⑪ NEW PLAM OR OTHER APPROVED CONTEMPORARY UPPER AND LOWER CABINETS. PROVIDE PLUMBING & POWER FOR UNDER COUNTER REFRIGERATOR AND MIRCOWAVE.
- ⑫ NEW 2'-0"X6'-8" BI-FOLD CLOSET DOORS (ONE PAIR)
- ⑬ PROVIDE (6) 12" SHELVES WITH ADJUSTABLE BRACKETS
- ⑭ 5'-5 1/2" X 8'-1 1/2" WD. FRAMED W/LAMINATED GLASS WINDOW @ 3'-6 1/2" A.F.F. SEE 9/A-2 FOR DETAILS
- ⑮ 2'-9 1/2" X 8'-1 1/2" WD. FRAMED W/ LAMINATED GLASS WINDOW @ 6" A.F.F. SEE 10/A-2 FOR DETAILS
- ⑯ ADA SIGNAGE @ DOOR AS REQUIRED
- ⑰ SIGNAGE @ DOOR , " DOOR TO REMAIN UNLOCKED WHILE OCCUPIED".
- ⑱ WOOD LAMINATE FLOORING THROUGH RECEPTION, HALLWAY AND 1/2 OF WAITING (COLOR TBD)

SCALE:

1/4"=1'-0"

REVISIONS:

DATE	DISCRPTION

SEAL

DRAWN 11/24/2015

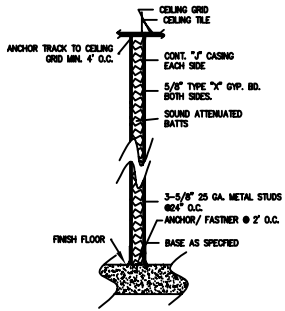
BRAIN BALANCE
 VILLAGE AT THE PEAKS
 1232 SOUTH HOVER STREET
 LONGMONT, CO 80501

FLOOR PLAN/NOTES

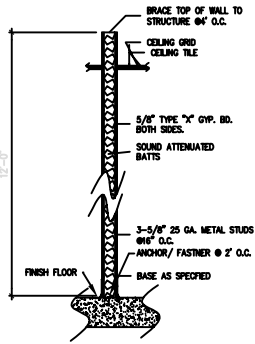
MILO CONSTRUCTION
 1898 S. FLATRONS COURT
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 BOULDER, COLORADO 80301
 TELEPHONE: 303-444-7775

SHEET:

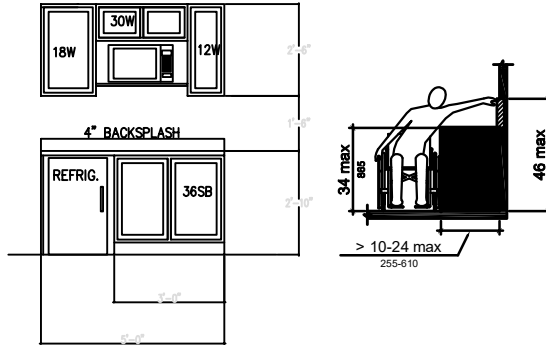
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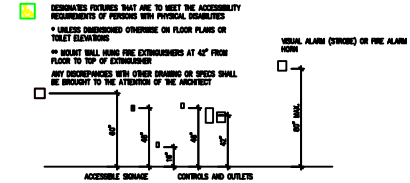
① INTERIOR PARTITION UNDER GRID (N.T.S.)



② INTERIOR PARTITION THROUGH GRID (N.T.S.)



③ CABINET ELEVATION THROUGH GRID (N.T.S.)



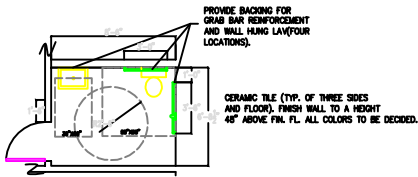
④ ADA REQUIREMENTS NOT TO SCALE

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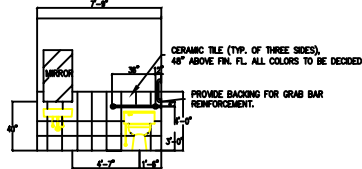
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DATE DESCRIPTION

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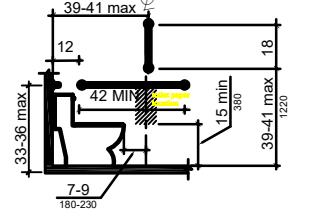
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⑤ TYPICAL RESTROOM PLAN



⑥ TYPICAL RESTROOM ELEVATION

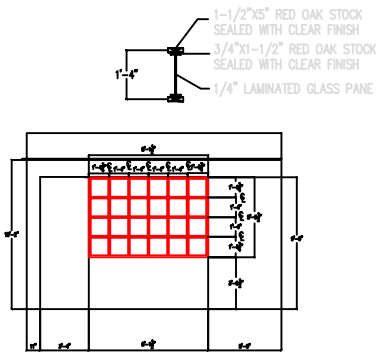


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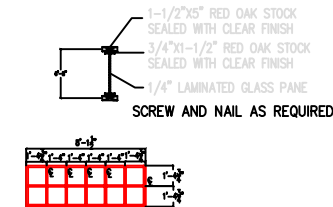


⑧ ADA REQUIREMENTS NOT TO SCALE

BRAIN BALANCE
VILLAGE AT THE PEAKS
1232 SOUTH HOVER STREET
LONGMONT, CO 80501
PLANS/ ELEVATIONS/DETAILS



⑨ WINDOW DETAIL 1/4\"/>



⑩ WINDOW DETAIL 1/4\"/>

FRAMING AND GYPSUM BOARD NOTES

ALL EXTERIOR WALLS WILL BE FRAMED/FURRED WITH STANDARD 3 5/8" INCH METAL STUDS 24" O.C. TO BOTTOM OF STRUCTURE ABOVE. INSULATE WALLS WITH R-13 BATTS PRIOR TO APPLYING GYPSUM BOARD. ONE LAYER OF 5/8" INCH GYPSUM BOARD APPLIED TO INTERIOR SIDE. TAPE, PRIME AND PAINT-COLOR TO BE SELECTED BY OWNER.

ALL OFFICE WALLS WILL BE FRAMED WITH STANDARD 3 5/8" INCH METAL STUDS (25 GA) UNDER SUSPENDED CEILING GRID. ONE LAYER OF 5/8" INCH GYPSUM BOARD APPLIED TO EACH SIDE. TAPE, PRIME, AND PAINT-COLOR BY OWNER.

FURR-OUT AROUND THE STRUCTURAL COLUMNS AS REQUIRED. PRIME AND PAINT ALL RESTROOM WALLS EXCEPT THOSE AREAS TO RECEIVE GLAZED CERAMIC TILE. ALL NEW GYPSUM BOARD PARTITIONS TO BE PAINTED SHALL RECEIVE AN ALKYL PRIMER AND TWO COATS OF LATEX PAINT. COLOR IN LOBBY, RESTROOMS AND STAIRS IS TO BE SELECTED BY OWNER.

PROVIDE SOLID BLOOMING FOR DOORS, WINDOWS, TOILET PARTITION, ACCESSORIES, HANDRAILS, LAUNDRY BRACES, ETC. AS REQUIRED BY MANUFACTURER AND ALL WORK DONE BY CARPENTRY AND MILLWORK TRADES. ALL WOOD REQUIRED BY BUILDING CODES SHALL MEET ALL REQUIREMENTS TO THE CODE OF UNDERWRITERS LABORATORIES, INC. VERIFY THE DEPTH OF WALLS PRIOR TO INSTALLING RECESSED FIXTURES.

ALL EXPOSED EDGES AND / OR CORNER ON ALL GYPSUM WALL BOARD CONSTRUCTION SHALL HAVE A METAL CORNER TRIM, TAPED AND SPACKLED. GYPSUM BOARD CONSTRUCTION AND ACCESSORIES SHALL BE LEFT IN A CLEAN AND SATISFACTORY CONDITION SUITABLE FOR PAINTING.

ALL NEW GYPSUM BOARD PARTITIONS TO BE PROPERLY PREPARED, PATCHED, SPACKLED AND Sanded, ETC., TO PROVIDE A SMOOTH FINISH AND AS REQUIRED TO RECEIVE NEW FINISH.

DOOR FRAME FLOOR ANCHOR CLIPS SHALL BE SECURED WITH NOT LESS THAN 2 SUITABLE FASTENERS (MINIMUM).

DOOR JAMB ANCHOR CLIPS SHALL BE BOLTED OR SCREWED TO STUDS: THREE PER FRAME (MINIMUM).

FIRE-RESISTIVE WALLS AND PARTITIONS MAY HAVE OPENINGS FOR STEEL ELECTRICAL, OUTLET BOXES NOT EXCEEDING 18 SQUARE INCHES IN AREA, PROVIDED THE APPROPRIATE AREA OF SUCH OPENINGS IS NOT MORE THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL OR PARTITION AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS AND PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES.

ROOM FINISH NOTES

ALL NEW GYPSUM BOARD PARTITIONS TO BE PAINTED SHALL RECEIVE AN ALKYL PRIMER AND TWO COATS OF LATEX PAINT.

PAINTING CONTRACTOR SHALL EXAMINE ALL SURFACES AFTER COMPLETION OF WORK OF ALL TRADES AND PROVIDE NECESSARY "TOUCH UP" PAINTING AND PATCHING. HE SHALL IMMEDIATELY REMOVE ANY PAINT SPLATGE OR SPATTER.

ALL PAINTING WORK SHALL BE DONE BY SKILLED MECHANICS USING EITHER BRUSHES OR ROLLERS. POOR WORKMANSHIP WILL NOT BE ACCEPTED. ALL MATERIALS SHALL BE EVENLY SPREAD, SMOOTHLY FLOORED ON AND FREE FROM RUNS, SAGS, CHALKINGS OR OTHER DEFECTS. FINISHED SURFACES SHALL BE UNIFORM IN COLOR, GLOSS, SHEEN AND MATTE FINISH AND FREE FROM BRUSH MARKS, BRISTLES, LINT OR DUST FUFFLES.

CARPET TILE WILL BE INSTALLED THROUGH OFFICE PORTION OF THIS BUILDING. COLOR SELECTION BY OWNER.

12"X 12" CERAMIC FLOOR TILE WILL BE INSTALLED AT ALL EXTERIOR DOOR ENTRY PORTS AND IN RESTROOMS. COLOR SELECTION BY OWNER.

CARPET AREAS SHALL HAVE 4" RUBBER CARPET BASE. DOCUMENTATION OF CARPET SPEC. WILL BE SUBMITTED PRIOR TO ITS INSTALLATION.

CARPETING SUBCONTRACTOR SHALL PRIME AND INSTALL CARPET REDUCING STRIPS AT ALL TRANSITIONS BETWEEN CARPET AND DIFFERENT FLOORING.

TOILET ROOMS WALLS AND FLOORS SHALL HAVE GLAZED CERAMIC TILE TO 48" A.F.F. WITH MATCHING CERAMIC TILE CONE BASE TO BE OBTAINED AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL PAINT HIGH GLOSS LATEX ENAMEL AT WALL AREAS ABOVE 48".

GENERAL NOTES

EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT HAVING INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL.

ALL CONSTRUCTION IS TO COMPLY TO 2012 IBC, ACCESSIBILITY, (I.E. ENTRANCES, BATHROOMS, DOOR CLEARANCES AND HARDWARE, THRESHOLD HEIGHTS, SUFFICIENT CORRIDOR WIDTHS AND DOOR ACCESSIBILITY, ETC.) AND ALL RELEVANT SECTIONS OF THE AHS ACCESSIBILITY MANUAL, OR ANY ADA REQUIREMENTS THAT WOULD SUPERSEDE THE ABOVE LISTED ITEMS.

COORDINATE ALL ALARM AND FIRE SUPPRESSION MODIFICATIONS WITH OWNER.

COORDINATE ALL DEVIATION FROM PLANS BY OWNER, GENERAL CONTRACTOR, PROJECT, AND TENANT PARTY TO COMMENCEMENT.

DOOR AND HARDWARE NOTES

ALL DOOR HARDWARE SHALL BE HANDICAPPED ACCESSIBLE. CONFORMING TO AHS 1017.1, AASAS AND LOCAL REQUIREMENTS. MATERIALS AND APPLICATION TO CONFORM TO AHS AHSB SCORES STANDARDS.

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRIP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRIPPING, TIGHT FINGERING, OR TWISTING OF THE WRIST TO OPERATE. CURVED OPERATED MECHANISMS, PUSH-BUTTON MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 IN (1220 MM) ABOVE FINISH FLOOR.

ALL DOOR HARDWARE FOR FIRE-RATED OPENINGS SHALL CONFORM TO NFPA 80 AND LOCAL REQUIREMENTS.

PROVIDE SIGNAGE AT RESTROOM DOORS IN RAISED LETTERS AND IN BRAILLE SCRIPT INDICATING THE ROOM NAME AND THE ACCESSIBILITY SYMBOL. SIGNAGE COLOR SHALL BE BLACK ON WHITE.

ALL EXTERIOR DOORS SHALL HAVE THRESHOLD AND WEATHER STRIPPING. THRESHOLDS SHALL BE MAXIMUM 1/2" HIGH SLOPE OF LANDING OUTSIDE OF EXIT DOOR AND SHALL NOT EXCEED 1/4" PER FOOT.

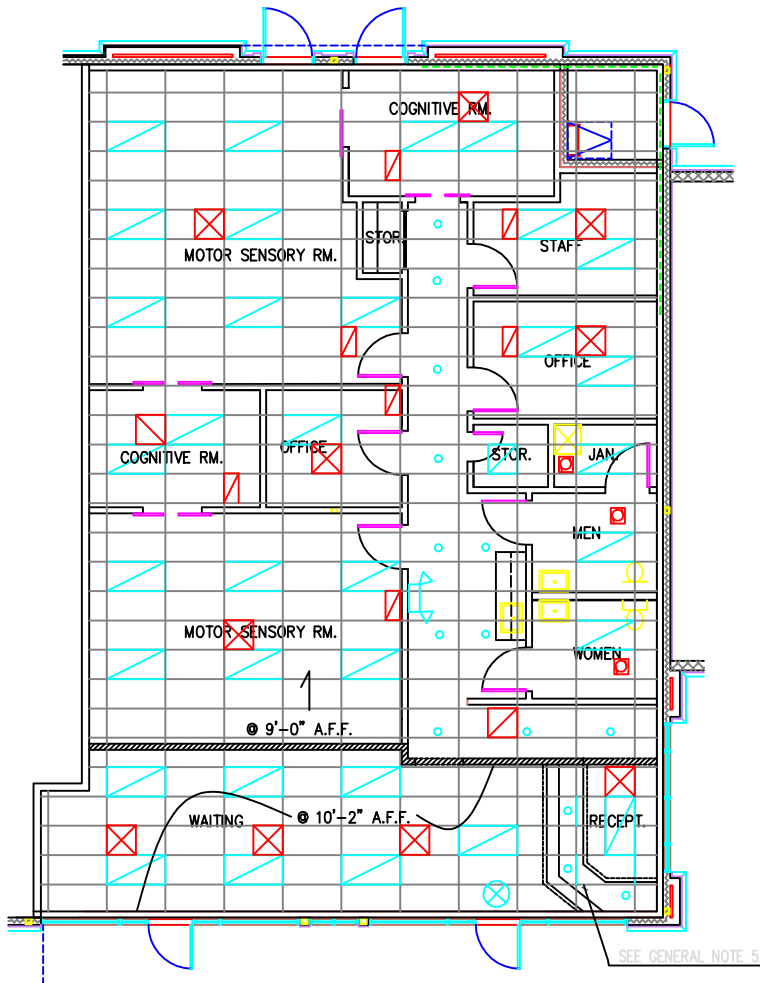
PROVIDE DOOR STOPS AT ALL DOORS THAT DO NOT HAVE CLOSURES.

COORDINATE ALL HARDWARE WITH GENERAL CONTRACTOR AND OWNER.

COORDINATE ALARM REQUIREMENTS WITH OWNER.

HARDWARE FINISH SHALL BE SELECTED BY OWNER.

SHEET:
A-2











1 REFLECTED CEILING PLAN
1/4"=1'-0"

GENERAL NOTES:

1. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION
3. WHITE CLASS "A" CEILING GRID @ 9' A.F.F. THROUGHOUT PER IBC UNLESS OTHERWISE NOTED.
4. WHITE CLASS "A" CEILING GRID IN WAITING/RECEPTION AREA @10'-2" A.F.F.
5. CONSTRUCT SOFFIT UNDER GRID ABOVE RECEPTION DESK. USE 2-5/8" 25 GA. METAL STUDS, 1/2 GYP. BD. ONE SIDE. ADDITIONAL 12 GA. WIRE SUPPORT AS REQUIRED.
6. NEW USG "RADAR" CEILING TILE THROUGHOUT.

CEILING LEGEND

-  NEW 2'X4' DROP-IN TROFFER LIGHT PER ELECTRICAL PLAN
-  NEW LED RECESSED CAN LIGHT PER ELECTRICAL PLAN
-  NEW EXHAUST FAN PER MECHCANICAL PLAN
-  NEW 2'X2' SUPPLY AIR DIFFUSER PER MECHCANICAL PLAN
-  NEW 1'X2' RETURN AIR GRILLE PER MECHCANICAL PLAN
-  NEW 2'X2' RETURN AIR GRILLE PER MECHCANICAL PLAN
-  NEW EMERGENCY LIGHT W/ BAT. BACKUP
-  NEW EXIT LIGHT W/ BAT. BACKUP

SCALE:

1/4"=1'-0"

REVISIONS:

DATE	DESCRIPTION

SEAL

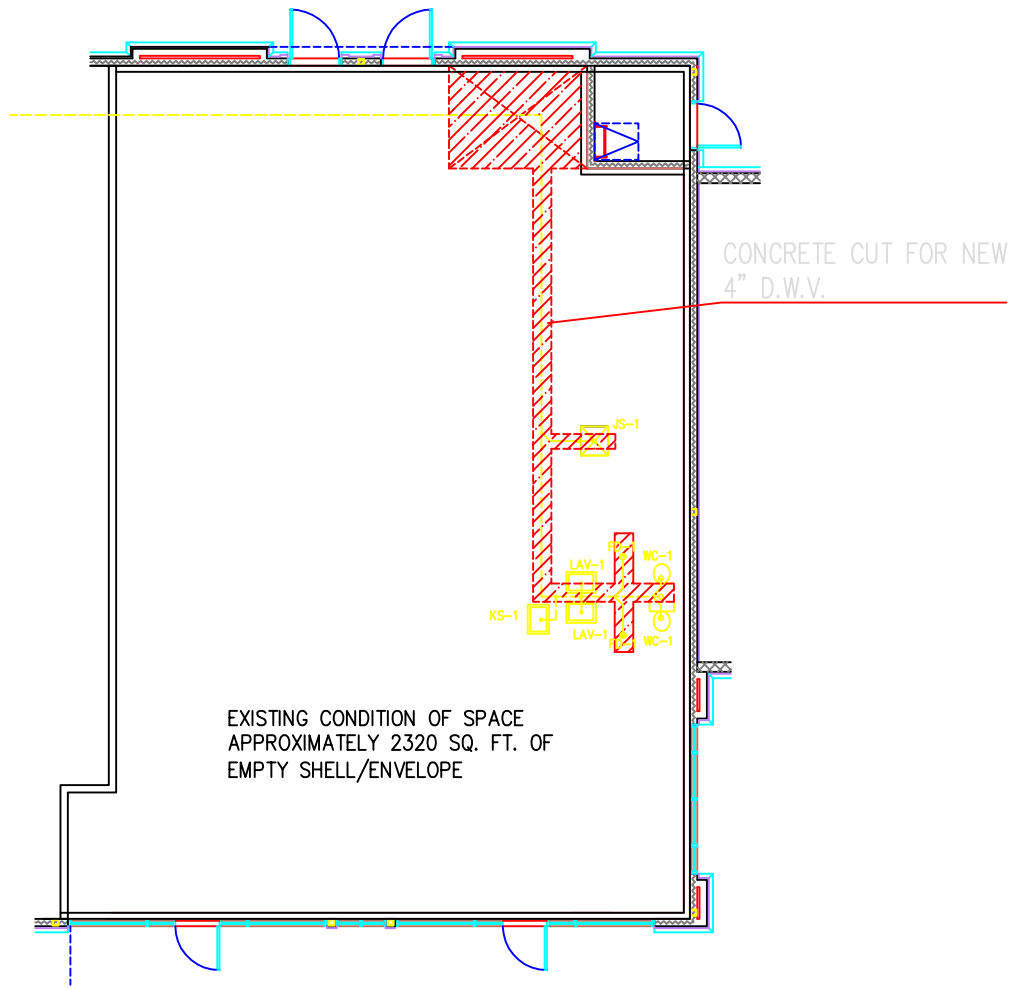
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BRAIN BALANCE
VILLAGE AT THE PEAKS
1232 SOUTH HOVER STREET
LONGMONT, CO 80501
REFLECTED CEILING
PLAN/DETAILS

MILO CONSTRUCTION
1898 S. FLATIRONS COURT
SUITE 100
BOULDER, COLORADO 80301
TELEPHONE: 303-444-7775

SHEET:

A-3



EXISTING CONDITION OF SPACE
APPROXIMATELY 2320 SQ. FT. OF
EMPTY SHELL/ENVELOPE

CONCRETE CUT FOR NEW
4" D.W.V.

① DEMOLITION PLAN
1/4"=1'-0"

SCALE:

1/4"=1'-0"

REVISIONS:

DATE	DISCRIPTION

SEAL

DRAWN 11/24/2015

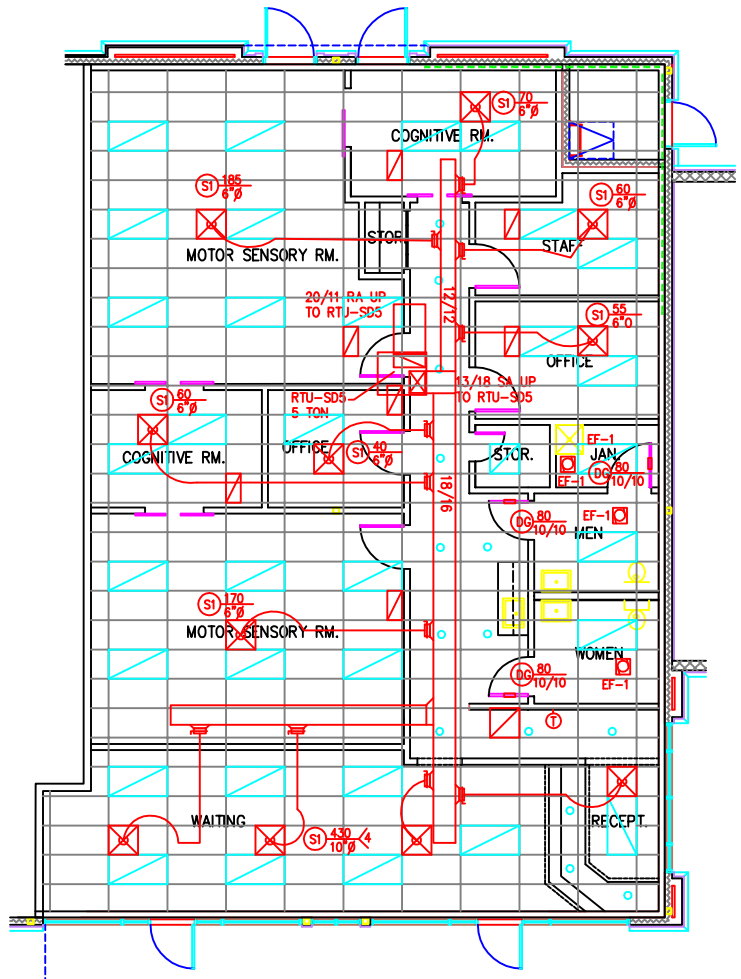
**BRAIN BALANCE
VILLAGE AT THE PEAKS
1232 SOUTH HOVER STREET
LONGMONT, CO 80501**

**DEMOLITION PLAN
NOTES**

**MILO CONSTRUCTION
1898 S. FLATIRONS COURT
SUITE. 100
BOULDER, COLORADO 80301
TELEPHONE: 303-444-7775**

SHEET:

D-1



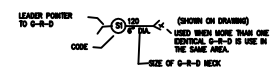
① HVAC DUCT PLAN
1/4"=1'-0"

FAN SCHEDULE												
NO.	MANUFACTURER AND MODEL	SERVICE	APPROXIMATE	CFM	ALS	HP	WPM	WPM	WPM	WPM	WPM	WPM
EF-1	FAN REFERRED TO	RESTROOM	CONCRETE	63	5300	1/8	1000	DR	NO	NO	NO	1 1/2" x 1 1/2"

NOTES:
1. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.
2. BACK DRAFT DAMPER.
3. BACK DRAFT DAMPER.

GRILLE/REGISTER/DIFFUSER SCHEDULE						
NO.	MANUFACTURER	SERVICE	FACE TYPE	INSTALLATION TYPE	VALVE DAMPER	MATERIAL
D-4	20" SQUARE	SUPPLY	3 GRID	LAF-6 GRID	NO	STEEL
D-1	20" SQUARE	RETURN	PERFORATED	LAF-6 GRID	NO	STEEL
D-2	20" SQUARE	RETURN	4" SQUARE	GRID	NO	STEEL

NOTES:
1. USE CONICAL SPIN-IN WITH BALANCING DAMPER.
2. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.
3. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.



HEATING AND COOLING ROOFTOP UNIT SCHEDULE												
NO.	MANUFACTURER	MODEL	TYPE	CFM	HP	WPM	WPM	WPM	WPM	WPM	WPM	WPM
RTU-SD3	RTU-SD3	5 TON	COOLING	2400	0.40	100	100	100	100	100	100	100
RTU-SD3	RTU-SD3	5 TON	COOLING	2400	0.40	100	100	100	100	100	100	100

NOTES:
1. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.
2. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.
3. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.

GENERAL NOTES

1. ALL RECTANGULAR DUCTWORK TO HAVE 1/2" ACOUSTIC LINER. DUCT SIZE ACCOUNT FOR LINER.
2. ALL RETURN GRILLES (UNLESS NOTED) TO BE 24/12, TYPE R-1
3. DUCTWORK TO DIFFUSERS TO BE SAME SIZE AS DIFFUSER INLET.
4. PROVIDE CONICAL SPIN-IN WITH BALANCING DAMPER.

SCALE:
1/4"=1'-0"

REVISIONS:
DATE DESCRIPTION

SEAL

DRAWN 11/24/2015

BRAIN BALANCE VILLAGE AT THE PEAKS
1232 SOUTH HOVER STREET
LONGMONT, CO 80501
HVAC PLANDetails

MILCO CONSTRUCTION
1898 S. FLATRONS COURT
SUITE. 100
BOULDER, COLORADO 80301
TELEPHONE: 303-444-7775

SHEET:
M-1

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
LIGHTING	
	SPST WALL SWITCH, +48" UNLESS NOTED OTHERWISE, LETTER DENOTES SWITCHLEG.
	3-WAY WALL SWITCH, +48" ABOVE FLOOR UNLESS NOTED OTHERWISE.
	4-WAY WALL SWITCH, +48" ABOVE FLOOR UNLESS NOTED OTHERWISE.
	SLIDE-TO-OFF DIMMER SWITCH, +48" UNLESS NOTED OTHERWISE.
	OCCUPANCY SENSOR WALL SWITCH, WATT-STOPPER PW-100 OR EQUAL.
	MULTIPLE GANG SWITCH BANK, +48" ABOVE FLOOR UNLESS NOTED OTHERWISE.
	TIME-CLOCK CONTROLS.
	VACANCY SENSOR UNIT (MANUAL "ON"/AUTOMATIC "OFF"), CEILING MOUNTED.
	LINE VOLTAGE OCCUPANCY SENSOR UNIT, CEILING MOUNTED - WATT-STOPPER DT-355.
	OCCUPANCY SENSOR UNIT, WALL MOUNTED.
	FLUORESCENT STRIP LIGHT, LENGTH AND MOUNTING PER FIXTURE SCHEDULE.
	SURFACE OR PENDANT FLUORESCENT FIXTURE, LENGTH/MOUNTING PER FIXTURE SCHEDULE.
	RECESSED GRID MOUNTED FLUORESCENT FIXTURE. SIZE PER FIXTURE SCHEDULE.
	RECESSED GRID MOUNTED FLUORESCENT "NIGHT LIGHT" FIXTURE.
	RECESSED GYP. MOUNTED FLUORESCENT FIXTURE. SIZE PER FIXTURE SCHEDULE.
	RECESSED DOWNLIGHT FIXTURE, TYPE AND SIZE PER FIXTURE SCHEDULE.
	SURFACE OR PENDANT MOUNTED FIXTURE, TYPE AND SIZE PER FIXTURE SCHEDULE.
	KEYLESS LAMP HOLDER WITH 100W A-19 LAMP, UNLESS NOTED OTHERWISE.
	WALL MOUNTED FIXTURE, TYPE AND MOUNTING PER FIXTURE SCHEDULE.
	PARKING LOT POLE MOUNTED FIXTURE, TYPE AND MOUNTING PER FIXTURE SCHEDULE.
	GRADE MOUNTED BOLLARD FIXTURE, TYPE AND MOUNTING PER FIXTURE SCHEDULE.
	SINGLE FACE EXIT SIGN, WITH ARROW AS SHOWN TYPE AND COLOR PER FIXTURE SCHEDULE.
	DOUBLE FACE EXIT SIGN, WITH ARROW AS SHOWN TYPE AND COLOR PER FIXTURE SCHEDULE.
	WALL MOUNTED BATTERY PACK EGRESS LIGHT, TYPE AND COLOR PER FIXTURE SCHEDULE.
	REMOTE HEAD EGRESS LIGHT, TYPE AND COLOR PER FIXTURE SCHEDULE.
POWER / TELECOMM.	
	DUPLEX RECEPTACLE, +15" UNLESS NOTED OTHERWISE.
	DOUBLE-DUPLEX RECEPTACLE, +15" UNLESS NOTED OTHERWISE.
	SINGLE RECEPTACLE, +15" UNLESS NOTED OTHERWISE.
	HALF SWITCHED DUPLEX RECEPTACLE, +15" UNLESS NOTED OTHERWISE.
	CEILING MOUNTED DUPLEX RECEPTACLE.
	CEILING MOUNTED DOUBLE-DUPLEX RECEPTACLE.
	SPECIAL RECEPTACLE, +15" UNLESS NOTED OTHERWISE.
	JUNCTION BOX, WALL MOUNTED AT +15" UNLESS NOTED OTHERWISE.
	JUNCTION BOX ABOVE CEILING.
	FLUSH FLOOR MOUNTED DOUBLE-DUPLEX RECEPTACLE.
	VOICE/DATA JACK, +15" ABOVE FLOOR IN A 2 1/8" D x 4" SQ. BOX WITH A SINGLE GANG MUD RING AND 3/4" CONDUIT TO ACCESSIBLE CEILING SPACE.
	TELEPHONE TERMINAL BACKBOARD.
	PUSH-BUTTON CONTROL WITH 1/2" C. TO ACCESSIBLE CEILING.
	FRACTIONAL HP THERMAL-OVERLOAD SWITCH.
	MOTOR, SUBSCRIPT INDICATES HORSEPOWER.
	SHUNT-TRIP BREAKER, SIZE AS NOTED.
	FUSIBLE MODULE, SIZE AS NOTED.
	DISCONNECT SWITCH, SIZE AND POLES AS SHOWN.
	COMBINATION MOTOR/DISCONNECT, SIZE AS NOTED.
	BRANCH CIRCUIT PANELBOARD, +66" TO TOP OF PANEL.
	MAIN DISTRIBUTION CENTER.
	UTILITY METER.
CIRCUITING / TAGS	
	FLEX CONDUIT CONNECTION.
	CONDUIT, CONCEALED IN WALLS OR CEILING.
	CONDUIT, CONCEALED IN FLOOR.
	CONDUIT, UNDERGROUND BURIED.
	BRANCH CIRCUIT HOMERUN TO PANELBOARD, ARROWS INDICATES NUMBER OF CIRCUITS.
	NEUTRAL, HOT, SWITCH LEG & GROUND CONDUCTORS AND CONTROL PAIR; RESPECTIVELY
	CONDUIT STUB-UP
	CONDUIT STUB-DOWN
	ELECTRICAL DETAIL NOTE REFERENCE.
	MECHANICAL EQUIPMENT REFERENCE.
	FAULT CALCULATION REFERENCE.
	ABOVE COUNTER
	CEILING MOUNTED
	STUB-DOWN
	EXISTING TO REMAIN
	GROUND FAULT INTERRUPTER
	NON-FUSED
	NON-SWITCHED "NIGHT LIGHT"
	EXISTING TO BE REMOVED
	RELOCATED - PROVIDE ADDITIONAL CONDUIT AND WIRE AS REQUIRED.
	SURFACE MOUNTED
	UNLESS NOTED OTHERWISE
	STUB-UP
	WEATHER-PROOF
NOTE: -WIRE DEVICES AND BOXES SHALL BE FLUSH MOUNTED UNLESS NOTED OTHERWISE. -HEAVY LINE WEIGHT INDICATES EXISTING TO REMAIN. -LIGHT DASHED LINE WEIGHT INDICATES EXISTING TO BE REMOVED. ALL EXISTING DEVICES TO REMAIN SHALL BE RECONNECTED AS REQUIRED AFTER DEMOLITION IS COMPLETE. PROVIDE NEW CONDUIT AND WIRE AS REQUIRED.	

FIXTURE SCHEDULE							
KEY	LAMP(S)	DESCRIPTION	FINISH	VOLT	MOUNTING	MFR	CAT. NO.
A1	29W, 3000lm LED 3500K	2x4 LED TROFFER WITH FROSTED ACRYLIC CENTER BASKET AND INTEGRAL NON-DIMMING DRIVER	WHITE	120	RECESSED IN GRID	WILLIAMS	LT-24-L30935-AF-DRV-UNV
A2	29W, 3000lm LED 3500K	2x4 LED TROFFER WITH FROSTED ACRYLIC CENTER BASKET AND INTEGRAL 0-10V DIMMING DRIVER	WHITE	120	RECESSED IN GRID	WILLIAMS	LT-24-L30935-AF-DM-UNV
A3	40W, 4000lm LED 3500K	2x4 LED TROFFER WITH FROSTED ACRYLIC CENTER BASKET AND INTEGRAL 0-10V DIMMING DRIVER	WHITE	120	RECESSED IN GRID	WILLIAMS	LT-24-L40935-AF-DM-UNV
B	21W, 2200lm LED 3500K	2x2 LED TROFFER WITH FROSTED ACRYLIC CENTER BASKET AND INTEGRAL NON-DIMMING DRIVER	WHITE	120	RECESSED IN GRID	WILLIAMS	LT-22-L22935-AF-DRV-UNV
C	10.5V 540lm LED 2700K	4" LED DOWNLIGHT WITH MODERATE RECESSED LENS AND INTEGRAL 0-10V DIMMING DRIVER	WHITE	120	RECESSED IN GRID	CREE	LR4E-15 WITH H4 HOUSING
X1	FURNISHED WITH UNIT	LED SINGLE FACED EXIT SIGN WITH BATTERY AND SELF DIAGNOSTICS	WHITE	UNV	WALL OR CEILING	EXTRONIX	G702-WB-WH-HAT-DL
EM1	FURNISHED WITH UNIT	EMERGENCY EGRESS LIGHT WITH BATTERY AND SELF DIAGNOSTICS	WHITE	UNV	WALL	DUAL-LITE	EV-21

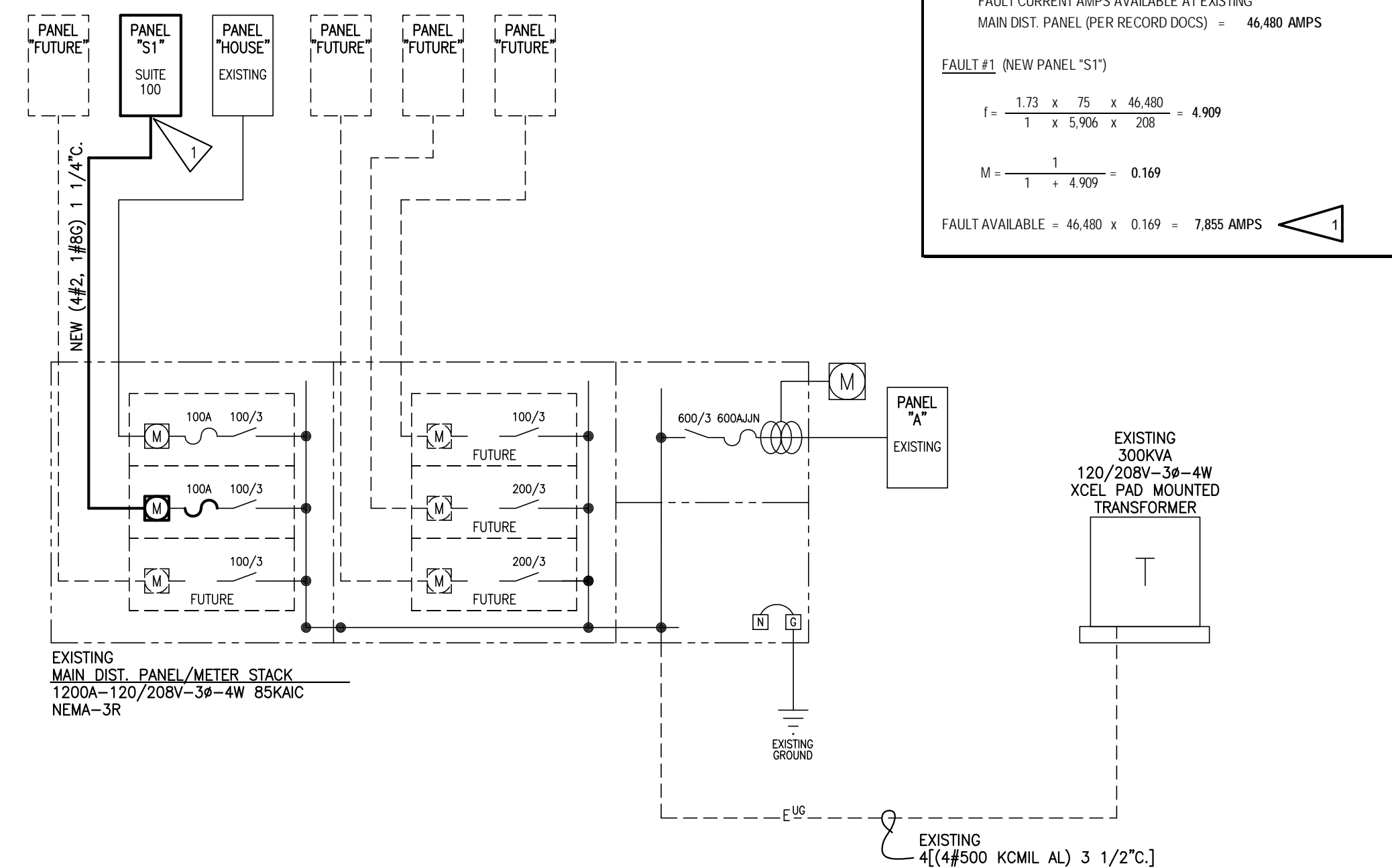
(NEW) PANEL "S1"

VOLTAGE: 120/208V-3PH-4W
 NEMA RATING: 1 3R
 A.I.C. RATING: 10,000
 SERVICE ENTRANCE RATED: M.L.O. 125 AMP
 ISOLATED GROUND BUS: BUS SIZE: 125 AMP
 LOCATION: TENANT SUITE

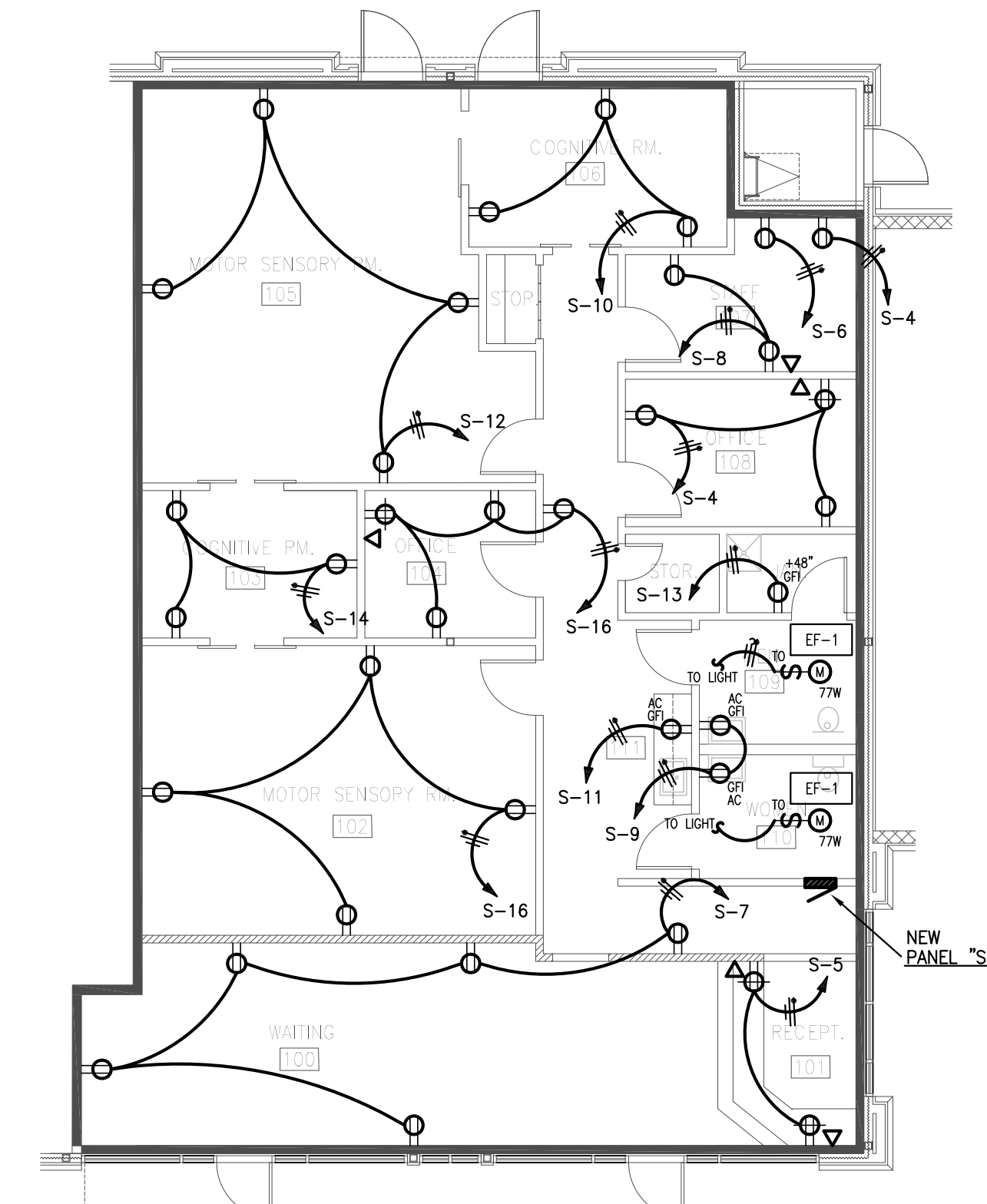
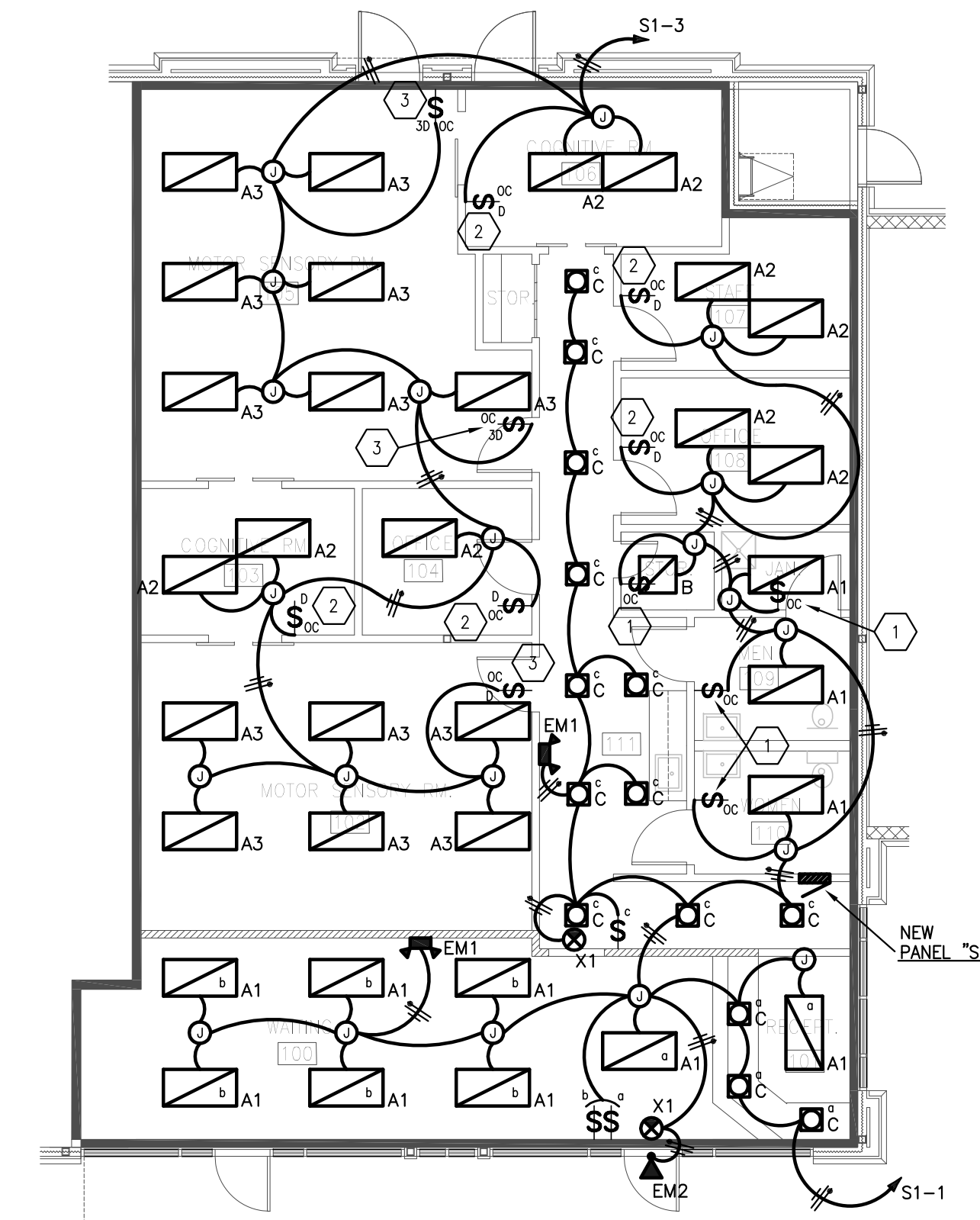
BRANCH BREAKERS															
CD	DESCRIPTION	SIZE	P	CR.	LEFT PHASE LOAD			RIGHT PHASE LOAD			CR.	SIZE	P	DESCRIPTION	CD
					A	B	C	A	B	C					
L	LIGHTS	20	1	1	783			720			2	20	1	RECEPT-OFFICE	R
L	LIGHTS (EF-12)	20	1	3		630			1000		4	20	1	RECEPT-STAFF	R
R	RECEPT-RECEPTION	20	1	5			720			1000	6	20	1	RECEPT-STAFF	R
R	RECEPT-WAITING	20	1	7		900			360		8	20	1	RECEPT-STAFF	R
R	RECEPT-RESTROOMS	20	1	9		360			540		10	20	1	RECEPT-COGNITIVE RM	R
R	RECEPT-CORR	20	1	11		180			720		12	20	1	RECEPT-MOTOR SENSORY RM	R
R	RECEPT-JAN.	20	1	13	180				540		14	20	1	RECEPT-COGNITIVE RM	R
SPARE	SPARE	20	1	15					720		16	20	1	RECEPT-OFFICE	R
SPARE	SPARE	20	1	17							18	20	1	RECEPT-MOTOR SENSORY RM	R
SPARE	SPARE	20	1	19							20	20	1	SPARE	R
SPARE	SPARE	20	1	21							22	20	1	SPARE	R
SPARE	SPARE	20	1	23							24	20	1	SPARE	R
SPARE	SPARE	20	1	25							26	20	1	SPARE	R
SPARE	SPARE	20	1	27							28	20	1	SPARE	R
SPARE	SPARE	20	1	29							30	20	1	SPARE	R
SPARE	SPARE	20	1	31							32	20	1	SPARE	R
SPARE	SPARE	20	1	33							34	20	1	SPARE	R
SPARE	SPARE	20	1	35							36	20	1	SPARE	R
SPARE	SPARE	20	1	37							38	20	1	SPARE	R
SPARE	SPARE	20	1	39							40	20	1	SPARE	R
SPARE	SPARE	20	1	41							42	20	1	SPARE	R
					1863	990	900	1620	2260	1720					
					3483	3250	2620	Total Connected V.A.							
					9353	Total Connected V.A. All Phases									

CD	LOAD	CONNECTED	D.F.	KVA	AMPS
L	LIGHTING	1413 VA	1.25	1.8	
R	RECEPTACLES (1ST 10000)	7940 VA	1.00	7.8	
R	RECEPTACLES (REMAINING)	0 VA	0.50	0.0	
M	MOTOR (LARGEST)	0 VA	1.25	0.0	
M	MOTORS (REMAINING)	0 VA	1.00	0.0	
H	ELECTRIC HEAT	0 VA	1.25	0.0	
M	ELECTRICAL MISC.	0 VA	1.00	0.0	
TOTAL ESTIMATED LOAD		8353 VA	9.7	27.0	

NOTES:
 1
 2
 3
 ALL SINGLE PHASE SHARED NEUTRAL CIRCUITS SHALL BE SUPPLIED WITH BREAKER HANDLE TIES PER NEC 210.4



FAULT CURRENT CALCULATIONS	
FAULT CURRENT AMPS AVAILABLE AT EXISTING MAIN DIST. PANEL (PER RECORD DOCS) = 46,480 AMPS	
FAULT #1 (NEW PANEL "S1")	
$f = \frac{1.73 \times 75 \times 46,480}{1 \times 5,906 \times 208} = 4,909$	
$M = \frac{1}{1 + 4,909} = 0.169$	
FAULT AVAILABLE = 46,480 x 0.169 = 7,855 AMPS	



- DETAIL NOTES**
- 1 PROVIDE OCCUPANCY SENSOR WALL SWITCH - WATT-STOPPER #PW-100.
 - 2 PROVIDE DIMMING OCCUPANCY SENSOR WALL SWITCH - WATT-STOPPER #PW-1000.
 - 3 PROVIDE 3-WAY/ DIMMING OCCUPANCY SENSOR WALL SWITCH - WATT-STOPPER #RD-250-PIR.

SCALE:
AS NOTED

REVISIONS:
 DATE DISCUSSION

SEAL

PERMIT 12/7/15

VILLAGE AT THE PEAKS
 THE VILLAGE "NORTH"
 1232 SOUTH HOVER STREET
 LONGMONT, CO 80501

ELECTRICAL PLANS

MILO CONSTRUCTION
 1898 S. FLATIRONS COURT
 SUITE. 200
 BOULDER, COLORADO 80301
 TELEPHONE: 303-444-7775

SHEET:
E1.0



COMcheck Software Version 3.9.1
Envelope Compliance Certificate

2012 IECC

Section 1: Project Information

Project Type: New Construction
Project Title: Brain Balance

Construction Site:
1232 S. Hover St.
Longmont, CO 80501

Owner/Agent:
Will Nelson
Milo Construction
CO
303-434-2052

Designer/Contractor:
Jeff Nielsen
JCN Engineering, Inc.
3281 Routt St.
Wheat Ridge, CO 80033
303-239-0736

Section 2: General Information

Building Location (for weather data): Longmont, Colorado
Climate Zone: 5b
Building Type for Envelope Requirements: Non-Residential

Building Type: office and testing (Office) Floor Area: 2285

Section 3: Requirements Checklist

Envelope TBD Efficiency Option must be specified (see Project Overview)

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
----------------------------	-------------------------	----------------	---------------	-------------------	-----------------

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- 1. Continuous air barrier is provided throughout the building thermal envelope.
- 2. Air barrier joints and seams are sealed. The joints and seals are securely installed in or on the joint for its entire length.
- 3. Penetrations of the air barrier and paths of air leakage are caulked, gasketed or otherwise sealed in a manner compatible with the construction materials and location. Joints and seals are sealed in the same manner or taped or covered with a moisture vapor permeable wrapping material. The joints and seals are securely installed in or on the joint for its entire length.
- 4. The air barrier is continuous for all assemblies that are the thermal envelope and across the joints and assemblies.
- 5. Recessed lighting fixtures installed in the building envelope are Type IC rated as meeting ASTM E283, tested to ≤ 2.0 cfm, and are sealed with gasket or caulk.
- 6. Completed building air leakage tested to ≤ 0.40 cfm/m².
- 7. Air leakage of fenestration: Windows/glassed sliding and swinging doors/skylights with no weepage openings ≤ 0.20 cfm/m². Skylights with weepage ≤ 0.30 cfm/m². Curtain walls/storefront glazing ≤ 0.06 cfm/m². Doors: glazed swinging entrance/revolving/rolling ≤ 1.00 cfm/m². Doors: garage ≤ 0.40 cfm/m².

Exceptions:
 Field fabricated assemblies.

- 8. Doors and access openings from conditioned space to shafts, chutes stairways and elevator lobbies are gasketed, weatherstripped or sealed.

Project Title: Brain Balance
Data filename: Untitled.doc

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Exceptions:

- Door openings required to comply with International Building Code as per Section C402.4.4

- 9. Stairway and shaft vents are provided with Class I motorized dampers with a leakage rate ≤ 4 cfm/m². Dampers are installed with controls so that they are capable of automatically opening upon activation of any fire alarm or the interruption of power to the damper.
- 10. Outdoor air supply and exhaust openings are provided with Class IA motorized dampers having a leakage rate ≤ 4 cfm/m².

Exceptions:

- Gravity (nonmotorized) dampers having a leakage rate ≤ 20 cfm/m² are permitted for exhaust and relief dampers for buildings less than three stories in height above grade, or where the design outdoor air intake or exhaust capacity ≤ 300 cfm.
- Dampers smaller than 24 inches in either dimension are permitted to have a leakage ≤ 40 cfm/m².

- 11. Cargo doors and loading dock doors are weather sealed.
- 12. Building entrance doors have a vestibule equipped with self-closing devices.

Exceptions:

- Building entrances with revolving doors.
- Doors not intended to be used as a building entrance by the public, or intended solely for employee use.
- Doors that open directly from a space less than 3000 sq. ft. in area.
- Doors used primarily to facilitate vehicular movement or materials handling and adjacent personnel doors.
- Doors opening directly from a sleeping/dwelling unit.

- 13. Component R-values & U-factors labeled as certified.
- 14. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- 15. Other components have supporting documentation for proposed U-Factors.
- 16. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation. Except when instructed otherwise, edge joints between overlapping layers of continuous insulation are staggered.
- 17. Radiant panels and associated components, designed for heat transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-3.5

Minimum Skylight-Daylighting Requirements:

- 18. In enclosed spaces > 10,000 ft² directly under a roof with ceiling heights >15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply unless exempted:
 The daylight zone under skylights is >= half the floor area.
 The skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.

Exceptions:

- Spaces where the proposed general lighting power densities ≤ 0.5 W/ft².
- Areas with obstructions that block direct beam sunlight on >= 1/2 of the roof over the enclosed area for more than 1,500 daytime hours per year between 8 am and 4 pm.
- Spaces where the daylight zone under rooftop monitors is > 50 percent of the enclosed space floor area.

- 19. Skylights in office, storage, automotive service, manufacturing, non-refrigerated warehouse, retail store, and distribution/sorting area have a measured haze value > 90 percent unless designed to exclude direct sunlight.

Additional Efficiency Package Requirements:

- 1. Full compliance with this energy code requires an 'additional efficiency package' be adopted. None has yet been specified.

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Report date: 12/07/15
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COMcheck Software Version 3.9.1
Interior Lighting Compliance Certificate

2012 IECC

Section 1: Project Information

Project Type: New Construction
Project Title: Brain Balance

Construction Site:
1232 S. Hover St.
Longmont, CO 80501

Owner/Agent:
Will Nelson
Milo Construction
CO
303-434-2052

Designer/Contractor:
Jeff Nielsen
JCN Engineering, Inc.
3281 Routt St.
Wheat Ridge, CO 80033
303-239-0736

Section 2: Interior Lighting and Power Calculation

A	B	C	D
Floor Area	Allowed Watts / ft ²	0.9	2057
office and testing (Office)	2285	0.9	2057
Total Allowed Watts = 2057			

Section 3: Interior Lighting Fixture Schedule

A	B	C	D	E
Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	Lamps / Fixture	# of Fixtures	Fixture Watt.	(C X D)
office and testing (Office: 2285 sq ft.)				
Incandescent 1: A1, A2: LED troffer / Other	1	20	29	580
Incandescent 2: A3: LED troffer / Other	1	13	40	520
Incandescent 3: B: LED troffer / Other	1	1	21	21
Incandescent 4: C: LED downlight / Other	1	11	11	121
Total Proposed Watts = 1242				

Section 4: Requirements Checklist

Lighting Wattage:

- 1. Total proposed watts must be less than or equal to total allowed watts.
Allowed Watts: 2057 Proposed Watts: 1242
Complies: YES

Mandatory Requirements:

- 2. Dwelling units (complete independent living facilities) within commercial buildings are not required to comply with interior lighting requirements of this code provided that >=75 percent of the permanently installed fixtures other than low voltage lighting contain only high efficacy lamps.
- 3. Manual Controls: Each enclosed space has manual lighting control. Remotely located manual controls are labelled for area of service and indicate on/off status.
Exception(s):
 Security/emergency areas with 24-hour operation.
 Stairways/corridors that are means of egress.
- 4. Light Reduction Controls: Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

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Exception(s):

- Only one luminaire (lamp ≤ 100 W) in space.
- An occupant-sensing device controls the area.
- The area is a corridor, equipment/storerooms, restrooms, public lobby, elec./med. room, or sleeping unit.
- Areas that use ≤ 0.6 Watts/sq.ft.
- Daylight spaces having automatic daylighting controls.

- 5. Automatic time switching controls are installed and have an override switching device. The override switching device allows for ≤ 2 hour operation cycle within spaces ≤ 5000 sq. ft., manual operation, and is readily accessible and located where the operation of the connected lights are visible or communicated to the switch.

Exception(s):

- Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security or where lighting is intended for 24-hour operation.
- Emergency egress lighting.
- Spaces where lighting is controlled with occupancy sensors.

- Malls, arcades, auditoriums, single tenant retail spaces, industrial facilities and arenas that are $\leq 20,000$ sq. ft. are permitted to exceed the 2-hour operation cycle limit when a captive key device override switch is installed.

- 6. Occupant sensors are installed in the following spaces and automatically turn lighting off within 30 minutes of all occupants leaving the space: Classrooms, conference/meeting/training rooms, employee lunch and break rooms, private offices, storage/janitorial rooms, restrooms, and other spaces ≤ 300 sq. ft. Automatic on sensors set power on ≤ 50 percent power.

Exception(s):

- Full power automatic on controls are permitted where manual-on operation would endanger the safety or security of the room or building occupants.

- 7. Daylight zones have either individual lighting controls independent from that of the general area lighting that are either manual or automatic and serve zones $\leq 2,500$ sq. ft. Zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.

Exception(s):

- Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.
- Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.

- 8. Automatic daylight zone controls are capable of reducing power to ≤ 35 percent using continuous dimming ballasts and daylight-sensing controls OR, are capable of automatic power reduction using step-dimming multi-level switching and daylight-sensing controls having at least two control channels per zone and at least one control step in the 50 - 70 percent range and another ≤ 35 percent of design power.

- 9. Medical task lighting or art/history display lighting claimed to be exempt from compliance has a control device independent of the nonexempt lighting.
- 10. Separate control device for display/accent lighting, case lighting, task lighting, nonvisual lighting, under-shelf/cabinet lighting, lighting for sale, and demonstration lighting.

- 11. Hotel/motel sleeping units and guest suites have control device(s) at the entry door that control all permanent luminaires and switched receptacles.

- 12. Exit signs 5 Watts or less per sign.
- 13. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exception(s):

- Electronic high-frequency ballasts.
- Luminaires not on same switch.
- Recessed luminaires 10 ft. apart or surface/pendant not continuous.
- Luminaires on emergency circuits.

Additional Efficiency Package Requirements:

- 1. Full compliance with this energy code requires an 'additional efficiency package' be adopted. None has yet been specified.

Interior Lighting PASSES. Design: 40%, better than code.

Section 5: Compliance Statement

Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2012 IECC requirements in COMcheck Version 3.9.1 and to comply with the mandatory requirements in the Requirements Checklist.

Jeff Nielsen - President
Name - Title

Signature: *Jeff Nielsen* Date: 12/7/15

Project Title: Brain Balance
Data filename: Untitled.doc

Report date: 12/07/15
Page 4 of 4

SCALE:

AS NOTED

REVISIONS:

DATE DISCRPTION

SEAL

PERMIT 12/7/15

VILLAGE AT THE PEAKS
THE VILLAGE "NORTH"
1232 SOUTH HOVER STREET
LONGMONT, CO 80501

ELECTRICAL PLANS

MILO CONSTRUCTION
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