

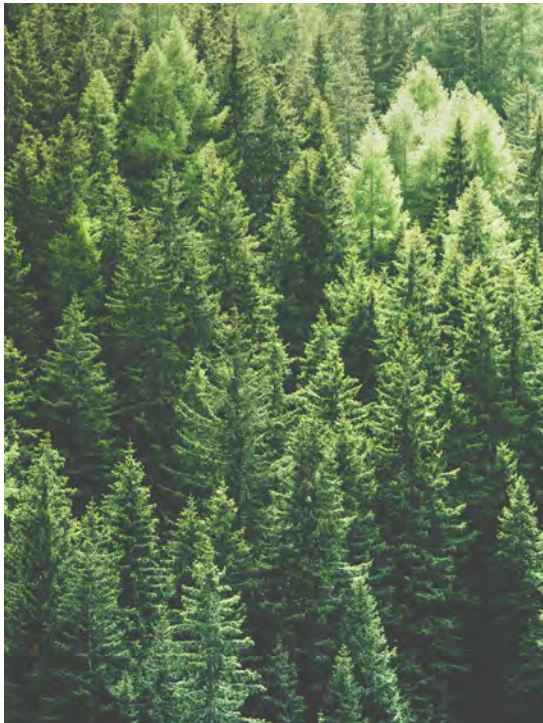
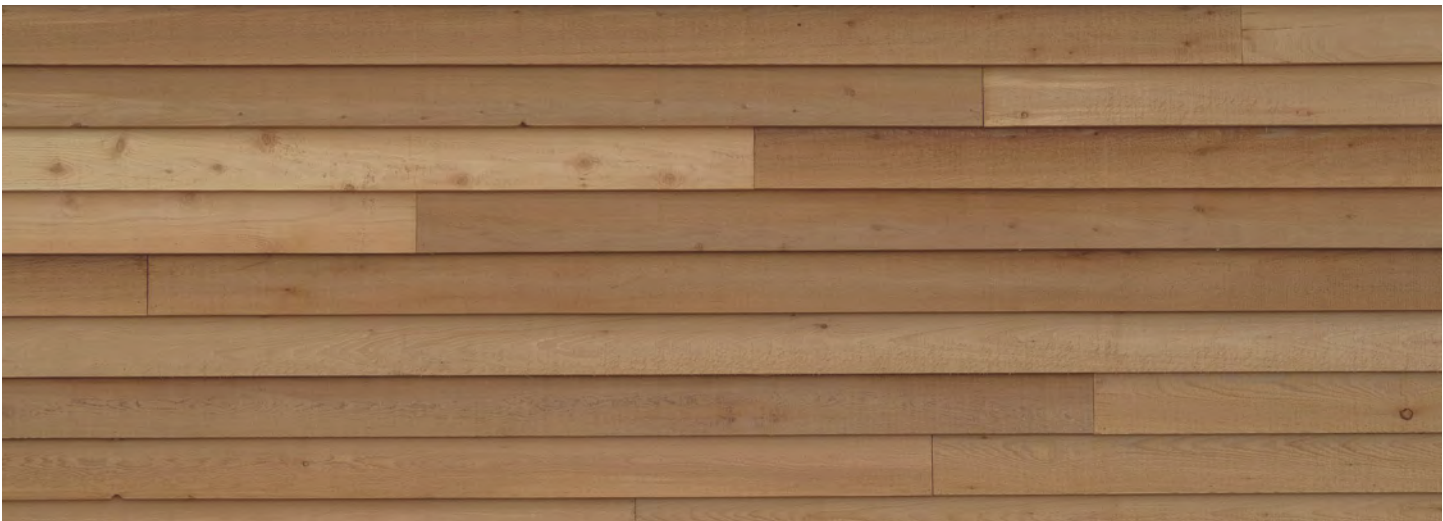


10

ENTITLEMENTS PACKAGE 12/22/2022

NE HOLLIDAY MICRO-UNITS

Prepared by TEN OVER STUDIO



CONTACTS

CLIENT

HOLLIDAY AVE PARTNERS LLC
456 MANZANITA DR. LOS OSOS, CA 93402
805.786.2156
joels@tenoverstudio.com

ARCHITECT

TEN OVER STUDIO
539 MARSH ST., SAN LUIS OBISPO, CA 93401
805.541.1010
CONTACT: AISLING BURKE
aislingb@tenoverstudio.com

INDEX

PROJECT INFO & DATA	T1.0
SITE INFO & DATA	T1.1
ALLOWABLE INFO & FIRE REQ.	T1.2
CONTEXTUAL SITE PLAN	T1.3
SITE SURVEY	T1.4
CIVIL TITLE SHEET	C-0.0
EXISTING & DEMO PLAN	C-1.0
CIVIL SITE & UTILITIES PLAN	C-2.0
GRADING & DRAINAGE PLAN	C-3.0
LANDSCAPE PLAN	L1.0
LANDSCAPE LEGEND & TABULATIONS	L1.1
SITE PLAN	A1.0
FLOOR PLANS	A2.0
FLOOR AND ROOF PLANS	A2.1
COMMUNITY ROOM	A2.2
UNIT TYPES	A2.3
ACCESSIBLE UNIT TYPE	A2.4
BUILDING ELEVATIONS	A3.0
BUILDING ELEVATIONS	A3.1
BUILDING ELEVATIONS	A3.2
MATERIAL BOARD	A4.0
PROJECT IMAGES	A6.0 TO A6.2



LAND USE REQUIREMENTS

ADDRESS	2101 NE Holliday		
TAX LOT	171227DB01000		
ZONING	RM		
CURRENT USE	Vacant		
PROPOSED USE	Micro Unit Housing		
ALLOWED USE IN ZONE	Allowed		
ENTITLEMENTS/USE PERMIT REQUIRED	Yes		
LOT SIZE	19895 SF	.46 ACRE	
MAX SITE COVERAGE	ALLOWABLE 60%	PROPOSED 26%	
FAR	ALLOWABLE 1.1 or 22,041 SF	PROPOSED 14,600	
DENSITY	ALLOWABLE 40 UNITS	PROPOSED 29	
HEIGHT LIMIT	ALLOWABLE 40'	PROPOSED 34'	

ADJACENT ZONES	NORTH	RM
	EAST	RM
	SOUTH	RM
	WEST	RM

SETBACKS	FRONT	10' +EASEMENT
	SIDE	5'
	REAR	5'
	NORTH SOLAR SETBACK	30'

PARKING DIMENSION	STALL	9' x 20'	aisle	24'
-------------------	-------	----------	-------	-----

PARKING CALCULATIONS

PARKING REQUIRED RESIDENTIAL	USE	UNIT COUNT (OR SF)	PARKING FACTOR	SPACES REQUIRED
	MICRO UNIT	29	0.7/ UNIT	21
	PROVIDED TOTAL			19

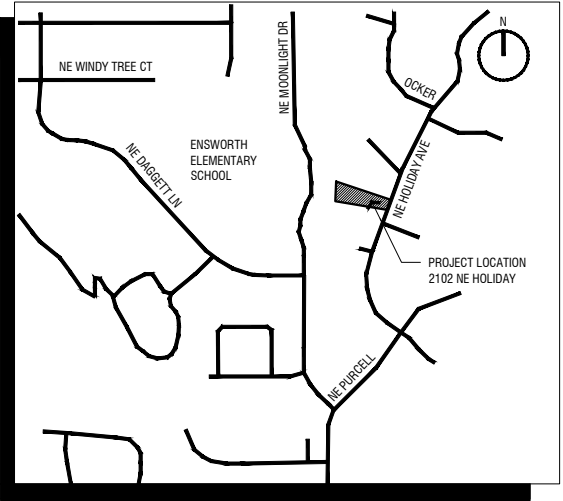
ADA VAN SPACES	REQUIRED	1	PROVIDED	1
----------------	----------	---	----------	---

COMPACT SPACES (PER 3.8.200(I)4)	ALLOWED	50% (11 SPACES)	PROVIDED	8 SPACES
-------------------------------------	---------	-----------------	----------	----------

BIKE PARKING	REQUIRED	29 SPACES (1/UNIT)	PROVIDED	1/UNIT+14 COMMON 43 SPACES TOTAL
--------------	----------	--------------------	----------	-------------------------------------

FUTURE EV REQ'D HB 2180 ORS 455.417	USE	# OF SPACES	EV FACTOR	FUTURE EV REQ'D
	R-2	19	20%	4
	FUTURE EV REQ'D TOTAL			4
	PROVIDED TOTAL			4

VICINITY MAP



PROJECT DESCRIPTION

This project includes a 14,600 SF micro-unit apartment building consisting of (29) 400 SF or less units. Private patios and balconies are provided on each unit, and common spaces include (3) kitchens, laundry rooms on each floor, as well as other outdoor gathering areas.

Proposed site work includes parking and landscape improvements as well as common outdoor areas and pedestrian connection to the property to the west.

BUILDING INFO

OCCUPANCY	R-2
CONSTRUCTION TYPE	V-B
SPRINKLER SYSTEM	NFPA 13R
STORIES PROPOSED	3
HEIGHT PROPOSED	34 FT

DENSITY CALCULATIONS

TOTAL DENSITY ALLOWED	LOT SIZE:	0.46
	DENSITY ALLOWED:	7.3-21.7/ACRE
	DENSITY PROPOSED:	7.25

DENSITY CALC	UNIT TYPE	UNIT COUNT	DU FACTOR	DENSITY
	STUDIO	29	0.25	7.25
	TOTAL PROPOSED			7.25

UNIT TYPES

	TYPE A (300 SF)	TYPE B (405 SF)	TYPE C (350 SF)	TOTAL
FIRST FLOOR	8	1	0	9
SECOND FLOOR	9	0	1	10
THIRD FLOOR	9	0	1	10
	TOTAL PROPOSED			29

TENOVER

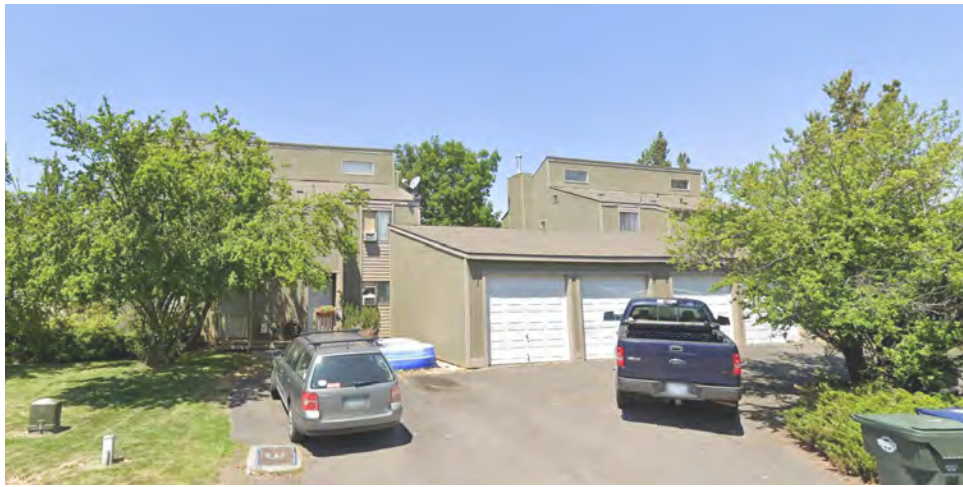
539 Marsh Street
San Luis Obispo, CA

805.541.1010
info@tenoverstudio.com

NE HOLLIDAY - MICRO UNITS

BEND, OREGON
DATE:12/22/22

T1.0



① 2003 NE HOLLIDAY AVE - DUPLEXES



④ 2071 NE HOLLIDAY AVE - TOWNHOUSES



② 2110 NE HOLLIDAY AVE - APARTMENTS



⑤ 2196 NE FULL MOON DR - QUADPLEX



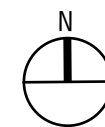
③ 2000 NE HOLLIDAY AVE - QUADPLEX



⑥ 2025 NE NEIL WAY - DUPLEXES

SUMMARY OF CONTEXT

The site is primarily surrounded by multi-family residential buildings, from duplexes to quadplexes. The buildings range from 1 to 3 stories and many of them have offest roofs. Local materials include lap siding, stacked stone and neutral earth tone colors.

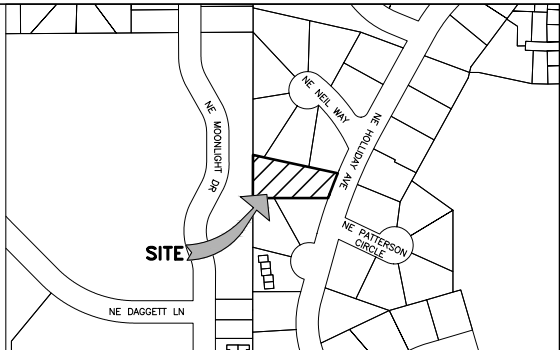
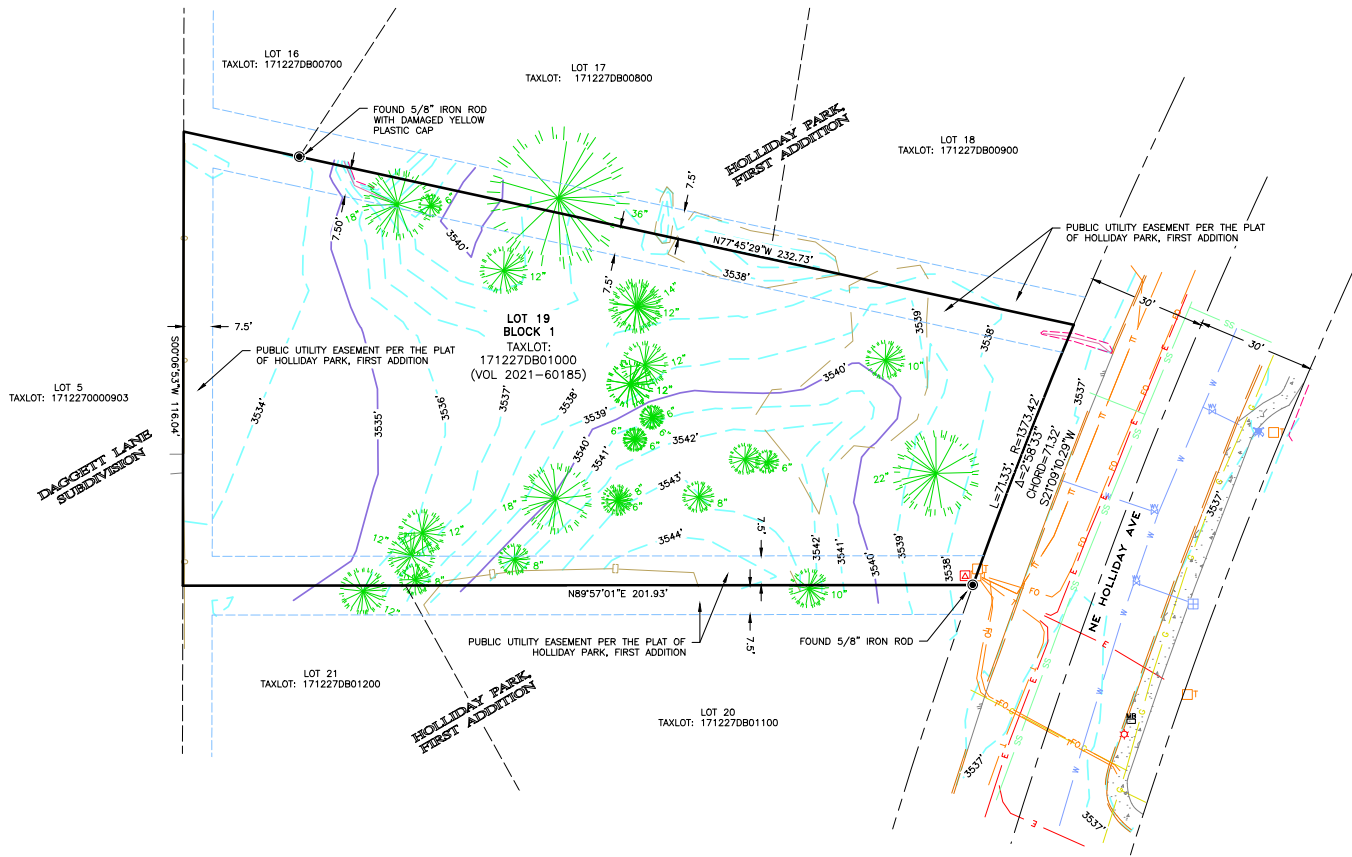


CONTEXTUAL SITE PLAN

SCALE: N.T.S.

TOPOGRAPHIC SURVEY

LOT 19 BLOCK 1, HOLLIDAY PARK, FIRST ADDITION
SITUATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 27,
TOWNSHIP 17 SOUTH, RANGE 12 EAST OF THE WILLAMETTE MERIDIAN,
CITY OF BEND, DESCHUTES COUNTY, OREGON



VICINITY MAP
(NOT TO SCALE)

NOTES:

1. RECORD BOUNDARY INFORMATION PER PLAT OF HOLLIDAY PARK, FIRST ADDITION. THIS IS NOT A BOUNDARY SURVEY.
2. ALL MAPPABLE EASEMENT SHOWN HEREON PER FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT ORDER NO: 7061-3849363 WITH AN EFFECTIVE DATE OF OCTOBER 26, 2021 8:00AM.

HORIZONTAL DATUM (BASIS OF BEARINGS):

BEARINGS AND COORDINATES ARE BASED ON THE CENTRAL OREGON COORDINATE SYSTEM (COCS), PUBLISHED BY THE DESCHUTES COUNTY SURVEYOR. HORIZONTAL DATUM IS NAD83(90), WHICH WAS OBTAINED THROUGH A MOLODINSKY TRANSFORMATION OF NAD83(2011) GPS OBSERVATIONS FROM THE ORGN BASE STATION "BNDM". COORDINATES OBTAINED FROM THE COCS ARE GROUND COORDINATES, AND DISTANCES ARE INTERNATIONAL FEET.

VERTICAL DATUM:

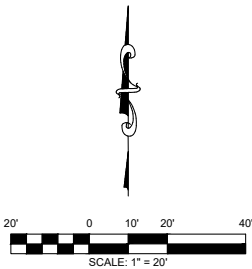
NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29)

UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES SHOWN HEREON ARE BASED ON LOCATE MARKS REQUESTED FOR THIS SURVEY PER ONE CALL PUBLIC LOCATE TICKET 22033137. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR FOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THE PLAN. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

LEGEND:

	FLOW LINE CURB
	STANDARD CURB
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	ROCK OUTCROP-TOE
	ROCKERY WALL-TOP
	ROCKERY WALL-TOE
	COMMUNICATIONS - CABLE TV
	WATER
	GAS
	ELECTRIC
	SANITARY SEWER
	FIBER OPTIC
	FENCE - WOOD
	FENCE - CHAINLINK
	EASEMENT
	RIGHT OF WAY
	BOUNDARY LINE
	LOT/PARCEL LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	CONCRETE HATCH
	TREE - CONIFER TRUNK
	DIAMETER AS NOTED
	POWER TRANSFORMER
	LIGHT-LAMP POST
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	TELEPHONE RISER
	MAILBOX



 PORTLAND, VANCOUVER, BEND, SEASIDE 901 NW CARLON AVE, SUITE 3 BEND, OR 97703 (541) 797-0954 WWW.SFLANDS.COM FEB. 28, 2022 JOB NO. 2022-488-01 FIELD JDG DRAWN HIT CHECKED ANH EMAIL: INFO@SFLANDS.COM					SURVEY FOR: TEN OVER STUDIO, INC LOT 19, BLOCK 1 HOLLIDAY PARK, FIRST ADDITION S. 27, T. 12 S., R 12 E. W.M. CITY OF BEND, DESCHUTES COUNTY		REGISTERED PROFESSIONAL LAND SURVEYOR OREGON JANUARY 21, 2009 ANDREW N. HUSTON 6140791.S RENEWS: 6/30/2023
---	--	--	--	--	---	--	---

SITE SURVEY

SCALE: N.T.S.

TENOVER

539 Marsh Street
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info@tenoverstudio.com

NE HOLLIDAY - MICRO UNITS

BEND, OREGON
DATE: 12/22/22

T1.4

HOLLIDAY MICRO UNITS

TENTATIVE CIVIL SITE IMPROVEMENT PLANS

2101 NE HOLLIDAY AVE

BEND, OR 97701

VICINITY MAP



SURVEY NOTES

EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON PER SURVEY BY S&F LAND SERVICES DATED 02-28-2022

BOUNDARY DATA: S&F LAND SERVICES

SURVEY MONUMENT PROTECTION:

PROTECT AND PRESERVE, IN PLACE, ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELOCATE MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE AUTHORITY HAVING JURISDICTION, PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES.

STANDARD ABBREVIATIONS

AC	ASPHALTIC CONCRETE	IE	INVERT ELEVATION
BLDG	BUILDING	INV	INVERT
BCR	BEGIN CURB RETURN	LA	LANDSCAPE AREA
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GRADE
BW	BOTTOM OF WALL	PA	PLANTER AREA
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
C/L	CENTERLINE	P/L	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	POC	POINT OF CONNECTION
CONC	CONCRETE	PS	PARKING STRIPE
DW	DRIVEWAY	PVC	POLYVINYL CHLORIDE
ECR	END CURB RETURN	RW	RIGHT OF WAY
EG	EXISTING GRADE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SG	SUB-GRADE ELEVATION
EVC	END VERTICAL CURVE	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB, CONCRETE
FG	FINISHED GRADE	TF	TOP OF FOOTING
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISHED SURFACE	VC	VERTICAL CURVE
GB	GRADE BREAK		

UTILITY PURVEYORS

ELECTRICITY: PACIFIC POWER
328 NE WEBSTER AVE
BEND, OR 97701
(888) 221-7070

TV/TELEPHONE: BEND BROADBAND
INTERNET: 63090 SHERMAN RD
BEND, OR 97701
(541) 382-5551

ALT TELE/INT: CENTURYLINK
921 NW BOND ST #276
BEND, OR 97701
(877) 837-5738

SEWER: CITY OF BEND UTILITY DEPARTMENT
62975 BOYD ACRES RD
BEND, OR 97701
(541) 317-3000

WATER: CITY OF BEND UTILITY DEPARTMENT
62975 BOYD ACRES RD
BEND, OR 97701
(541) 317-3000

NATURAL GAS: CASCADE NATURAL GAS
64500 O.B. RILEY RD
BEND, OR 97703
(888) 522-1130

PROJECT INFORMATION

CLIENT: HOLLIDAY AVE PARTNERS LLC
2101 NE HOLLIDAY AVE
BEND, OR 97701

ARCHITECT: TEN OVER STUDIO
856 NW BOND ST
SUITE 200
BEND, OR 97703

SURVEYOR: S&F LAND SERVICES
901 NW CARLON AVE
BEND, OR 97703

TAXLOT: 171227DB01000

SITE AREA: 0.46 AC
AREA DISTURBED: 0.46 AC

SHEET INDEX

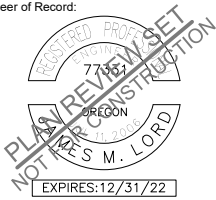
SHEET	SHEET TITLE
C-0.0	TITLE SHEET
C-1.0	TENTATIVE EXISTING CONDITIONS AND DEMOLITION PLAN
C-2.0	TENTATIVE CIVIL SITE & UTILITY PLAN
C-3.0	TENTATIVE GRADING AND DRAINAGE PLAN

Plan Prepared By:



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Engineer of Record:



TENTATIVE LAND USE PLANS - NOT FOR CONSTRUCTION

HOLLIDAY MICRO UNITS
TITLE SHEET
2101 NE HOLLIDAY AVE
BEND, OR 97701

Revisions:		
1		
2		
3		
4		
5		
Project Engineer: EAP		Ext: 213
Project Manager: JML		
Date:	12/15/2022	Scale: PER PLAN
AV Job No:	22203	Sheet Size: 22" x 34"

C-0.0



EXISTING CONDITIONS

- ### EXISTING CONDITIONS AND DEMOLITION LEGEND

CONTROL POINTS TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	390710.56	3302726.24	3537.43	CP_RPC
2	390763.61	3302674.80	3541.68	CP_HIT
3	390737.88	3302531.89	3534.12	CP_RPC

OWNER: RATCLIFFE, CHARLES T & MARY E
TAXLOT: 171227DB00900
0.27 ACRES
NOT IN PROJECT

TENTATIVE LAND USE PLANS - NOT FOR CONSTRUCTION

Revisions:	
①	-
②	-
③	-
④	-
⑤	-
Project Engineer: EAP	
Ext: 213	
Project Manager: JML	
Date:	12/15/2022
Scale:	PER PLAN
AV Job No:	22203
Sheet Size:	22" x 34"

Engineer of Record:

REGISTERED PROFESSIONAL
ENGINEER
77951
OREGON
JAN 11, 2008
PES M. LORD
EXPIRES: 12/31/22

Plan Prepared By:

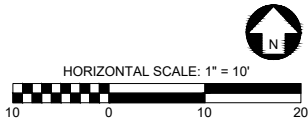
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Engineer of Record



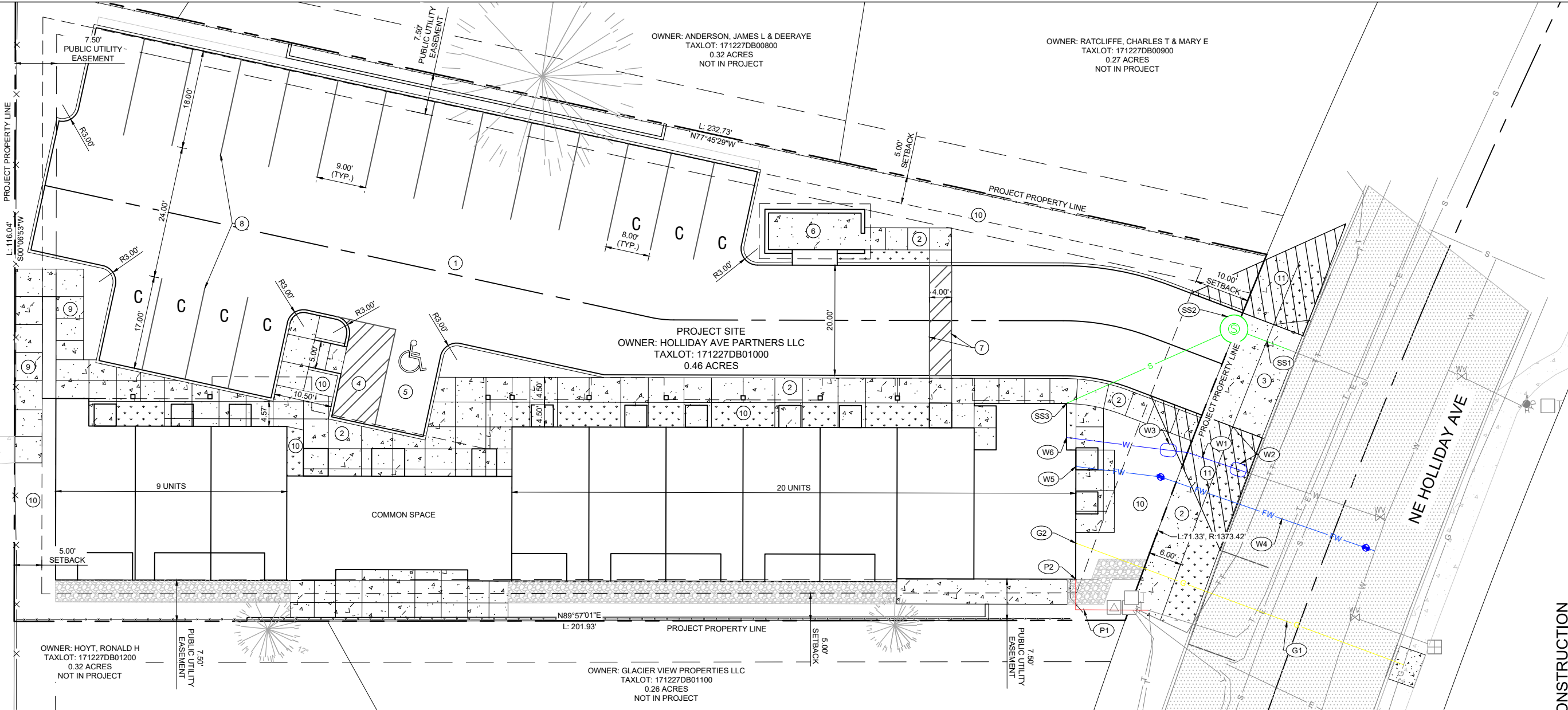
NG, INC.
33 NW Franklin Ave, Suite 110
Bend, OR 97703
(541) 647-1445
www.ashlevyance.com

CIVIL • STRUCTURAL



C-1.0

J:\2022 All Jobs\22203 - Holliday Micro Units (Civil) - Ten Over\02_Working Drawings\24\36 NEW SITE PLAN\02_LAND USE\C-2 CIVIL SITE PLAN.dwg, C-2.0, Dec 15, 2022 4:35pm, Emily



GENERAL NOTES:

ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST KNOWLEDGE AVAILABLE. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

SEE ARCHITECTURAL PLANS FOR MORE DETAILS.

SITE CONSTRUCTION NOTES:

- PROPOSED AC PAVEMENT PARKING LOT.
- PROPOSED CONCRETE WALKWAY.
- PROPOSED DRIVEWAY APRON PER CITY OF BEND STD DWG R-5D.
- PROPOSED ADA ACCESS AISLE.
- PROPOSED ADA PARKING STALL.
- PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED CROSSWALK STRIPING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED PARKING STALL STRIPING (TYP.). SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED CONCRETE RAMP.
- PROPOSED LANDSCAPE AREA.
- CLEAR VISION AREAS.

WATER CONSTRUCTION NOTES:

- W1 PROPOSED DOMESTIC WATER SERVICE.
- W2 PROPOSED COMMERCIAL WATER METER PER CITY OF BEND STANDARDS.
- W3 PROPOSED DOUBLE CHECK VALVE ASSEMBLY PER CITY OF BEND STD. DWG W-13A.
- W4 PROPOSED FIRE LINE PER CITY OF BEND STD DWG W-13B.
- W5 FIRE SERVICE POINT OF CONNECTION AT BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- W6 DOMESTIC WATER SERVICE POINT OF CONNECTION AT BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

POWER CONSTRUCTION NOTES:

- P1 PROPOSED POWER SERVICE AND TRENCH PER CENTRAL ELECTRIC COOPERATIVE STANDARDS AND SPECIFICATIONS.
- P2 POWER METER PER MECHANICAL PLANS. SEE MECHANICAL PLANS FOR POINT OF CONNECTION AT BUILDING.

NATURAL GAS NOTES:

- G1 PROPOSED NATURAL GAS SERVICE AND TRENCH PER CASCADE NATURAL GAS STANDARDS AND SPECIFICATIONS. SIZE PER MECHANICAL PLANS.
- G2 POINT OF GAS CONNECTION AT BUILDING. SEE MECHANICAL PLANS FOR DETAILS.

SANITARY SEWER CONSTRUCTION NOTES:

- SS1 PROPOSED GRAVITY SEWER SERVICE.
- SS2 INSTALL COMMERCIAL SAMPLE MANHOLE PER COB STD. DWG S-3C.
- SS3 SANITARY SEWER POINT OF CONNECTION AT BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

SITE PLAN AND UTILITY LEGEND

---	PROPERTY LINE
---	SETBACK
---	CENTERLINE
---	BUILDING
---	CONCRETE SIDEWALK AND DRIVEWAY APRON
---	EXISTING CONCRETE SIDEWALK
---	AC PAVEMENT
---	EXISTING AC PAVEMENT
---	6" CONCRETE CURB
---	STRIPING
---	ADJACENT PROPERTY LINE
SS	SANITARY SEWER SERVICE
SS	48" SANITARY SEWER MANHOLE
E	UNDERGROUND POWER LINE
W	WATER SERVICE
G	GAS LINE
FW	FIRE WATER LINE
W	GATE VALVE

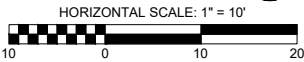
SITE PLAN NOTES:

TOTAL PARKING STALLS PROVIDED =	19
ACCESSIBLE PARKING STALLS PROVIDED =	1
TOTAL SITE AREA =	19,895 SF (0.46 AC)
TOTAL PROPOSED IMPERVIOUS AREA =	15,427 SF (77.5%)
BUILDING FOOTPRINT =	4,832 SF (24.2%)
TOTAL AC PAVEMENT AREA =	7,892 SF (39.6%)
TOTAL CONCRETE AREA =	2,703 SF (13.6%)
REQUIRED LANDSCAPE AREA =	2,984 SF (15.0%)
TOTAL LANDSCAPE AREA =	3,605 SF (18.1%)
TOTAL COMPACT STALLS =	7 EACH

Revisions:

1	
2	
3	
4	
5	

Project Engineer: EAP	Ext: 213
Project Manager: JML	
Date: 12/15/2022	Scale: PER PLAN
AV Job No: 22203	Sheet Size: 22" x 34"



C-2.0

Plan Prepared By:

Ashley & Vance
ENGINEERING, INC.

33 NW Franklin Ave, Suite 110
Bend, OR 97703
(503) 647-1445
www.ashleyvance.com

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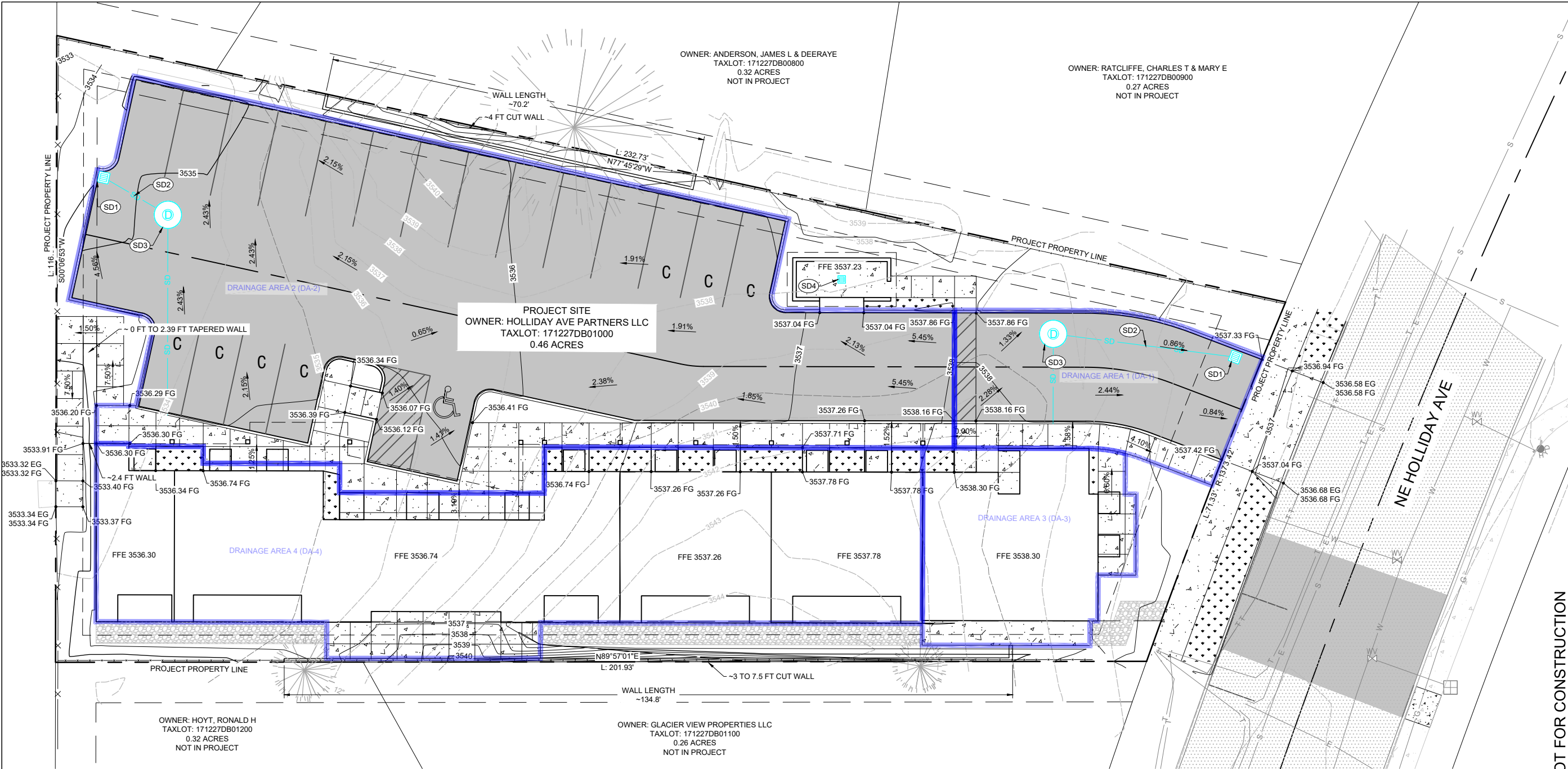
Engineer of Record:



TENTATIVE LAND USE PLANS - NOT FOR CONSTRUCTION

HOLLIDAY MICRO UNITS
TENTATIVE CIVIL SITE AND UTILITY PLAN
2101 NE HOLLIDAY AVE
BEND, OR 97701

J:\2022 All Jobs\22203 - Holliday Micro Units (Civil) - Ten Over\02 Working Drawings\24\36 NEW SITE PLAN\02-3 GRADING SHEET.dwg, C-3.0, Dec 15, 2022 4:59pm, Emily



GENERAL NOTES:

ALL STORMWATER SHALL REMAIN ONSITE, COLLECTED AND INFILTRATED IN DRYWELLS OR SWALES AS SHOWN. ALL GRADING SHOWN IS TENTATIVE AND SUBJECT TO CHANGE. CATCH SLOPES SHALL NOT EXCEED 2:1.

STORM DRAIN CONSTRUCTION NOTES:

- (SD1) INSTALL STANDARD DOUBLE CATCH BASIN.
- (SD2) INSTALL 8" PVC STORM PIPE.
- (SD3) INSTALL STANDARD PRE-CAST DRYWELL PER CITY OF BEND STD. DWG STRM-10.
- (SD4) INSTALL STANDARD DOUBLE CATCH BASIN WITH BLIND SUMP PER CITY OF BEND STD. DWG STRM-12.

GRADING NOTES:

- STRUCTURAL FILL WILL BE USED FOR ALL FILL GREATER THAN 2'.
- ONSITE GRADING SHALL NEVER EXCEED 2:1 CUT/FILL SLOPE.

DRAINAGE NOTES:

- DRAINAGE CALCULATIONS AND DESIGNS SHALL FOLLOW THE METHODOLOGIES OUTLINED IN THE COSM AND PER CITY OF BEND STANDARDS AND DETAILS.

GRADING AND DRAINAGE LEGEND

- PROPOSED PROJECT PROPERTY LINE
- EXISTING PROJECT PROPERTY LINE
- SETBACK
- CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- AC PAVEMENT
- EXISTING AC PAVEMENT
- 6" CONCRETE CURB
- 3675 PROPOSED MAJOR CONTOUR (5' INTERVAL)
- 3676 PROPOSED MINOR CONTOUR (1' INTERVAL)
- 3690 MAJOR CONTOUR (5' INTERVAL)
- 3691 MINOR CONTOUR (1' INTERVAL)
- SD STORM DRAIN PIPE
- CATCH BASIN
- DRY WELL
- DRAINAGE BASIN

STORM WATER CALCULATIONS

Basin	Total	Basin	Imperv. CN	Pervious CN	Storm Event					
	Area (SF)	IC (SF)			6 Mo. Storm Flow/Volume	25 YR Storm Flow/Volume	100 YR Storm Flow/Volume	100 YR Storm Flow/Volume		
Post-Development										
DA-1	1,369	1,369	98	67	0.02 cfs	90 CF	0.05 cfs	259 CF	0.06 cfs	315 CF
DA-2	8,162	8,029	98	67	0.10 cfs	528 CF	0.27 cfs	1520 CF	0.33 cfs	1855 CF
DA-3	1,325	1,285	98	67	0.02 cfs	85 CF	0.04 cfs	244 CF	0.05 cfs	298 CF
DA-4	4,835	4,570	98	67	0.06 cfs	301 CF	0.16 cfs	871 CF	0.19 cfs	1065 CF

TENTATIVE LAND USE PLANS - NOT FOR CONSTRUCTION

HOLLIDAY MICRO UNITS
TENTATIVE GRADING AND DRAINAGE PLAN
2101 NE HOLLIDAY AVE
BEND, OR 97701

Plan Prepared By:

Ashley & Vance
ENGINEERING, INC.

33 NW Franklin Ave, Suite 110
Bend, OR 97703
(503) 647-1445
www.ashleyvance.com

CIVIL • STRUCTURAL

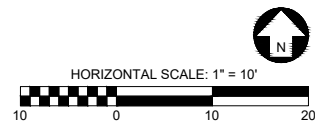
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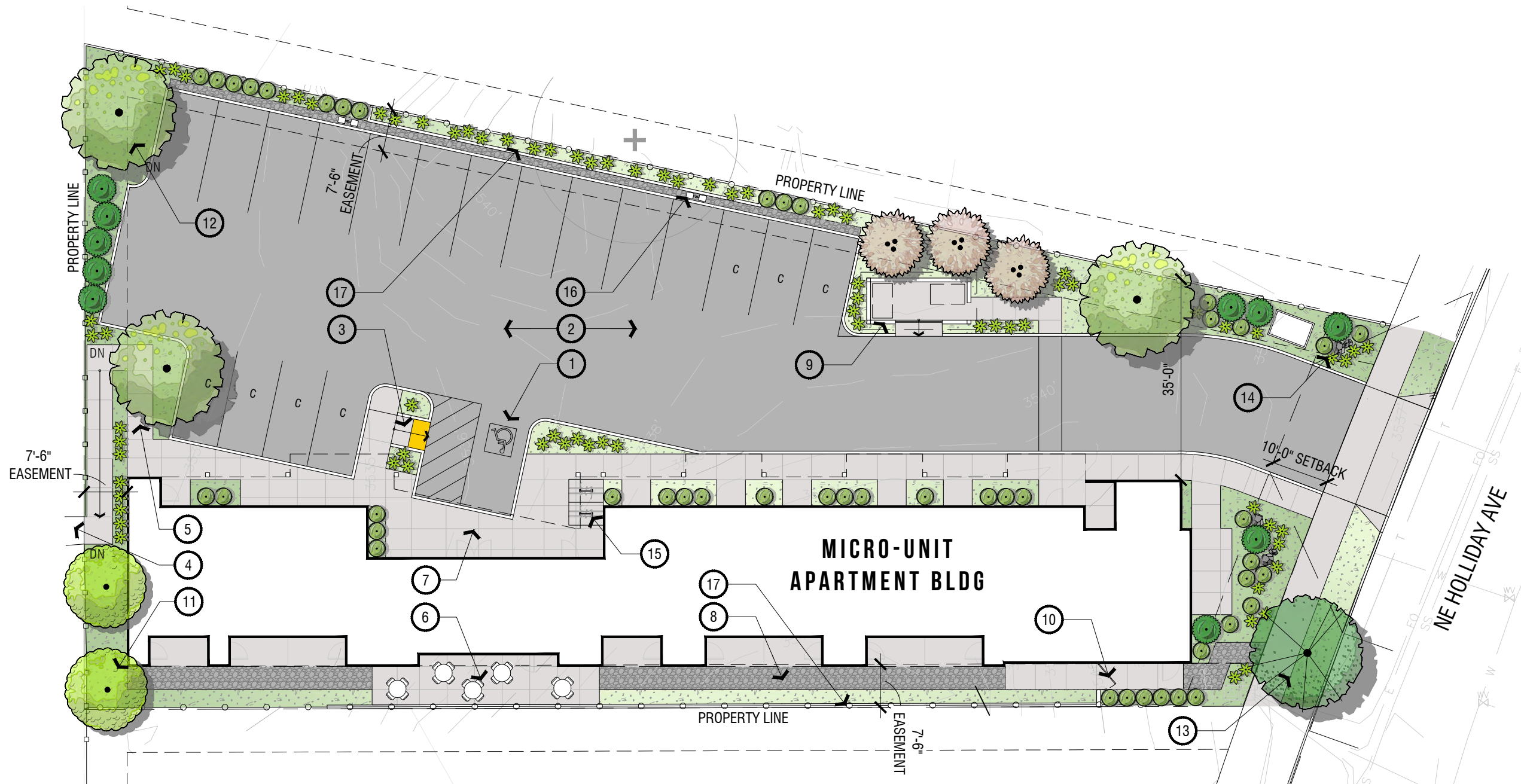
Engineer of Record:

REGISTERED PROFESSIONAL ENGINEER
77353
NOT FOR CONSTRUCTION
RES. M. LORD
EXPIRES: 12/31/22

Revisions:	
1	
2	
3	
4	
5	
Project Engineer: EAP	
Project Manager: JML	
Date:	12/15/2022
AV Job No:	22203
Scale:	PER PLAN
Sheet Size:	22" x 34"

C-3.0



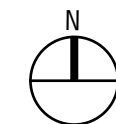


KEYNOTES

1. (1) ADA PARKING SPACE
2. ASPHALT PARKING LOT, REFER TO CIVIL DRAWINGS
3. CURBED PEDESTRIAN RAMP
4. EXISTING CONNECTION TO ACCESS EASEMENT
5. PROPOSED ACCESSIBLE CONNECTION TO ACCESS EASEMENT
6. COMMUNAL PATIO AREA
7. CONCRETE PAVING W/ SAWCUT JOINTS
8. CLEAN GRAY GRAVEL W/ METAL EDGING
9. 6'-0" HT. CMU BLOCK TRASH ENCLOSURE W/ METAL ROOF AND ACCESS GATES
10. 6'-0" HT. PRIVACY GATE AND FENCE
11. (2) COLUMNAR DECIDUOUS TREES
12. (3) LARGE CANOPY PARKING LOT TREES
13. (1) DECIDUOUS STREET TREE
14. CLEAR VISION TRIANGLE
15. (4) COVERED BIKE PARKING SPACES
16. PARKING LOT POST TOP LIGHT, TYP.
17. RETAINING WALL PER CIVIL DRAWINGS

LANDSCAPE NOTES

1. THIS PLAN IS SCHEMATIC IN NATURE AND INTENDED TO SHOW COMPLIANCE WITH LOCAL ZONING CODES.
2. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT, UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO ADEQUATELY AND EFFICIENTLY WATER ALL SHRUB AREAS AND TREES.
3. GROUNDCOVER PLANTING WILL BE SPACED BASED ON THE MATURE SIZE OF PLANT SPECIES AND WILL ACHIEVE A MINIMUM COVERAGE OF 80% WITHIN 5 YEARS PER THE BEND DEVELOPMENT CODE.
4. IRRIGATION CONTROLLER SHALL BE PROGRAMMABLE AND HAVE WEATHER-BASED CAPABILITIES.
5. SOIL SHALL BE AMENDED PRIOR TO PLANTING FOR OPTIMAL HEALTH OF ALL PLANT MATERIAL. SOIL AMENDMENT SPECIFICATIONS SHALL BE DETERMINED BASED ON A SOIL TEST ANALYSIS.
6. REFER TO SHEET L1.1 FOR COMPLETE SCHEMATIC PLANT LEGEND AND LANDSCAPE TABULATIONS.
7. REFER TO CIVIL DRAWINGS FOR DRAINAGE CALCULATIONS AND DESIGN.



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



PERENNIALS



ACCENT BOULDERS & GRASSES



CMU BLOCK WALL - NATURAL

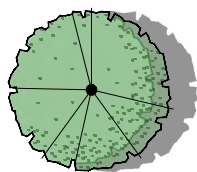


CONCRETE W/ SAWCUT JOINTS

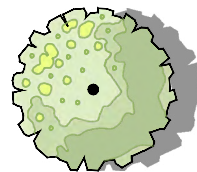


PARKING LOT POST TOP LIGHT

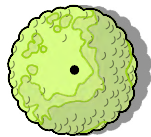
SCHEMATIC PLANT LEGEND



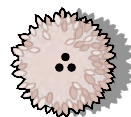
DECIDUOUS STREET TREE
2" cal min, such as:
Acer platanoides / Norway Maple
Acer rubrum 'Franksred' TM / Red Sunset Maple
Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden



LARGE CANOPY PARKING LOT TREE
2" cal min, such as:
Acer x freemanii 'Jeffersred' TM / Autumn Blaze Freeman Maple
Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust
Quercus palustris / Pin Oak



COLUMNAR DECIDUOUS TREE
1-1/2" cal min, such as:
Populus tremuloides / Quaking Aspen
Pyrus calleryana 'Cleveland Select' / Cleveland Select Callery Pear



MULTI-TRUNK ACCENT TREE
6` - 7` ht. multi min, such as:
Acer ginnala 'Flame' / Flame Amur Maple
Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
Malus x 'Spring Snow' / Spring Snow Crabapple



FOUNDATION SHRUBS
5 gal min, such as:
Berberis thunbergii / Japanese Greenleaf Barberry
Cornus sericea 'Farrow' TM / Arctic Fire Red Twig Dogwood
Potentilla fruticosa / Bush Cinquefoil
Spiraea x bumalda 'Monhub' TM / Limemound Spirea



ORNAMENTAL GRASSES AND PERENNIALS
50% 3 gal / 50% 1 gal, such as:
Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass
Helictotrichon sempervirens / Blue Oat Grass
Hemerocallis x 'Happy Returns' / Happy Returns Daylily
Nepeta racemosa 'Walker's Low' / Walker's Low Catmint
Perovskia atriplicifolia / Russian Sage



GROUNDCOVERS
1 gal min, such as:
Arctostaphylos uva-ursi / Kinnikinnick
Carex oshimensis / Japanese Sedge
Festuca glauca / Blue Fescue
Geranium x 'Rozanne' / Rozanne Cranesbill

LANDSCAPE TABULATIONS

OVERALL SITE LANDSCAPE AREA

TOTAL LOT AREA	19,895 SF
REQUIRED LANDSCAPE AREA (15%)	2,984 SF
PROVIDED LANDSCAPE AREA	2,813 SF
PROVIDED HARDSCAPE ALLOWABLE AS LANDSCAPE AREA (15% OF LA)	312 SF
TOTAL PROVIDED LANDSCAPE AREA (15.7%)	3,125 SF

PARKING LOT LANDSCAPE AREA

TOTAL PARKING LOT AREA	7,692 SF
REQUIRED PARKING LOT LANDSCAPE AREA (10%)	769 SF
PROVIDED PARKING LOT LANDSCAPE AREA (24.4%)	1,878 SF

STREET TREE CALCULATIONS

LENGTH OF HOLLIDAY AVENUE	71 LF
REQUIRED STREET TREES (1 TREE PER 30 LF)	2 TREES
TOTAL PROVIDED STREET TREES	1 TREES
*ONLY 1 STREET TREE HAS BEEN PROVIDED DUE TO CONFLICTING CLEARANCE REQUIREMENTS WITH CLEAR VISION AREA	

PARKING LOT TREE CALCULATIONS

TOTAL PARKING SPACES	19 SPACES
REQUIRED PARKING LOT TREES (1 PER 8 SPACES)	2 TREES
TOTAL PROVIDED PARKING LOT TREES	3 TREES

LANDSCAPE LEGEND & TABULATIONS

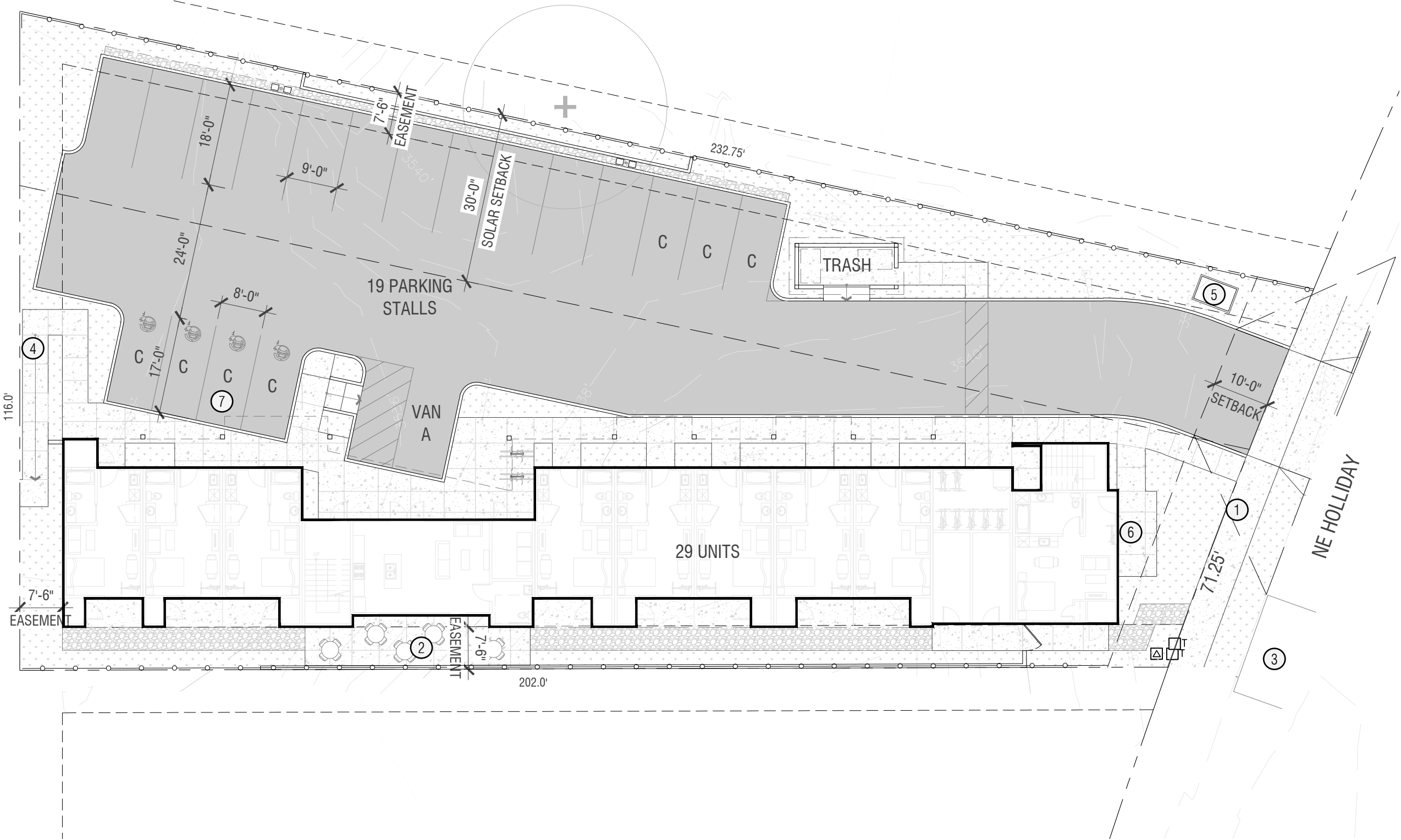
2101 NE HOLLIDAY AVE
BEND, OREGON
APN: 171227DB01000

SITE PLAN LEGEND

- CONCRETE HARDSCAPE
- PAVED PARKING AREA
- LANDSCAPED AREA
- GRAVEL WALKWAY

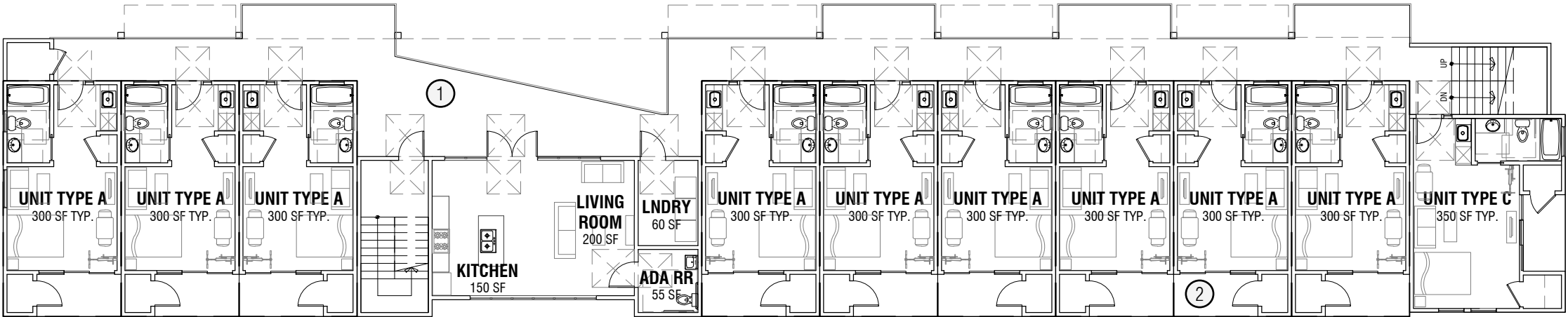
KEYNOTES

- 1. SIDEWALK
- 2. COMMON ROOM PATIO
- 3. STREET PARKING, TYP. OF (1)
- 4. SITE RETAINING WALLS, REFER TO CIVIL SHEETS
- 5. TRANSFORMER LOCATION
- 6. PRIMARY ENTRANCE
- 7. EV CAPABLE PARKING, TYP. OF (4)



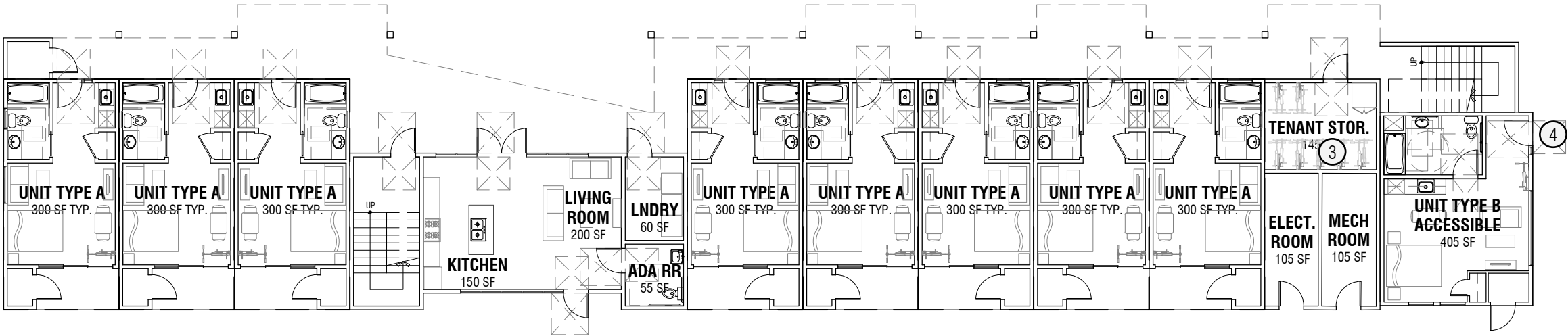
KEYNOTES

- 1. EGRESS BALCONY AND OUTDOOR COMMON AREA
- 2. PRIVATE DECK
- 3. 14 SHARED BIKE PARKING RACKS, AND STORAGE
- 4. PRIMARY ENTRANCE



SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"

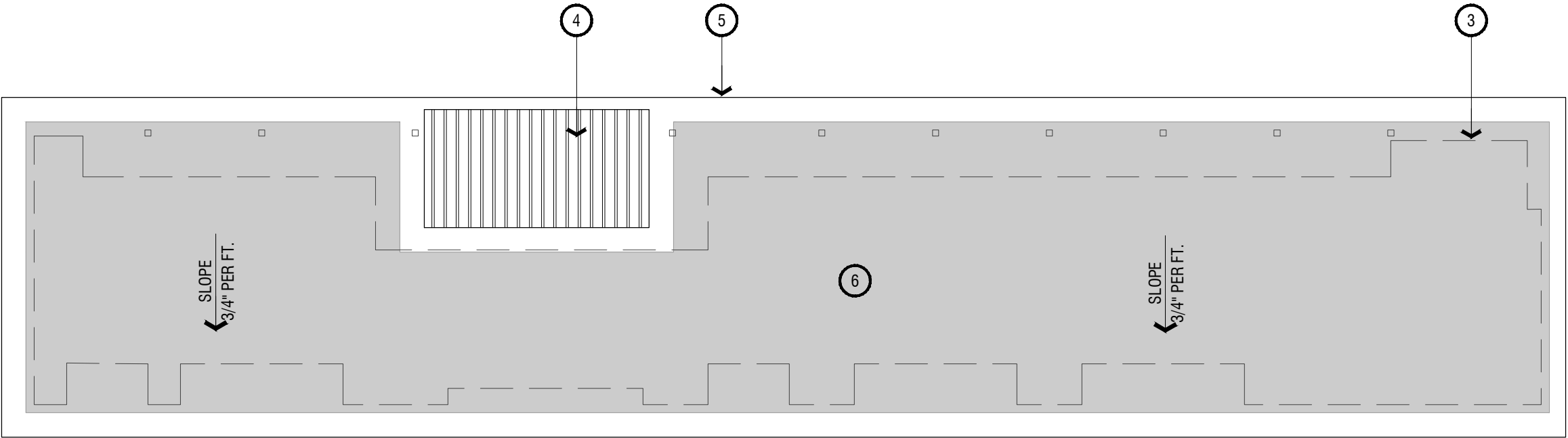


FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

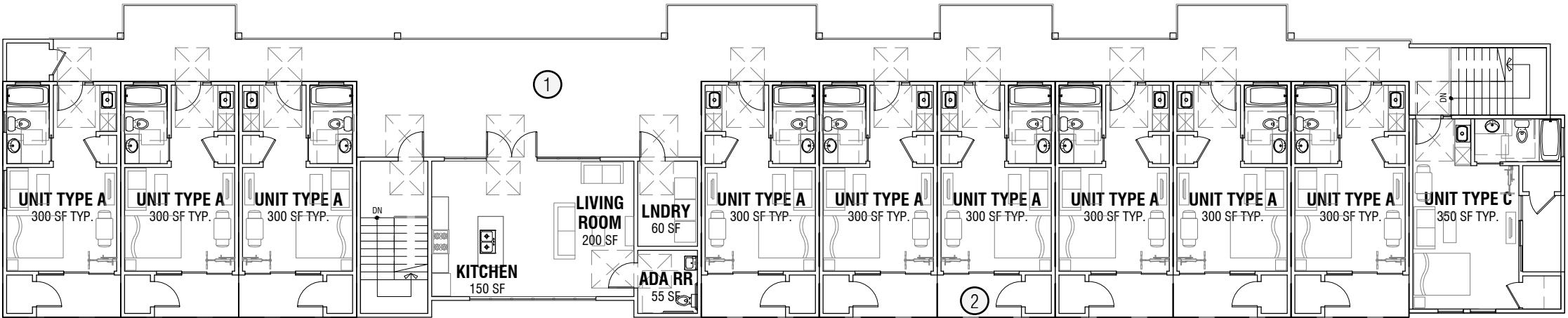
KEYNOTES

- 1. EGRESS BALCONY AND OUTDOOR COMMON AREA
- 2. PRIVATE DECK
- 3. EDGE OF BUILDING BELOW
- 4. OPEN EXPOSED FRAMING
- 5. EDGE OF ROOF
- 6. PROPOSED AREA FOR SOLAR, APPROX. 6,530 SF



ROOF PLAN

SCALE: 1/16" = 1'-0"

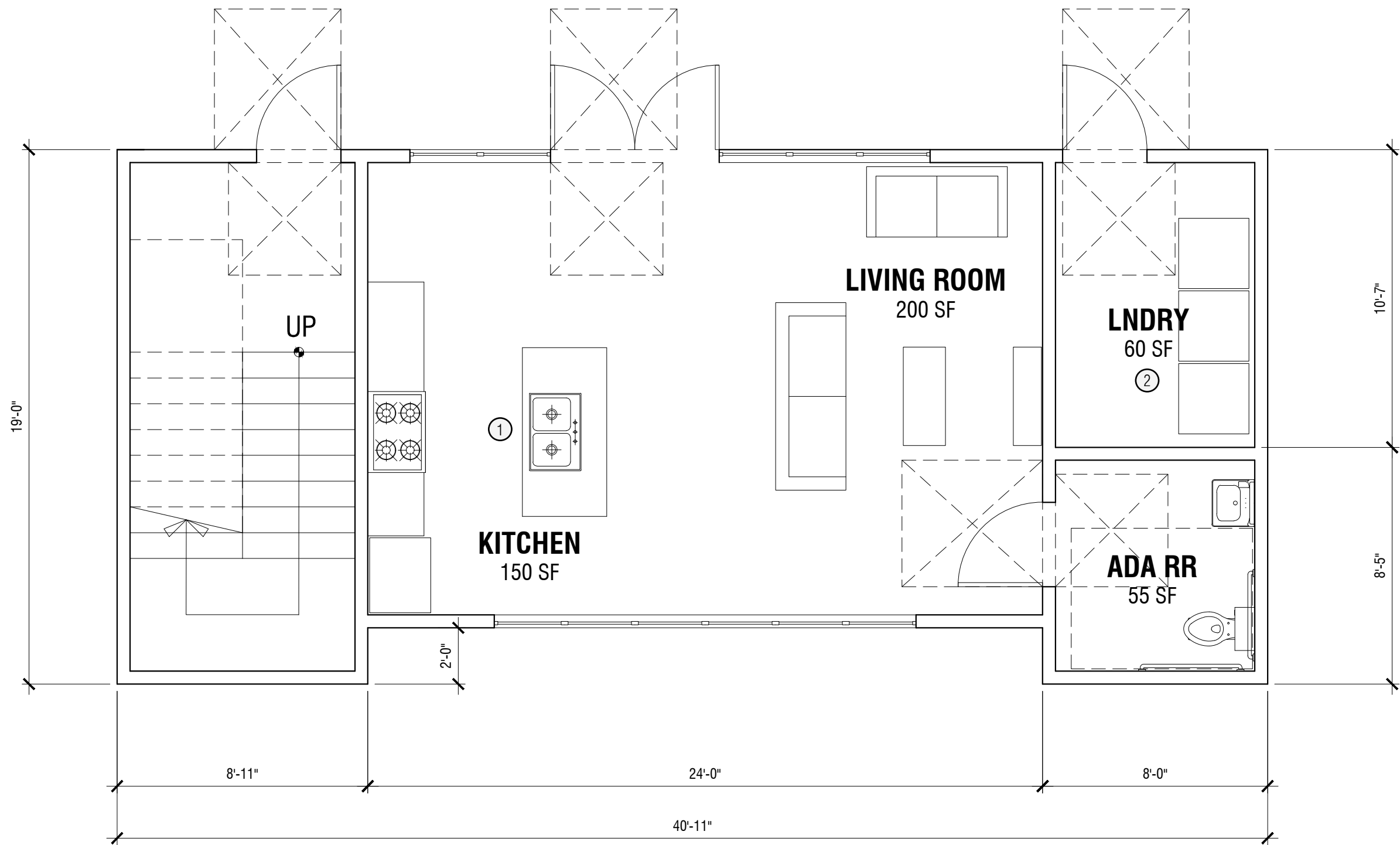


THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"

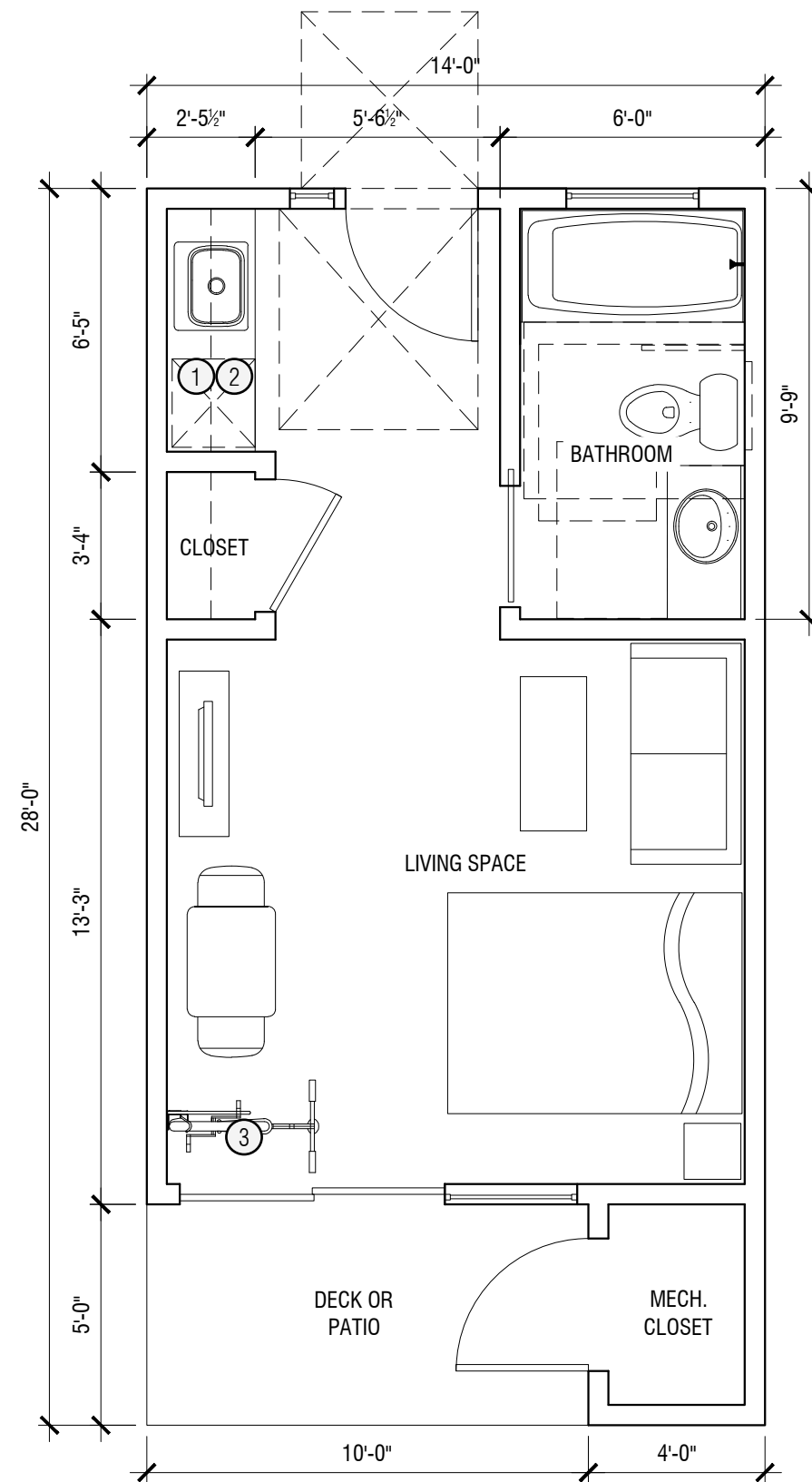
KEYNOTES

- 1. COMMON KITCHEN WITH SINK, RANGE, OVEN AND REFRIGERATOR, ONE PER FLOOR. (BDC 3.8.200.F)
- 2. COMMON LAUNDRY FACILITY, ONE PER FLOOR. (BDC 3.8.200.F)



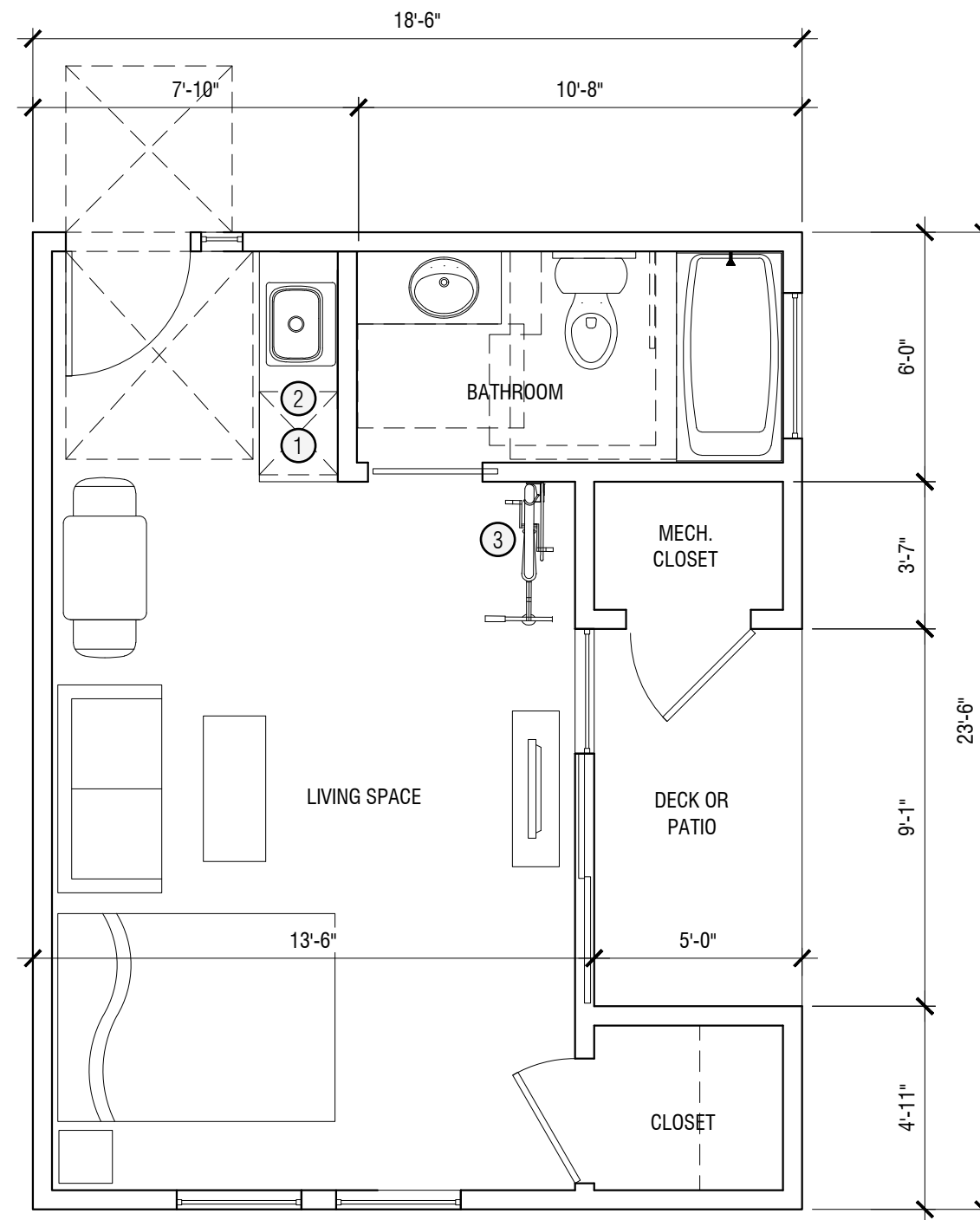
ENLARGED COMMON SPACE PLAN

SCALE: 1/4" = 1'-0"



TYPICAL UNIT A LAYOUT

SCALE: 1/4" = 1'-0"



UNIT C LAYOUT

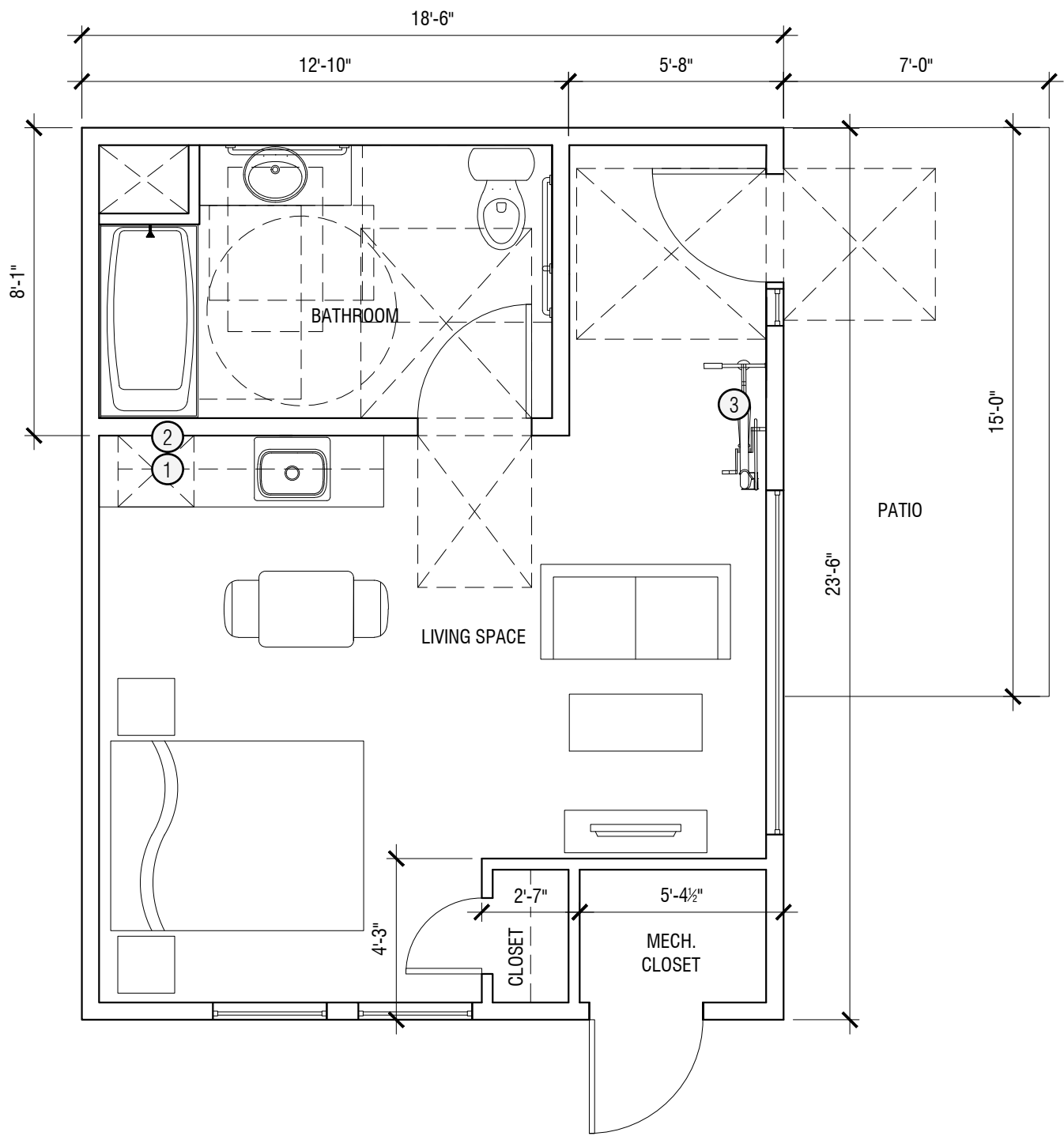
SCALE: 1/4" = 1'-0"

KEYNOTES

1. UNDER-COUNTER REFRIGERATOR WITH DEDICATED OUTLET (BDC 3.8.200.E)
2. CONTIGUOUS COUNTERTOP WORK AREA OF NOT LESS THAN FOUR SQUARE FEET AND TWENTY-AMP SMALL APPLIANCE BRANCH CIRCUIT LOCATED ABOVE THE COUNTERTOP WORK AREA. (BDC 3.8.200.E)
3. IN UNIT BIKE PARKING

KEYNOTES

- 1. UNDER-COUNTER REFRIGERATOR WITH DEDICATED OUTLET (BDC 3.8.200.E)
- 2. CONTIGUOUS COUNTERTOP WORK AREA OF NOT LESS THAN FOUR SQUARE FEET AND TWENTY-AMP SMALL APPLIANCE BRANCH CIRCUIT LOCATED ABOVE THE COUNTERTOP WORK AREA. (BDC 3.8.200.E)
- 3. IN UNIT BIKE PARKING

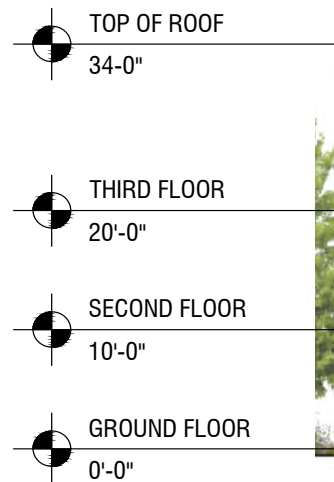


UNIT B LAYOUT - ACCESSIBLE

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- 1. PRIMARY BUILDING ENTRANCE



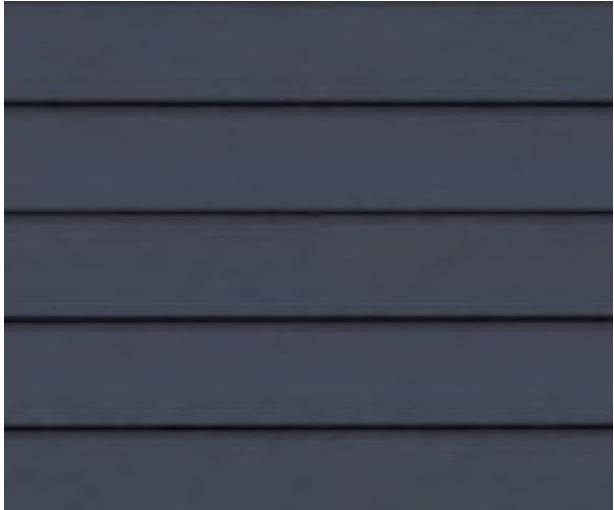
EAST ELEVATION
SCALE: 1/16" = 1'-0"



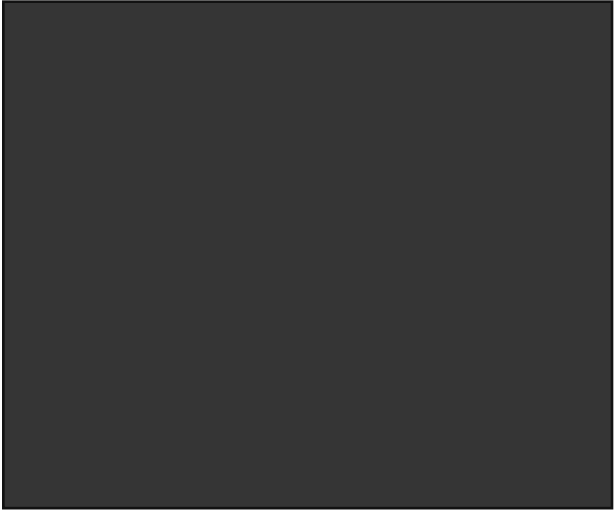
WEST ELEVATION
SCALE: 1/16" = 1'-0"



WOOD SIDING



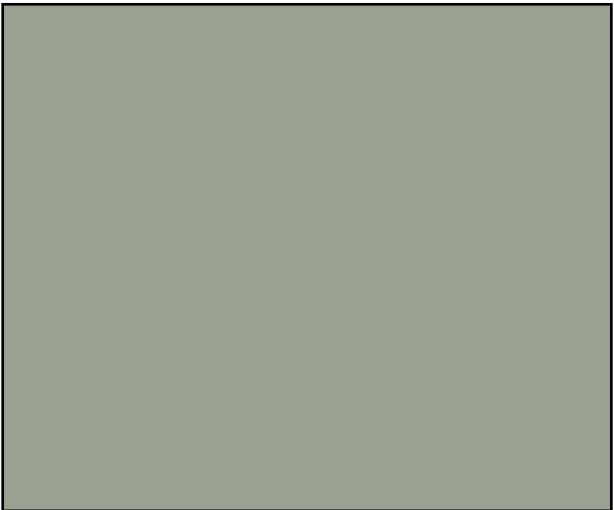
HARDIE SIDING - BLUE GREY



PAINTED WOOD - DARK BRONZE



WALL SCONCE
BEGA WALL LUMINAIRE - BLACK ALUMINUM
MFR #24008



RAILING PANEL - EGGSHELL PAINTED METAL



DOOR & WINDOW FRAMES
DARK BRONZE



MATERIAL BOARD



VIEW FROM STREET

TENOVER

539 Marsh Street
San Luis Obispo, CA

805.541.1010
info@tenoverstudio.com

NE HOLLIDAY - MICRO UNITS

BEND, OREGON
DATE: 12/22/22

A6.0



VIEW FROM STREET

TENOVER

539 Marsh Street
San Luis Obispo, CA

805.541.1010
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BEND, OREGON
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A6.1



VIEW FROM CENTER OF PARKING LOT

TENOVER

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A6.2



TENOVER

TO LEAVE THE WORLD
BETTER THAN WE
FOUND IT.

