

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.) CERTIFICATE OF PRACTICE NUMBER: 3619 NAME OF PROJECT: TOR21-0137-00 RIPPLE WHITBY LOCATION: 1400 VICTORIA STREET, WHITBY, ONTARIO BUILDING B																																																											
ITEM: ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9		BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.																																																									
1	PROJECT DESCRIPTION: INDUSTRIAL MULTI TENANT BUILDING B <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2 (A)	<input type="checkbox"/> PART 9 1.1.2 (A) & 9.10.1.3																																																							
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED		3.1.2.1.(1)	9.10.2																																																							
3	BUILDING AREA (sq.m.) NEW: 7,778.0 TOTAL: 7,778.0		1.4.1.2 (A)	1.4.1.2 (A)																																																							
4	GROSS AREA (sq.m.) NEW: 7,778.0 TOTAL: 7,778.0		1.4.1.2 (A)	1.4.1.2 (A)																																																							
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: N/A		1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4																																																							
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 2		3.2.2.10 & 3.2.5.5	9.10.20																																																							
7	BUILDING CLASSIFICATION(S) 3.2.2.70 TABLE B, GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED		3.2.2.20-83	9.10.2																																																							
8	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED		3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX																																																							
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9	N/A																																																							
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4	9.10.18																																																							
11	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		3.2.5.7	N/A																																																							
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6	N/A																																																							
13	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		3.2.2.20-83	9.10.6																																																							
14	MEZZANINE(S) AREA m ² N/A		3.2.1.1.(3)-(8)	9.10.4.1																																																							
15	OCCUPANT LOAD BASED ON OCCUPANCY: F2D LOAD (PERSONS): <300		3.1.17	9.9.1.3																																																							
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.8	9.5.2																																																							
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19	9.10.1.3 (4)																																																							
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS: 45MIN HOURS ROOF: N/A HOURS MEZZANINE: 45MIN HOURS FRR OF SUPPORTING MEMBERS FLOORS: 45MIN HOURS ROOF: N/A HOURS MEZZANINE: 45MIN HOURS	LISTED DESIGN No. OR DESCRIPTION (SG-2) ULC F816 ULC F816 LISTED DESIGN No. OR DESCRIPTION (SG-2) ULC F816 (FOR SUPPORTING STRUCTURE. SEE A0.2a) ULC F816 (FOR SUPPORTING STRUCTURE. SEE A0.2a)	3.2.2.20-83 & 3.2.1.4 9.10.8 9.10.9																																																							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		3.2.3	9.10.14																																																							
	<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF EBF (sq. m.)</th> <th>LD. (m)</th> <th>L/H OR H/L</th> <th>PERMITTED MAX. % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN No. OR DESCRIPT.</th> <th>COMB. CONSTR.</th> <th>COMB. CONSTR. NONC. CLADDING</th> <th>NON-COMB. CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>-</td> <td>>15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>SOUTH</td> <td>-</td> <td>>15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>EAST</td> <td>-</td> <td>>15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>WEST</td> <td>-</td> <td>>15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	WALL	AREA OF EBF (sq. m.)	LD. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIPT.	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONSTRUCTION	NORTH	-	>15	-	-	-	-	-	-	-	-	SOUTH	-	>15	-	-	-	-	-	-	-	-	EAST	-	>15	-	-	-	-	-	-	-	-	WEST	-	>15	-	-	-	-	-	-	-	-			
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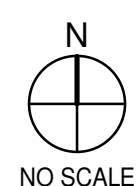
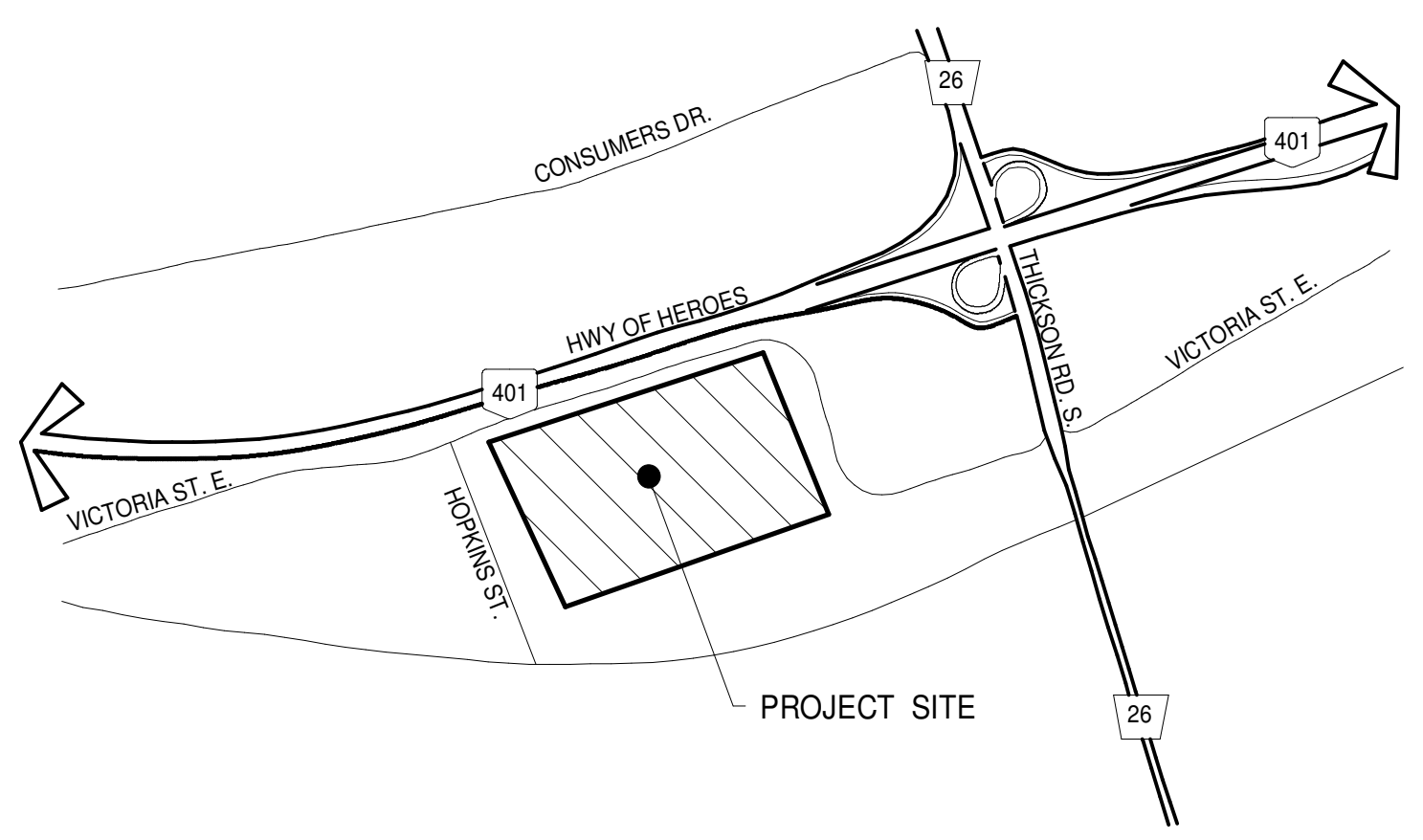
RIPPLE WHITBY

BUILDING B

1400 VICTORIA STREET
WHITBY, ONTARIO



VICINITY MAP



NO SCALE

OWNER

VS WHITBY LIMITED PARTNERSHIP
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SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET
A0.2	GENERAL NOTES
A0.2a	ASSEMBLY TYPES
A0.5	EGRESS PLAN
A1.0	SITE PLAN
A1.1	SITE PLAN
A2.0	FLOOR PLAN
A3.1	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS & BUILDING SECTIONS
A5.2	ENLARGED ELEVATION, PLAN & WALL SECTIONS
A5.3	ENLARGED ELEVATION, PLAN & WALL SECTION
A5.4	ENLARGED ELEVATIONS & PLANS
A5.5	WALL SECTIONS
A5.6	ENLARGED ELEVATION, PLAN AND WALL SECTIONS
A6.0	ENLARGED FLOOR PLAN AND SECTIONS
A7.1	DOOR SCHEDULE
A8.1	DETAILS
A8.2	DETAILS
A8.3	DETAILS
A8.4	DETAILS
A8.5	DETAILS
SHEET COUNT: 22	

TOTAL SHEETS
22

RIPPLE WHITBY
 BUILDING B
 1400 VICTORIA STREET
 WHITBY, ONTARIO

TITLE SHEET

DATE	REVISIONS
1	2022-03-11 50% CD SET
2	2022-03-15 85% CD PROGRESS SET
3	2022-04-01 85% CD SET
4	2022-04-06 ISSUED FOR BUILDING PERMIT
5	2022-04-28 ISSUED FOR TENDER
7	2022-06-07 ISSUED FOR BID
10	2023-05-25 ISSUED FOR CONSTRUCTION

PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

SHEET
A0.1

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

FLOOR PLAN NOTES
1. ALL EXITS SHALL HAVE EXIT SIGNS.
2. ALL CONDUIT PIPING, IN ELECTRICAL ROOM TO BE CONCEALED WITHIN THE WALL CONSTRUCTION.
3. REFER TO PLUMBING, CIVIL AND SITE PLANS, FOR SIZE AND ROUTING OF ROOF DRAINAGE CONNECTION TO UNDERGROUND STORM DRAIN OR RUN TO DAYLIGHT AS SHOWN.
4. FLOORS SHALL BE SLOPED TO FLOOR DRAINS. COORDINATE WITH PLUMBING AND STRUCTURAL DRAWINGS, IN RATED FLOOR CONDITIONS, CONFIRM REMAINING FLOOR THICKNESS STILL CONFORMS TO MINIMUM RATING REQUIREMENT

DOOR NOTES
1. VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.
2. FIELD MEASURE, AS REQUIRED, ALL DOORS PRIOR TO FABRICATION.
3. PROVIDE SIGN IN CONTRASTING LETTERS OF 1 INCH OR MORE AT MAIN ENTRY STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
4. VERIFY THAT EXISTING DOORS COMPLY WITH ACCESSIBILITY REQUIREMENTS.
5. RATED DOORS SHALL COMPLY WITH REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS AND SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATINGS.
6. ALL HARDWARE TO BE LEVER-TYPE PER STATE OF ALL GOVERNING CODES & STANDARDS AND THE ADA.
7. DOOR HANDLES, PULLS OR KNOBS SHALL BE INSTALLED AT 40" ABOVE FINISH FLOOR. ALL OTHER OPERABLE PARTS OF DOOR HARDWARE (SUCH AS DEADBOLTS, KEYHOLES, ETC.) ARE TO BE CENTERED BETWEEN 34" AND 44" ABOVE FINISH FLOOR. IF EXISTING BUILDING STANDARD EXISTS, MATCH BUILDING STANDARD AND CONFIRM COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS.
8. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
9. PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
10. CONTRACTOR IS RESPONSIBLE TO COORDINATE & VERIFY ALL DOOR FRAME THROUGH THICKNESS FOR EACH LOCATION.
11. ALL DOOR FRAMES TO BE FACTORY FINISHED.
12. ALL DOOR STOPS TO HAVE 2x6 BACKING IN THE WALL BEHIND.
13. MAXIMUM UNDERCUT OF ALL DOORS NOT IN A RATED COORIDOR SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
14. CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.
15. ALL DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
16. ALL DOORS WITH ELECTRONIC SECURITY DOOR LOCKS MUST BE OPERABLE FOR EXITING PURPOSES UNDER ALL CONDITIONS, INCLUDING A POWER OUTAGE.
17. IF BUILDING STANDARDS ARE INCONSISTENT FOR DOORS, RELITES, HARDWARE, DOOR AND RELITE FRAMES OR OTHER STANDARD DETAILS, THEN CONTRACTOR MUST VERIFY WITH DESIGNER AND OWNER PRIOR TO CONSTRUCTION.
18. MAXIMUM EFFORT TO OPERATE DOORS SHALL CONFORM TO THE REQUIREMENTS OF THE O.B.C.

GLAZING NOTES
1. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.
2. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
3. FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
4. FIXED OR OPERABLE GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN THE BUILDING CODE SHALL BE TEMPERED GLASS (SAFETY GLASS).
5. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
6. ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
7. GLAZING IN WINDOWS: ALL GLAZING THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
7.1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
7.2. THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
7.3. THE TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
7.4. WALKING SURFACE IS WITHIN 36".
8. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF O.B.C. AND LOCAL CODES.
9. WHERE JOINTS ARE REQUIRED IN MULTIPLE LITE SITUATIONS, SILICON IS TO BE PROVIDED U.O.NO.

SITE NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
2. REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
3. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
4. ALL DIMENSION ON SITE PLAN ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.
5. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
6. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.
7. CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 15'-0" O.C MAX, AND CONTROL JOINTS AT 5'-0" O.C MAX, BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.

FIRE AUTHORITY NOTES
1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED - SCHEDULE 2 DAYS IN ADVANCE.
2. THE PROJECT ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER LOCAL FIRE DEPARTMENT STANDARDS.
3. AN UNOBSERVED ALL-WEATHER FIRE APPARATUS ACCESS ROAD SHALL BE IN PLACE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
4. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO THE DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
5. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH LOCAL FIRE AUTHORITY.
6. PRIVATE FIRE HYDRANTS, SPRINKLER CONTROL AND POST INDICATOR VALVES, AND RISERS TO FIRE DEPARTMENT CONNECTIONS SHALL BE PAINTED "SAFETY RED" PER LOCAL FIRE AUTHORITY.
7. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING ITS LOCATION ON THE STREET OR DRIVE PER LOCAL FIRE AUTHORITY STANDARDS. ON PRIVATE PROPERTY THESE MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
8. PROVIDE OUTSIDE GAS SHUT-OFF VALVE, PROVIDE SIGN INDICATION MAIN GAS AND ELECTRICAL SHUT-OFF PER LOCAL FIRE DEPARTMENT.
9. FIRE SPRINKLER SYSTEM(S) SHALL MEET O.B.C. & LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING INCLUDING PROJECTIONS OVER 4'-0".
10. FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY U.L.C. LISTED CENTRAL ALARM STATION OR O.B.C. STATE & LOCAL FIRE CODES.
11. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE.
12. ELECTRICAL SUBCONTRACTORS TO INSTALL WIRING FOR FIRE SPRINKLER, ALARM BELL AND TELEPHONE WARNING AS REQUIRED BY FIRE DEPARTMENT.
13. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH O.B.C. & LOCAL FIRE CODES.
14. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIXED FIRE PROTECTION EQUIPMENTS INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE-PROTECTION SYSTEMS, SHALL BE SUBMITTED BY INSTALLING CONTRACTOR. SUCH PLANS SHALL BE APPROVED BY LOCAL FIRE AUTHORITY PRIOR TO INSTALLATION.
15. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATING.
16. EXIT SIGNS AND ILLUMINATION SHALL CONFORM TO ALL APPLICABLE BUILDING AND FIRE CODES.
17. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
18. PROVIDE OR MODIFY AS NEEDED SPRINKLER ALARM AND SMOKE DETECTION SYSTEM PER APPLICABLE CODES INCLUDING IF NECESSARY FIR HORNS, STROBE LIGHTS, CONTROL PANEL CONNECTIONS, SMOKE DETECTORS, AUDIO VISUAL ALARMS. SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL FOR APPROVAL.

ROOF NOTES
1. SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT, SHAFT AND PENETRATION LOCATIONS.
2. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PLATFORMS, WATER AND WASTE PIPING LOCATIONS AND INSTALLATION REQUIREMENTS WITH EQUIPMENT MANUFACTURERS PRIOR TO PROCEEDING WITH WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
3. MECHANICAL AND PLUMBING EQUIPMENT PLATFORM DIMENSIONS SHALL BE A MINIMUM OF 6'-8" ABOVE ADJACENT ROOF ELEVATION.
4. VENTS THROUGH THE ROOF SHALL BE INSTALLED 10'-0" FROM AND TERMINATED 3'-0" ABOVE ANY FRESH AIR INTAKES.
5. ORIENT SKYLIGHT/SMOKE HATCH HINGES TOWARD THE PREVAILING WIND.
6. SEE PLUMBING DRAWINGS FOR ALL ROOF DRAIN SIZES.
7. LEAD FLASHING TO BE USED AT ALL ROOF DRAIN AND OVERFLOW PENETRATIONS.
8. OVERFLOW SCUPPERS SHALL BE DESIGNED PER APPLICABLE CODES AND LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ADJACENT FINISHED ROOF.
9. ALL INDIRECT WASTE PIPING ON ROOF SHALL BE TYPE "L" COPPER ATTACHED BY PIPE STRAPS MAILED TO A 2x4 REDWOOD BLOCKING. BLOCKING SHALL BE SET MASTIC AT 6'-0" O.C. PIPING SHALL BE SLOPED AND TERMINATE IN AN APPROVED RECEPTOR. PIPING TO BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING ELEVATIONS.
10. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING.
11. ALL ROOF SURFACES SHALL SLOP AT A MINIMUM OF 1/4 INCH PER FOOT IN ALL DIRECTIONS. CRICKETS SHALL BE USED ON THE HIGH SIDE OF ALL EQUIPMENT PLATFORMS.
12. ALL ROOFING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH LOCAL CITY AGENCY WIND DESIGN ORDINANCES.
13. ROOFING TO BE UL CLASS "A" FIRE-RETARDANT RATING AS MANUFACTURED BY GAF, MANVILLE OR EQUAL.
14. ALL ROOF ELEVATIONS INDICATE BOTTOM OF SHEATHING FROM FINISHED FLOOR, DATUM ELEVATION 0'-0". SEE STRUCTURAL DRAWINGS.
15. REFER TO STRUCTURAL DRAWINGS TO CONFIRM ROOF ELEVATIONS.
16. T.O.P = TOP OF PARAPET (ON SITE PLAN ONLY).

GENERAL PROJECT NOTES
GENERAL NOTES
1. ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL, INDUSTRY AND PROJECT-SPECIFIC REQUIREMENTS AND STANDARDS INCLUDING WITHOUT LIMITATION OF THE FOLLOWING:
A. ALL APPLICABLE BUILDING CODES
B. ALL APPLICABLE SPECIALTY CODES INCLUDING THE MOST CURRENT ISSUES AND SUPPLEMENTS
C. THE PROJECT MANUAL AND ASSOCIATED SPECIFICATIONS
D. THE MANUFACTURER'S REQUIREMENTS OR RECOMMENDATIONS
E. ALL APPLICABLE LANDLORD BUILDING STANDARDS
2. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES OR IN DOCUMENTS PROVIDED BY OTHER MEMBERS OF THE PROJECT DESIGN TEAM, UNLESS EXPRESSLY PROVIDED OTHERWISE, THE INTENT IS TO INCLUDE ALL LABOR, MATERIALS, PRODUCTS AND SERVICES NECESSARY OR APPROPRIATE FOR THE COMPLETED PROJECT AS CALLED FOR OR REASONABLY IMPLIED FROM THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM. IN CASE OF CONFLICTS OR OMISSIONS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT OR COSTLY STANDARD.
3. IN INTERPRETING THESE PLANS, THE FOLLOWING GENERAL RULES APPLY:
A. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
B. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS
C. WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN AND SPECIFIED
D. WORK SHOWN AS "NIC" IS FOR REFERENCE ONLY AND THE RESPONSIBILITY OF THE CONTRACTOR ONLY TO THE EXTENT THAT THIS WORK MAY REQUIRE SOME REASONABLE PROTECTION OR COORDINATION EFFORTS.
4. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO REPRESENT ONLY THE FINISHED CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES INCLUDING ANY AND ALL SAFETY PRECAUTIONS AND PROGRAMS, AND SHALL INDEMNIFY TO THE FULLEST EXTENT ALLOWED BY LAW THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST ANY AND ALL RELATED CLAIMS AND LIABILITY.
5. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR INFORMATION (RFIs), ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF AN APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER, AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES.
6. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY EVENT ALL CONTRACTORS PROCEED AT THEIR OWN RISK IF THEY FAIL TO VERIFY AND FIELD MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.
7. PLANS ARE TO BE CONSIDERED DIAGRAMMATIC IN NATURE AND INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.
8. CONTRACTOR RFIs ARE INTENDED TO OBTAIN INFORMATION NOT AVAILABLE FROM THE PLANS AND SPECIFICATIONS. RFIs WILL NOT BE PROCESSED THAT CAN BE ANSWERED BY A REVIEW OF THESE DOCUMENTS, THAT REQUEST DIMENSIONS THAT CAN BE OBTAINED FROM THE PLANS BY MATHEMATICAL CALCULATION THAT ARE IN EFFECT A SUBSTITUTION SUBMITTAL, OR THAT SEEK DIRECTION CONCERNING CONSTRUCTION MEANS AND METHODS OR SAFETY PRECAUTIONS. WHERE APPROPRIATE, RFIs SHOULD BE SPECIFIC AS TO WHICH PORTION OF THE PLANS AND SPECIFICATIONS NEEDS CLARIFICATION, AND WHAT INFORMATION IS REQUIRED.
9. NO DEVIATIONS OR OMISSIONS FROM THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM ARE ALLOWED WITHOUT THE EXPRESSED AUTHORIZATION OF AN APPROPRIATE OWNER REPRESENTATIVE, AND THE RESPONSIBLE CONTRACTOR WILL INDEMNIFY THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST THE CONSEQUENCES OF ANY UNAUTHORIZED DEVIATIONS OR OMISSIONS. SUBSTITUTION SUBMITTALS WILL BE CONSIDERED ONLY IF THE PROPOSED SUBSTITUTION IMPROVES THE QUALITY OF THE PROJECT TO THE OWNER; AND IN NO EVENT WILL THE OWNER BE REQUIRED TO AUTHORIZE A SUBSTITUTION THAT IS NOT EQUAL IN QUALITY TO WHAT IS SPECIFIED.
10. DESIGN/BUILD CONTRACTOR SUBMITTALS WILL BE REVIEWED BY THE PROJECT DESIGN TEAM, IF AT ALL, ONLY FOR CONFORMANCE WITH THE AESTHETIC ASPECTS AND MAJOR SPACE LIMITATIONS OF THE PROJECT; AND EACH DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
A. PREPARING ALL THE ENGINEERING AND OTHER DRAWINGS AND SPECIFICATIONS FOR THE COMPONENTS OF ITS DESIGN/BUILD UNDERTAKING.
B. COMPLYING WITH THE PROJECT'S REQUIREMENTS AND SPACE LIMITATIONS.
C. COORDINATION AND INTERFACING WITH OTHER TRADES AND CONSULTANTS.
D. OBTAINING ANY REQUIRED OR APPROPRIATE APPROVALS FROM AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
E. HAVING THEIR DESIGN CONSULTANTS SERVE AS THE PROFESSIONAL OF RECORD FOR THE PORTIONS OF WORK WHICH THEY DESIGN.
11. AT THE CONCLUSION OF THE CONSTRUCTION, EACH PRIME CONTRACTOR SHALL PROVIDE SUCH WRITTEN CERTIFICATION THAT THE CONSTRUCTION HAS BEEN PERFORMED IN COMPLIANCE WITH THE PROJECT'S APPROVED PLANS AND SPECIFICATIONS AS THE BUILDING OFFICIAL WITH JURISDICTION OVER THE PROJECT MAY REQUIRE, OR AS THE OWNER MAY REASONABLY REQUEST.
12. VERSIONS OF THESE PLANS PROVIDED IN ANY ELECTRONIC FORM ARE SUBJECT TO THE SAME PROVISION AS THE OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON BEHALF OF THE PROJECT DESIGN TEAM, INCLUDING WITHOUT LIMITATION THEIR COMMON LAW, STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE NONEXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES; AND NO RECIPIENT IS AUTHORIZED TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE, AND ANY OTHER USE FOR ANY OTHER PURPOSE COULD CONSTITUTE ACTIONABLE PLAGIARISM. ANY ELECTRONIC DOCUMENTS WILL BE PROVIDED IN THE RESPONSIBLE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS AND WITH NO GUARANTEE OF ANY ABSENCE OF VIRUS OR OTHER HARMFUL MATERIAL OR OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE SO THAT ANY USE WITH OR CONVERSION TO THE OTHER FORMS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE, IS AT THE RECIPIENT'S SOLE RISK.

GENERAL PROJECT NOTES
JOB SITE NOTES
1. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREMELY NOISY CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHOULD NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.
2. THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
3. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE EXTERIOR AND THE INTERIOR OF THE BUILDING, THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS, ELEVATORS, LOBBIES, AND CORRIDOR CARPETS.
5. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.
6. IF TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH ARE REQUIRED, OBTAIN ISSUANCE OF A BUILDING OR GRADING PERMIT.
7. NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
DRAWING NOTES
1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.
2. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, U.O.N.
3. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
4. THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.
5. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, U.O.N.
6. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, U.O.N.
7. COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.
8. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK IN THE SAME BUILDING.
INTERIOR/EXTERIOR NOTES
1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILING, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITHIN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
2. CONTRACTOR, ALONG WITH MECHANICAL CONTRACTOR, SHALL PROVIDE AND LOCATE ACCESS DOORS/PANELS IN WALL & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING & ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
4. WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILING AS NEEDED TO REFURBISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.
5. INTERIOR WALLS AND CEILING SHALL BE INSTALLED IN ACCORDANCE TO STATE & LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
6. WHEN USED, ALL NOISE BARRIER BATTS (SOUND INSULATION) AND INSULATION BATTS SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.
7. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS-FREE.

PRE-CONSTRUCTION MEETING
1. PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS TO BE HELD INCLUDING A RESPONSIBLE REPRESENTATIVE OF THE ARCHITECT, THE OWNER AND THE GENERAL CONTRACTOR. THE DISCUSSION WILL BE IN REGARDS TO THE ARCHITECT-OWNER-CONTRACTOR (AOC) CORRESPONDENCE PROCESSES AND PROCEDURES. AT A MINIMUM, THE FOLLOWING IS TO BE DISCUSSED:
2. AOC REGULARLY SCHEDULED MEETINGS
2.1. WHEN
2.2. WHERE
2.3. HOW OFTEN
2.4. IN PERSON VERSUS CONFERENCE CALLS
2.5. APPROXIMATE ALLOTTED TIME PER MEETING
3. CONSTRUCTION MEETING MINUTES
3.1. FORMAT FOR THE MINUTES
3.2. CONTRACTOR TO AUTHOR THE MINUTES
4. FORMAL CHANGES IN THE WORK
4.1. ADDENDA AND BULLETINS ISSUED BY THE ARCHITECT
4.2. CHANGE ORDER REQUESTS ISSUED BY THE CONTRACTOR
4.3. CHANGE ORDERS ISSUED BY THE CONTRACTOR
4.4. TRACKING MECHANISMS
5. REQUESTS FOR INFORMATION PROCESS
5.1. TRACKING MECHANISM
5.2. DEFINE Cc: RECIPIENT LIST
5.3. STANDARD RESPONSE TIMES (2-5 WORKING DAYS IS STANDARD)
6. SUBMITTAL PROCESS
6.1. TRACKING MECHANISM
6.2. ISSUANCE SCHEDULE BY THE CONTRACTOR
6.3. DEFINE Cc RECIPIENT LIST
6.4. STAMPED REVIEWED AND APPROVED BY CONTRACTOR PRIOR TO SUBMISSION
6.5. NON-REQUESTED SUBMITTALS MAY NOT BE REVIEWED
6.6. STANDARD RESPONSE TIMES (7-10 WORKING DAYS IS STANDARD)
7. SUBSTITUTIONS
7.1. REQUEST FORMS WITH REASONS AND BENEFIT FOR SUBSTITUTION
8. PAYMENT APPLICATIONS
8.1. PROCESS
8.2. SUBMITTAL DATE
8.3. ANTICIPATED TURN-AROUND
9. PUNCH LISTS
9.1. ONLY ONE PUNCH WALK TO BE PROVIDED BY DESIGN TEAM
9.2. CONTRACTOR TO PUNCH AND MAKE CORRECTIONS PRIOR TO DESIGN TEAM PUNCH.
9.3. A FINAL WALK WILL OCCUR ONLY IF THE ARCHITECT IS CONTRACTED TO DO SO.

G.C. INSTRUCTIONS
SUBMITTALS
1. AT THE START OF JOB PROVIDE A SCHEDULE OF ALL ANTICIPATED SUBMITTALS AND DATES. FLAG SUBMITTALS WHICH ARE OR COULD BE CRITICAL PATH. FLAG SUBMITTALS THAT WILL BE REQUESTED TO BE EXPEDITED FASTER THAN THE STANDARD 7-10 DAYS.
2. A SUBMITTAL LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH SUBMISSION.
3. ALL SUBMITTALS MUST BE REVIEWED AND APPROVED WITH A STAMP AND SIGNATURE BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION. THE REVIEW WILL INCLUDE BUT NOT BE LIMITED TO:
3.1. CONFIRMING THAT THE SUBMITTAL MEETS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3.2. COORDINATION HAS TAKEN PLACE WITH ALL INTERCONNECTING TRADES
3.3. THE SUBMITTAL IS COMPLETE AND COMPREHENSIVE
4. REQUESTS ON SUBMITTALS FOR DIMENSIONS WHICH CAN BE DISCERNABLE THROUGH MATHEMATICAL MEANS FROM INFORMATION ALREADY PROVIDED ON THE CONTRACT DOCUMENTS WILL NOT BE PROVIDED.
5. SUBMITTALS NOT REQUESTED BY THE CONTRACT DOCUMENTS MAY OR MAY NOT BE REVIEWED AT THE DESIGN TEAMS DISCRETION.
6. SUBMITTALS ARE TO BE ROUTED THROUGH THE ARCHITECT AND ARE NOT TO BE SENT DIRECTLY TO ARCHITECT'S CONSULTANTS UNLESS SPECIFICALLY AUTHORIZED BY THE ARCHITECT.
7. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAMS REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.
REQUESTS FOR INFORMATION (RFIs)
1. THE GENERAL CONTRACTOR IS TO REVIEW ALL PROSPECTIVE RFIs AND MAKE EVERY EFFORT TO ANSWER THEM BEFORE SUBMITTING TO THE DESIGN TEAM.
2. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAMS REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.
3. AN RFI LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH RFI SUBMISSION ALONG WITH ANY CRITICAL RESPONSE DUE DATES.
4. RFIs REGARDING METHODS AND MEANS OF CONSTRUCTION WILL NOT BE REVIEWED AND WILL BE REMOVED FROM THE RFI LOG.

CHANGE ORDERS
1. A COMPLETE SCHEDULE OF VALUES OF THE BASE CONTRACT IS TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF ANY WORK.
2. ALL CHANGE ORDER REQUESTS ARE TO BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO SUBMISSION OF A CHANGE ORDER.
3. CHANGE ORDER REQUESTS ARE TO INCLUDE A COMPLETE BREAKDOWN BY TRADE ALONG WITH TRADE BACK-UP AND UNIT PRICING WHERE APPLICABLE.
4. A CHANGE ORDER REQUEST AND CHANGE ORDER LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND SUBMITTED ALONG WITH EACH CHANGE ORDER REQUEST.

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BUILDING B
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WHITBY, ONTARIO

Table with 2 columns: DATE, REMARKS
1 2023-03-11 50% CD SET
2 2023-03-15 85% CD PROGRESS SET
3 2023-04-01 85% CD SET
4 2023-04-06 ISSUED FOR BUILDING PERMIT
5 2023-04-28 ISSUED FOR TENDER
7 2023-06-07 ISSUED FOR BID
10 2023-05-25 ISSUED FOR CONSTRUCTION

GENERAL NOTES
PA/PM: V HORTIGUELA
DRAWN BY: O.T./A.M.
JOB NO: TOR21-037-00
SHEET
A0.2

ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and category. Includes terms like # POUND or NUMBER, E. EAST, MIR. MIRROR, T.O.M. TOP OF MULLION, etc.

ASSEMBLY NOTES

ROOF TYPES

Roof types table with columns for type (R1, R2), diagrams, and descriptions. R1: OFFICE AND WAREHOUSE - GRAVEL SPREAD ON 4 PLY ASPHALT... R2: PROVIDE TAPERED INSULATION AS REQUIRED...

EXTERIOR WALL TYPES

INTERIOR WALL TYPES

Exterior and Interior Wall Types table. Columns for type (W1-W4, P1-P4), diagrams, and descriptions. W1: WAREHOUSE SMOOTH FACE PRECAST... P1: 1 HOUR FIRE RATED 190mm REINFORCED CONCRETE BLOCK WALL... W2: PREFINISHED ALUMINUM COMPOSITE PANELS... P2: 1 HOUR FIRE RATED 240mm REINFORCED CONCRETE BLOCK WALL... W3: DOUBLE GLAZING IN ALUMINUM CURTAIN WALL FRAMES... P3: RATED PARTITION FOR SUPPORTING STRUCTURE... W4: SPANDREL GLAZING IN PREFINISHED ALUMINUM FRAMES... P4: 25.4mm GYPSUM BOARD LINER PANELS...

SYMBOLS

Table of symbols with diagrams and descriptions. Includes symbols for ALIGN, OFFICE, ROOM NAME, ROOM NUMBER, DOOR NUMBER, DETAIL REFERENCE, SHEET NUMBER, SECTION REFERENCE, SHEET NUMBER, EXT. ELEVATION REFERENCE, SHEET NUMBER, INTERIOR ELEVATION REFERENCE, SHEET NUMBER, WALL MATERIAL TYPE, WALL NOTE, FLOOR MATERIAL TYPE, FLOOR NOTE, MISC. MATERIAL TYPE, TYPE NUMBER, KEYNOTE INDICATOR, WALL TAG, FINISH INDICATOR, REVISION CLOUD & DELTA NUMBER, FIRE EXTINGUISHER CABINET W/ FIRE EXTINGUISHER, WALL-MOUNTED FIRE EXTINGUISHER.

SLAB TYPES

Slab types table with columns for type (F1), diagrams, and descriptions. F1: CONCRETE SLAB ON GRADE. REFER TO STRUCTURAL DRAWINGS. 200mm THICK CONCRETE SLAB ON R15 RIGID INSULATION. GRADE REINFORCED WITH COMPACTED GRANULAR. REFER TO STRUCT. DWG.'S AND GEO. REPORT (TYP). FIN. FLOOR FINISHES TO BE AS PER GENERAL CONTRACTOR SCOPE OF WORK.

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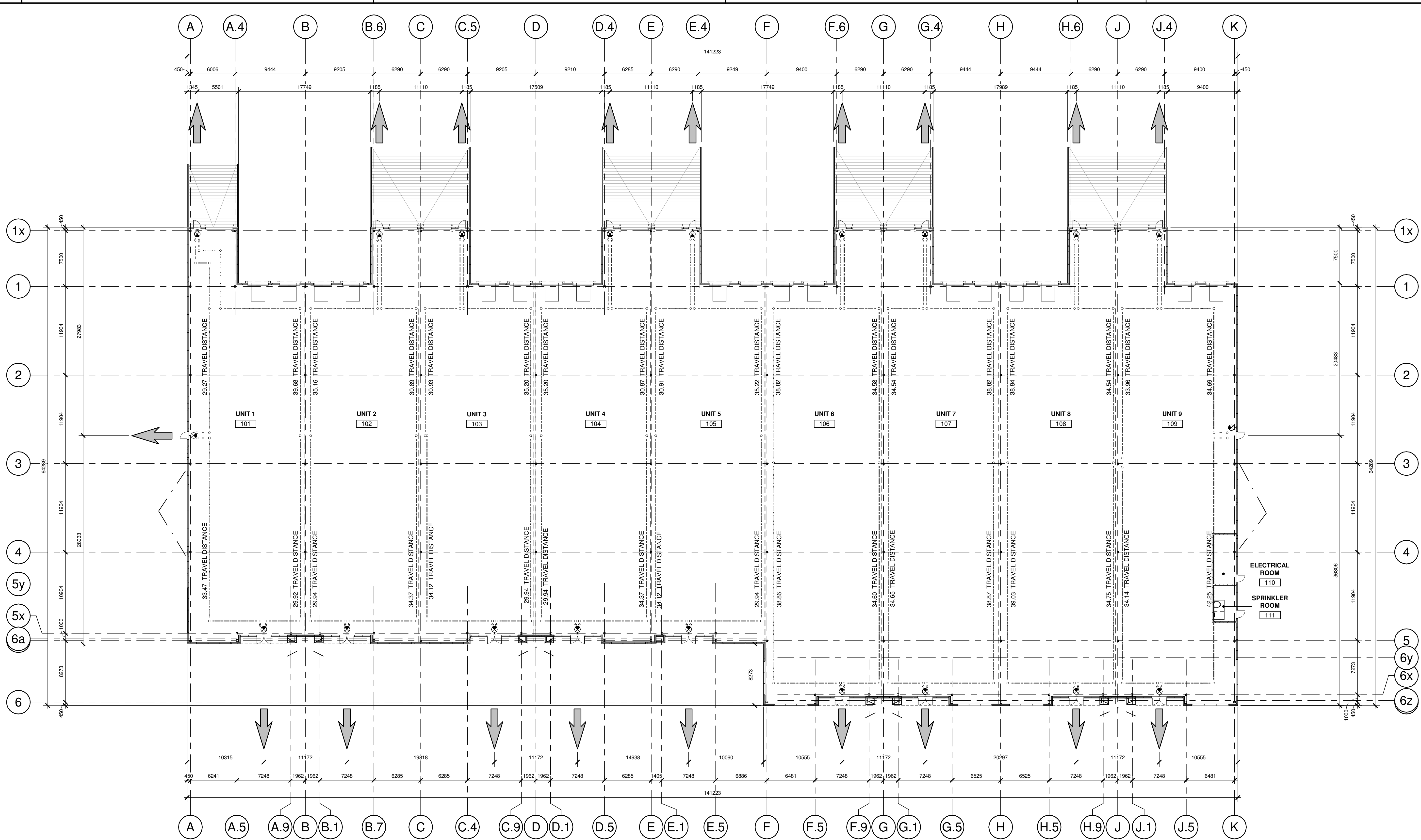
ASSEMBLY TYPES

Table with columns for DATE, REMARKS, and revision numbers. Includes dates from 2022-03-11 to 2022-05-25 and remarks like '50% CD SET', '85% CD PROGRESS SET', 'ISSUED FOR BUILDING PERMIT', 'ISSUED FOR TENDER', 'ISSUED FOR BID', 'ISSUED FOR CONSTRUCTION'.

Table with columns for PA/PM, DRAWN BY, JOB NO., and values: V HORTIGUELA, O.T./A.M., TOR21-0137-00.

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EGRESS PLAN

DATE	REVISIONS
2022-03-11	50% CD SET
2022-03-15	85% CD PROGRESS SET
2022-04-01	85% CD SET
2022-04-06	ISSUED FOR BUILDING PERMIT
2022-04-28	ISSUED FOR TENDER
2022-06-07	ISSUED FOR BID
2023-05-25	ISSUED FOR CONSTRUCTION

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JOB NO.:	TOR21-0137-00

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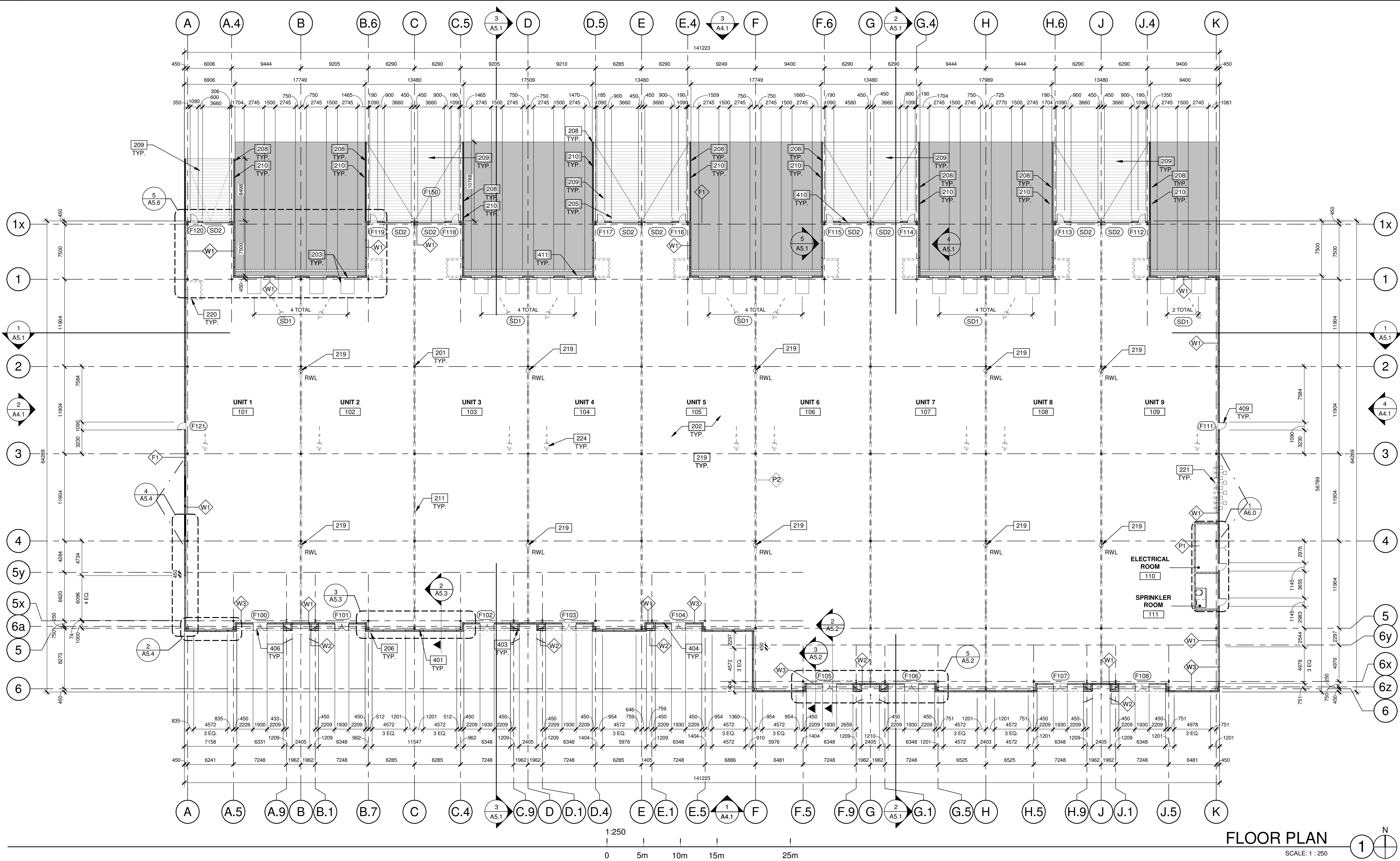
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LEGEND

- REQUIRED EXIT
- TRAVEL DISTANCE
- WALL-MOUNTED ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY BACKUP. SHADED QUADRANT INDICATES FACE OF LETTERING.

NOTE: ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

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FLOOR PLAN SCALE: 1 : 250

WALL LEGEND

- ARCHITECTURAL PRECAST WALL PANEL
ALUMINUM COMPOSITE METAL PANEL
1HR CONCRETE MASONRY WALL

KEYNOTES

- SEE SHEET A0.2a FOR GENERAL NOTES
201 STRUCTURAL STEEL COLUMN.
202 CONCRETE SLAB.
203 DOCK LEVELER AND DOCK SHELTER.
205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
206 OUTLINE OF CANOPY ABOVE.
208 CONCRETE RETAINING WALL.
209 ASPHALT RAMP.
210 1070mm TOTAL HEIGHT, GALVANIZED PAINTED METAL GUARDRAIL.
211 FUTURE DEMISING WALL.
219 RAIN WATER LEADER. REFER TO MECHANICAL DWGS.
220 FUTURE GARBAGE ROOMS BY TENANTS FIT-OUT APPLICATION.
221 SEE MECHANICAL DWGS'S.
224 MECH UNITS HUNG FROM STRUCTURE (TYP.)
401 PRECAST CONCRETE PANEL.
403 ALUMINUM COMPOSITE METAL PANEL.
404 CURTAIN WALL GLAZING SYSTEM.
406 ALUMINUM STOREFRONT DOUBLE DOORS IN CURTAIN WALL SYSTEM.
409 INSULATED HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
410 SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH.
411 SECTIONAL OVERHEAD DOCK HIGH TRUCK DOOR WITH FACTORY PAINTED FINISH.

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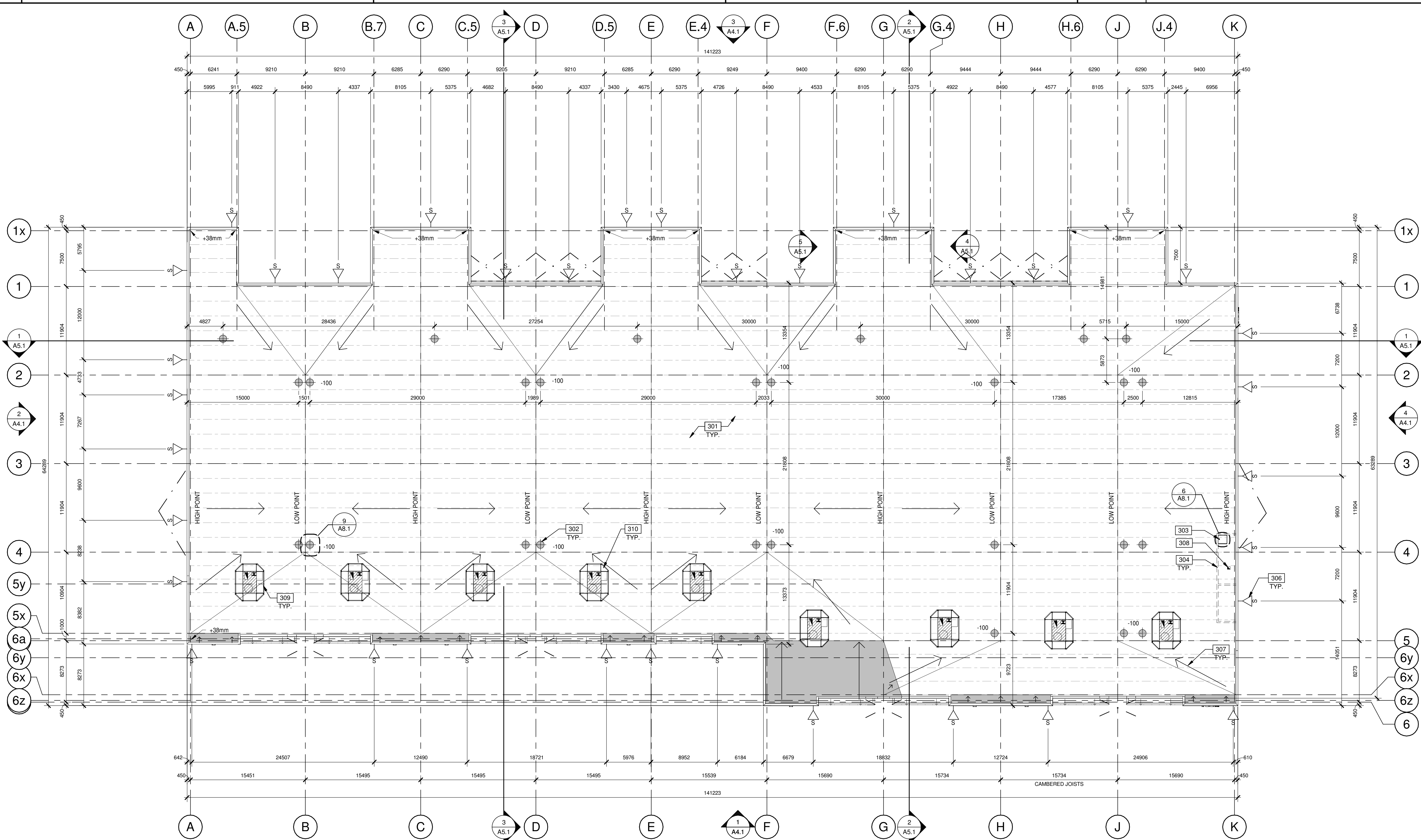
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Table with 2 columns: DATE, REMARKS. Contains construction schedule entries from 2022-11-01 to 2023-05-25.

Table with 2 columns: PA/P/M, DRAWN BY:, JOB NO:. Values include V HORTIGUELA, O.T. / A.M., and TOR21-0137-00.

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ROOF PLAN SCALE: 1 : 250

LEGEND

- FLOW LINE TO DRAIN.
- ⊕ ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ▽ ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- LINE OF WALL BELOW.
- ▨ TAPERED INSULATION

KEYNOTES

- SEE SHEET A0.2a FOR GENERAL NOTES
- 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
 - 302 ROOF DRAINS.
 - 303 ROOF HATCH.
 - 304 LINE OF WALL BELOW.
 - 306 OVERFLOW SCUPPER.
 - 307 FLOW LINE TO DRAIN.
 - 308 ROOF EXHAUST.
 - 309 ROOF TOP UNIT, SEE MECHANICAL DWG'S.
 - 310 ROOF SCREEN.

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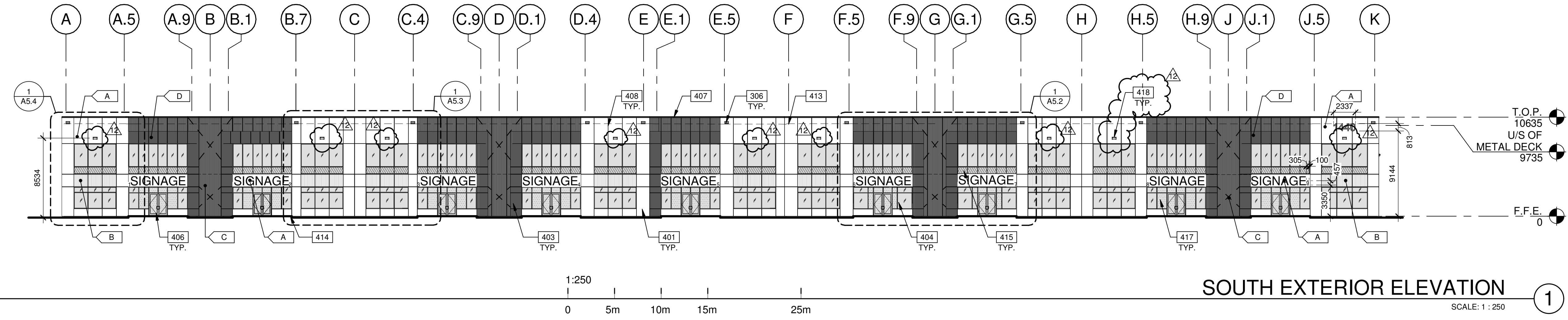
DATE	REVISIONS	REMARKS
2022-03-11	50% CD SET	
2022-03-15	85% CD PROGRESS SET	
2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
2022-04-28	ISSUED FOR TENDER	
2022-06-03	GENERAL REVISION	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	
2023-06-15	ISSUED FOR SH-03	

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JOB NO.:	TOR21-0137-00

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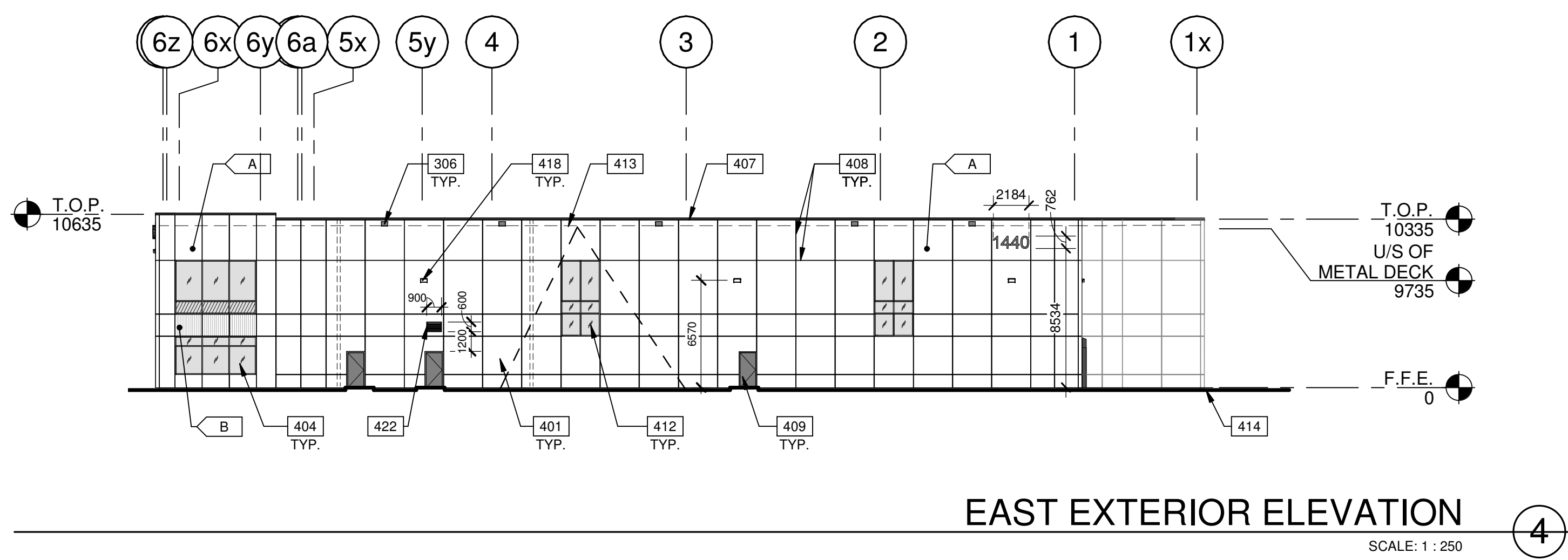
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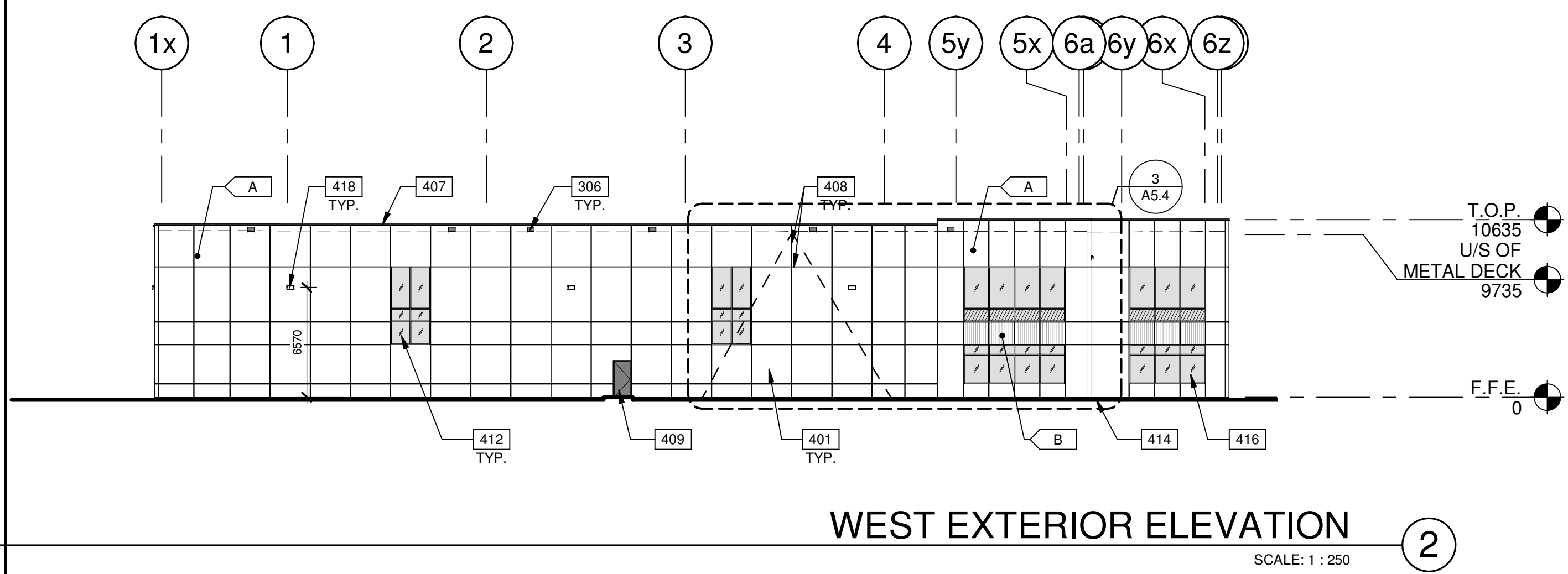
SOUTH EXTERIOR ELEVATION ①

SCALE: 1 : 250



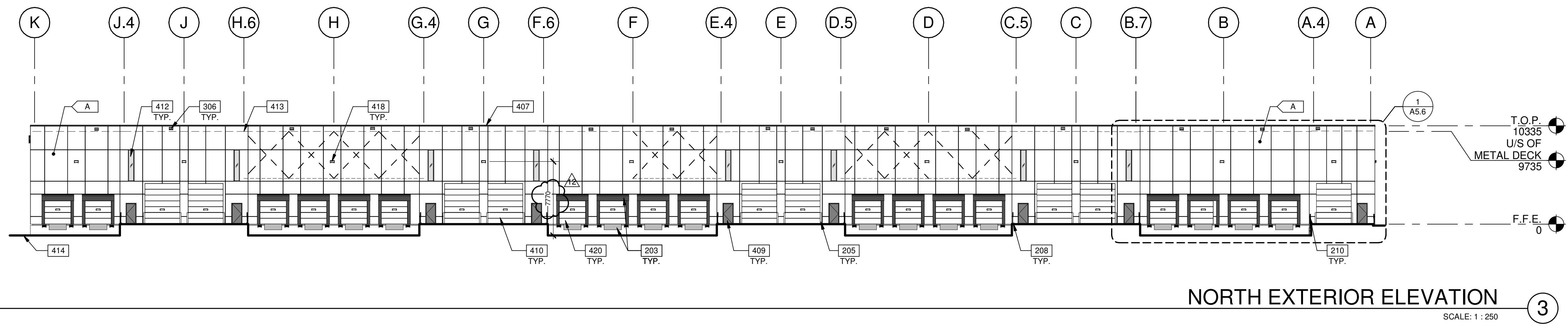
EAST EXTERIOR ELEVATION ④

SCALE: 1 : 250



WEST EXTERIOR ELEVATION ②

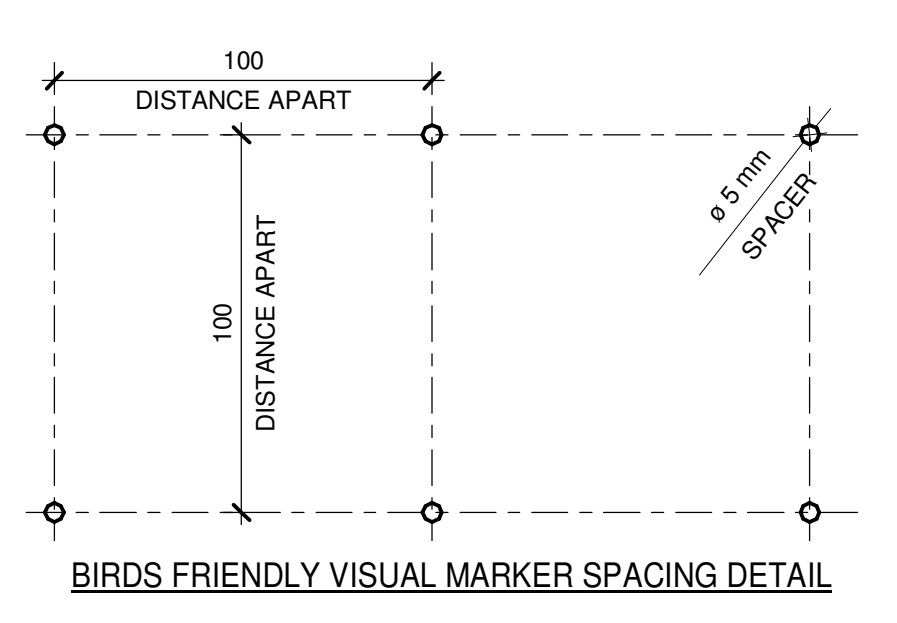
SCALE: 1 : 250



NORTH EXTERIOR ELEVATION ③

SCALE: 1 : 250

LEGENDS



BIRDS FRIENDLY VISUAL MARKER SPACING DETAIL

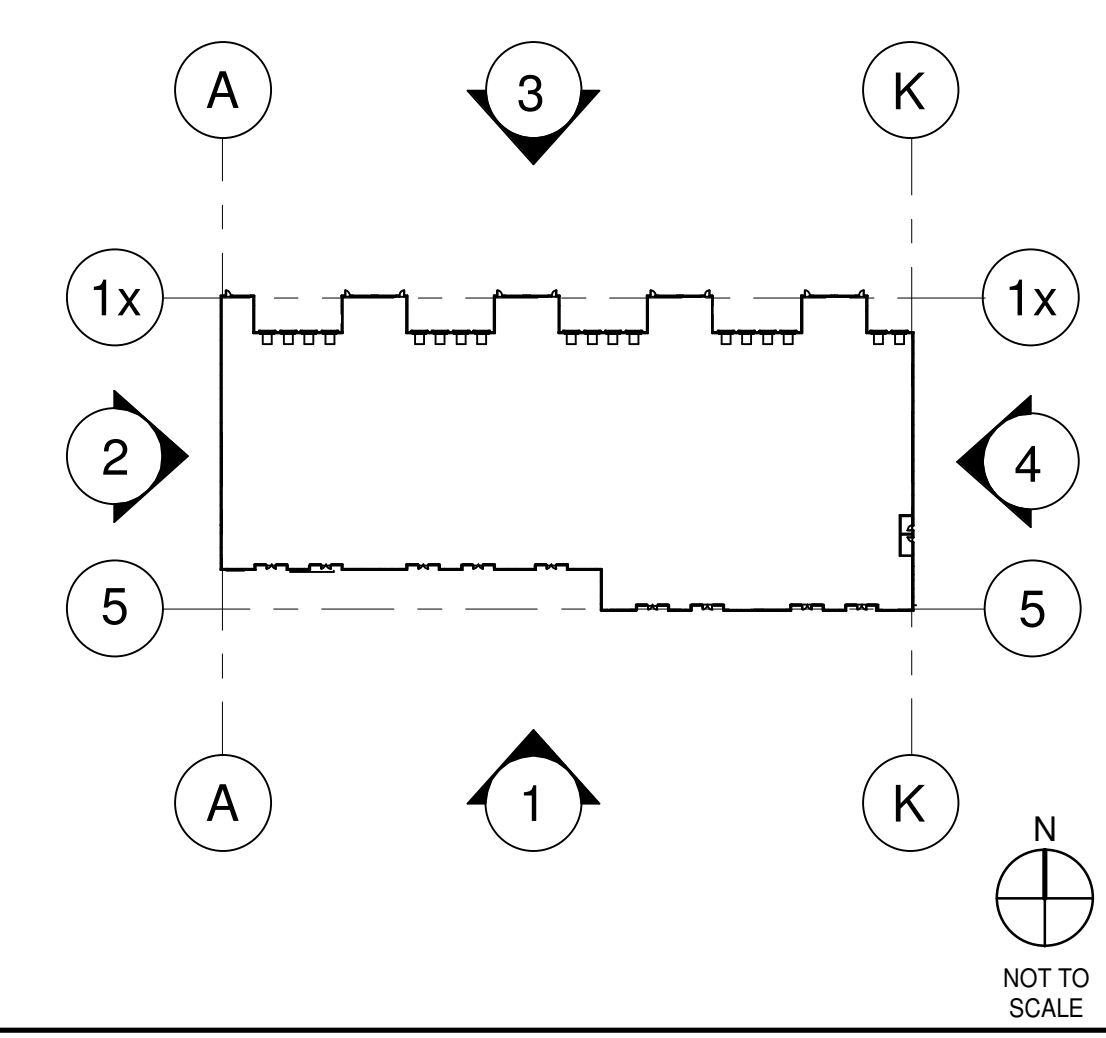
- GLASS:**
- VISION GLASS
VISION GLASS PANELS AT UPPER LEVEL TO BE SOLARBAN 70.
 - SPANDREL GLASS
 - TEMPERED GLASS
- COLOURS:**
- PROVIDE 1,830 MM WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A** BASE COLOUR: WHITE ARCHITECTURAL PRECAST PANEL WITH REVEALS
 - B** BASE COLOUR: WHITE RIBBED PRECAST PANELS
 - C** ACCENT COLOUR: DARK GREY ARCHITECTURAL PRECAST PANELS
 - D** ACCENT COLOUR: BLUE COMPOSITE ALUMINUM PANELS
- EXTERIOR SIGNAGE FOR REFERENCE ONLY.
SIGNAGE PERMIT APPLICATION BY OTHERS.

KEYNOTES

SEE SHEET A0.2a FOR GENERAL NOTES

- 203 DOCK LEVELER AND DOCK SHELTER.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 208 CONCRETE RETAINING WALL.
- 210 1070mm TOTAL HEIGHT, GALVANIZED PAINTED METAL GUARDRAIL.
- 306 OVERFLOW SCUPPER.
- 401 PRECAST CONCRETE PANEL.
- 403 ALUMINUM COMPOSITE METAL PANEL.
- 404 CURTAIN WALL GLAZING SYSTEM.
- 406 ALUMINUM STOREFRONT DOUBLE DOORS IN CURTAIN WALL SYSTEM.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 HORIZONTAL VERTICAL REVEAL.
- 409 INSULATED HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
- 410 SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH.
- 412 CLERESTORY WINDOW.
- 413 ROOF LINE BEYOND.
- 414 FINISH GRADE VARIES.
- 415 SPANDREL PANEL IN CURTAIN WALL SYSTEM.
- 416 VISION PANEL IN CURTAIN WALL SYSTEM.
- 417 TEMPERED PANEL IN CURTAIN WALL SYSTEM.
- 418 WALL PACK MOUNTED.
- 420 SECTIONAL OVERHEAD DOCK DOOR.
- 422 LOUVRE, SEE MECHANICAL DWG'S.

KEY PLAN



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1400 VICTORIA STREET
WHITBY, ONTARIO

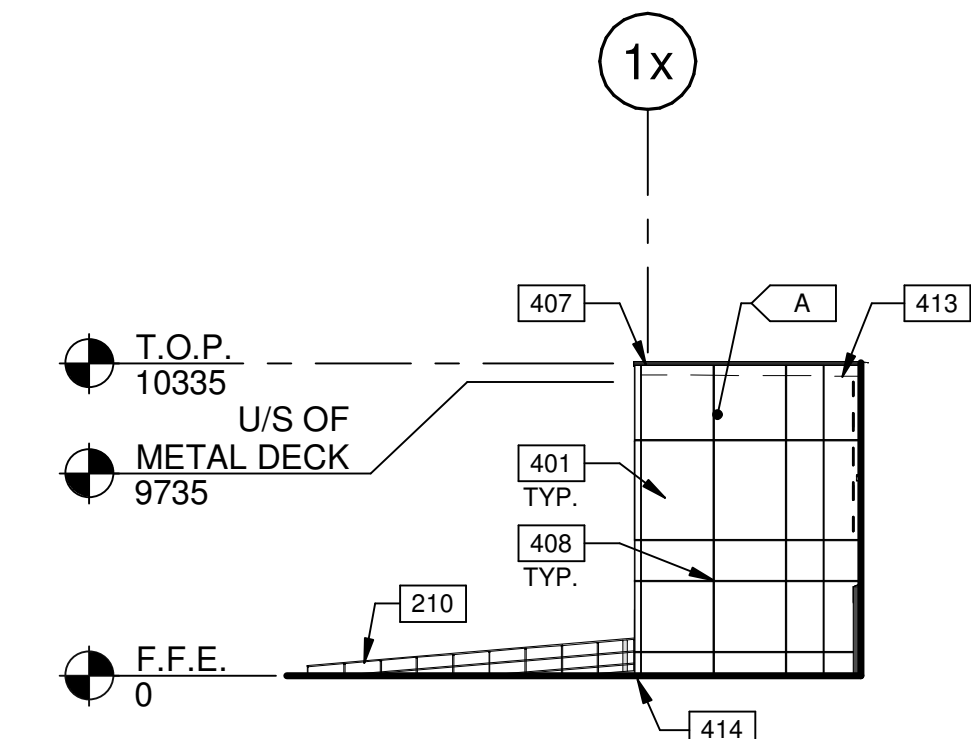
EXTERIOR ELEVATIONS

DATE	REVISIONS	REMARKS
2022-01-11	50% CD SET	
2022-03-15	85% CD PROGRESS SET	
2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
2022-04-28	ISSUED FOR TENDER	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	
2023-07-26	ISSUED FOR SH-04	
2023-07-24	EXTERIOR SIGNAGE	

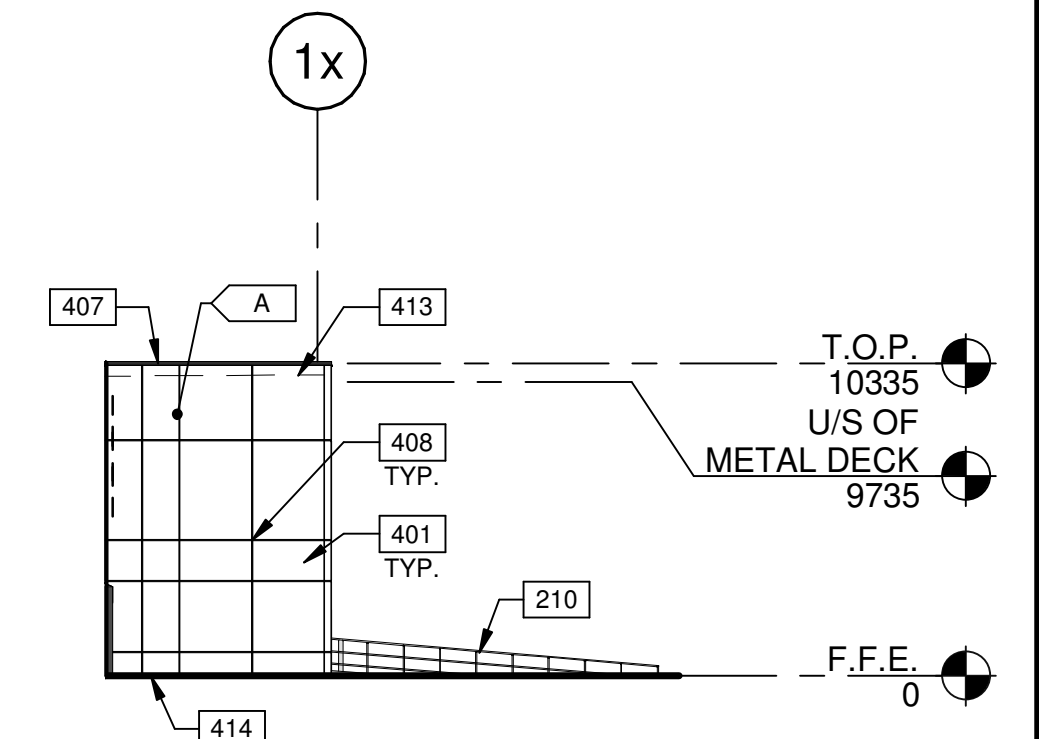
PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

SHEET
A4.1

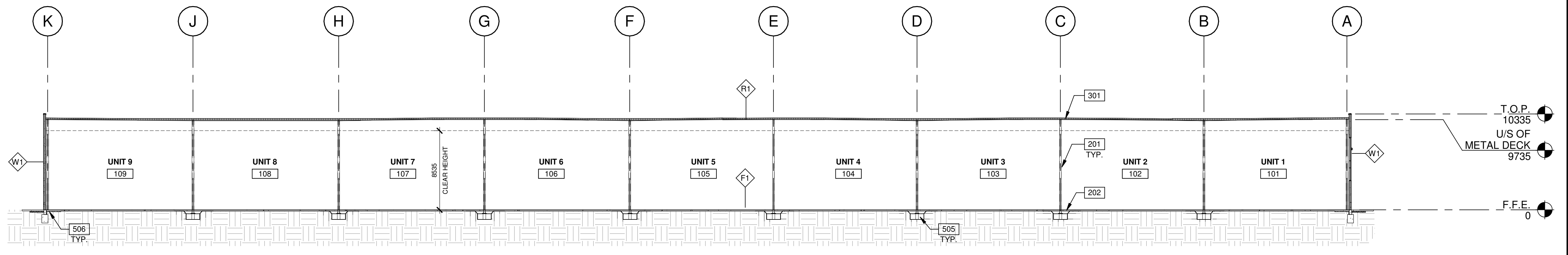
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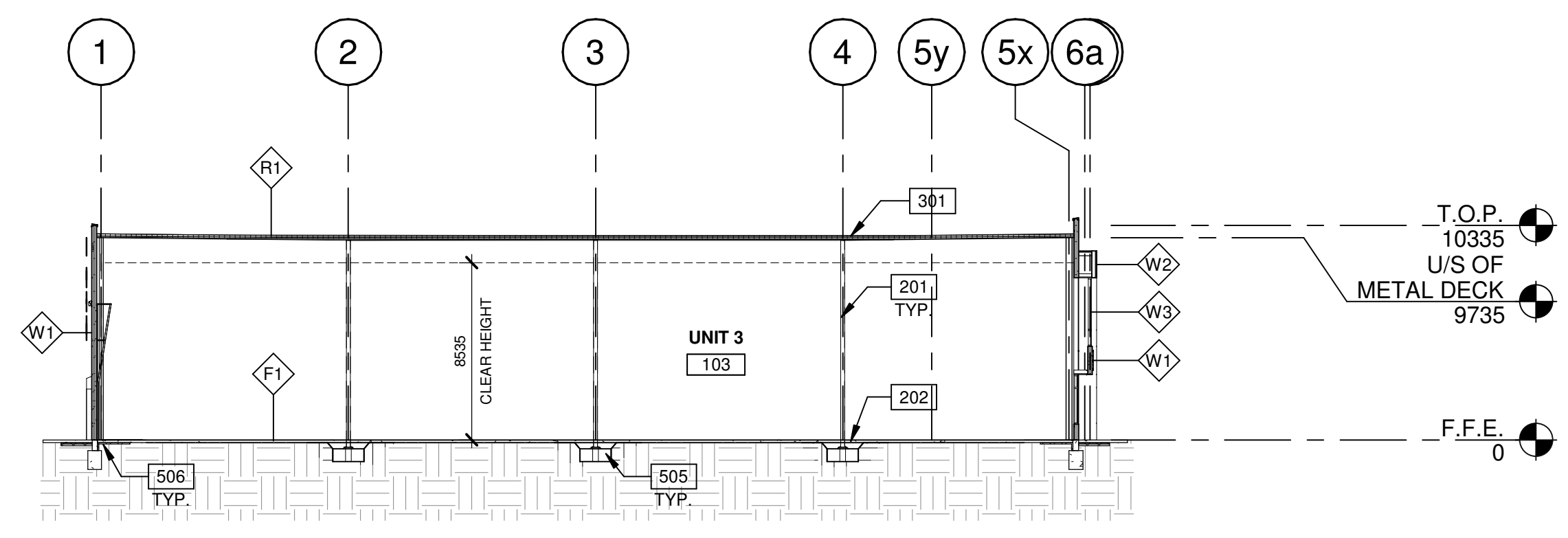
WEST EXTERIOR ELEVATION
SCALE: 1 : 250



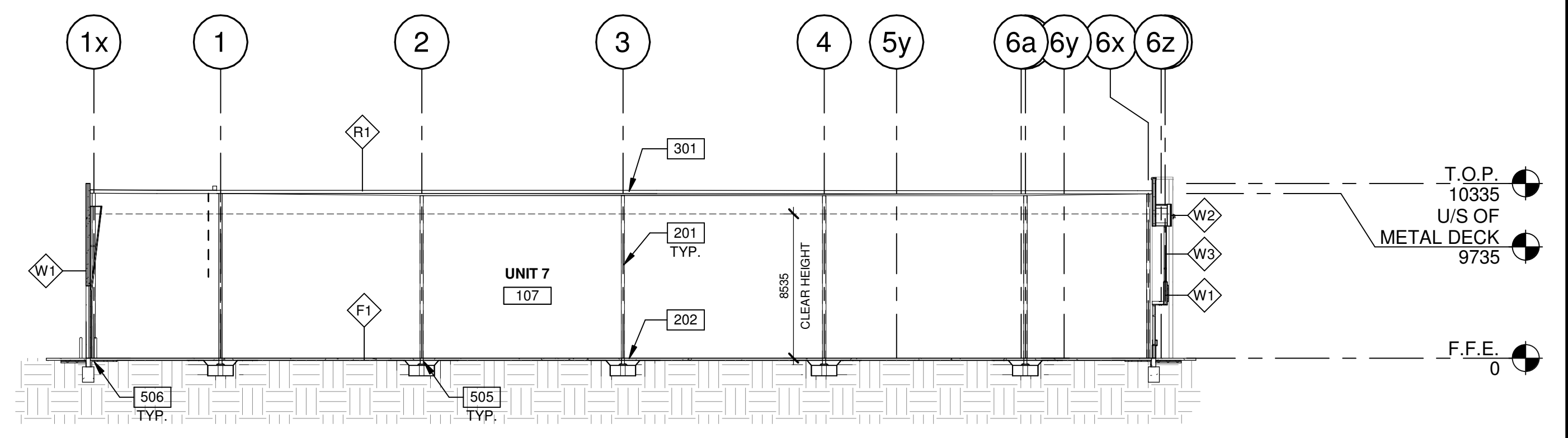
EAST EXTERIOR ELEVATION
SCALE: 1 : 250



BUILDING SECTION
SCALE: 1 : 250



BUILDING SECTION
SCALE: 1 : 250

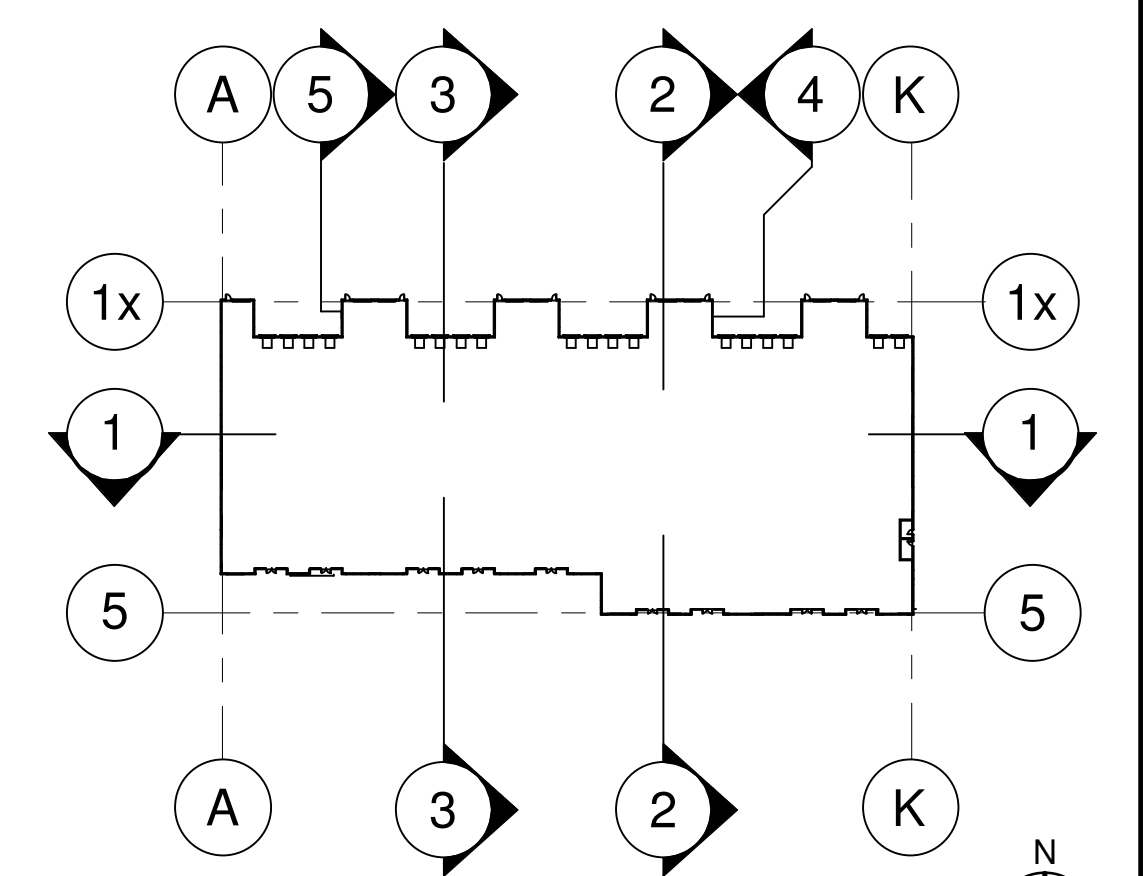


BUILDING SECTION
SCALE: 1 : 250

KEYNOTES
SEE SHEET A0.2a FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 210 1070mm TOTAL HEIGHT. GALVANIZED PAINTED METAL GUARDRAIL.
- 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
- 401 PRECAST CONCRETE PANEL.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 HORIZONTAL VERTICAL REVEAL.
- 413 ROOF LINE BEYOND.
- 414 FINISH GRADE VARIES.
- 505 CONCRETE FOOTING.
- 506 PROVIDE RIGID INSULATION AT FOOTINGS.

KEY PLAN



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BUILDING B

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WHITBY, ONTARIO

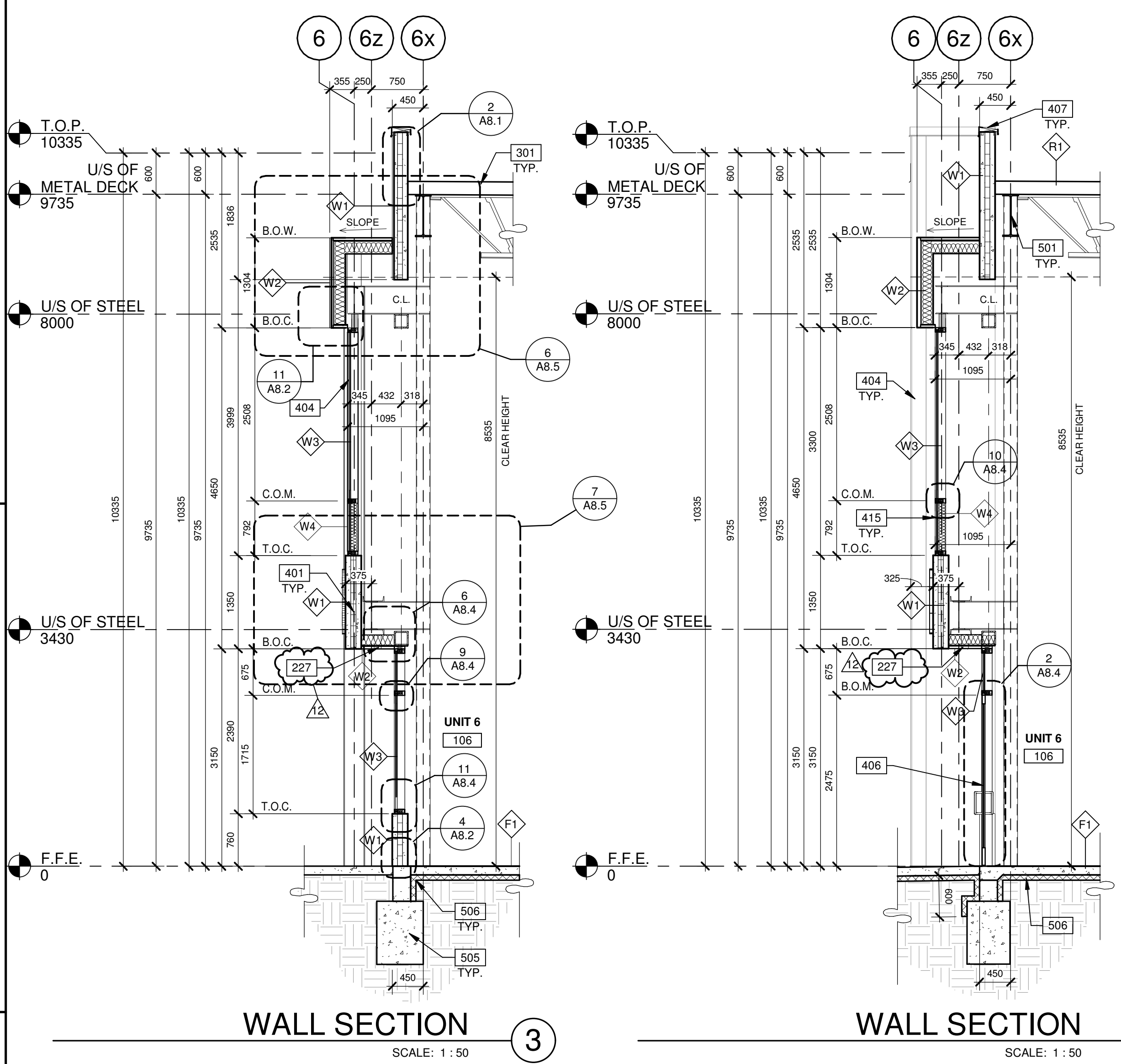
EXTERIOR ELEVATIONS & BUILDING SECTIONS

DATE	REMARKS
2022-03-11	50% CD SET
2022-03-15	85% CD PROGRESS SET
2022-04-01	85% CD SET
2022-04-06	ISSUED FOR BUILDING PERMIT
2022-04-28	ISSUED FOR TENDER
2022-06-07	ISSUED FOR BID
2023-05-25	ISSUED FOR CONSTRUCTION

PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

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A5.1

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WALL SECTION 3
SCALE: 1 : 50

WALL SECTION 2
SCALE: 1 : 50

LEGENDS

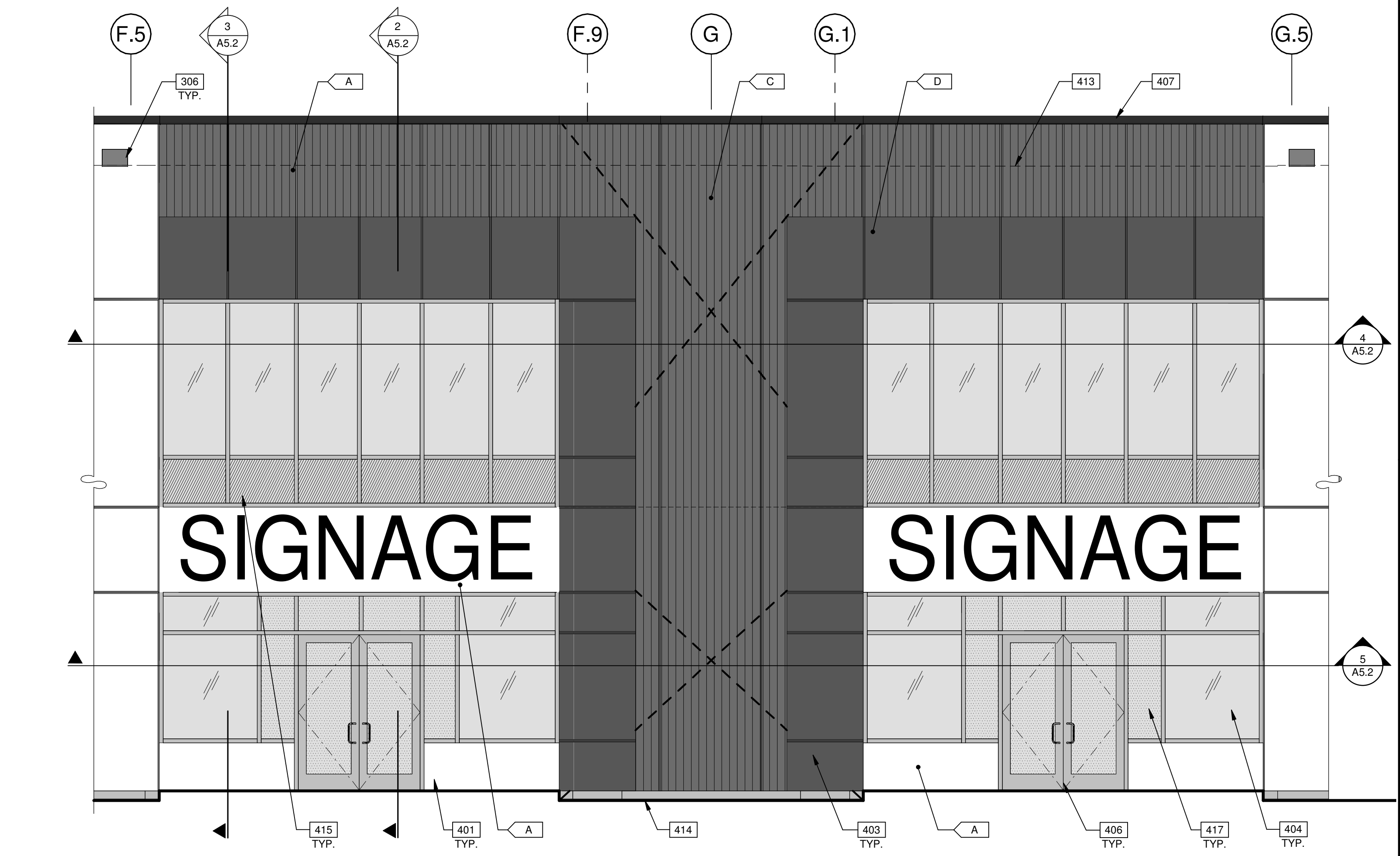
- GLASS:**
- VISION GLASS
VISION GLASS PANELS AT UPPER LEVEL TO BE SOLARBAN 70.
 - SPANDREL GLASS
 - TEMPERED GLASS
- COLOURS:**
- PROVIDE 1,830 MM WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A BASE COLOUR: WHITE ARCHITECTURAL PRECAST PANEL WITH REVEALS
 - B BASE COLOUR: WHITE RIBBED PRECAST PANELS
 - C ACCENT COLOUR: DARK GREY ARCHITECTURAL PRECAST PANELS
 - D ACCENT COLOUR: BLUE COMPOSITE ALUMINUM PANELS

KEYNOTES

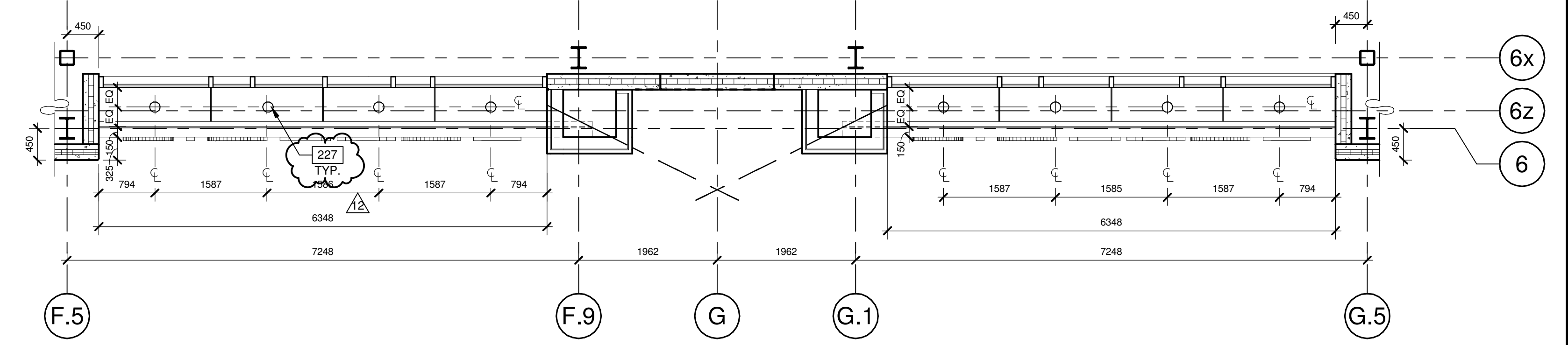
- SEE SHEET A0.2a FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 206 OUTLINE OF CANOPY ABOVE.
 - 211 FUTURE REMOVING WALL.
 - 227 RECESSED LIGHT FIXTURE IN ALUMINUM COMPOSITE METAL PANEL SOFFIT.
 - 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
 - 306 OVERFLOW SCUPPER.
 - 401 PRECAST CONCRETE PANEL.
 - 403 ALUMINUM COMPOSITE METAL PANEL.
 - 404 CURTAIN WALL GLAZING SYSTEM.
 - 406 ALUMINUM STOREFRONT DOUBLE DOORS IN CURTAIN WALL SYSTEM.
 - 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 413 ROOF LINE BEYOND.
 - 414 FINISH GRADE VARIES.
 - 415 SPANDREL PANEL IN CURTAIN WALL SYSTEM.
 - 417 TEMPERED PANEL IN CURTAIN WALL SYSTEM.
 - 501 STRUCTURAL STEEL BEAM.
 - 505 CONCRETE FOOTING.
 - 506 PROVIDE RIGID INSULATION AT FOOTINGS.

WALL LEGEND

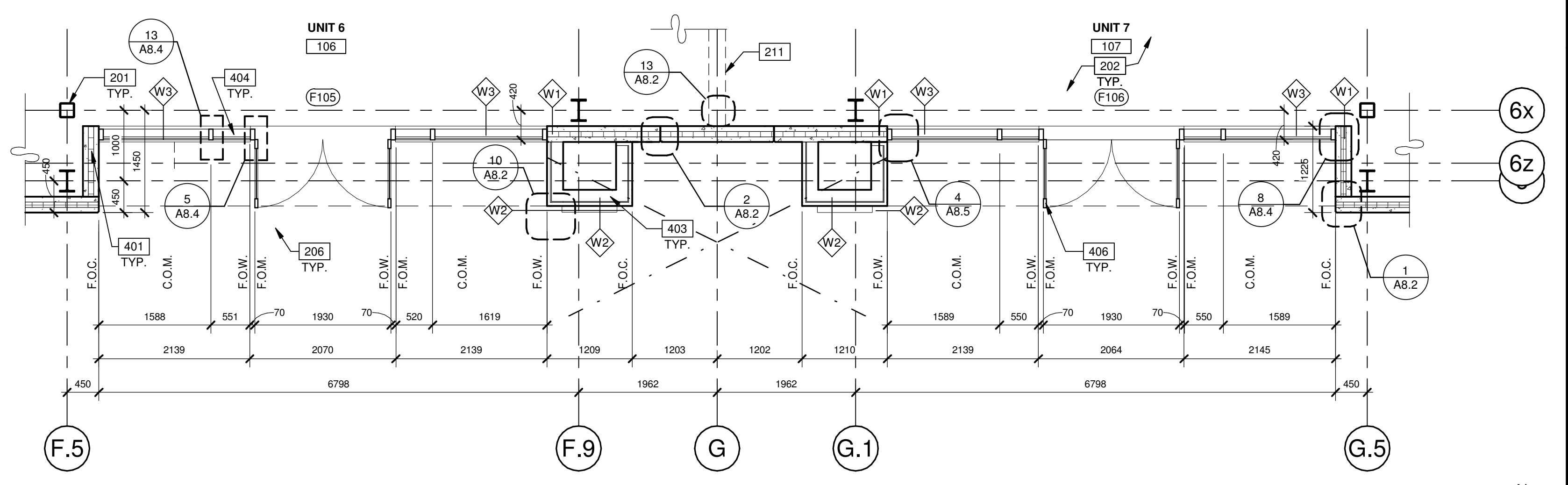
- ARCHITECTURAL PRECAST WALL PANEL
- ALUMINUM COMPOSITE METAL PANEL
- 1HR CONCRETE MASONRY WALL



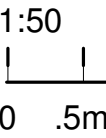
ENLARGED EXTERIOR ELEVATION 1
SCALE: 1 : 50



CANOPY SOFFIT PLAN 4
SCALE: 1 : 50



ENLARGED FLOOR PLAN 5
SCALE: 1 : 50



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ENLARGED ELEVATION, PLAN & WALL SECTIONS

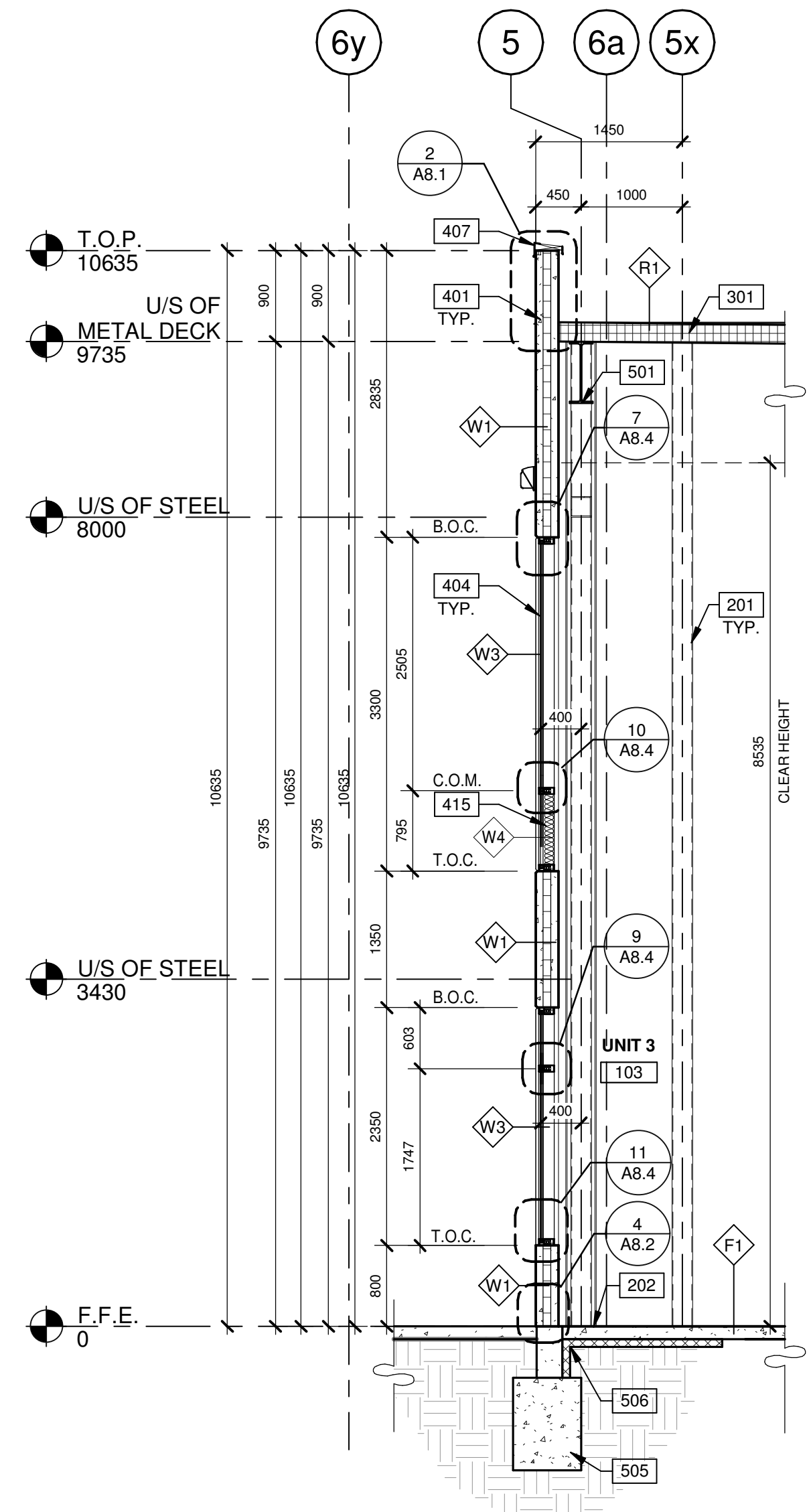
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2	2022-03-15	85% CD PROGRESS SET
3	2022-04-01	85% CD SET
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5	2022-04-28	ISSUED FOR TENDER
7	2022-06-07	ISSUED FOR BID
10	2023-05-25	ISSUED FOR CONSTRUCTION
12	2023-07-26	ISSUED FOR SH-04

PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

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A5.2

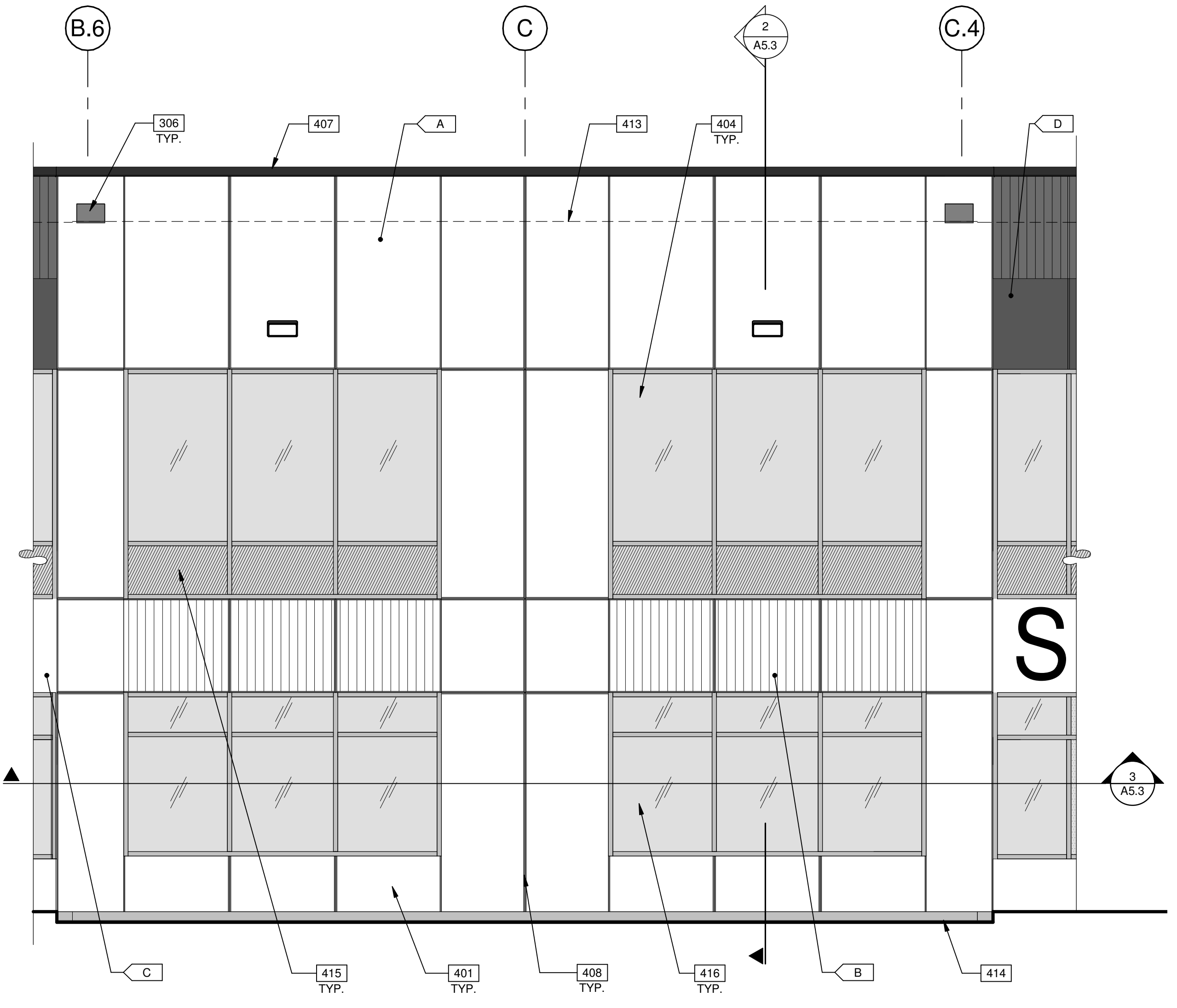
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WALL SECTION

SCALE: 1 : 50

2



ENLARGED EXTERIOR ELEVATION

SCALE: 1 : 50

1

LEGENDS

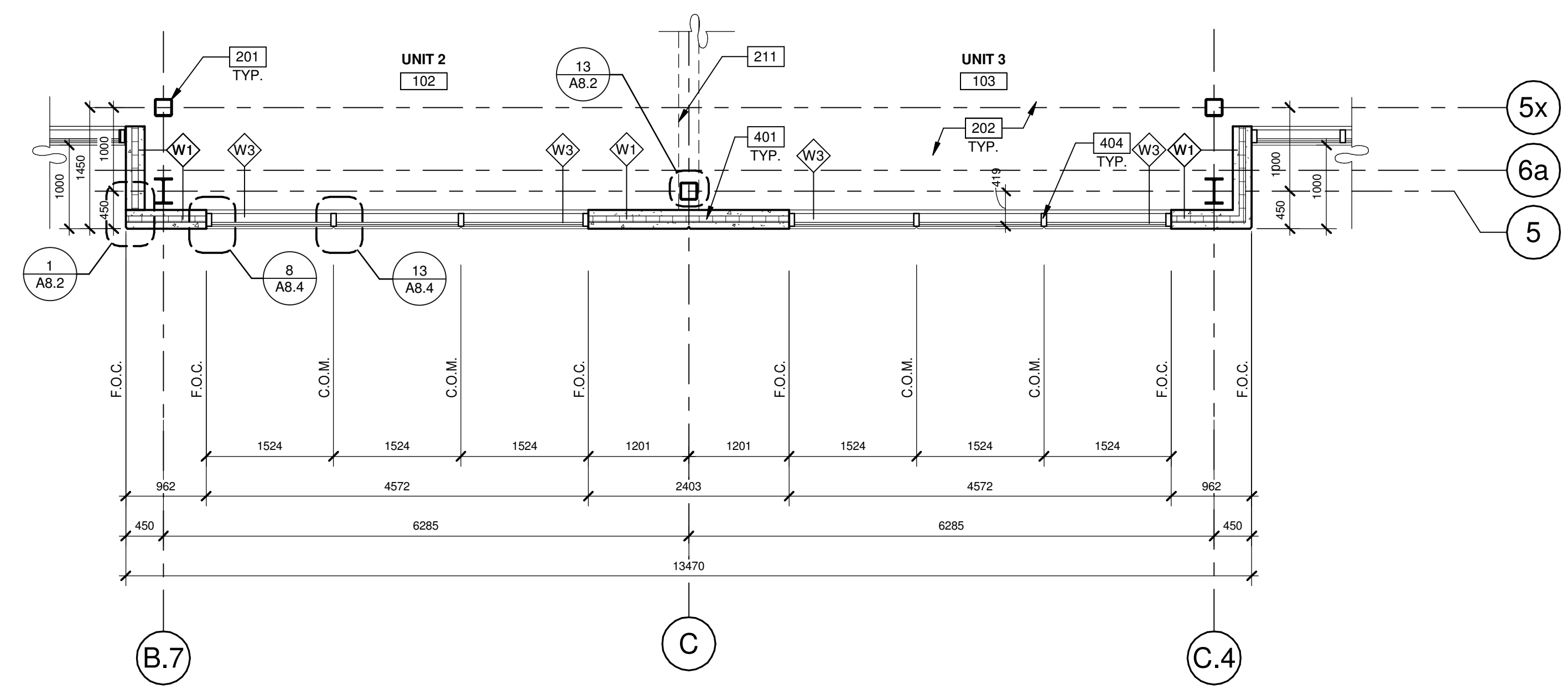
- GLASS:**
- VISION GLASS
 - VISION GLASS PANELS AT UPPER LEVEL TO BE SOLARBAN 70.
 - SPANDREL GLASS
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KEYNOTES

- SEE SHEET A0.2a FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 211 FUTURE DEMISING WALL.
 - 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
 - 306 OVERFLOW SCUPPER.
 - 401 PRECAST CONCRETE PANEL.
 - 404 CURTAIN WALL GLAZING SYSTEM.
 - 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 408 HORIZONTAL VERTICAL REVEAL.
 - 413 ROOF LINE BEYOND.
 - 414 FINISH GRADE VARIES.
 - 415 SPANDREL PANEL IN CURTAIN WALL SYSTEM.
 - 416 VISION PANEL IN CURTAIN WALL SYSTEM.
 - 501 STRUCTURAL STEEL BEAM.
 - 505 CONCRETE FOOTING.
 - 506 PROVIDE RIGID INSULATION AT FOOTINGS.

WALL LEGEND

- ARCHITECTURAL PRECAST WALL PANEL
- ALUMINUM COMPOSITE METAL PANEL
- 1HR CONCRETE MASONRY WALL



ENLARGED FLOOR PLAN

SCALE: 1 : 50

3

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ENLARGED ELEVATION, PLAN & WALL SECTION

DATE	REVISIONS	REMARKS
2022-03-11	50% CD SET	
2022-03-15	85% CD PROGRESS SET	
2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
2022-04-28	ISSUED FOR TENDER	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	

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DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

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A5.3

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- ### KEYNOTES
- SEE SHEET A0.2a FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 306 OVERFLOW SCUPPER.
 - 401 PRECAST CONCRETE PANEL.
 - 403 ALUMINUM COMPOSITE METAL PANEL.
 - 404 CURTAIN WALL GLAZING SYSTEM.
 - 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 408 HORIZONTAL VERTICAL REVEAL.
 - 412 CLERESTORY WINDOW.
 - 413 ROOF LINE BEYOND.
 - 414 FINISH GRADE VARIES.
 - 415 SPANDREL PANEL IN CURTAIN WALL SYSTEM.
 - 416 VISION PANEL IN CURTAIN WALL SYSTEM.

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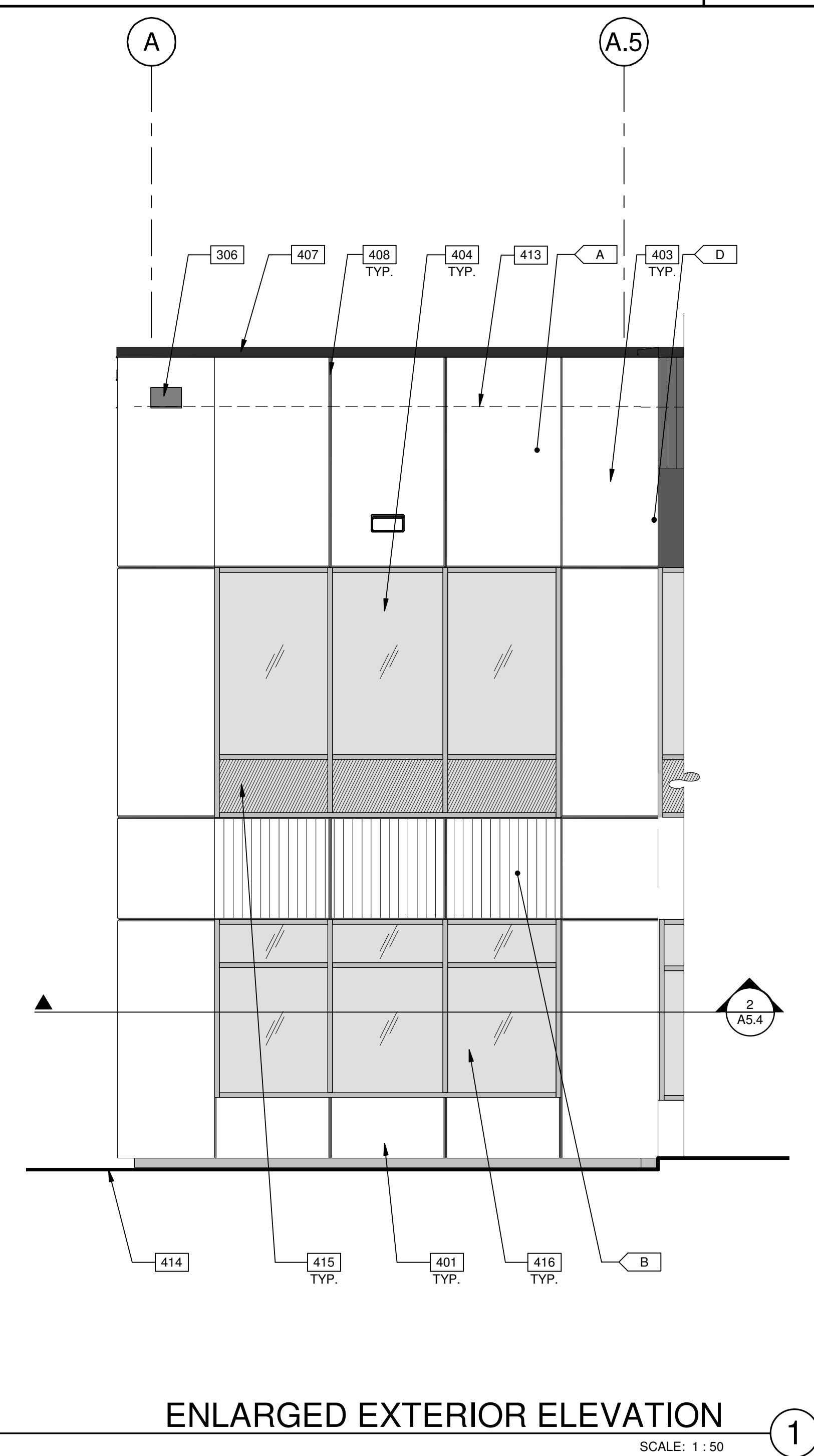
BUILDING B
 1400 VICTORIA STREET
 WHITBY, ONTARIO

ENLARGED ELEVATIONS & PLANS

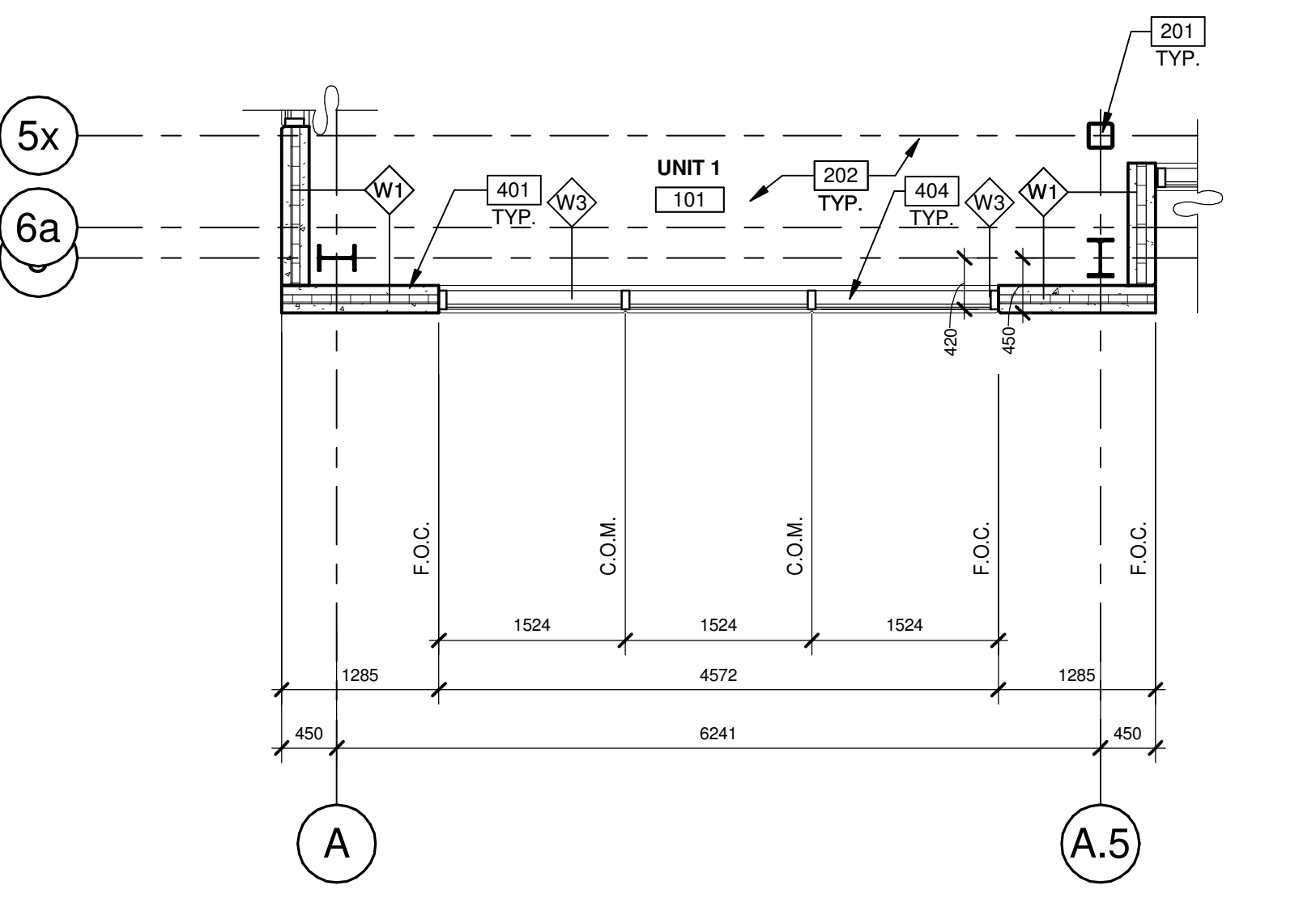
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2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
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2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	

PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
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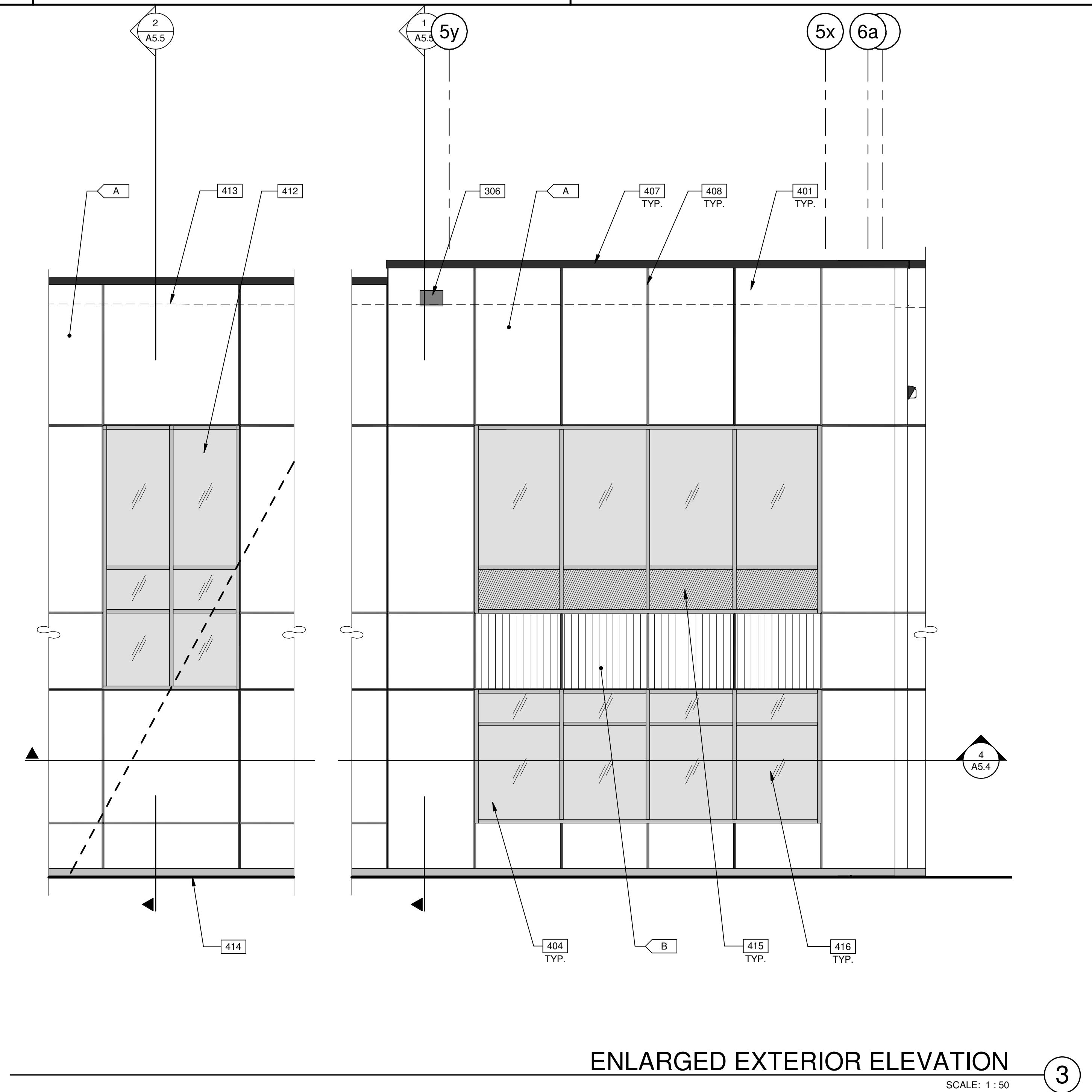
SHEET
A5.4



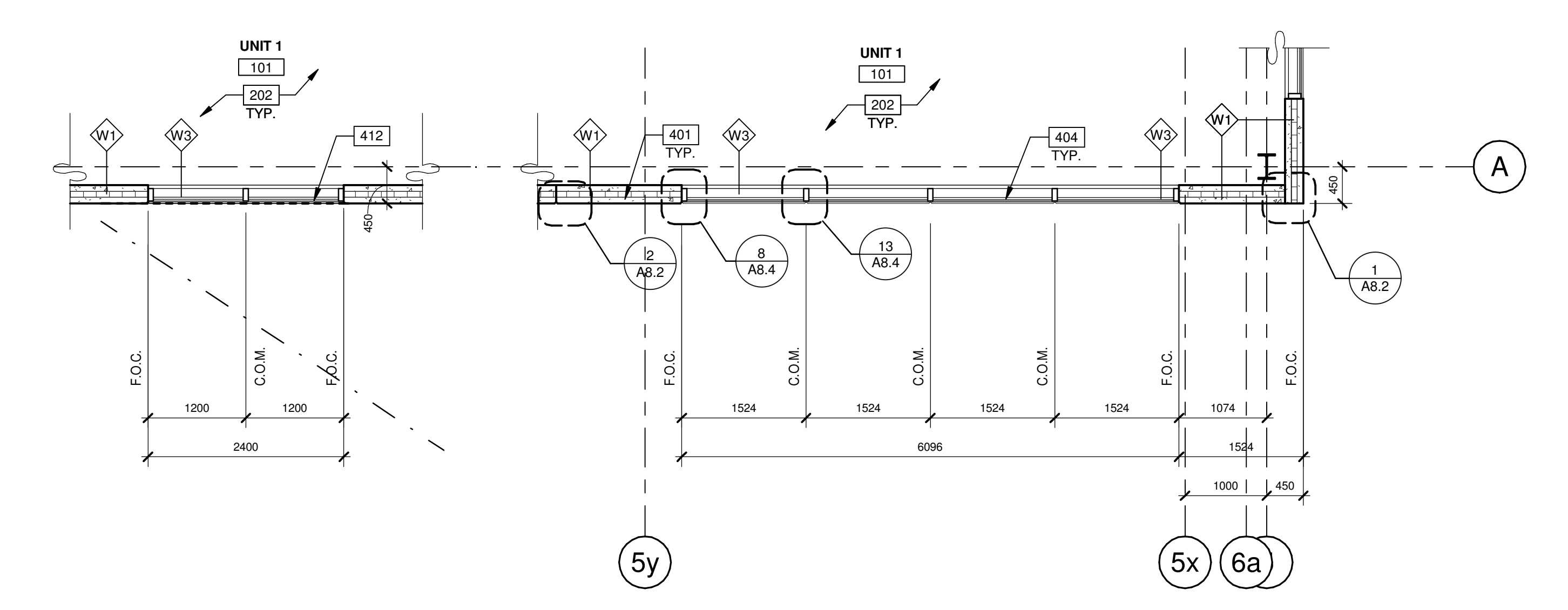
ENLARGED EXTERIOR ELEVATION 1 SCALE: 1 : 50



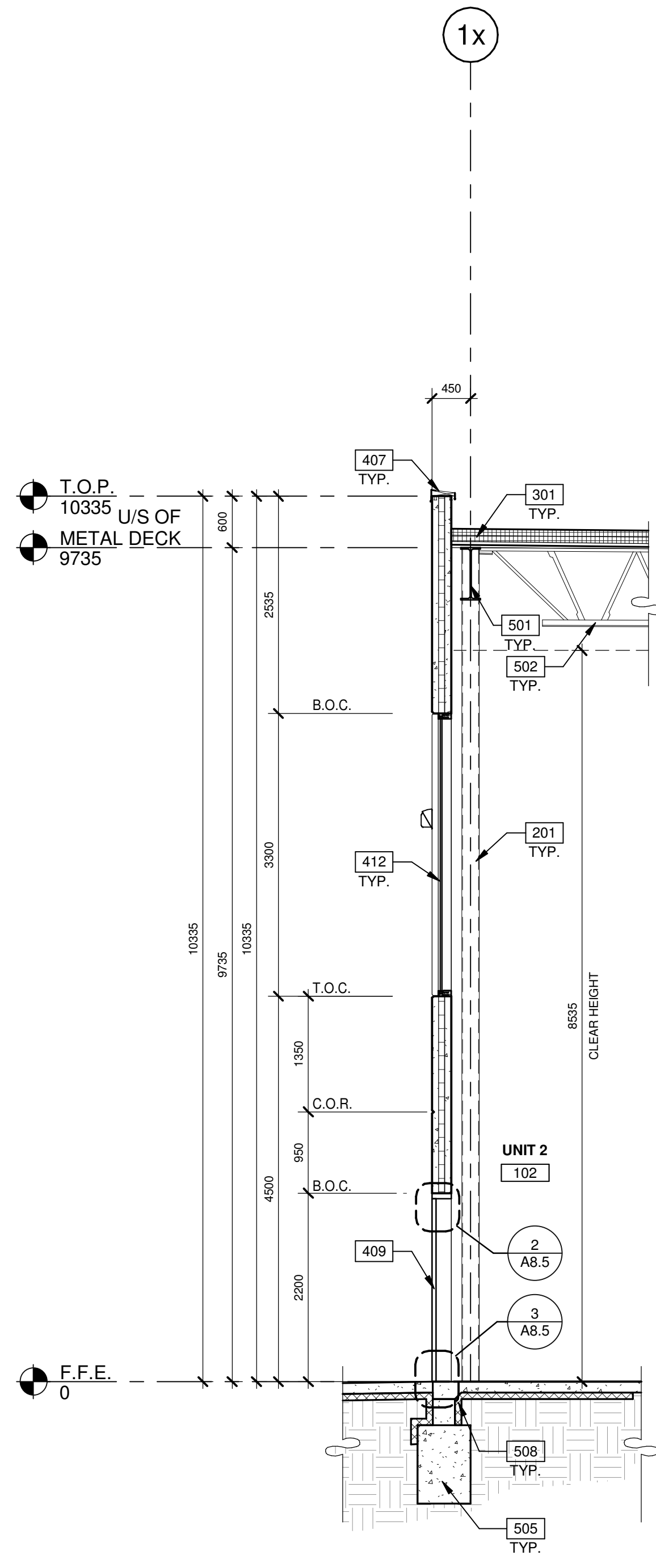
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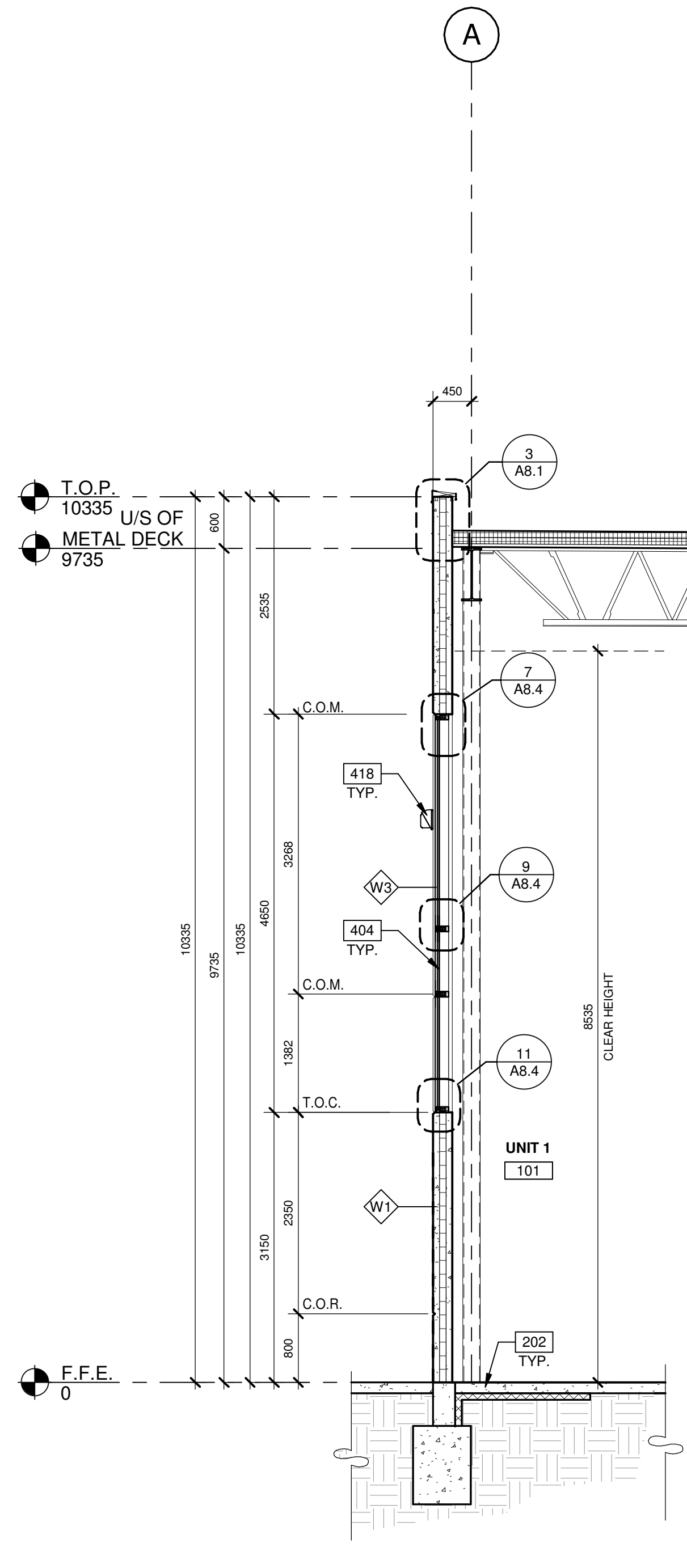
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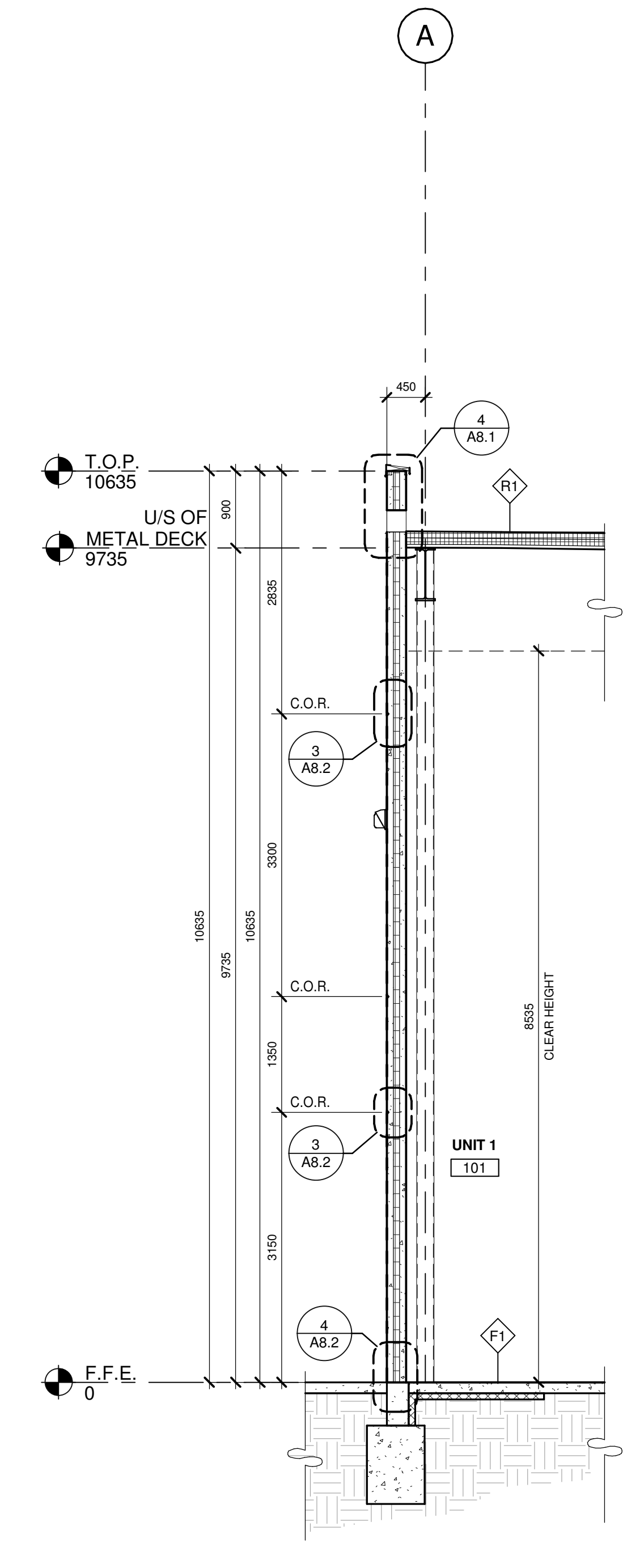
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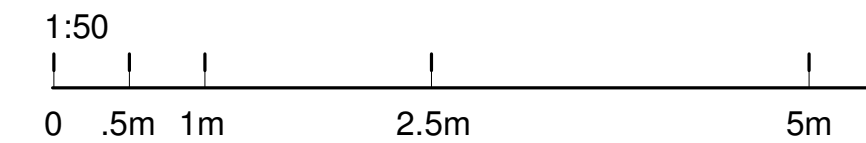
WALL SECTION 3
SCALE: 1 : 50



WALL SECTION 2
SCALE: 1 : 50



WALL SECTION 1
SCALE: 1 : 50



KEYNOTES

- SEE SHEET A0.24 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
 - 404 CURTAIN WALL GLAZING SYSTEM.
 - 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
 - 409 INSULATED HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
 - 412 CLERESTORY WINDOW.
 - 418 WALL PACK MOUNTED.
 - 501 STRUCTURAL STEEL BEAM.
 - 502 STRUCTURAL STEEL JOIST.
 - 505 CONCRETE FOOTING.
 - 508 PROVIDE RIGID INSULATION AT GRADE SLAB (R15.3&6, 1200mm DEEP) AND FOUNDATION WALL.

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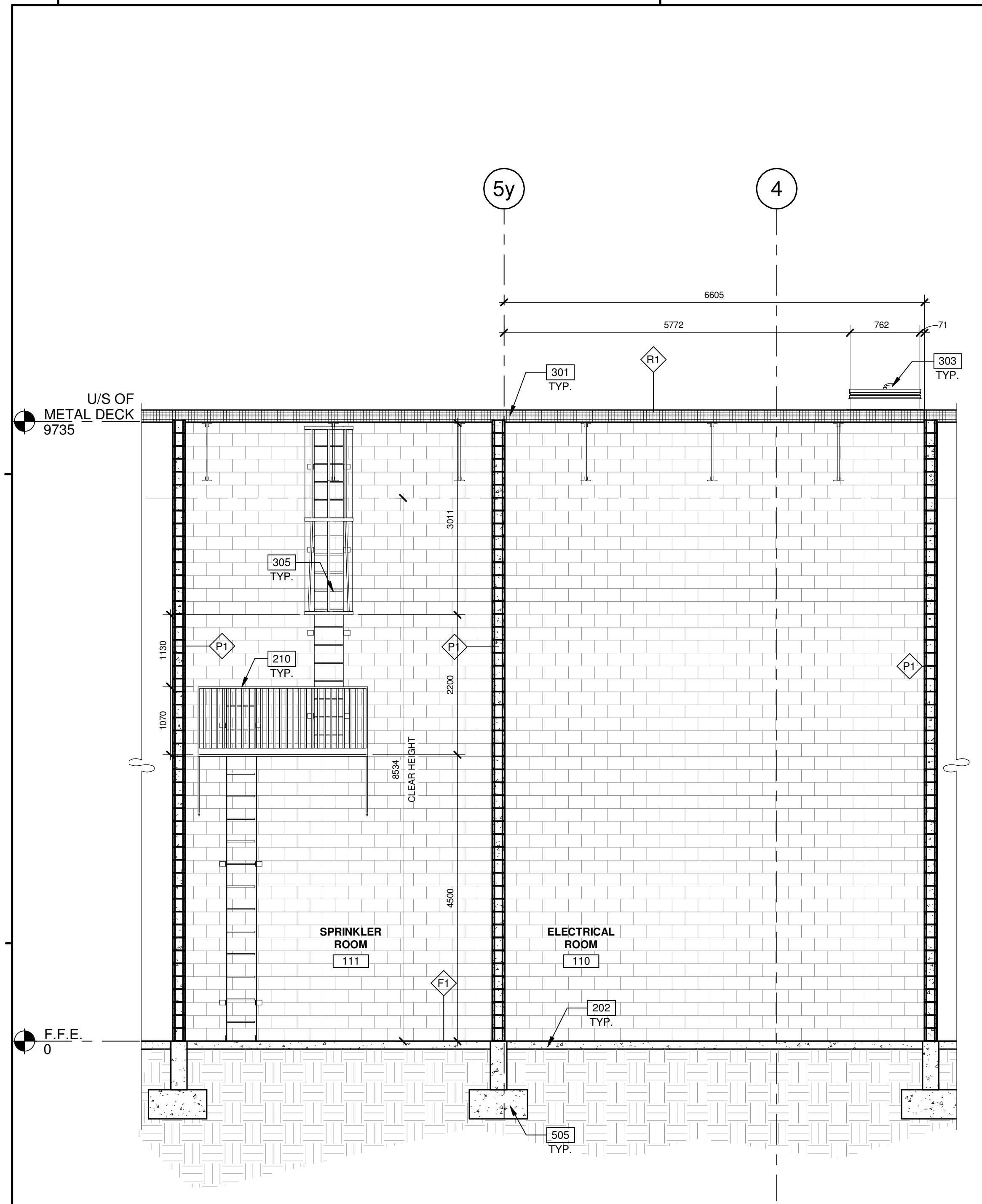
RIPPLE WHITBY
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WHITBY, ONTARIO

DATE	50% CD SET	REMARKS
1 2022-03-11	50% CD SET	
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4 2022-04-06	ISSUED FOR BUILDING PERMIT	
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10 2023-05-25	ISSUED FOR CONSTRUCTION	

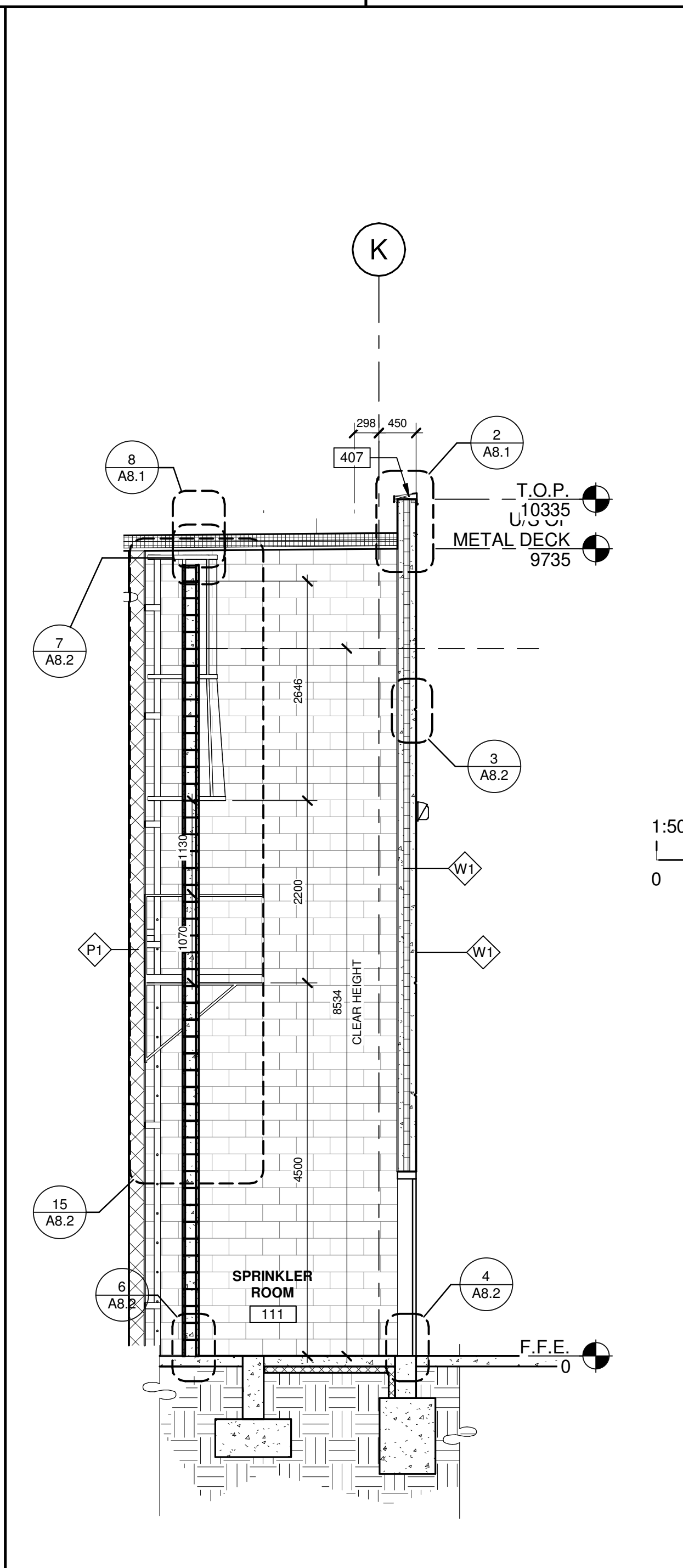
PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T. / A.M.
JOB NO.:	TOR21-0137-00

SHEET
A5.5

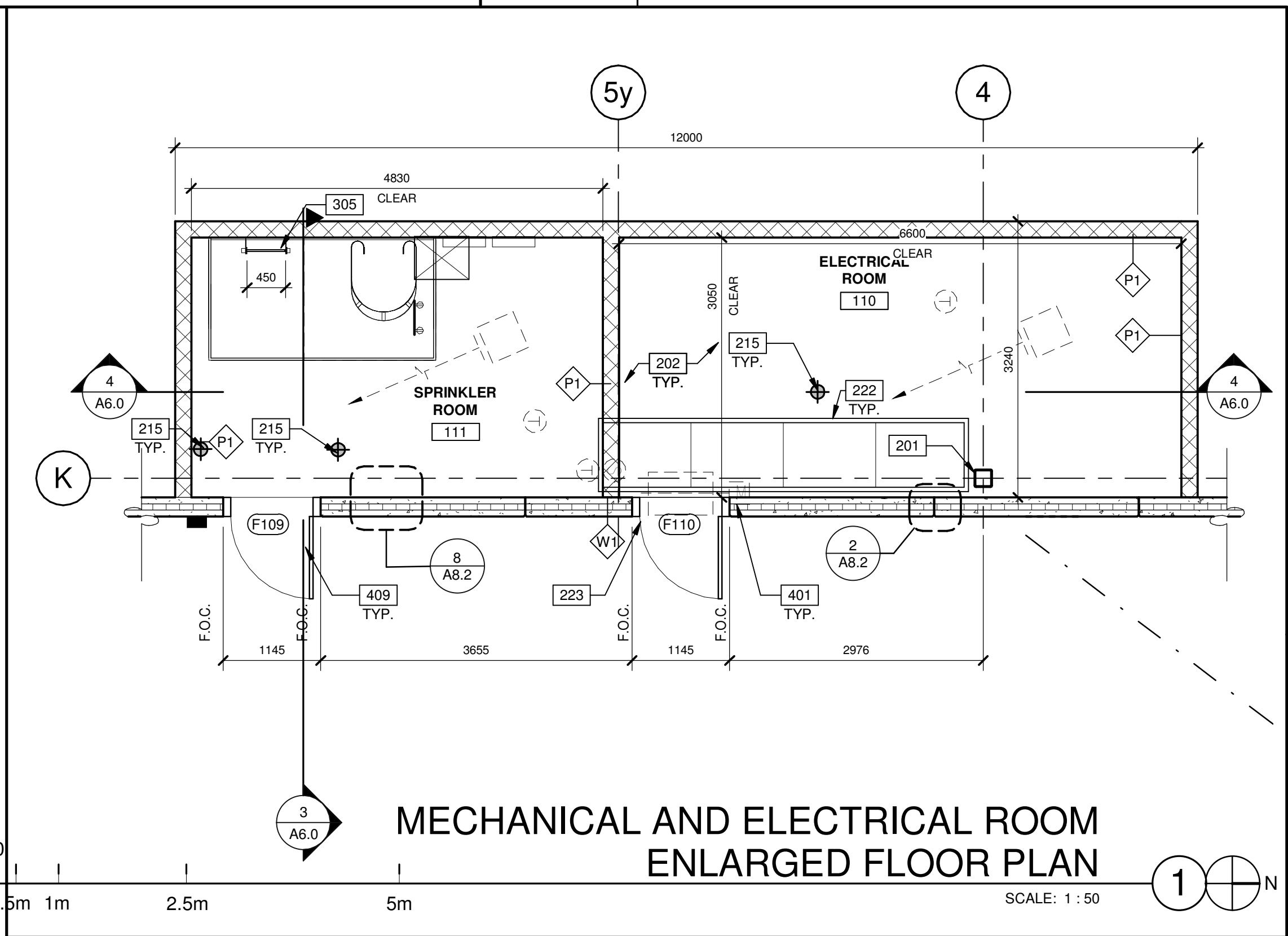
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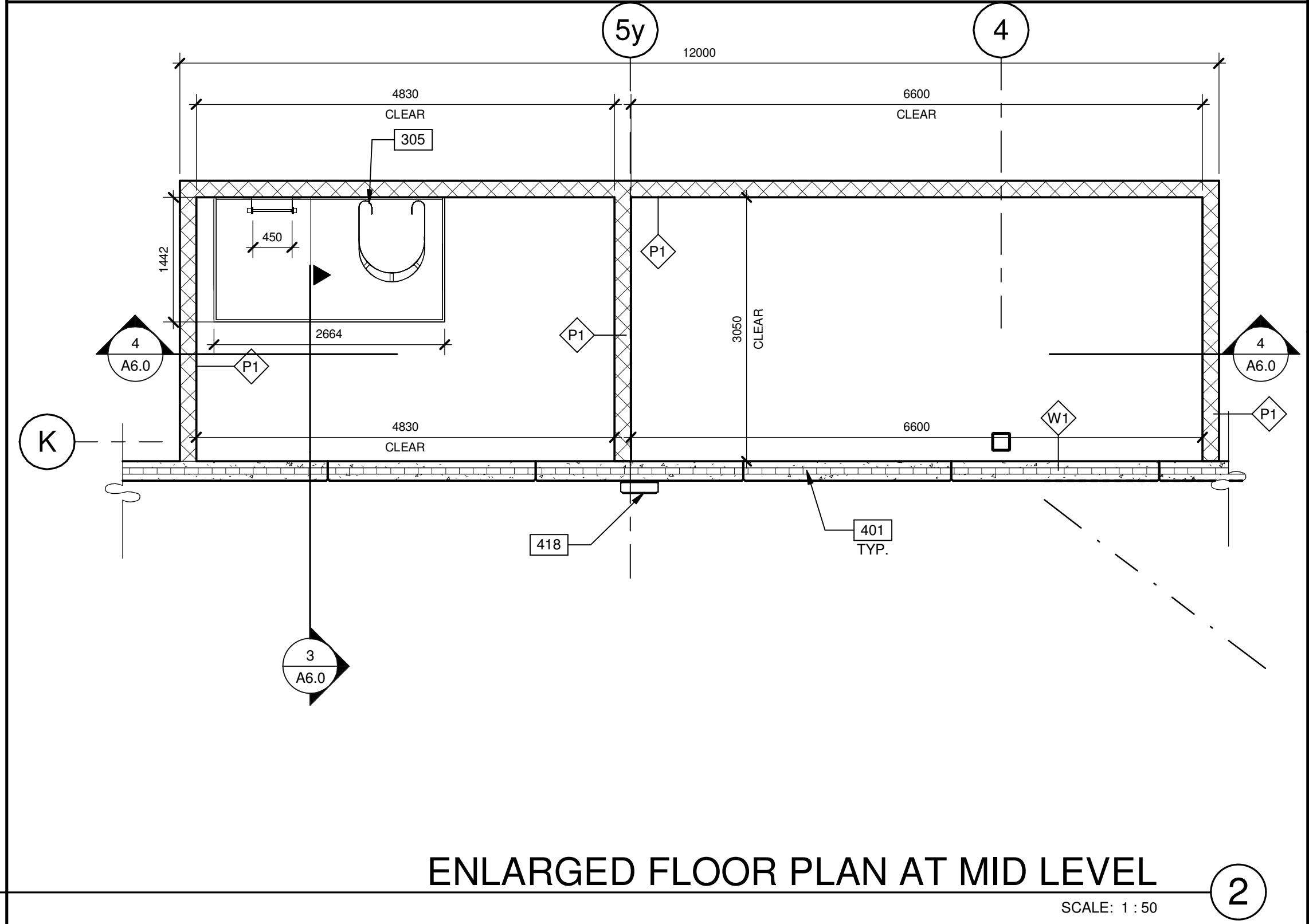
ENLARGED MECHANICAL AND ELECTRICAL ROOM SECTION
SCALE: 1 : 50



ENLARGED MECHANICAL AND ELECTRICAL ROOM SECTION
SCALE: 1 : 50



MECHANICAL AND ELECTRICAL ROOM ENLARGED FLOOR PLAN
SCALE: 1 : 50



ENLARGED FLOOR PLAN AT MID LEVEL
SCALE: 1 : 50

WALL LEGEND

- ARCHITECTURAL PRECAST WALL PANEL
- ALUMINUM COMPOSITE METAL PANEL
- 1HR CONCRETE MASONRY WALL

KEYNOTES

- SEE SHEET A0.24 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 210 1070mm TOTAL HEIGHT. GALVANIZED PAINTED METAL GUARDRAIL.
 - 215 FLOOR DRAIN.
 - 222 SEE ELECTRICAL DWG'S.
 - 223 LOUVRE ABOVE. SEE MECHANICAL DWG'S.
 - 301 4 PLY ASPHALT ROOFING SYSTEM AS PER R1 DESCRIPTION.
 - 303 ROOF HATCH.
 - 305 ROOF ACCESS LADDER.
 - 401 PRECAST CONCRETE PANEL.
 - 407 CONTINUOUS METAL CAP FLASHING. PAINTED TO MATCH ADJACENT WALL.
 - 409 INSULATED HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSE EXITS.
 - 418 WALL PACK MOUNTED.
 - 505 CONCRETE FOOTING.

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1400 VICTORIA STREET
WHITBY, ONTARIO

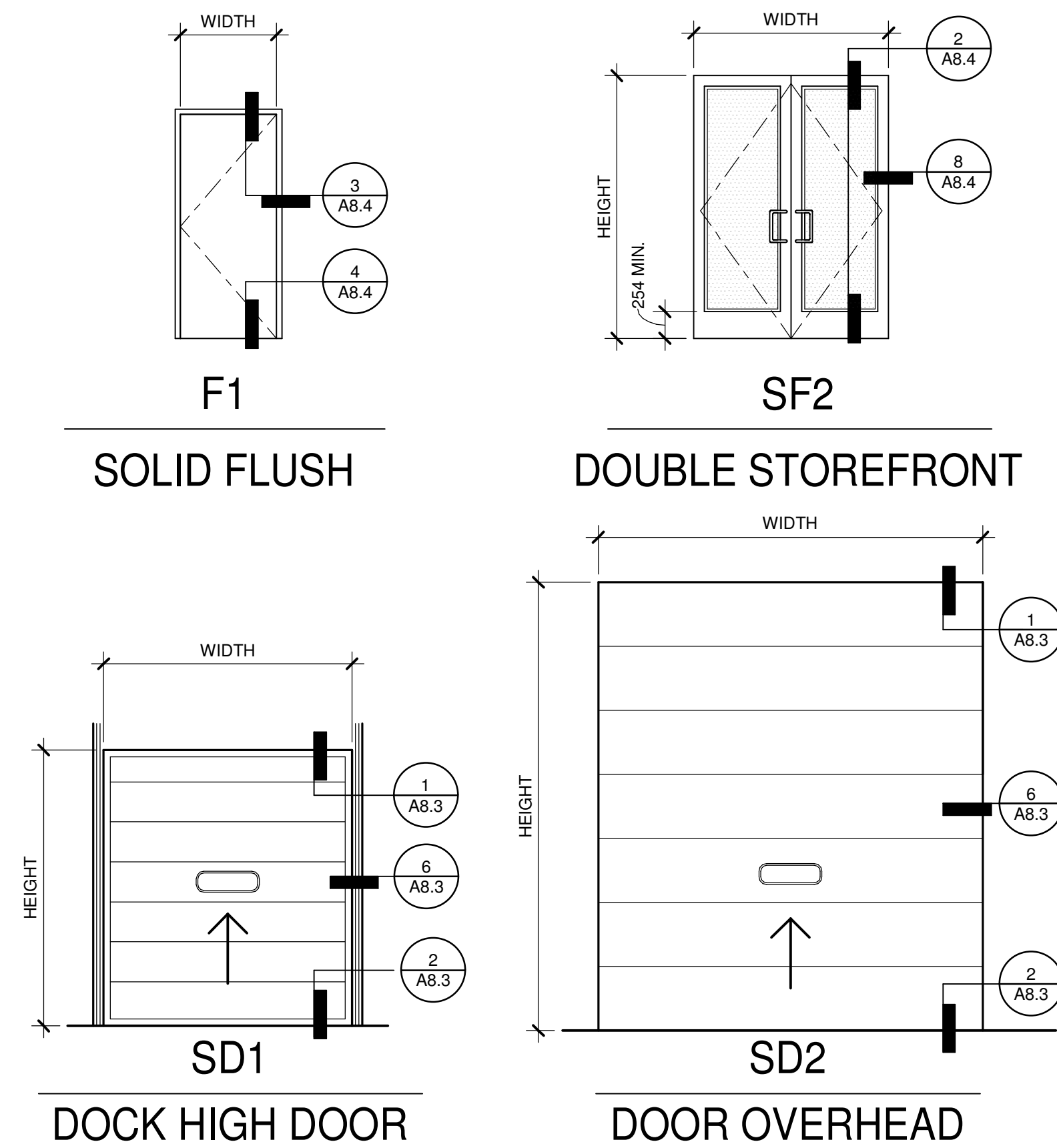
ENLARGED FLOOR PLAN AND SECTIONS

DATE	DESCRIPTION	REMARKS
2022-03-11	50% CD SET	
2022-03-15	85% CD PROGRESS SET	
2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
2022-04-28	ISSUED FOR TENDER	
2022-06-03	GENERAL REVISION	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	

PA/PM:	V HORTIGUELA
DRAWN BY.:	O.T./A.M.
JOB NO.:	TOR21-0137-00

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A6.0

DOOR TYPES



DOOR NO.	TYPE	WIDTH	HEIGHT	THICK	DOOR		FRAME		FIRE RATING	HDWARE NO.	OPERATING HARDWARE	COMMENTS
					MATERIAL	FINISH	MATERIAL	FINISH				
F109	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F110	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F111	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F112	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F113	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F114	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F115	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F116	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F117	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F118	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F119	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F120	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F121	F1	965	2135	44	HOLLOW METAL INSULATED	PAINTED	HOLLOW METAL	PAINTED		B4		
F100	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F101	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F102	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F103	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F104	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F105	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F106	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F107	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F108	SF2	1930	2475	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	ALUMINUM STOREFRONT	CLEAR ANODIZED		A3	A3	PROVIDE DOOR OPERATOR.
F132	SD1	2745	3050	50	STEEL	PAINT WHITE	STEEL	PAINT WHITE		A3	A3	ALL HARDWARE DOORS TO BE HEAVY DUTY INDUSTRIAL GRADE
	SD2	3660	4270	50	STEEL	PAINT WHITE	STEEL	PAINT WHITE		A3	A3	ALL HARDWARE DOORS TO BE HEAVY DUTY INDUSTRIAL GRADE

DOOR HARDWARE

HARDWARE SPECIFICATIONS

BUTT HINGES:

- IVES 3 KNUCKLE 3CB1 SERIES (OR 5 KNUCKLE 5BB1 SERIES) OR APPROVED EQUAL.
- SIZE:
 - 3-1/2" X 3-1/2" X 0.123 GA FOR 1-3/8" DOORS.
 - 4-1/2" X 4-1/2" X 0.134 GA FOR 1-3/4" DOORS TO 36" WIDE.
 - 4-1/2" X 4-1/2" X 0.180 GA FOR 1-3/4" FOR DOORS GREATER THAN 36" TO 42" WIDE.
 - 5" X 4-1/2" X 0.190 GA FOR 1 3/4" FOR DOORS GREATER THAN 42" TO 48" WIDE.
- QUANTITY: 1-1/2 PAIRS FOR DOORS 60" TO 90" IN HEIGHT AND AN ADDITIONAL 1/2 PAIR FOR EVERY 30" OR FRACTION THEREOF.
- MATERIAL:
 - ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
 - ALL EXTERIOR OUTSWING DOORS SHALL HAVE NON-REMOVEABLE PINS.
 - ALL FIRE RATED DOORS OR DOORS WITH CLOSING DEVICES SHALL HAVE BALL BEARING STEEL HINGES.

PIVOTS:

- IVES 7000 SERIES.
- HIGH STRENGTH FORCED BRONZE OR STAINLESS STEEL TILT-ON PRECISION BEARING AND BEARING PIN.
 - BOTTOM AND INTERMEDIATE PIVOTS: ADJUSTABILITY OF MINUS 1/16", PLUS 1/8".

CLOSING DEVICES:

- CONCEALED - FLOOR: DORMA BTS 80 SERIES.
 - HYDRAULICALLY CONTROLLED, CEMENT CASE, MAXIMUM DEGREE DEAD STOP PERMITTED BY TRIM OR ADJACENT STRUCTURE. PROVIDE SPECIAL PINS, FLOOR PANS, AND LONGER SPINDLES TO ACCOMMODATE FLOOR AND JAMB CONDITIONS.
- CONCEALED - OVERHEAD: LCN 2030 SERIES OR APPROVED EQUAL.
 - CONCEALED IN TRACK BUMPERS WHERE SCHEDULED.
- SURFACE - LCN 1461 SERIES OR APPROVED EQUAL.
 - PROVIDE "DS" DESIGNER SERIES COVERS AT ALL DOORS VISIBLE BY THE PUBLIC (STANDARD COVERS AT MAINTENANCE ROOMS).
- MAX. EFFORT TO OPERATE DOORS:
 - EXTERIOR DOORS - 5 LBS.
 - INTERIOR DOORS - 5 LBS.
 - FIRE RATED DOORS - 15 LBS.
- A CLOSING DEVICE MUST BE USED ON ALL FIRE-RATED DOORS.

STOPS:

- IVES WS4057/FS436 SERIES DOOR STOPS:
 - WS406/407 CVX/CCV WALL STOP OR APPROVED EQUAL, TYPICAL U.O.N.
 - FS436/R435 DOME FLOOR STOP (SIZE BASE TO FIT) OR APPROVED EQUAL - WHERE WALL STOP WILL NOT WORK.
 - WHERE WALL OR FLOOR STOPS WILL NOT WORK PROVIDE AN OVERHEAD STOP OR SPRING "CRUSH" ARM ON THE CLOSER.

MAGNETIC HOLDERS:

- LCN SEM7800 (24 VDC/VAC) MAGNETIC HOLDER OR APPROVED EQUAL AT FIRE-RATED AUTOMATIC RELEASE DOORS.
 - PROVIDE EXTENDED ARMATURES AS REQUIRED TO SUIT CONDITIONS.

DOOR COORDINATORS (COORDINATORS TO MATCH DOOR FRAME):

- IVES COR SERIES OR APPROVED EQUAL, SIZED TO FIT FROM STOP TO STOP.
 - PROVIDE FULL LENGTH BRACKET FOR MOUNTING TO ALUMINUM FRAME.
 - IF JAMB STOP DOES NOT PERMIT USE OF IVES COR SERIES, SUBSTITUTE IVES CORG SERIES, GRAVITY COORDINATORS.

KICK PLATES:

- IVES 8400/8402 SERIES OR APPROVED EQUAL.
- PROVIDE 8400 SERIES AT NON-RATED DOORS AND 8402 SERIES AT FIRE RATED DOORS.
- SIZE AS FOLLOWS:
 - 10" X 2" LESS THAN DOOR WIDTH - SINGLE DOOR
 - 10" X 1" LESS THAN DOOR WIDTH - PAIR OF DOORS.

WEATHER STRIPPING:

- ZERO INTERNATIONAL (ZER) OR APPROVED EQUAL:
 - THRESHOLDS - ZER 545 OR AS SHOWN ON SILL DETAILS AND AS REQUIRED TO SUIT CONDITIONS AT EXTERIOR DOORS.
 - HEAD RAIN DRIPS - ZER 142 OR AS SHOWN ON HEAD DETAILS AND AS REQUIRED TO SUIT CONDITIONS AT EXTERIOR DOORS. (OMIT AT DOOR SHELTERED WITH OVERHANGS).
 - BOTTOM RAIN DRIPS - ZER 11 OR AS SHOWN ON SILL DETAILS AND AS REQUIRED TO SUIT CONDITIONS. (AT IN-SWING DOORS).
 - DOOR BOTTOMS/SHOES - ZER 8198 OR AS SHOWN ON SILL DETAILS AND REQUIRED TO SUIT CONDITIONS AT OUT-SWING EXTERIOR DOORS.
 - DOOR BOTTOMS/SHOES - ZER 381 OR AS SHOWN ON SILL DETAILS AND AS REQUIRED TO SUIT CONDITIONS AT IN-SWING EXTERIOR DOORS.
 - HEAD AND JAMB SEALS - ZER 8042 (OR AS REQUIRED TO MEET FIRE LABEL RATING) AT EXTERIOR DOORS AND FIRE RATED DOORS. (OMIT AT ALUMINUM FRAMES).
 - ASTRAGALS - 383 AT NON-RATED WOOD DOORS AND 383FS AT FIRE RATED WOOD DOORS. (SEE LATCHGUARDS FOR EXTERIOR AND HOLLOW METAL DOORS)

LATCHGUARDS:

- IVES LG SERIES OR APPROVED EQUAL FOR SINGLES OUTSWING EXTERIOR DOORS.
- ZER 44SP SERIES ASTRAGAL OR APPROVED EQUAL FOR PAIRS OF EXTERIOR HOLLOW METAL DOORS WITHOUT PANIC HARDWARE.

KEYING:

- ON NEW CONSTRUCTION: PROVIDE SCHLAGE LARGE FORMAT INTERCHANGEABLE CORE CYLINDERS WITH CONSTRUCTION CORES AND A PERMANENT CORE.
 - ON EXISTING WORK: MATCH BUILDING STANDARD OR AS DIRECTED BY OWNER AND ARCHITECT.

BOLTS:

- MANUAL FLUSH BOLTS:
 - IVES FB458 OR APPROVED EQUAL
 - LENGTH TO SET AS FOLLOWS:
 - BOTTOM BOLTS 12"
 - TOP BOLT 12" FOR DOORS TO 84" IN HEIGHT
 - TOP BOLT 12" PLUS AS 1" FOR EVERY ADDITIONAL INCH OF DOOR HEIGHT OVER 84"
 - DO NOT USE ANY ROOMS NORMALLY OCCUPIED BY PEOPLE
- AUTOMATIC FLUSH BOLTS:
 - IVES FB30 OR APPROVED EQUAL FOR HOLLOW METAL DOORS
 - IVES FB40 OR APPROVED EQUAL FOR WOOD DOORS
 - AUTOMATIC FLUSH BOLTS MUST BE USED AT ALL PAIRS OR FIRE RATED DOORS.

OPERATING HARDWARE

1. CYLINDRICAL LOCKS - SCHLAGE "ND" SERIES LATCHING HARDWARE (FOR USE ON INTERIOR DOORS...)

LEVER DESIGN: "SPARTA"
FINISH: #626 SATIN CHROMIUM PLATED (OR APPROVED EQUAL)

- ND80 - STOREROOM LOCK
- ND50 - OFFICE LOCK
- ND53 - ENTRANCE LOCK
- ND40S - BATH PRIVACY LOCK
- ND10S - PASSAGE LATCH
- ND60 - DOUBLE CYLINDER VESTIBULE LOCK
- ND70 - CLASSROOM LOCK
- ND75 - DOUBLE CYLINDER CLASSROOM LOCK
- ND80EL/EU - ELECTRIC LOCKSET (FAIL SAFE OR FAIL SECURE AS REQUIRED)

2. MORTISE LOCKS - SCHLAGE "L" SERIES LATCHING HARDWARE FOR USE ON EXTERIOR AND INTERIOR...

LEVER DESIGN: "17A"
FINISH: #626 SATIN CHROMIUM PLATED (OR APPROVED EQUAL)

- L9080 - STOREROOM LOCK
- L9050 - OFFICE LOCK
- L9453 - ENTRANCE LOCK
- L9040 - BATH PRIVACY LOCK
- L9010 - PASSAGE LATCH
- L9060 - DOUBLE CYLINDER VESTIBULE LOCK
- L9070 - CLASSROOM LOCK
- L9071 - DOUBLE CYLINDER CLASSROOM LOCK
- L9092EL/EU - ELECTRIC LOCKSET (FAIL SAFE OR FAIL SECURE AS REQUIRED)

3. VON DUPRIN 98/99 SERIES PANIC HARDWARE (OR APPROVED EQUAL)

- RIM DEVICE: 99-L SINGLE DOOR
- MORTISE DEVICE: 9975-L SINGLE OR PAIR DOOR
- CONCEALED VERTICAL CABLE DEVICE: 9949-L PAIRS OF DOORS.
- DELETE: ASTRAGAL, COORDINATOR AND FLUSH BOLTS
- PROVIDE: ZERO 55X155 MEETING STILE SEALS AT NON-RATED DOORS AND ZERO 55FSX55FS MEETING STILE SEALS AT FIRE RATED DOORS.
- SURFACE VERTICAL ROD DEVICE: 9927L PAIR OF DOORS
- DELETE: ASTRAGAL, COORDINATOR AND FLUSH BOLTS
- PROVIDE: ZERO 55X155 MEETING STILE SEALS AT NON-RATED DOORS AND ZERO 55FSX55FS MEETING STILE SEALS AT FIRE RATED DOORS.
- USE SCHLAGE 1-1/4" CYLINDER.
- USE FIRE RATED HARDWARE AS REQUIRED FOR FIRE RATING.

4. IVES 8000 SERIES PUSH/PULL PLATES

- 8200 4 X 16 PUSH PLATE
- 8305-6 4 X 16 PULL PLATE

5. CRL ALL GLASS DOORS HARDWARE

FINISH: #626 SATIN CHROMIUM PLATED (OR APPROVED EQUAL)

- PA100 PANIC HANDLE
- PA100 PANIC HANDLE WITH KEY CYLINDER
- DB100-A DEADBOLT LOCK HANDLE WITH KEY CYLINDER
- PUSH AND/OR PULL HANDLES AS SHOWN ON DOOR ELEVATIONS, AS SPECIFIED OR SELECTED BY ARCHITECT, IF NONE SHOWN OR SPECIFIED, INCLUDE IVES #9266F LONG DOOR PULL(S) AND ASK FOR DIRECTION.

HARDWARE GROUP

A3 - PAIR ALUMINUM STOREFRONT DOOR W/O PANIC HARDWARE (3 POINT LOCK)

- SET PIVOT SET 7215
- EA PIVOT 7215 INT
- EA 3PT DEADLOCK MS1851S X4015 X4085 - ADVISE BACKSET
- EA MORTISE CYLINDER ** 20-062-ICX
- EA CORE ONLY ** 23-030
- EA CYLINDER GUARD MS4043
- EA LOCK INDICATOR 4089
- EA PULL/PUSHBAR 9190HD-12-N0
- EA CONCEALED CLOSER 2030 BUMPER
- EA THRESHOLD REFER TO PLANS
- EA DECAL SIGN THRESHOLD SILL DETAIL MSA 20-0256 *THIS DOOR TO REMAIN UNLOCKED*

B4 - EXTERIOR DOOR

- EA HINGE
- EA OPERATING HARDWARE
- EA SURFACE CLOSER
- SET SEALS
- EA DOOR BOTTOM
- EA THRESHOLD
- EA RAIN DRIP
- EA LOCK GUARD
- EA THRESHOLD

COMMENTS

-
-
-
-
-
-

GENERAL NOTES

SEE SHEET A0.2 FOR GENERAL DOOR NOTES

- ALL HARDWARE SHALL MEET ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES.
- REFER TO THE PARTITION PLAN AND SPECIFICATIONS (IF PROVIDED) FOR ADDITIONAL DOOR INFORMATION.
- SOLID CORE DOORS TO BE LAMINATED WITH *****
- ALL DOOR FRAMES TO BE FACTORY FINISHED, U.O.N.
- PROVIDE RATED WIRE GLASS IN RATED ASSEMBLIES, U.O.N.
- RATED DOORS SHALL HAVE AUTOMATIC CLOSERS AND COMPLY WITH REQUIREMENTS OF ALL GOVERNING CODES AND STANDARDS.

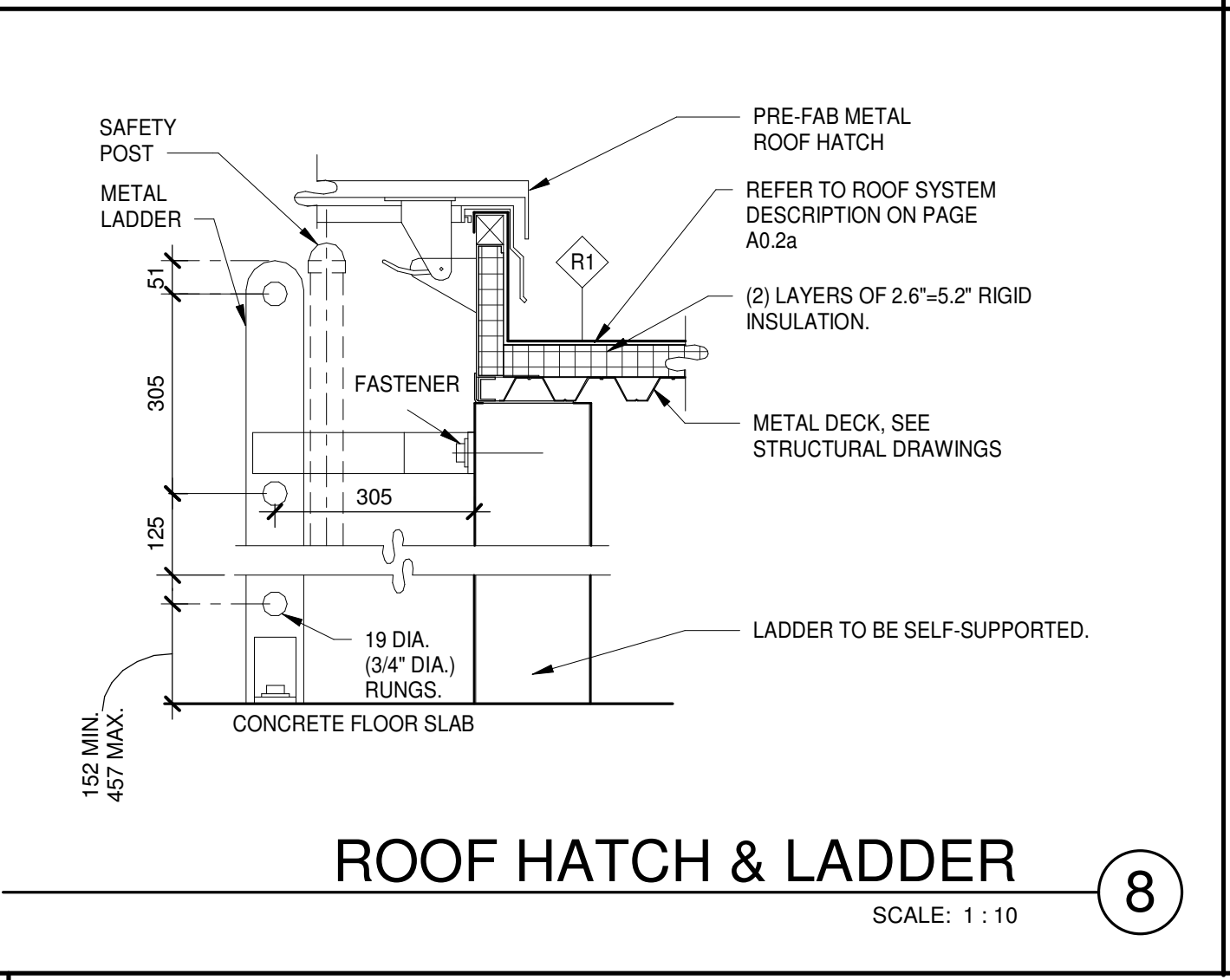
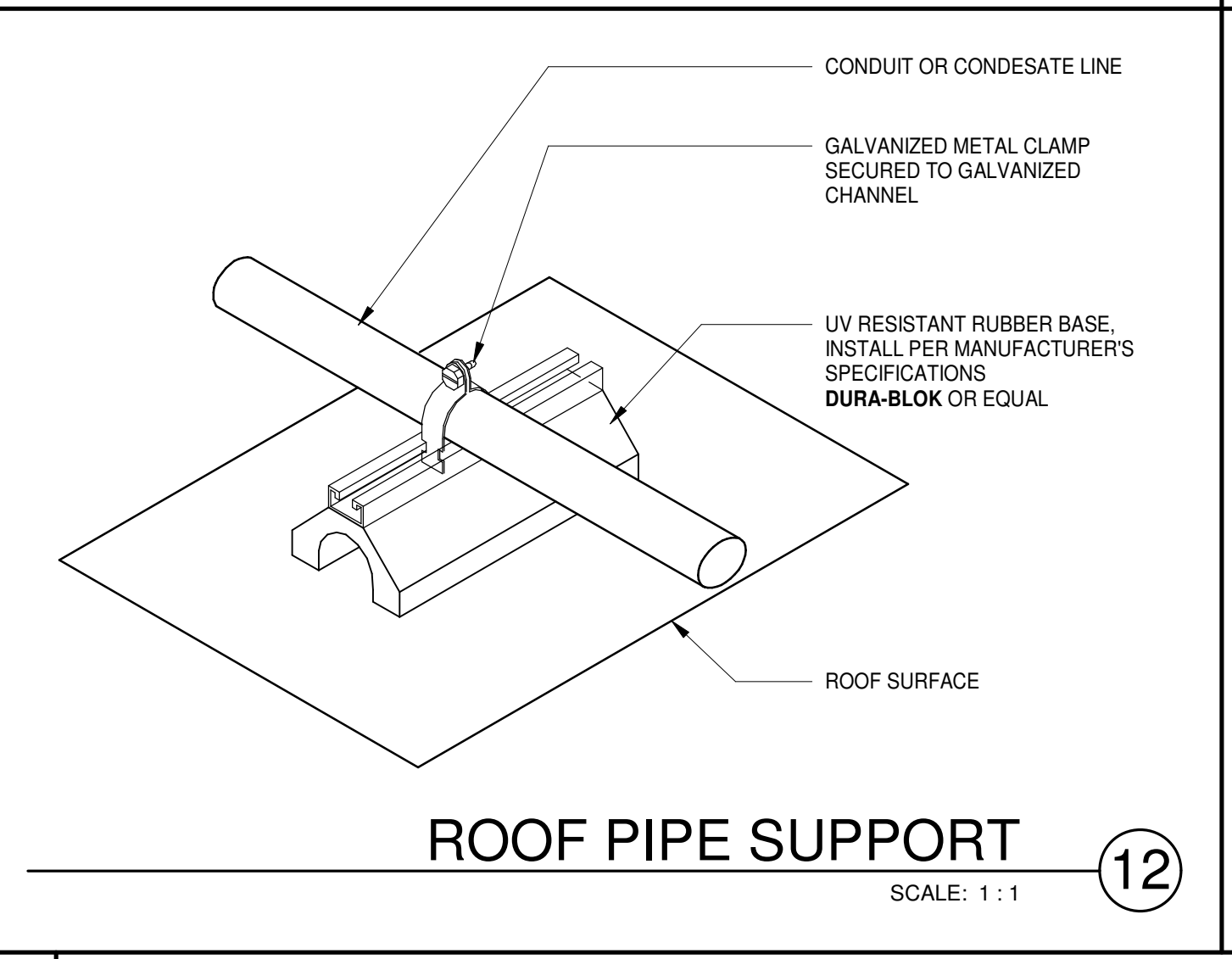
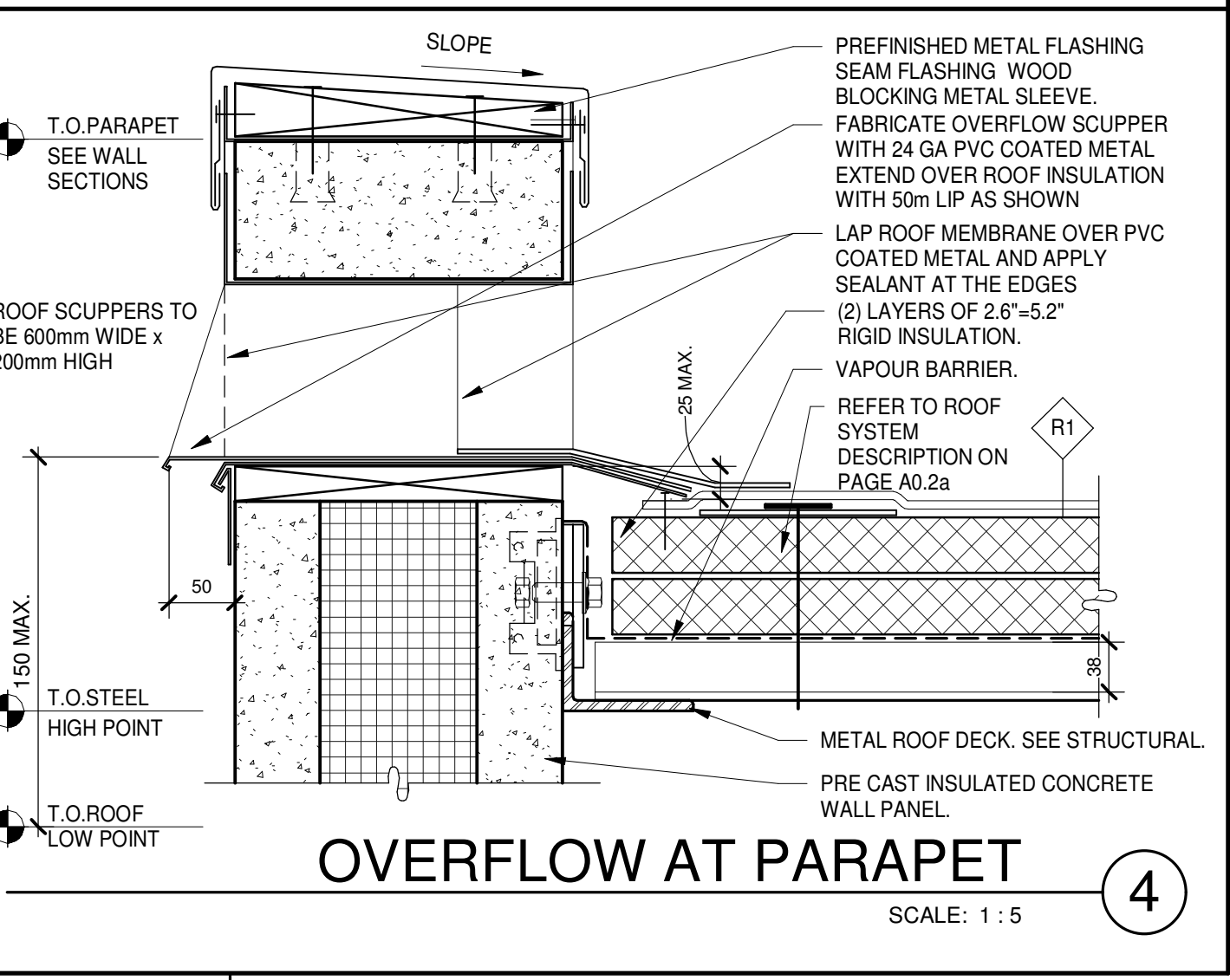
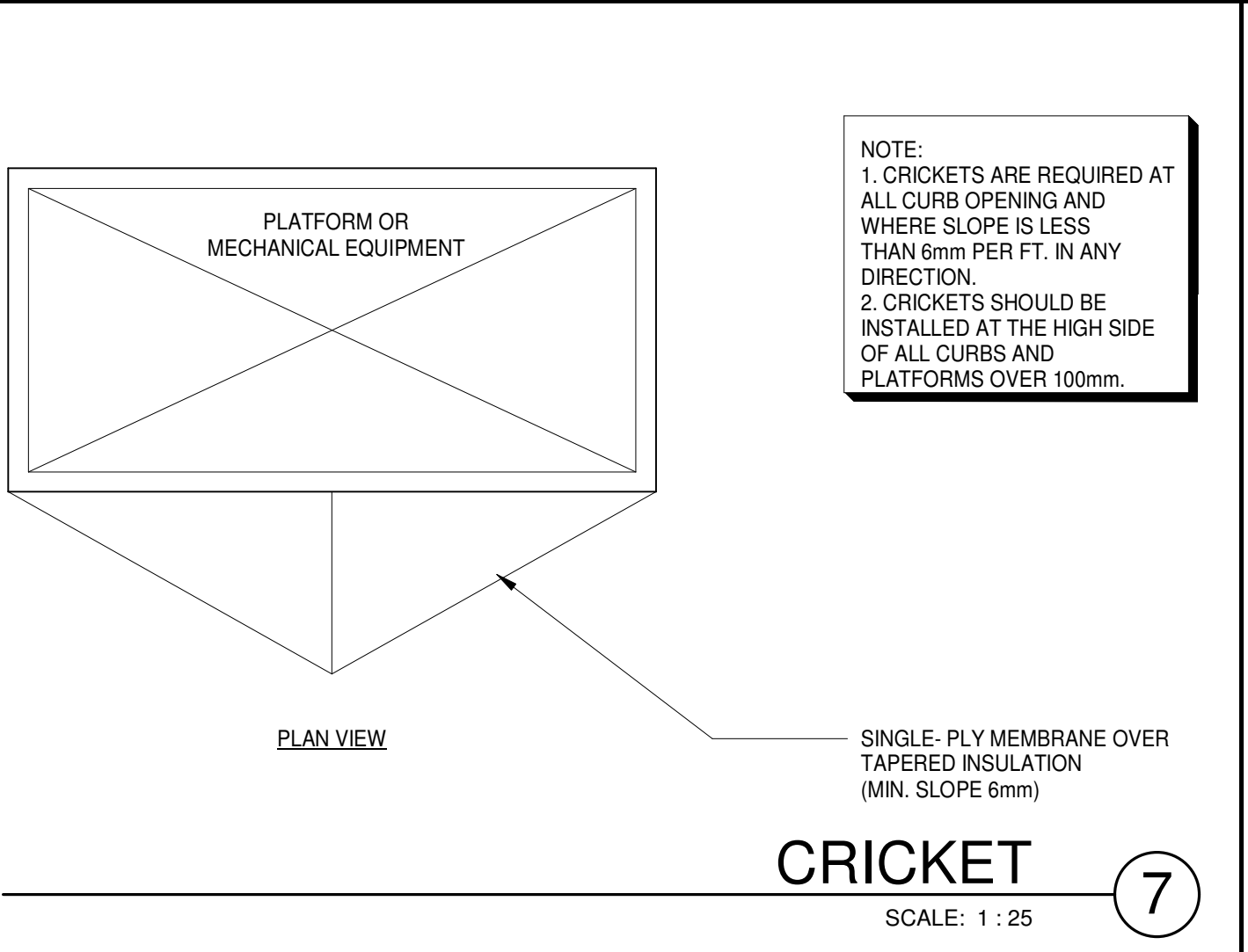
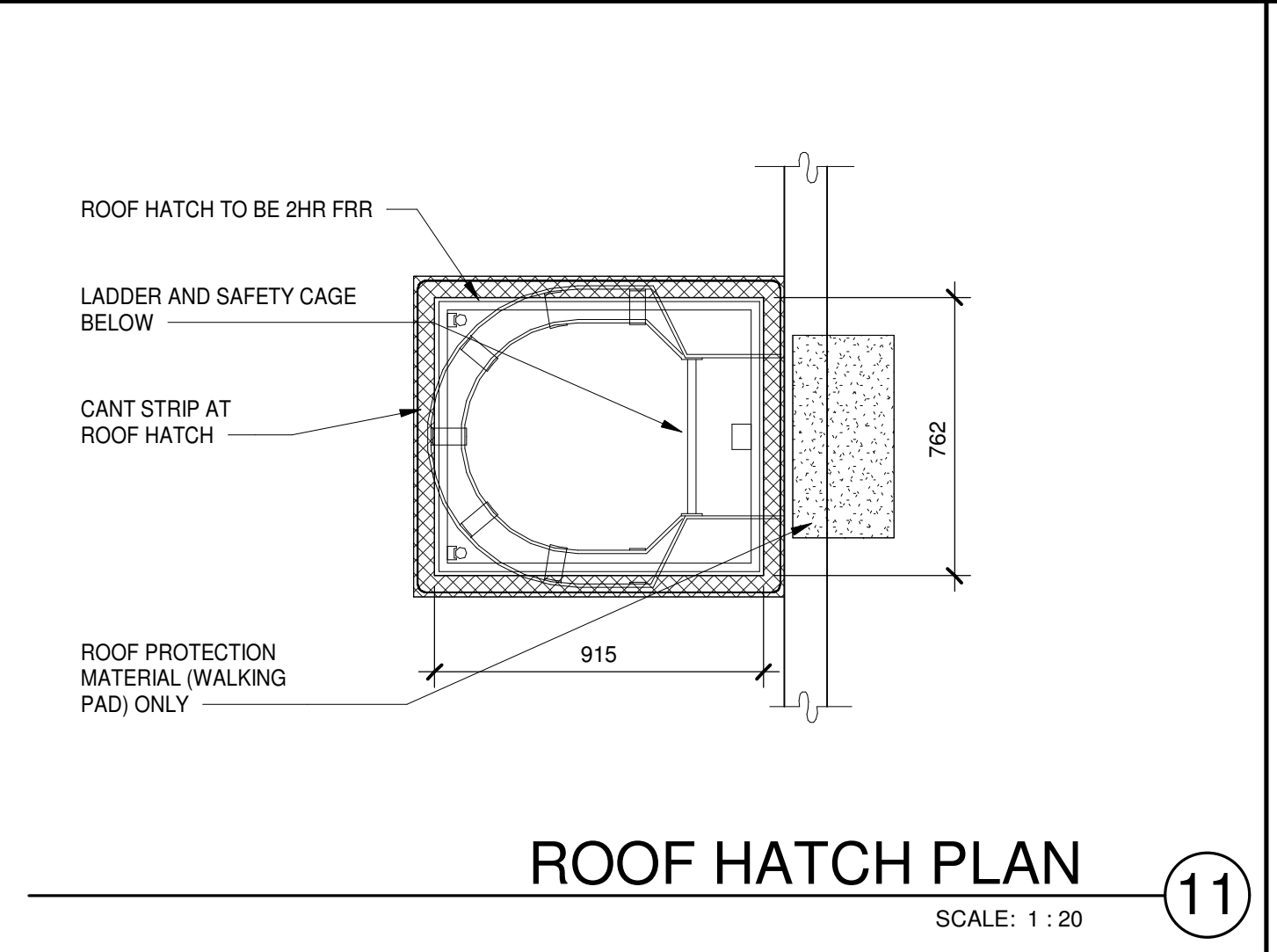
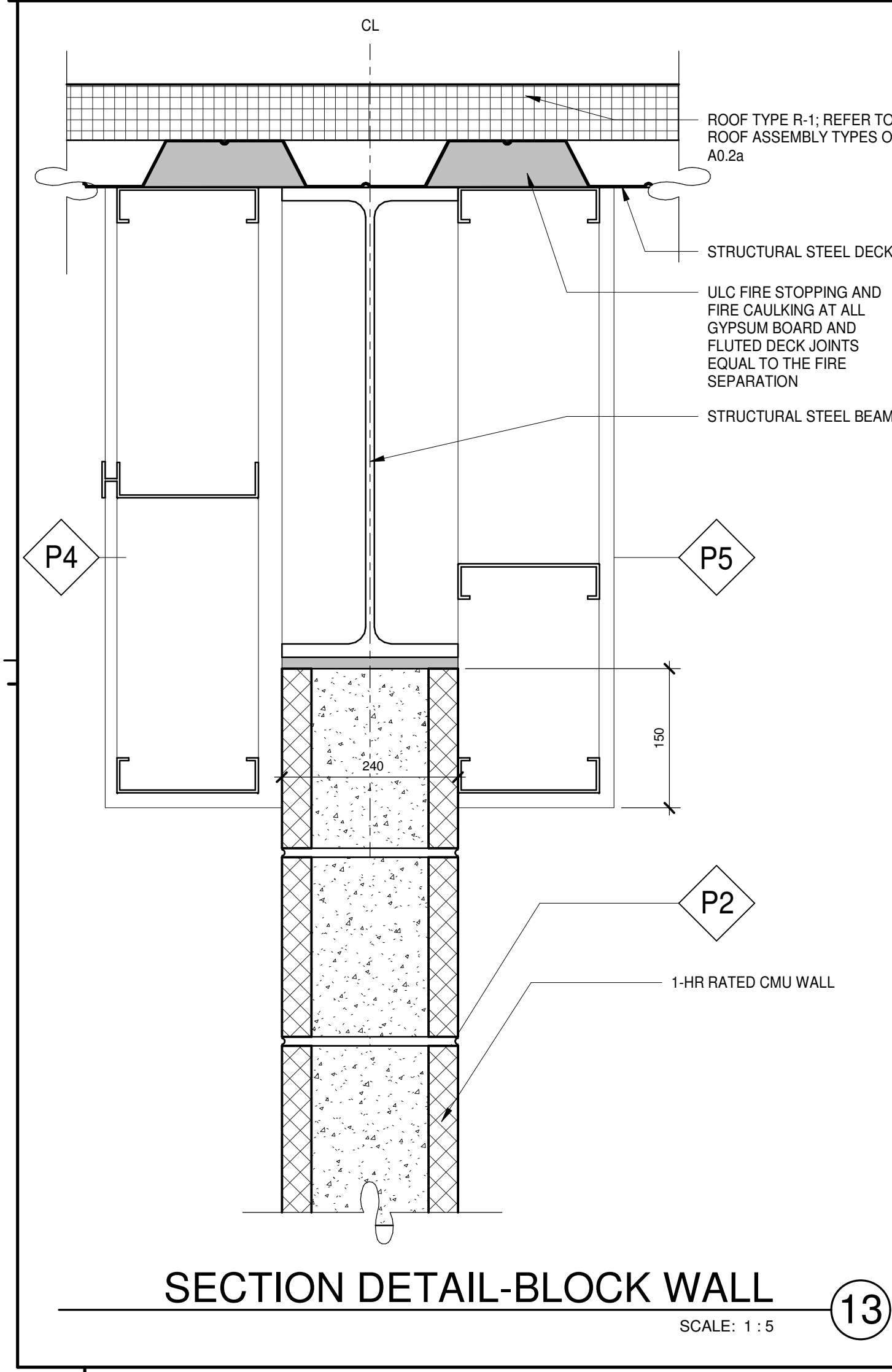
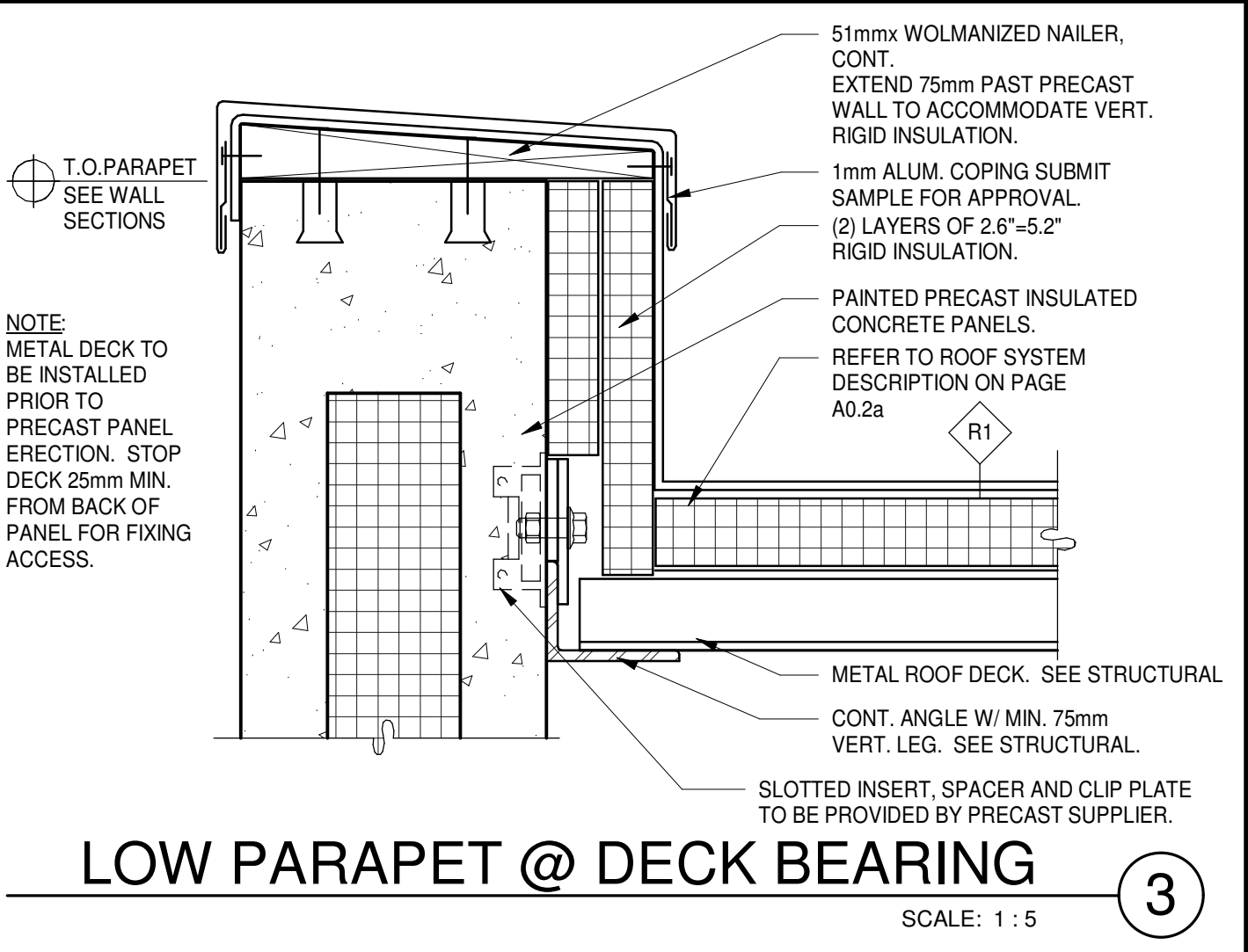
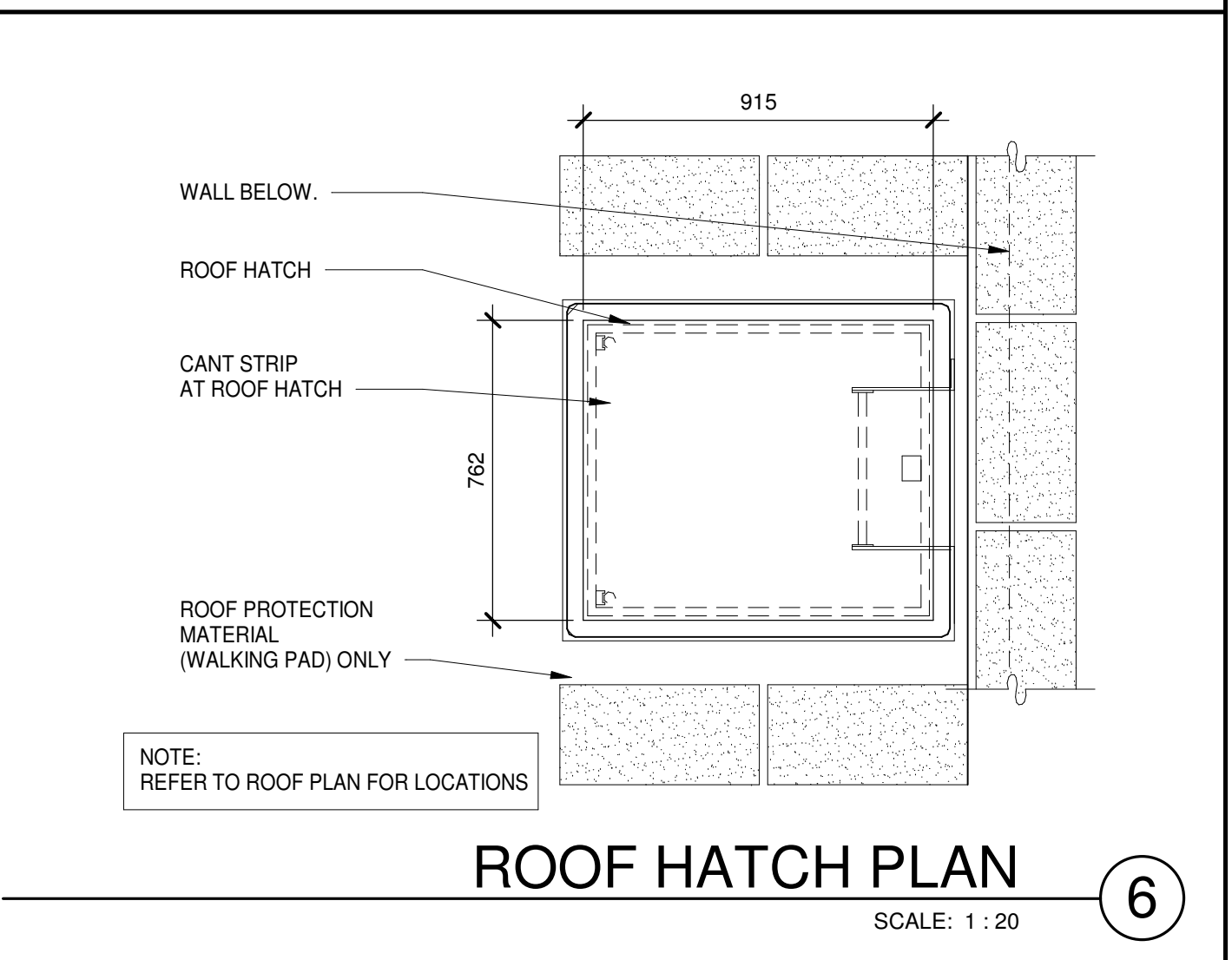
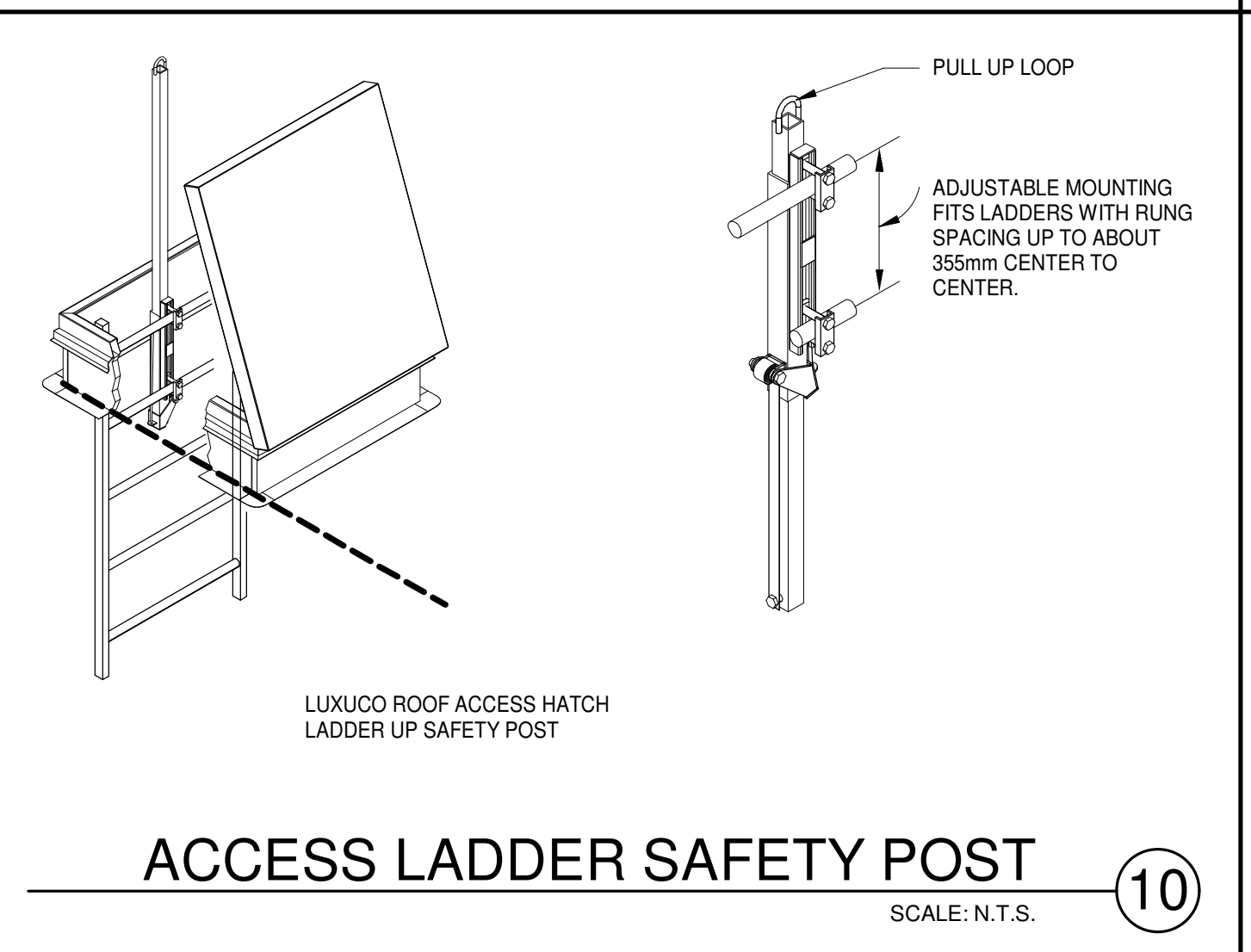
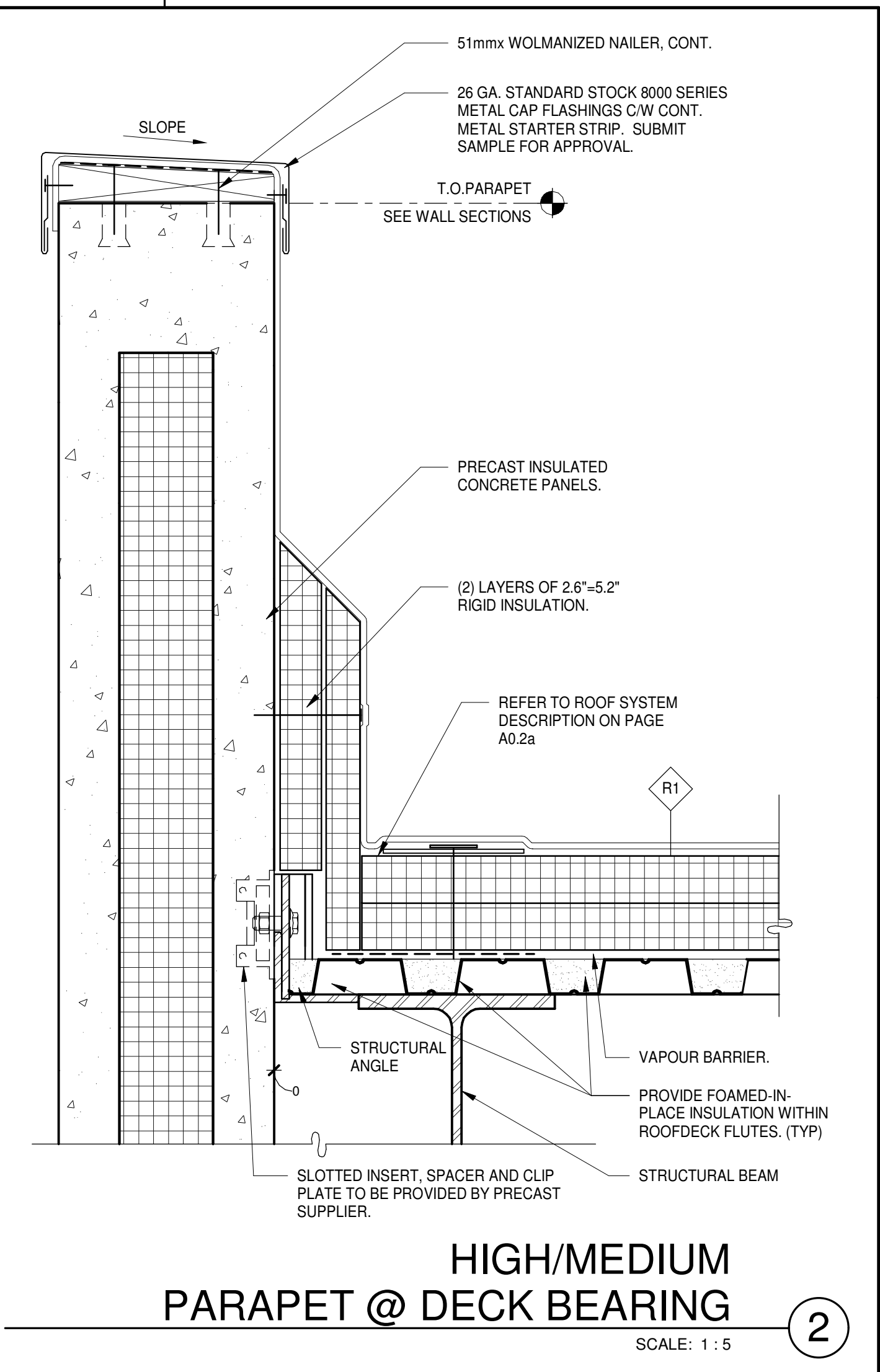
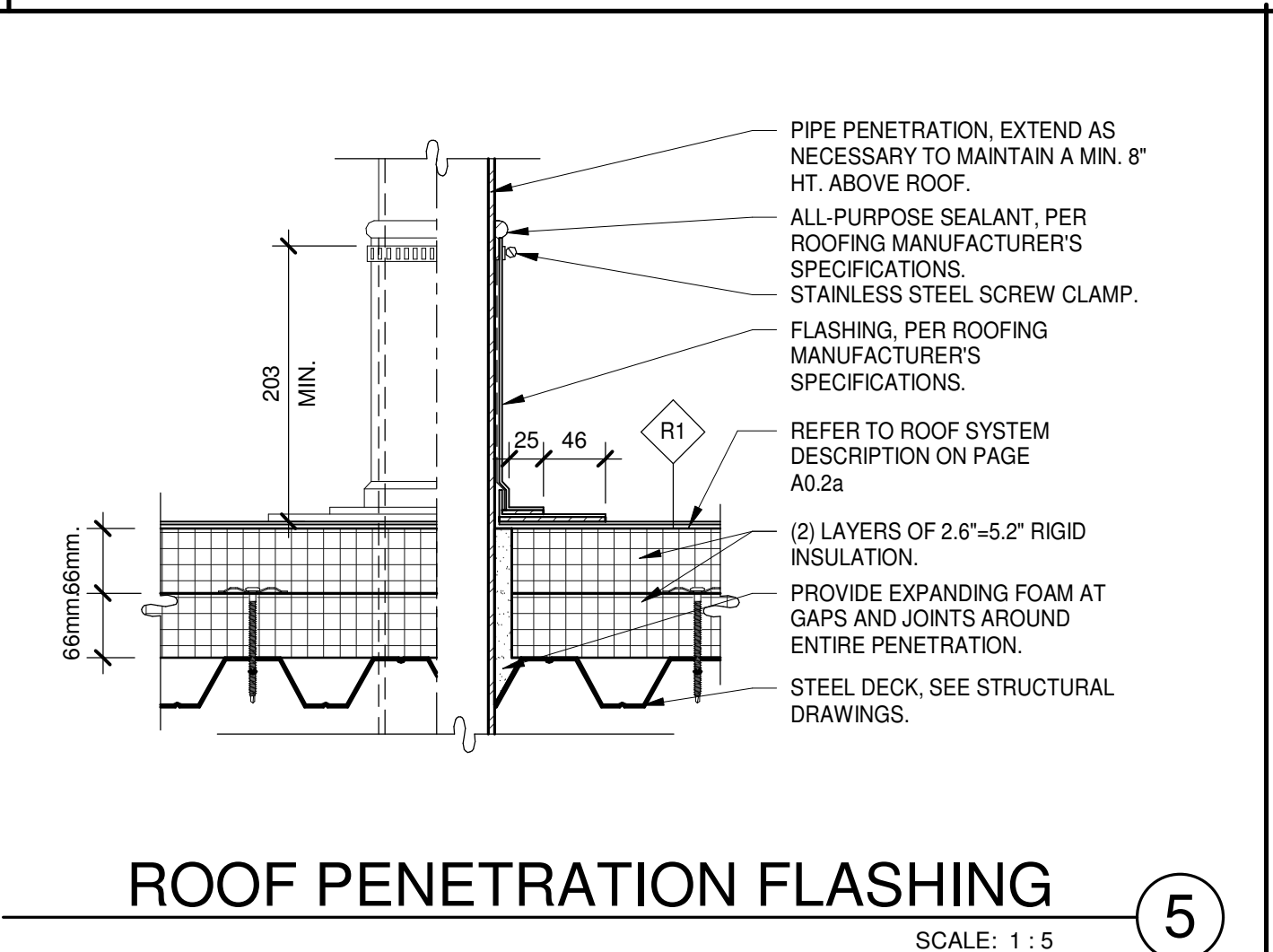
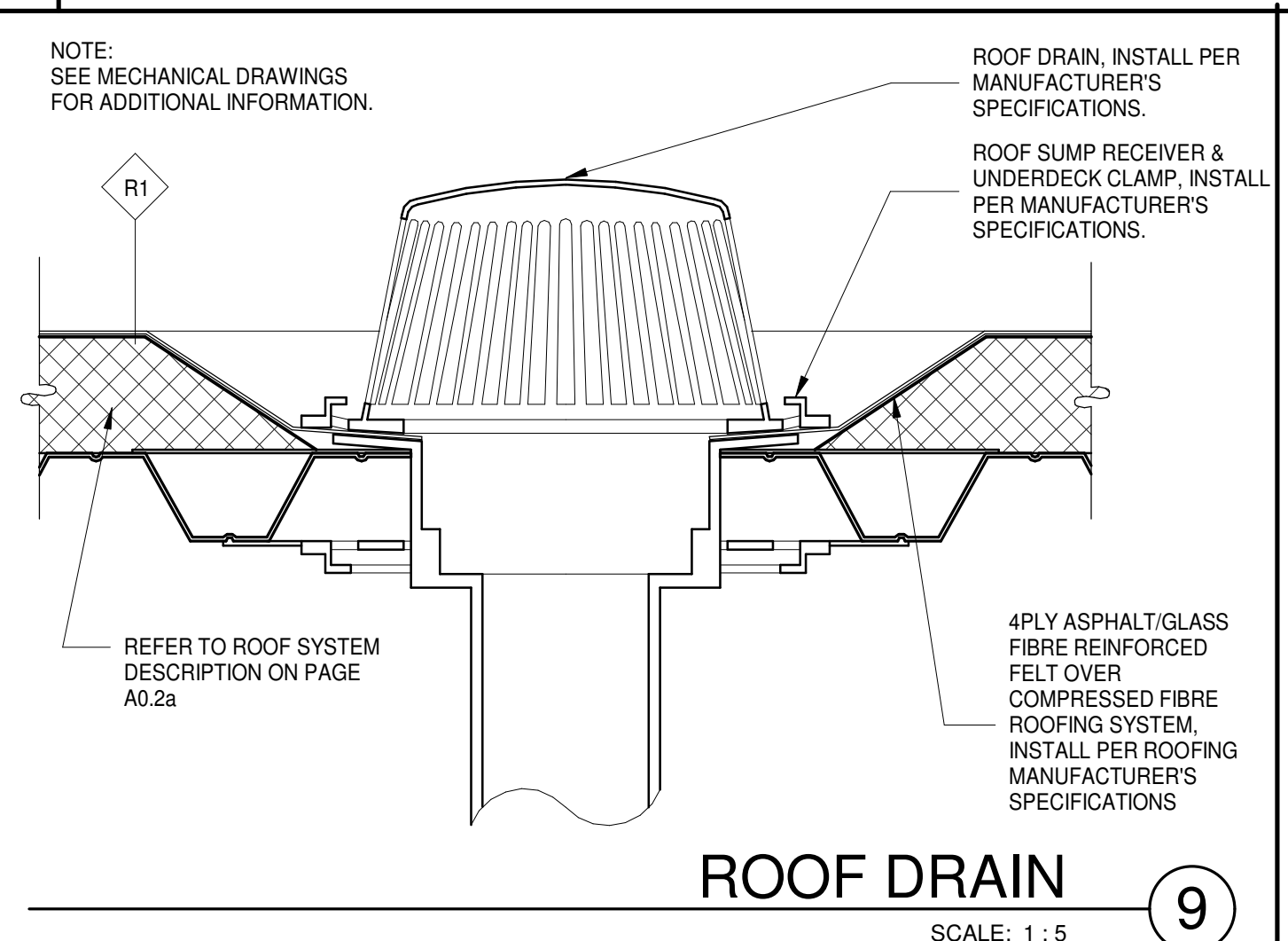
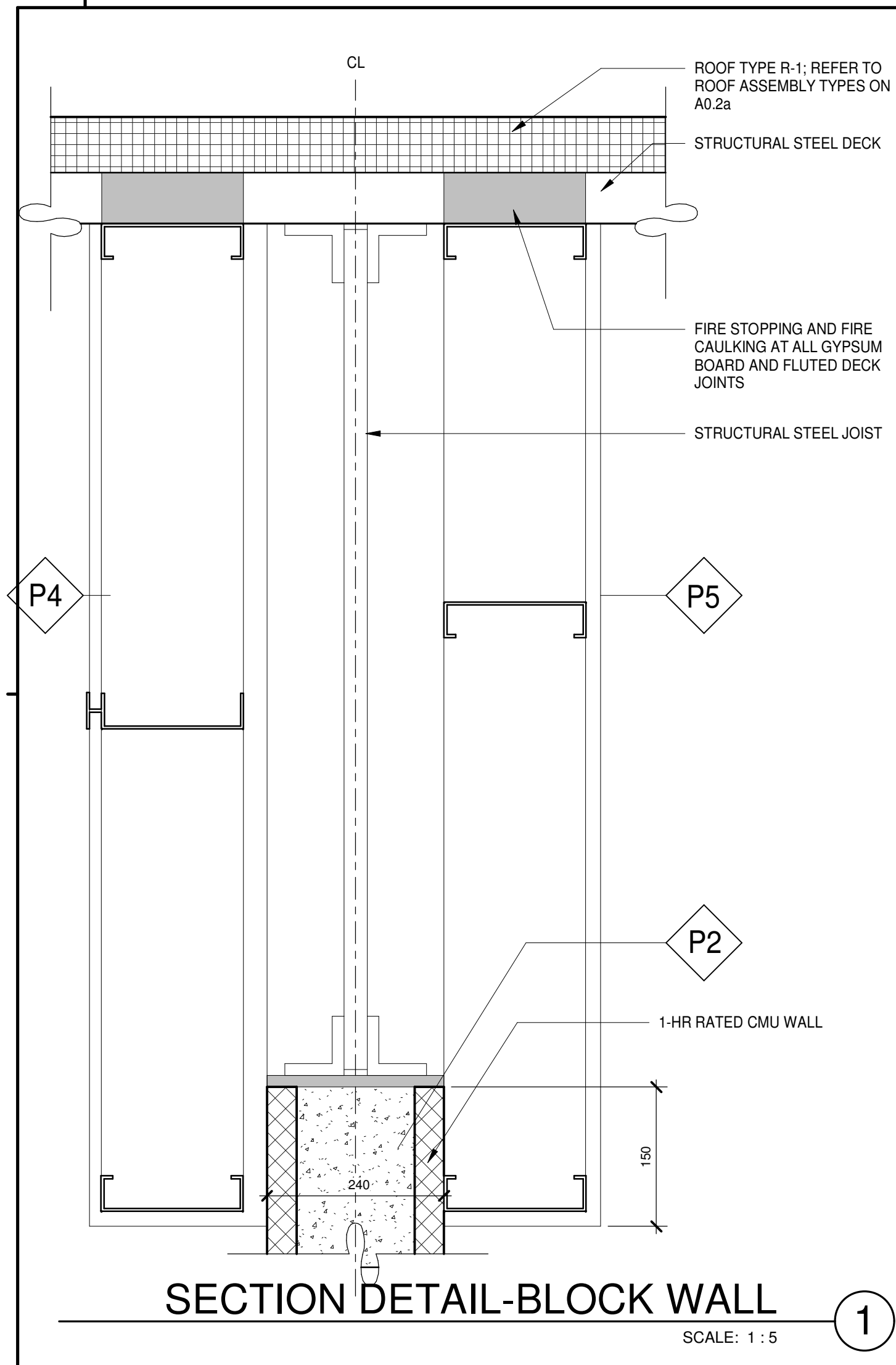
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 BUILDING B
 1400 VICTORIA STREET
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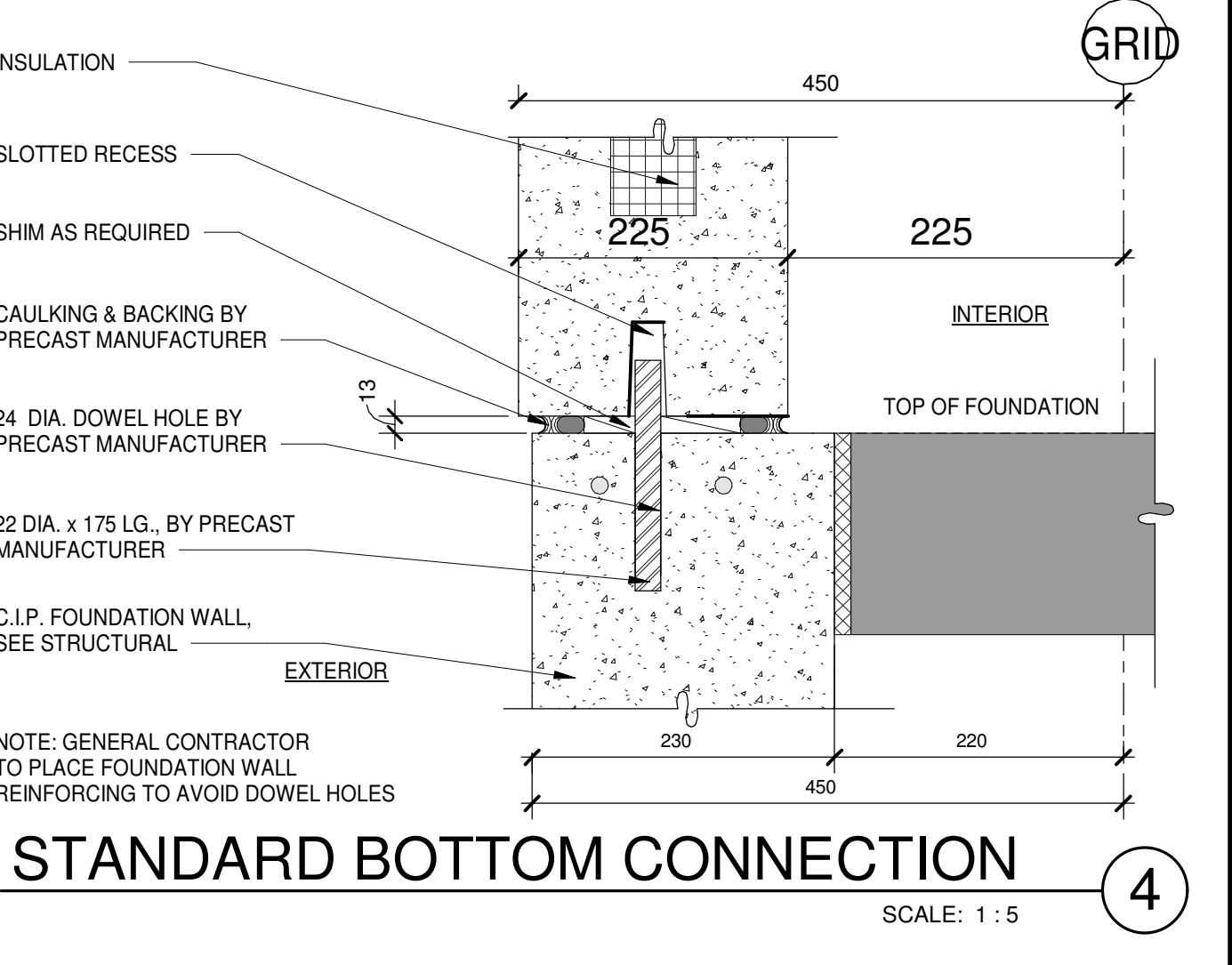
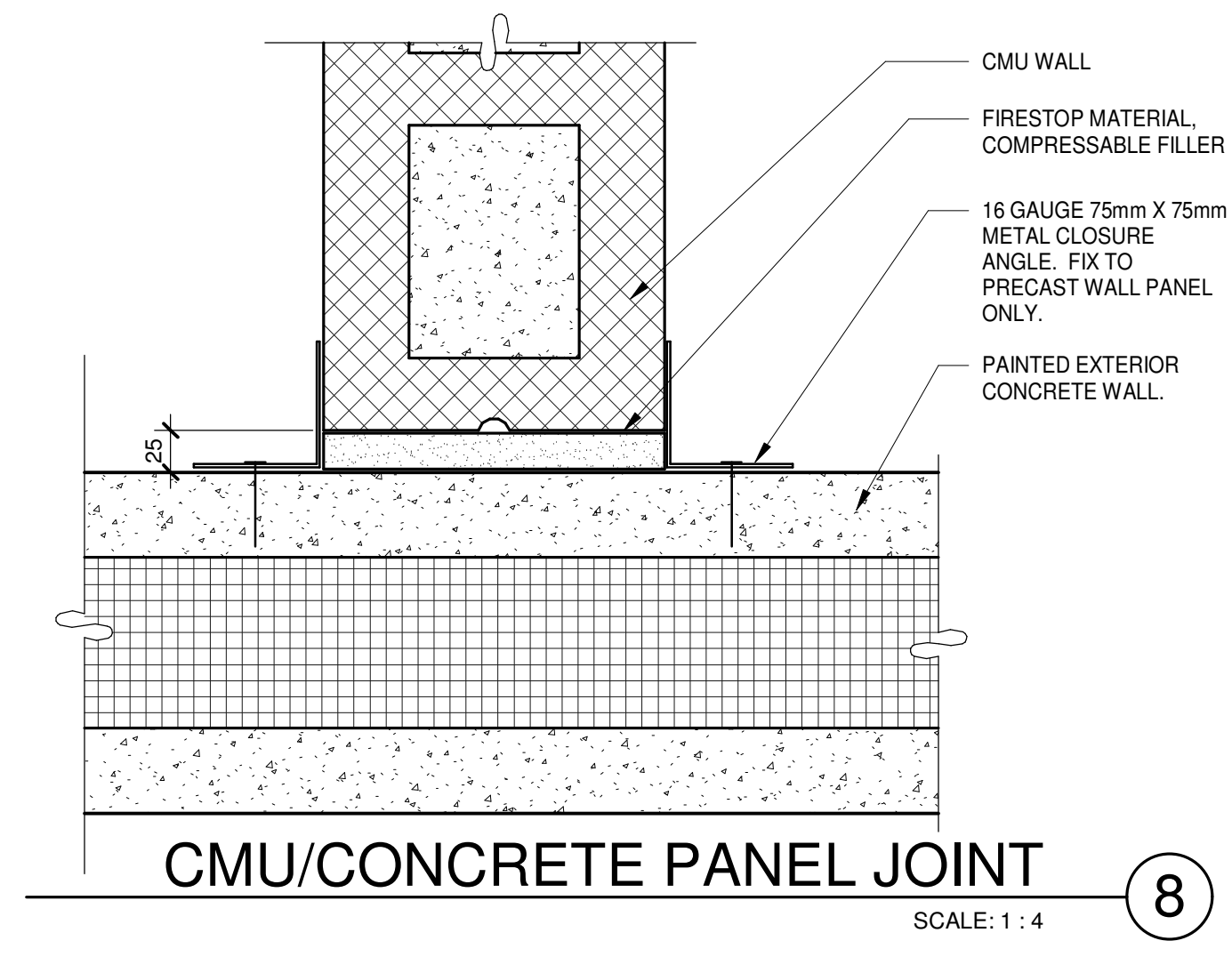
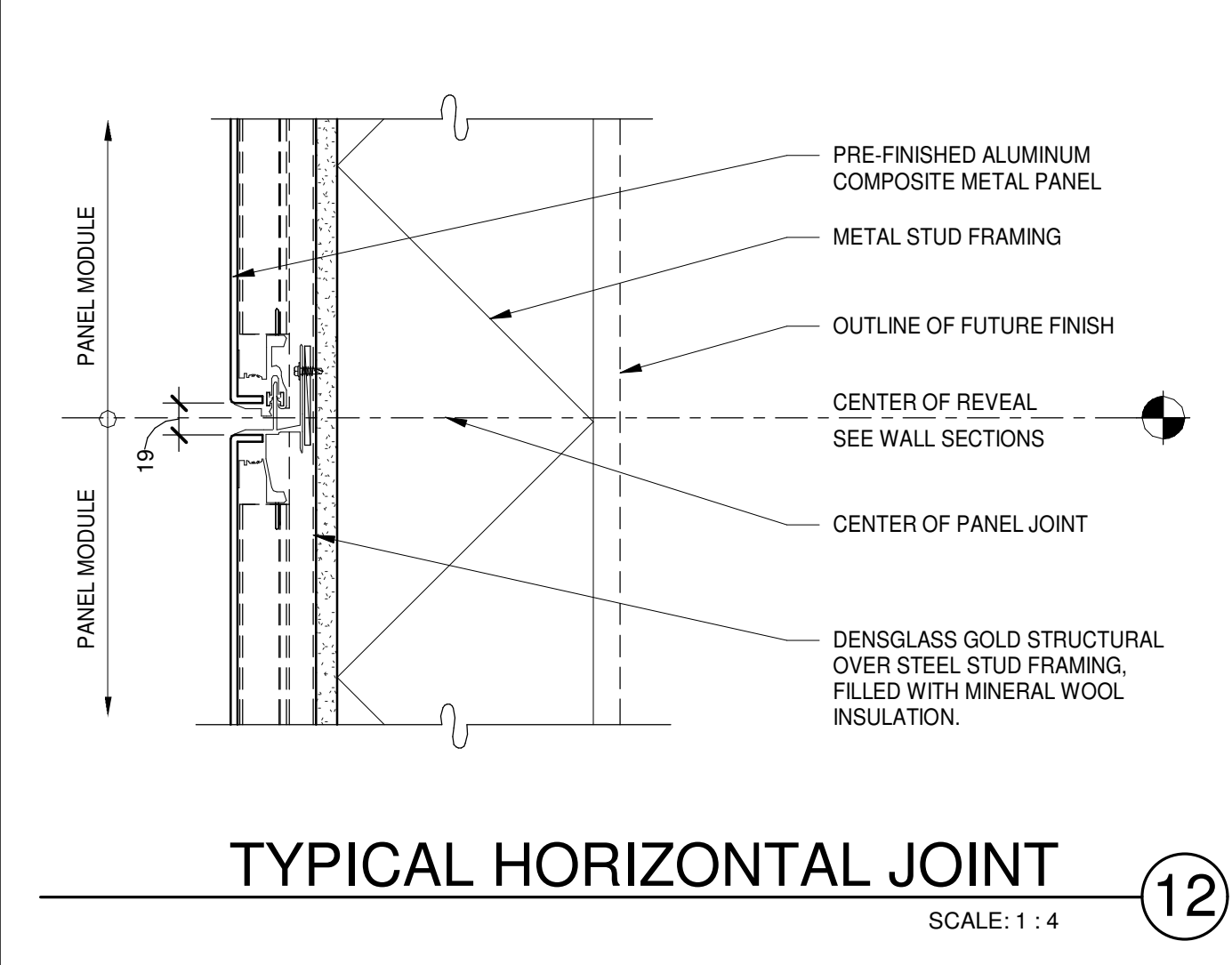
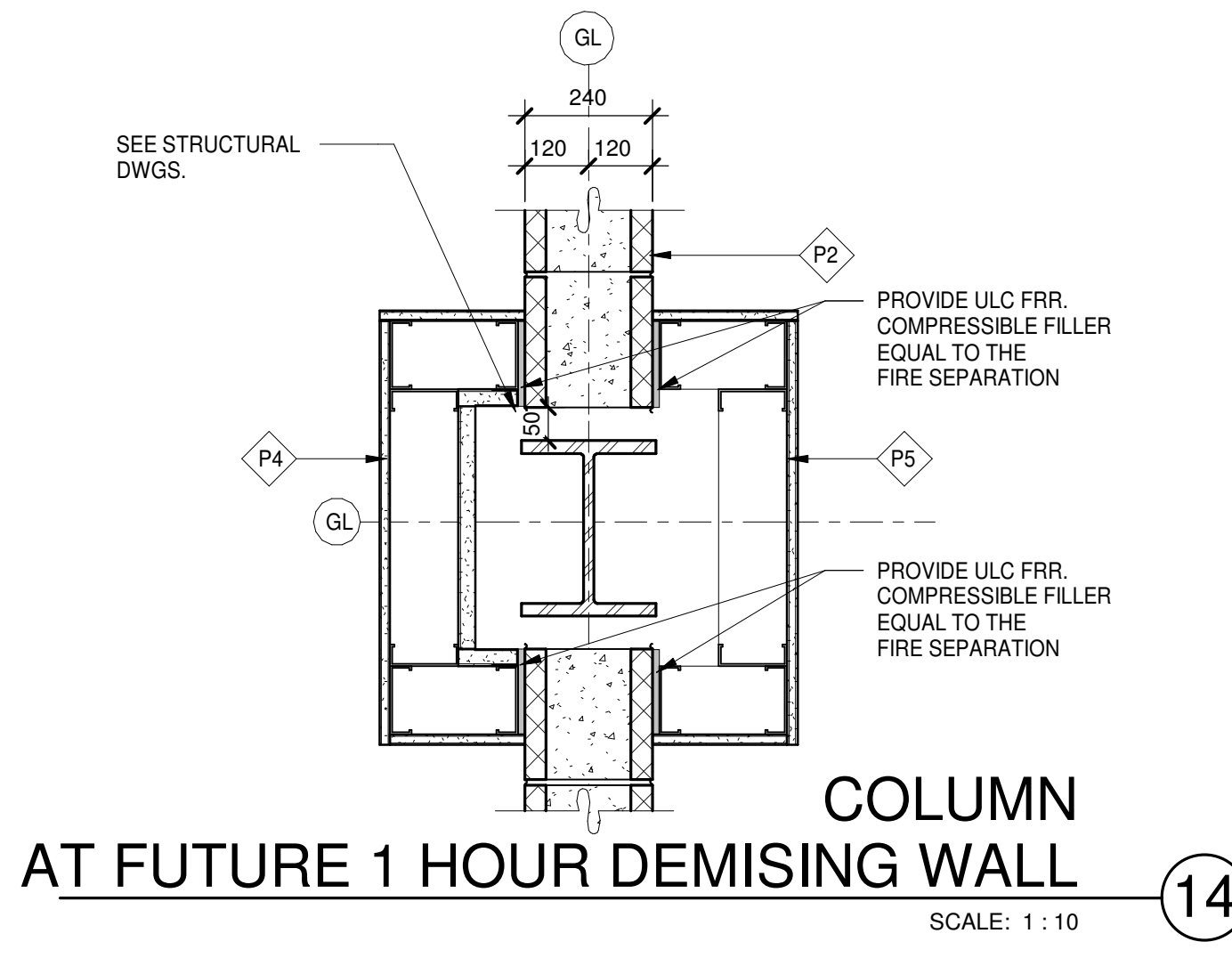
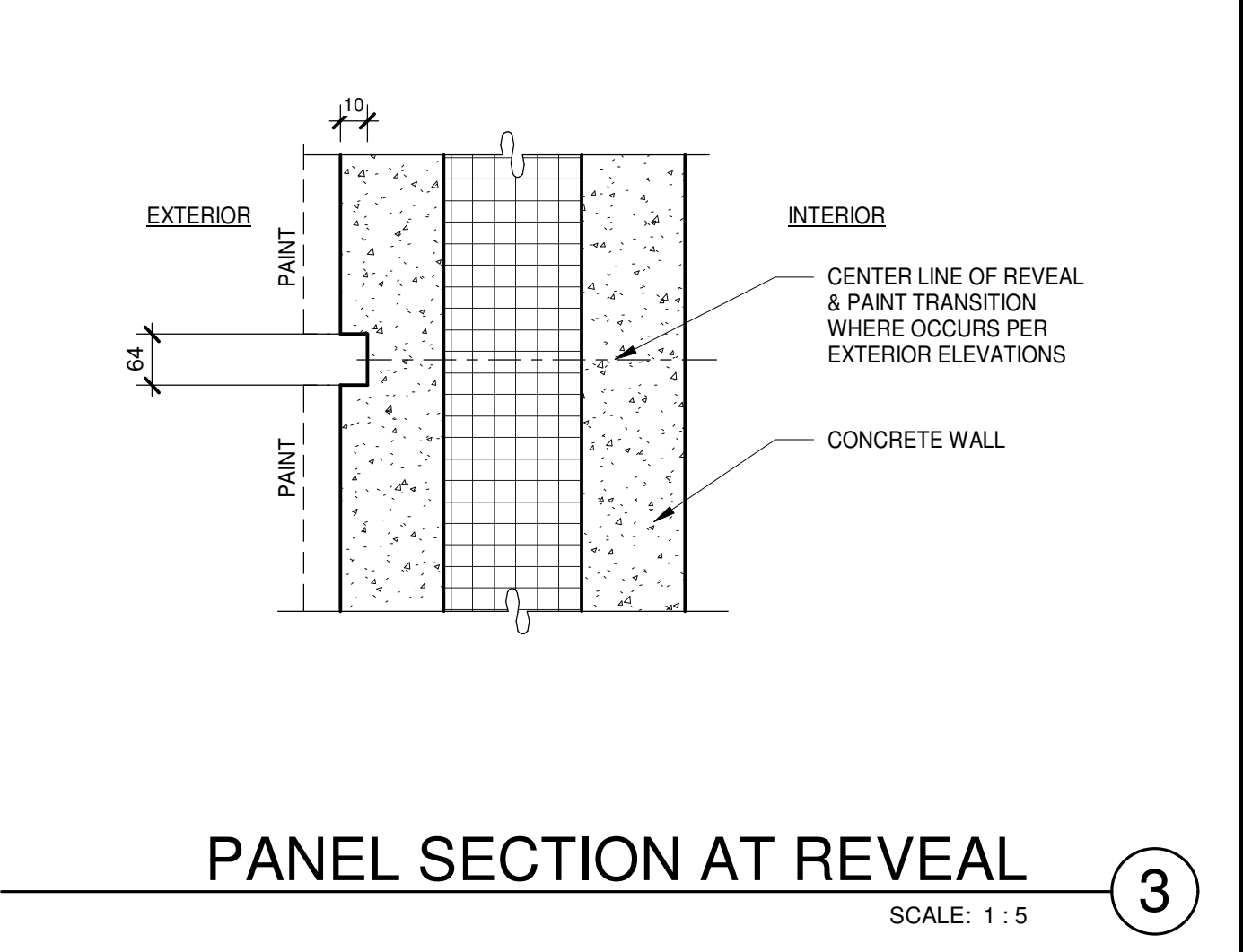
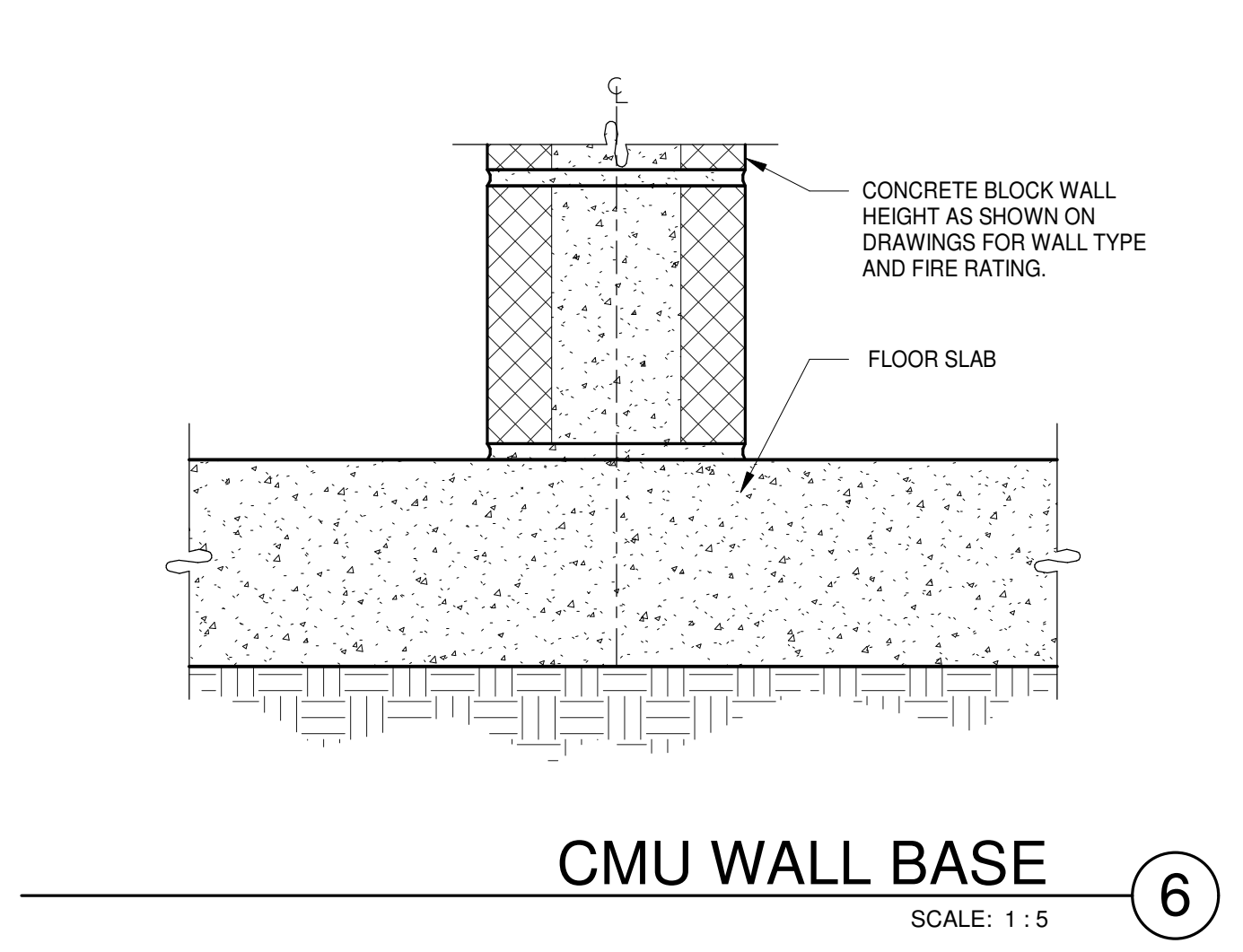
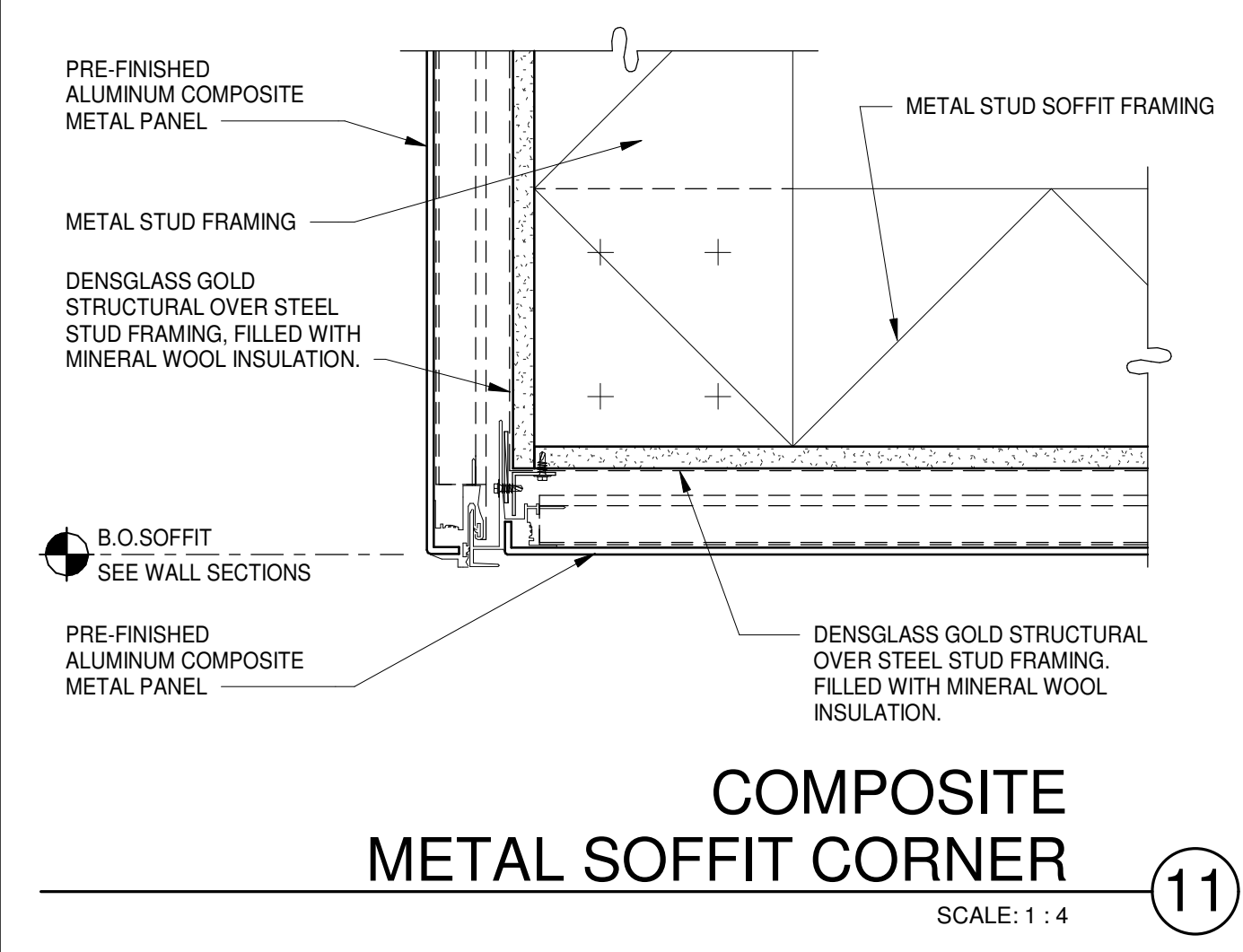
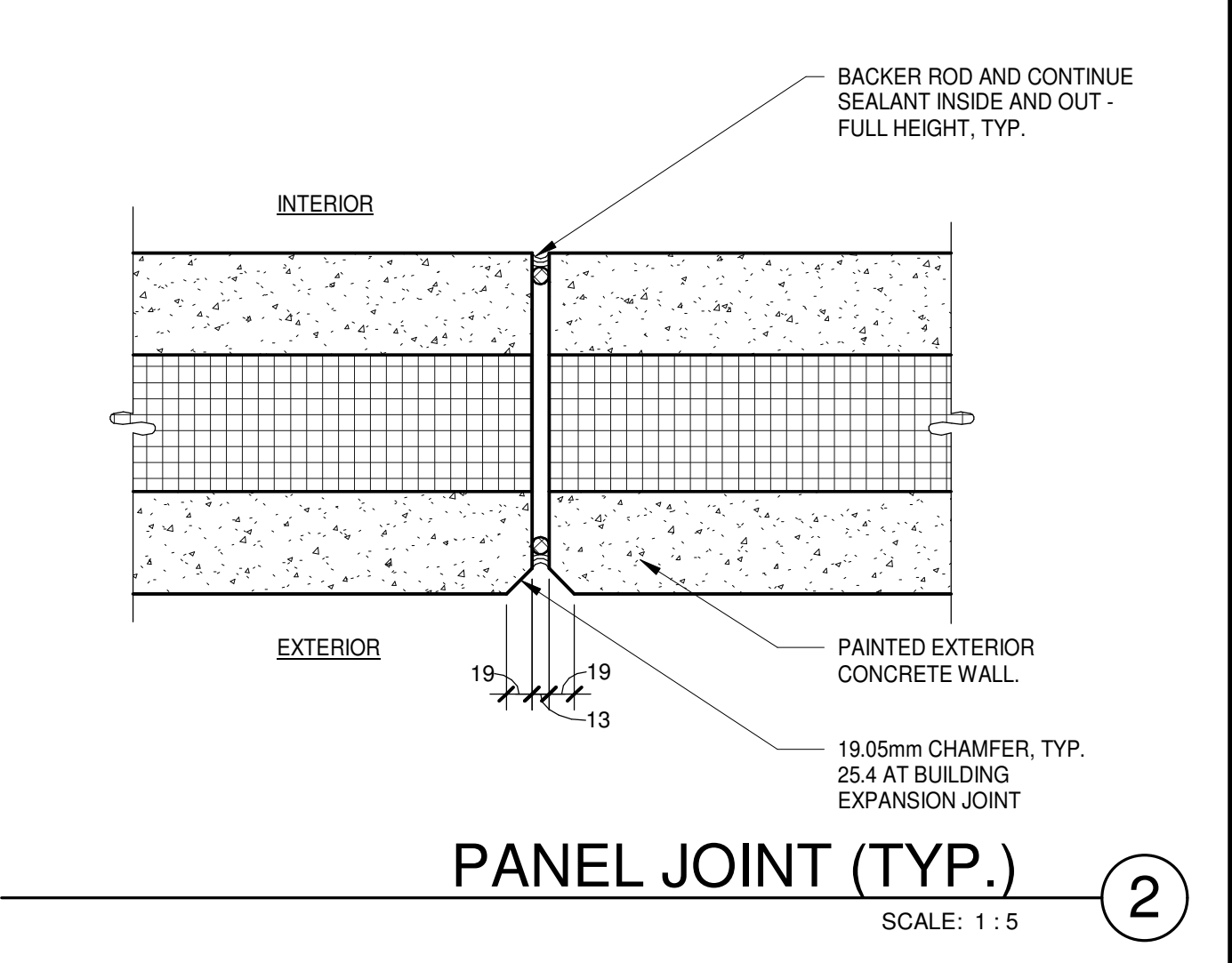
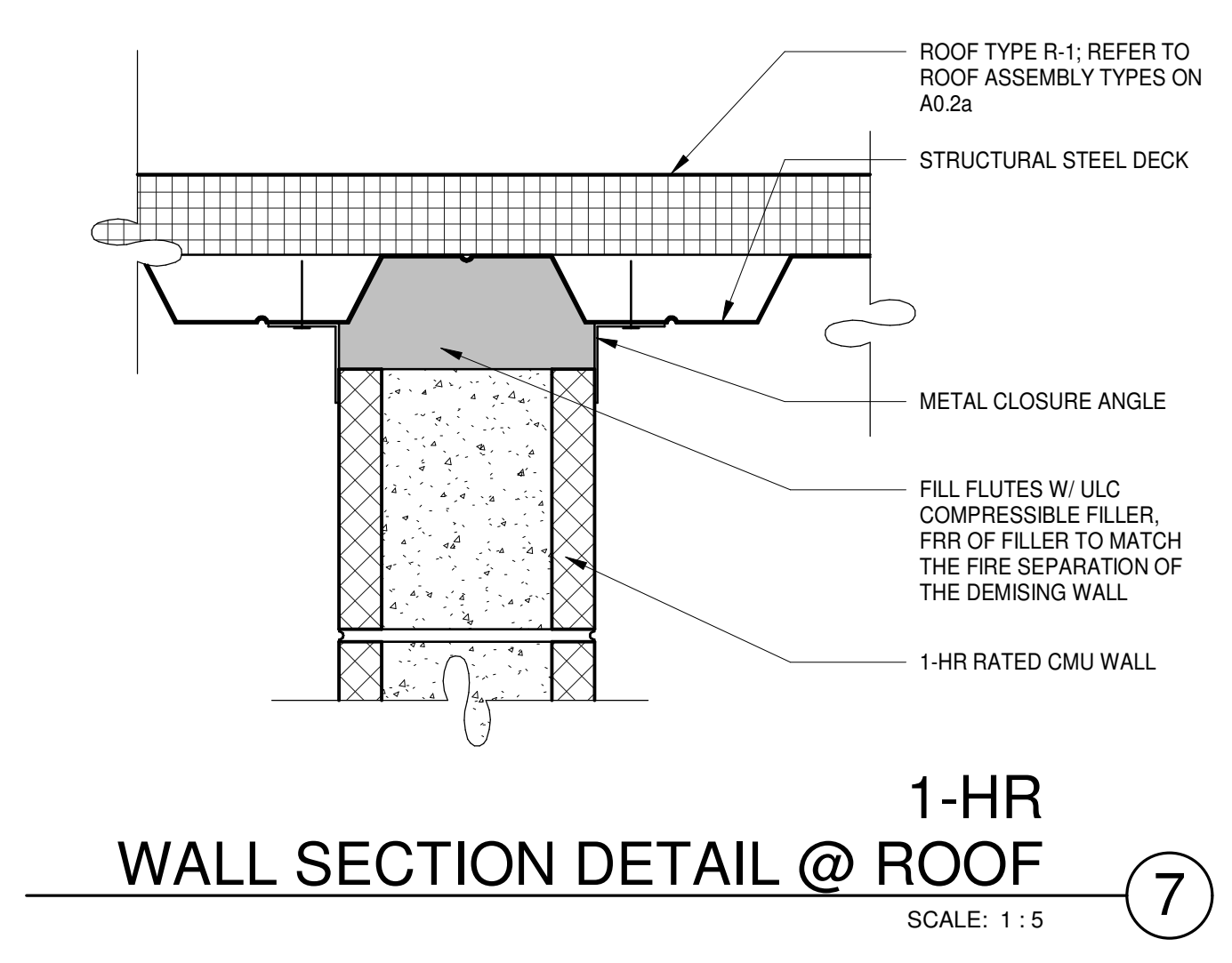
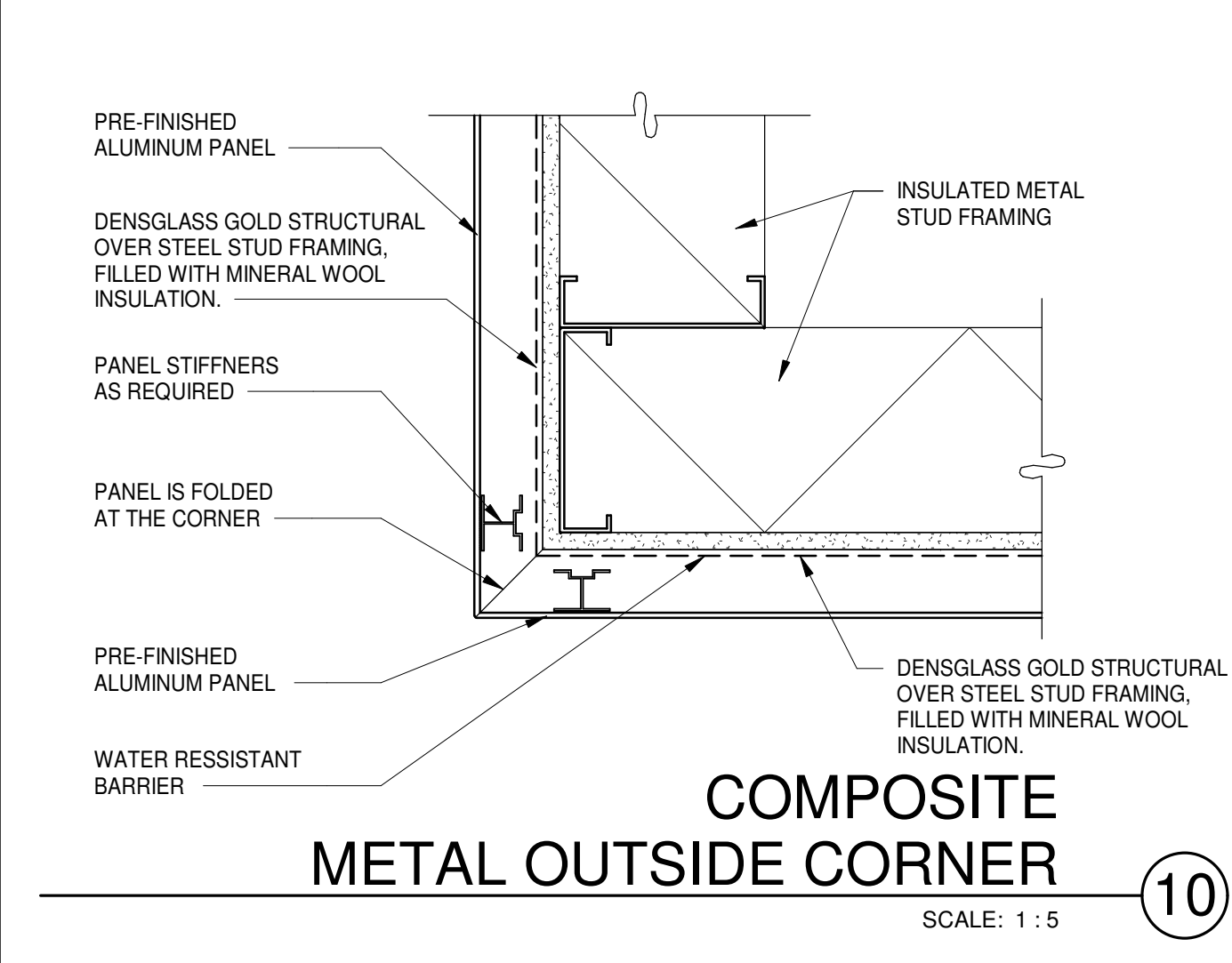
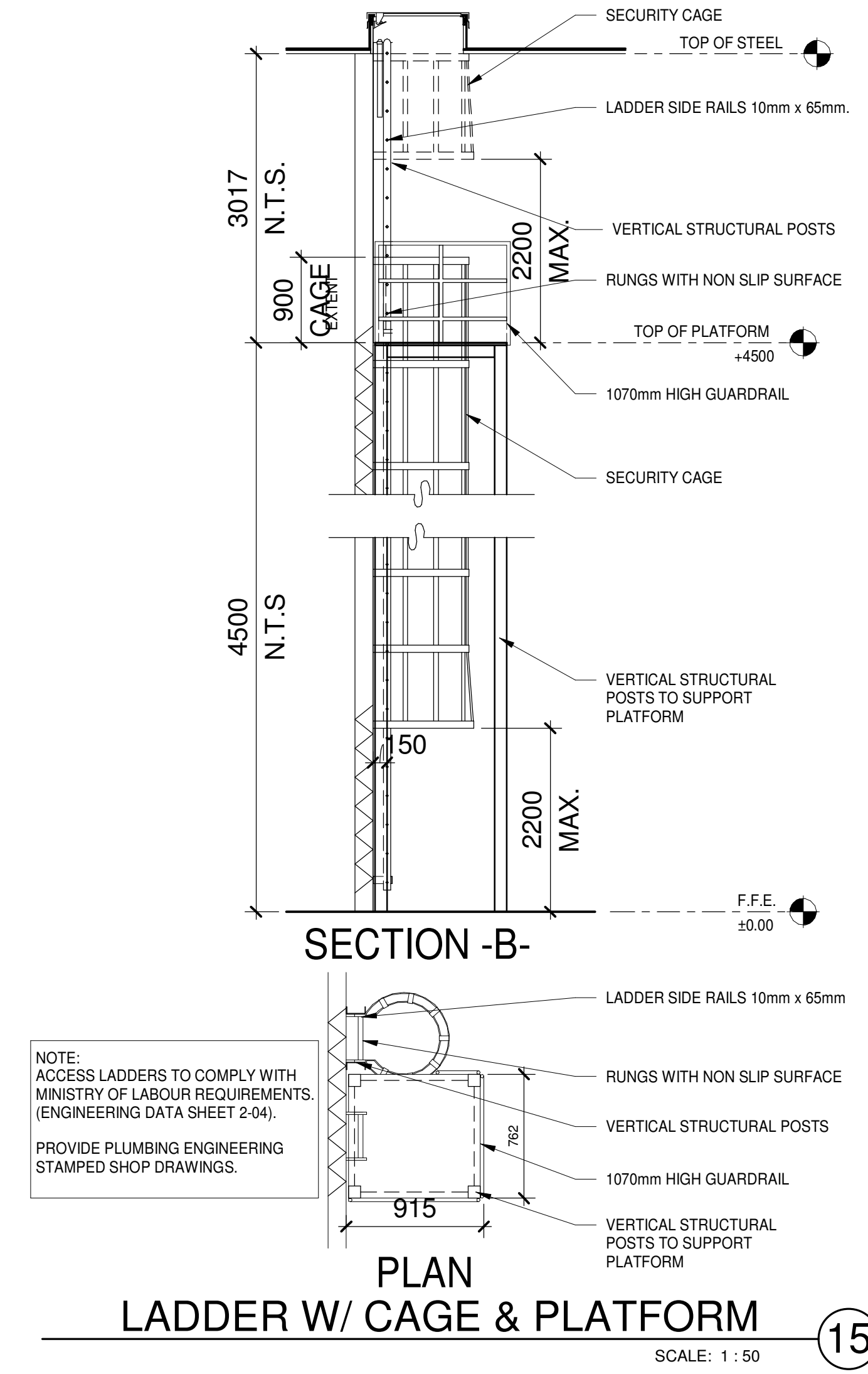
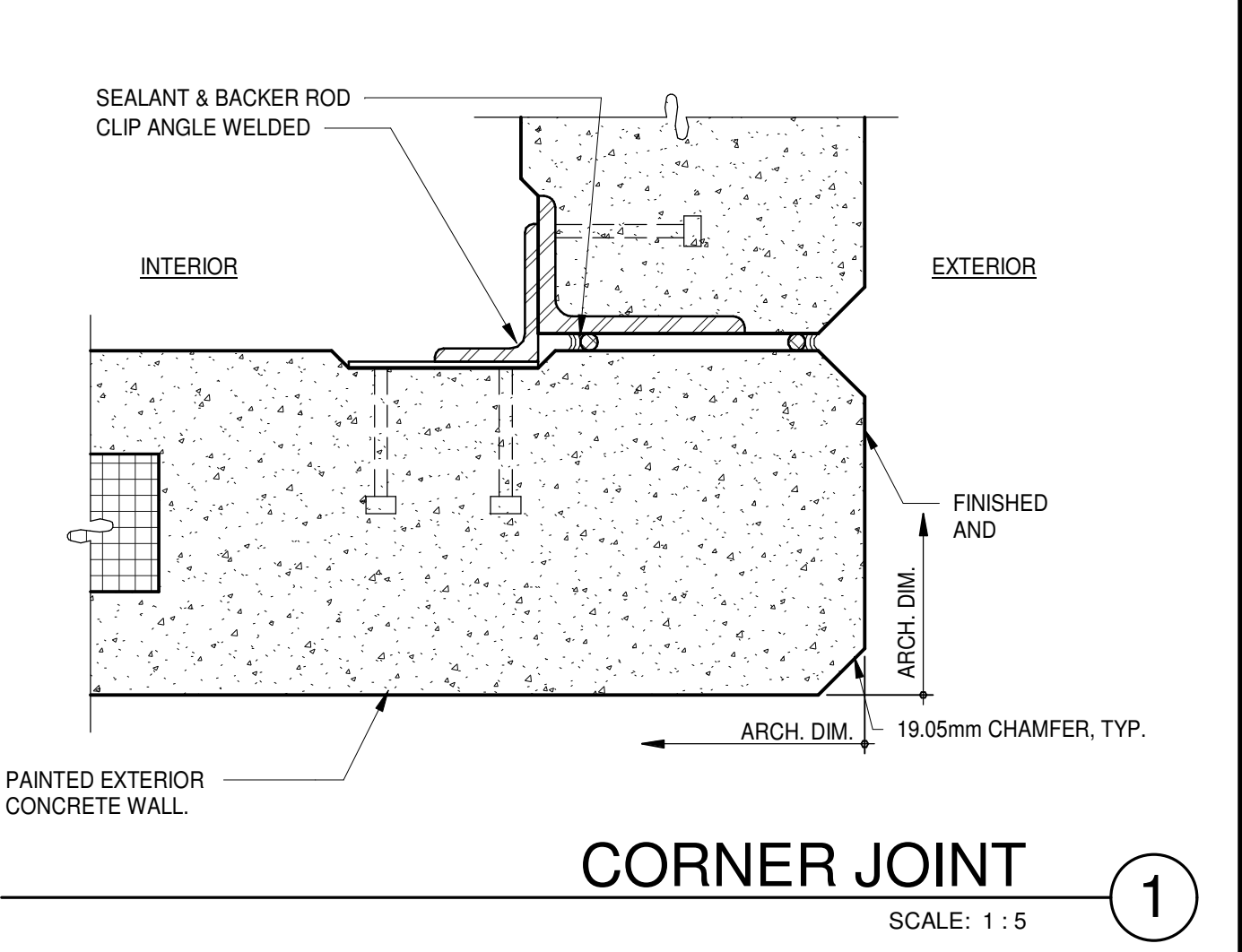
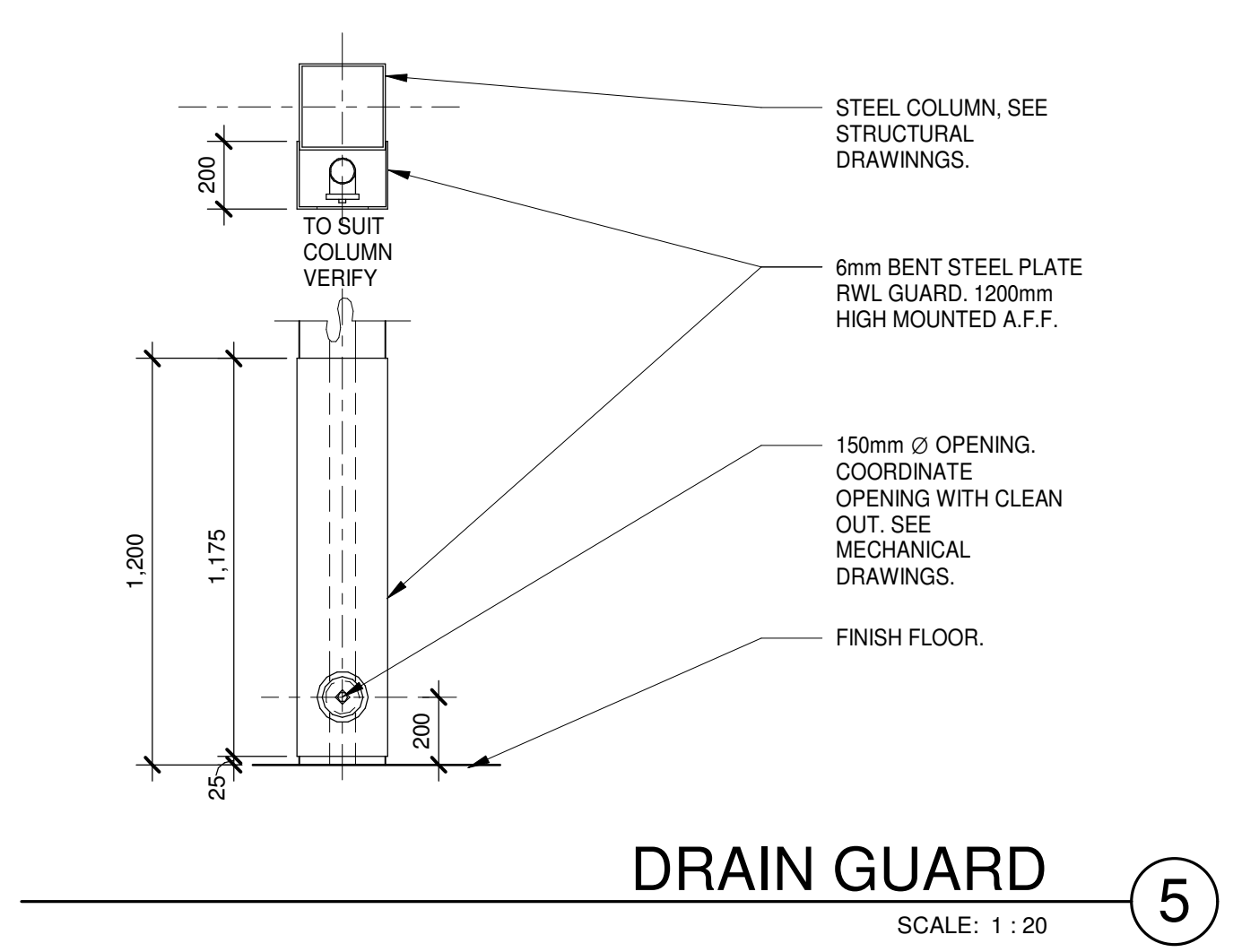
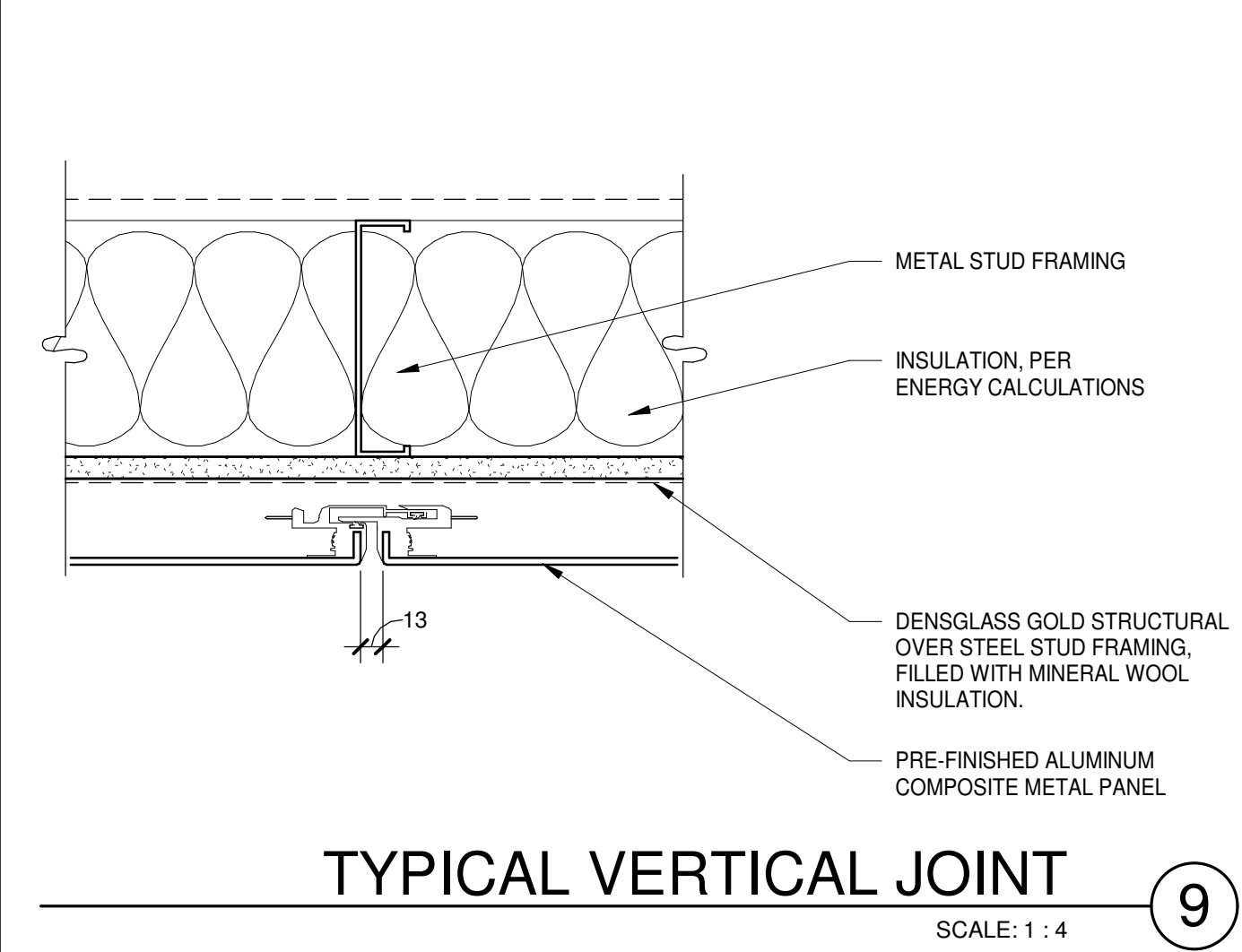
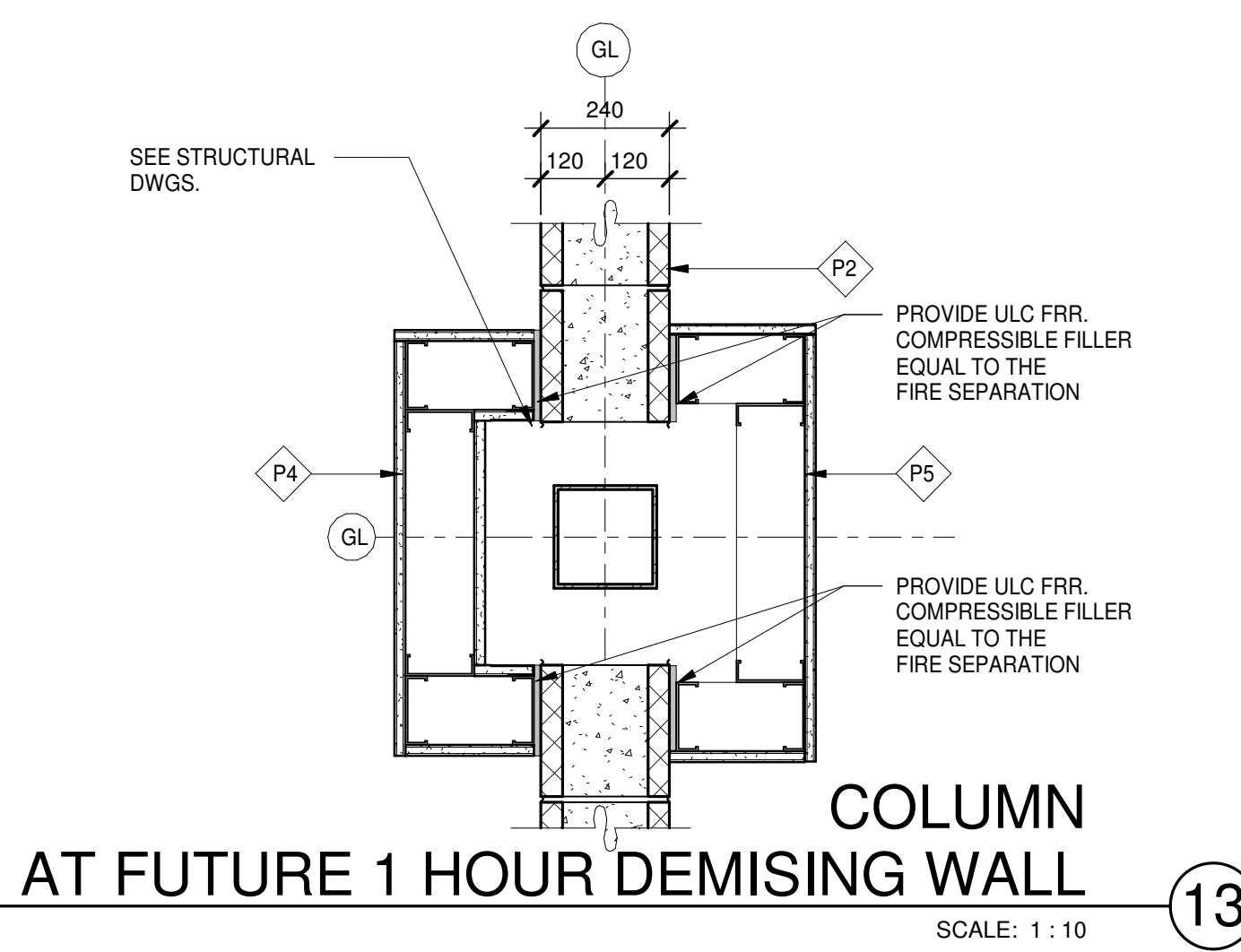
DETAILS

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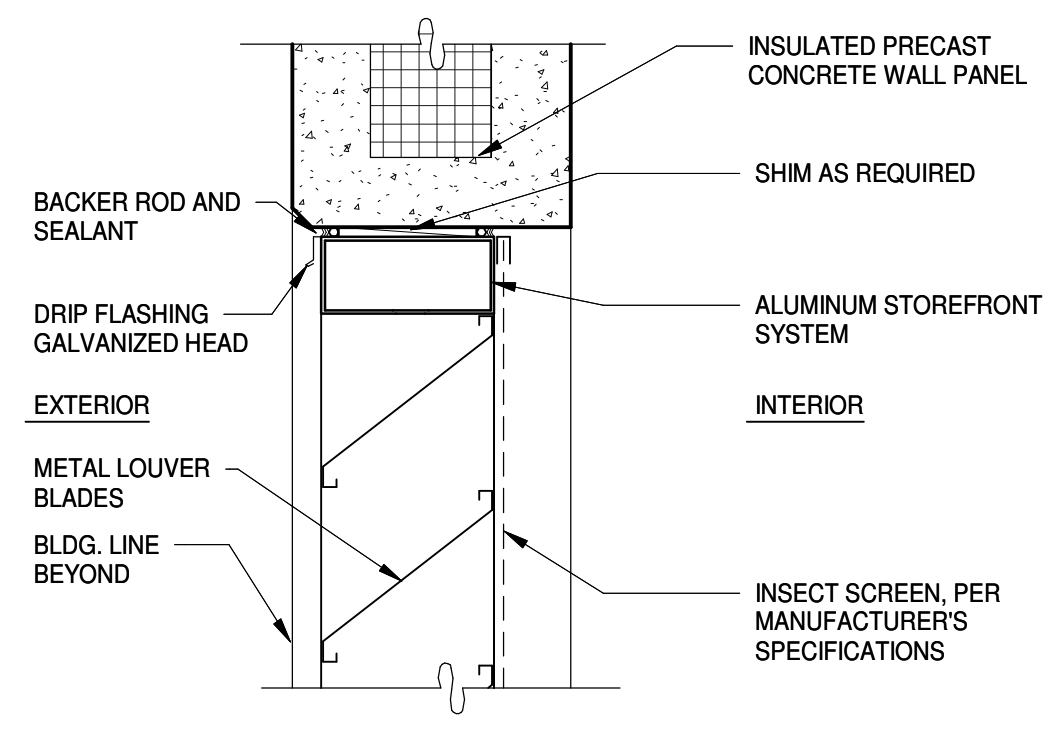
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 1400 VICTORIA STREET
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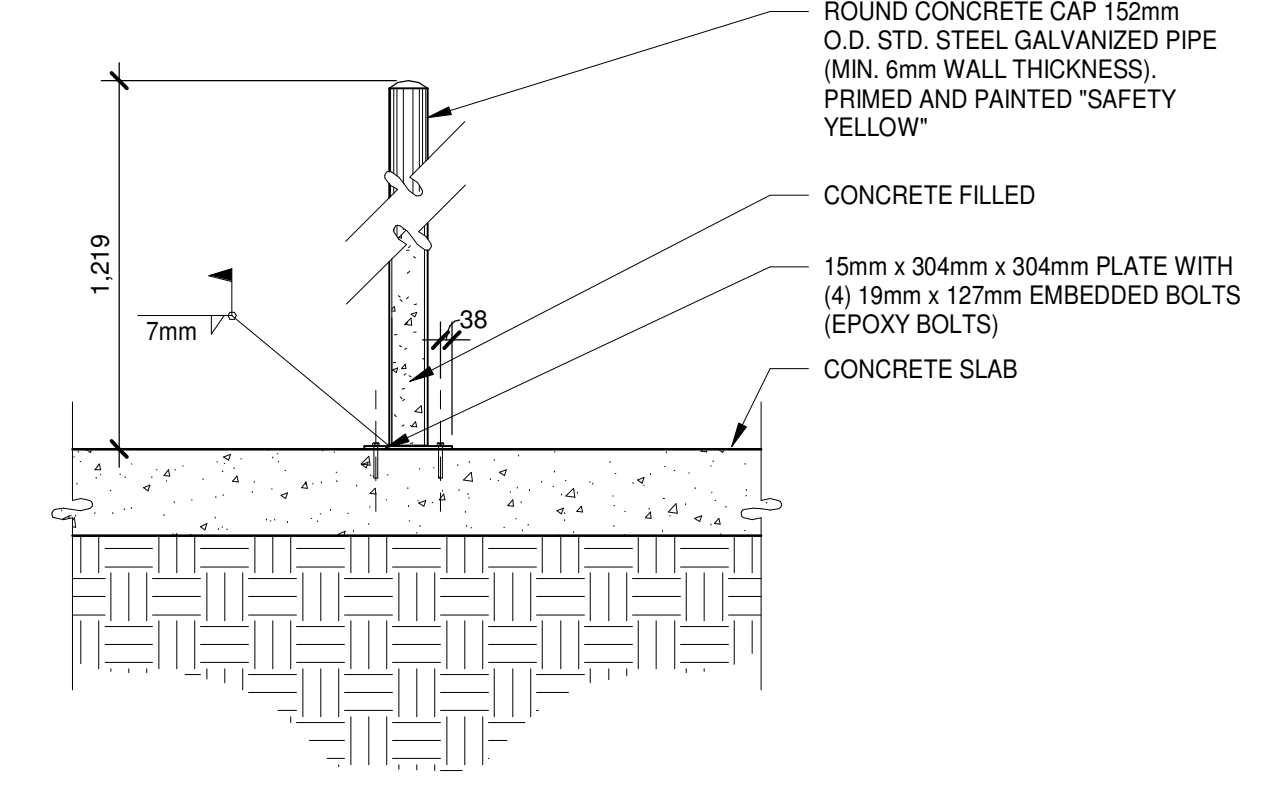
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2022-03-15	85% CD PROGRESS SET	
2022-04-01	85% CD SET	
2022-04-06	ISSUED FOR BUILDING PERMIT	
2022-04-28	ISSUED FOR TENDER	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	

PA/PM: V HORTIGUELA
 DRAWN BY: O.T./A.M.
 JOB NO.: TOR21-0137-00

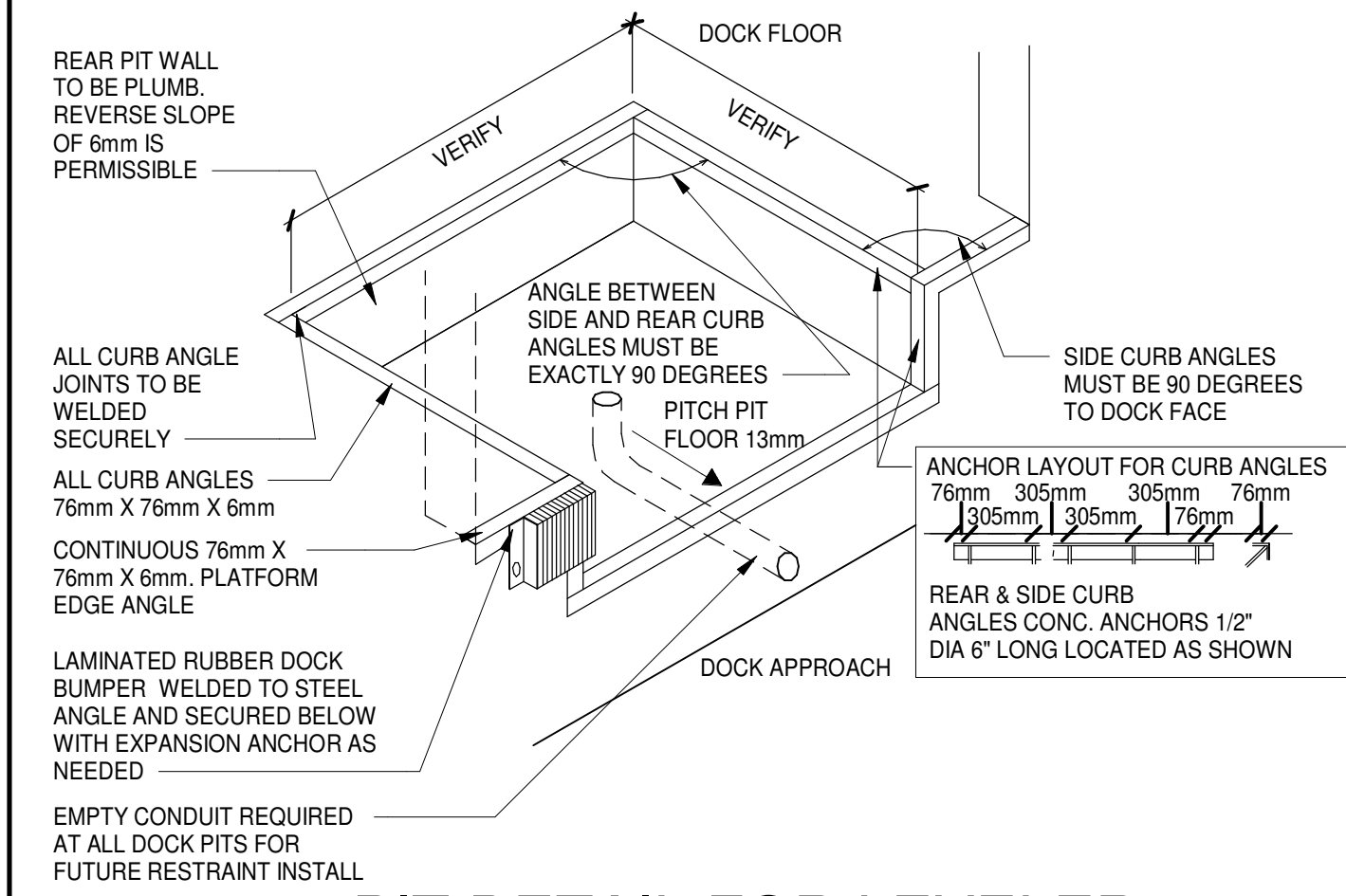
SHEET
A8.2



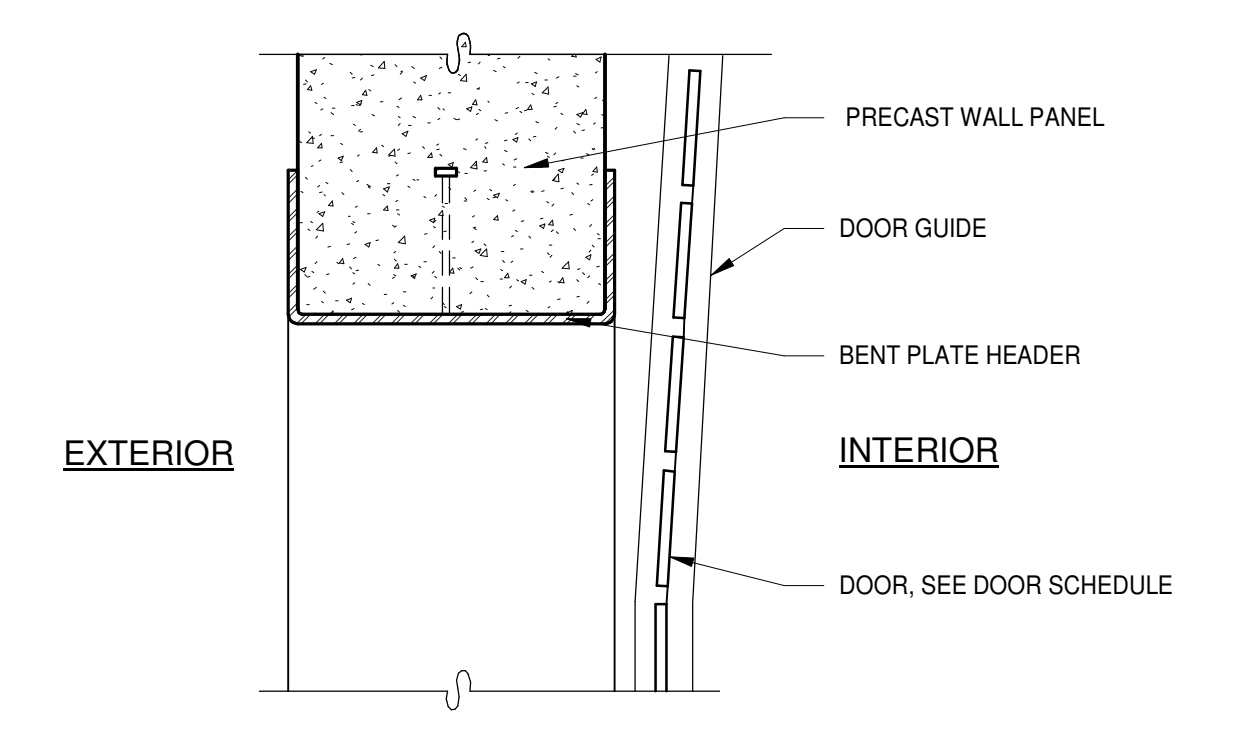
LOUVER HEAD (JAMB SIM)
SCALE: 1 : 5 **13**



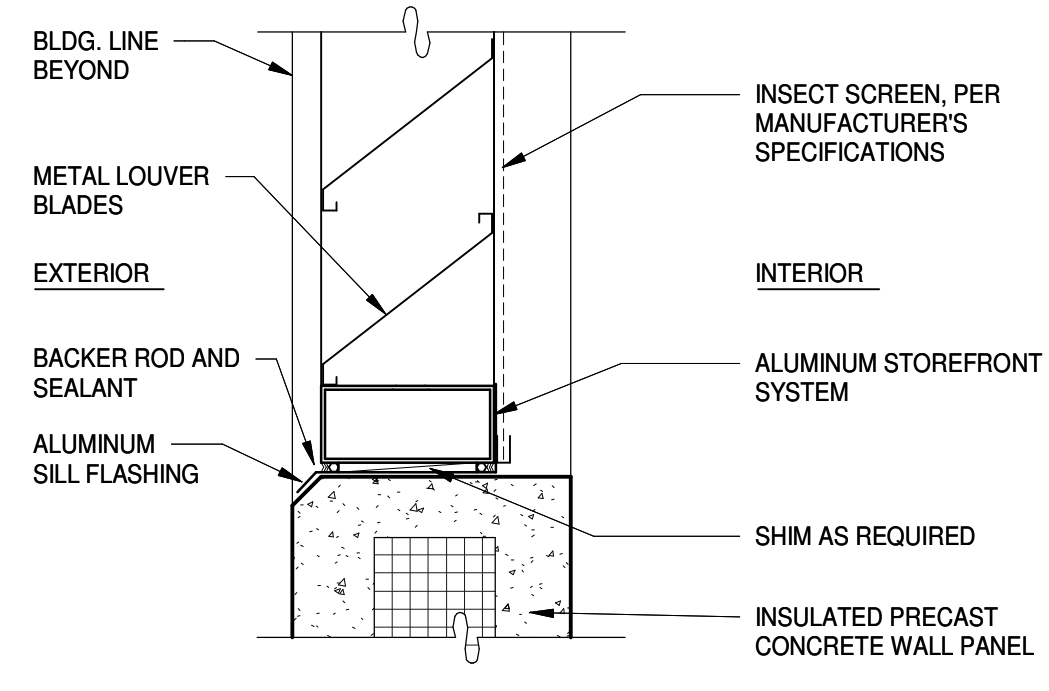
BOLLARD BASE PLATE SET
SCALE: 1 : 25 **9**



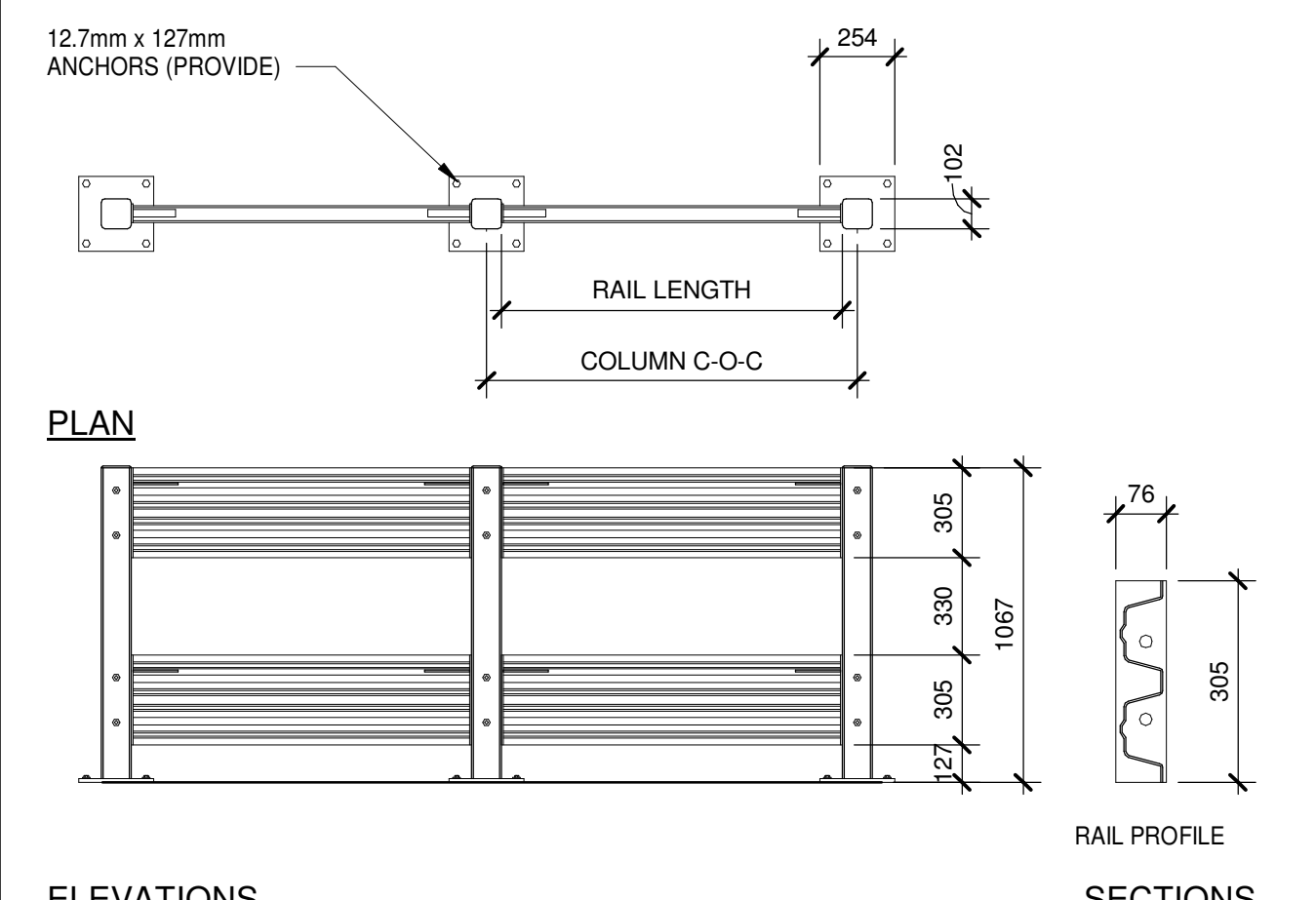
PIT DETAIL FOR LEVELER
SCALE: 1 : 1 **5**



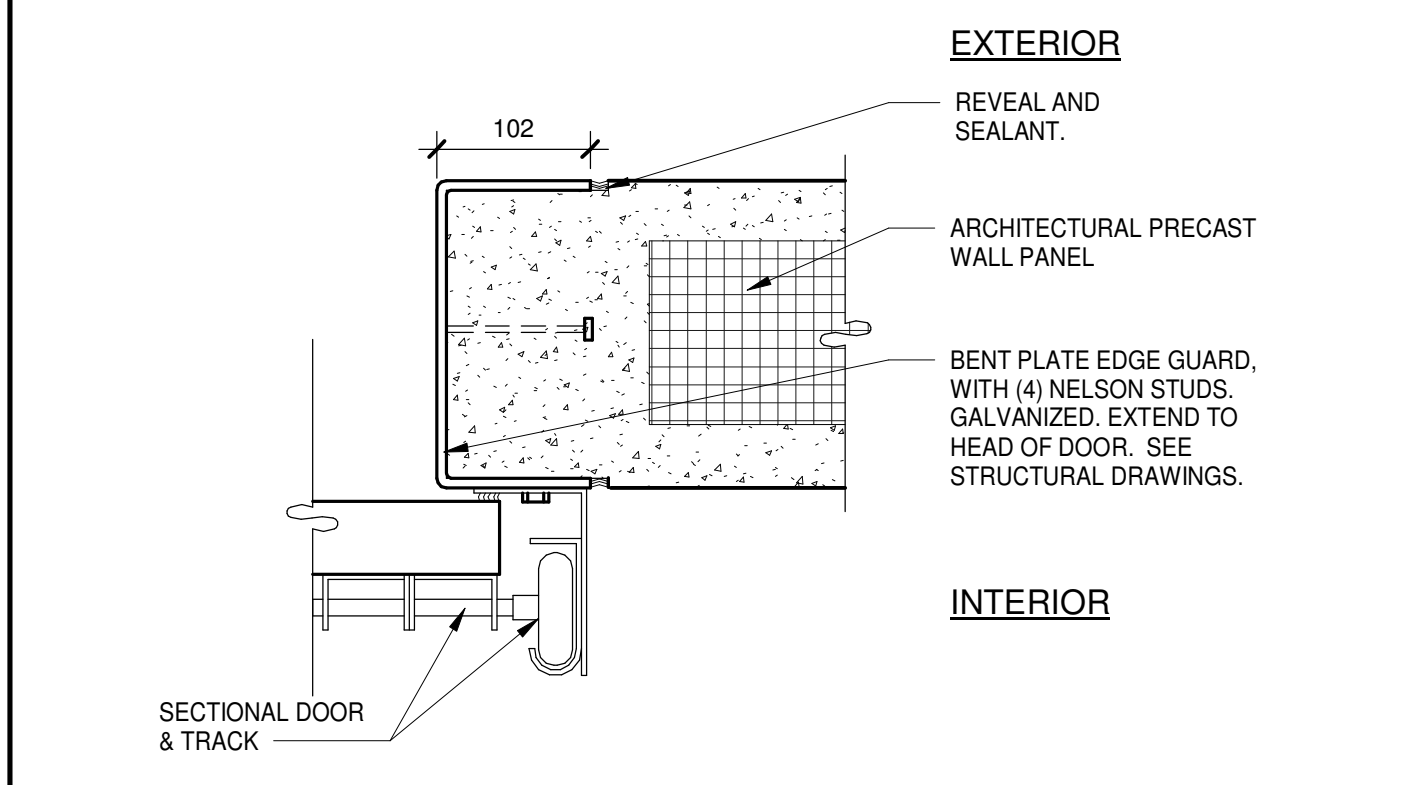
SECTIONAL DOOR HEAD
SCALE: 1 : 5 **1**



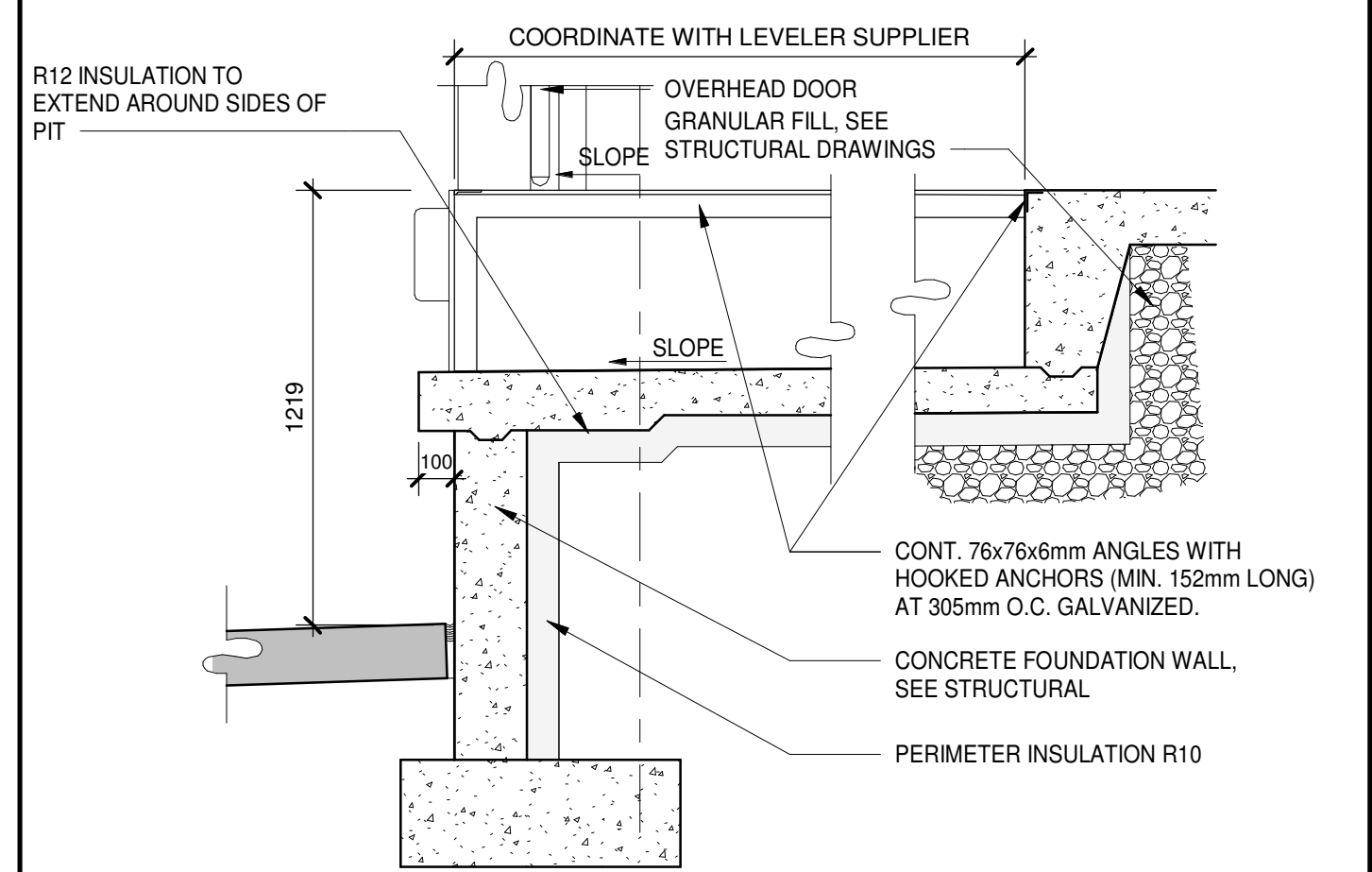
LOUVER SILL
SCALE: 1 : 5 **14**



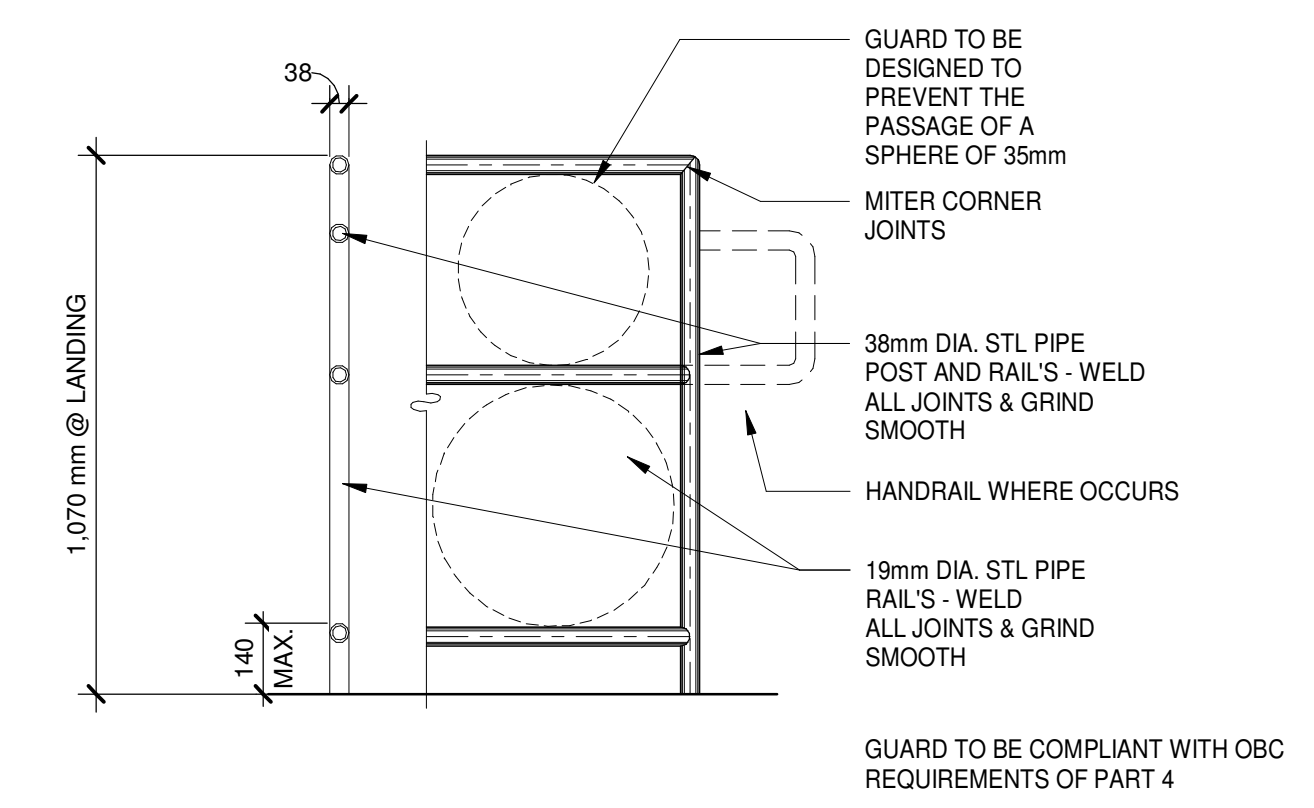
BOLT DOWN GUARDRAIL
SCALE: 1 : 25 **10**



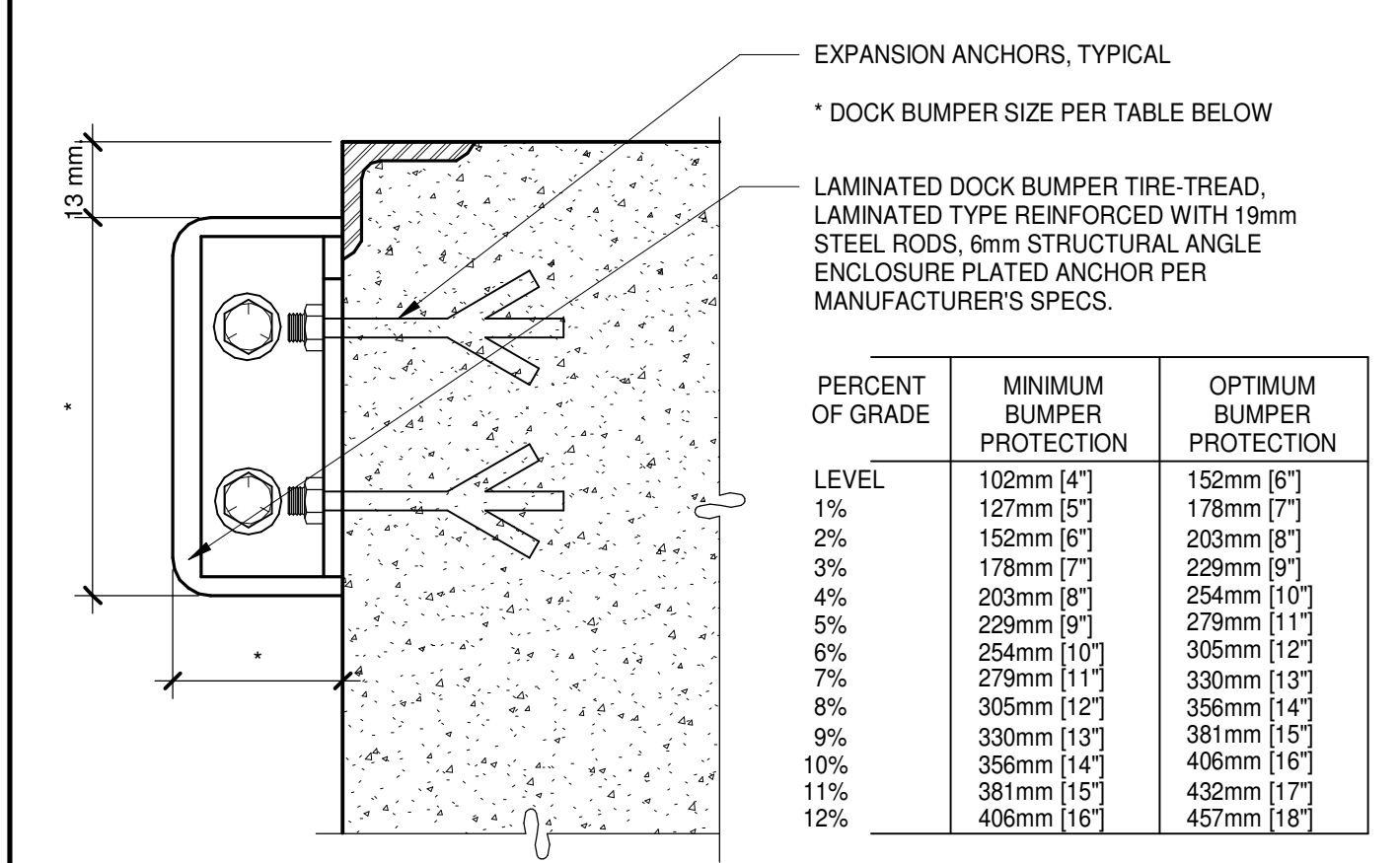
SECTIONAL DOOR JAMB W/ GUARD
SCALE: 1 : 5 **6**



DOCK LEVELER PIT SECTION
SCALE: 1 : 20 **2**

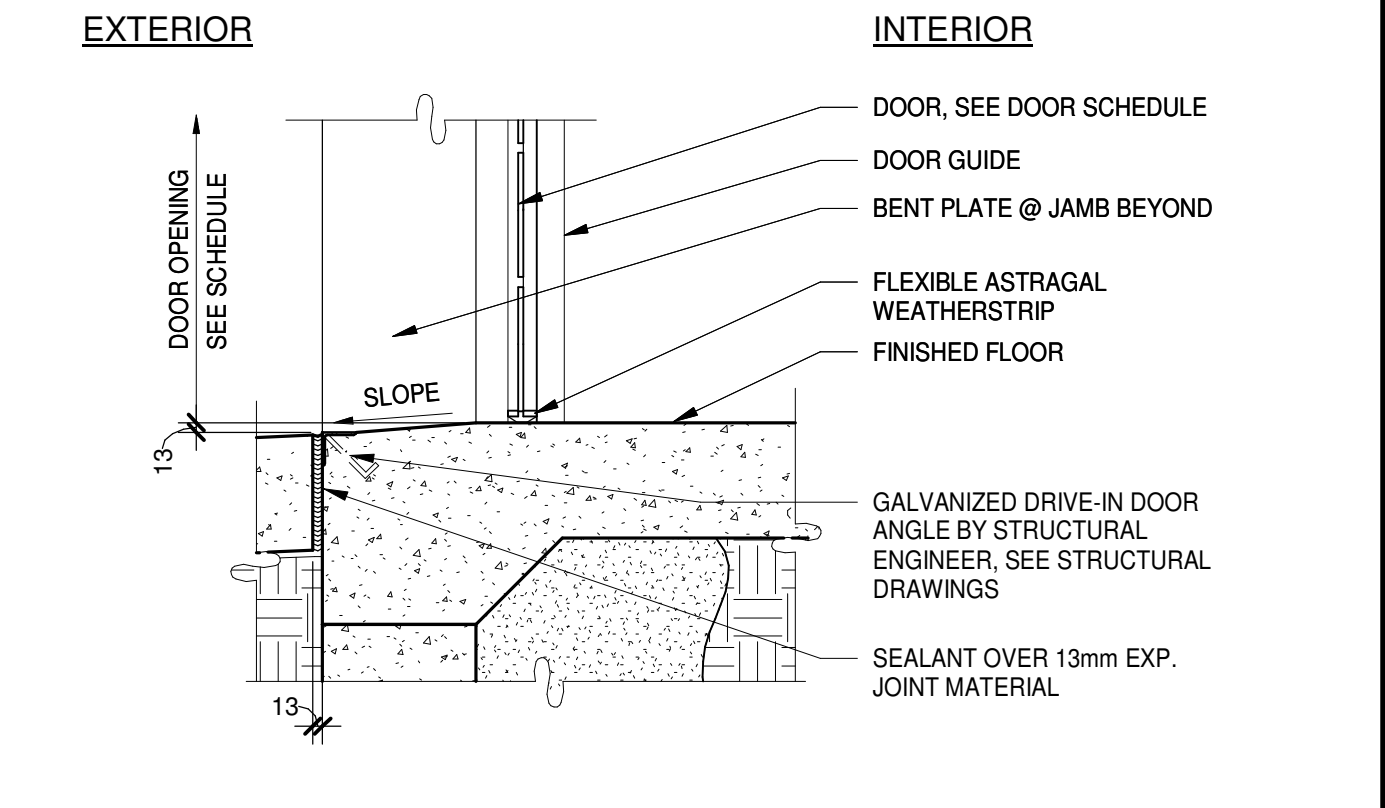


METAL GUARD
SCALE: 1 : 15 **11**

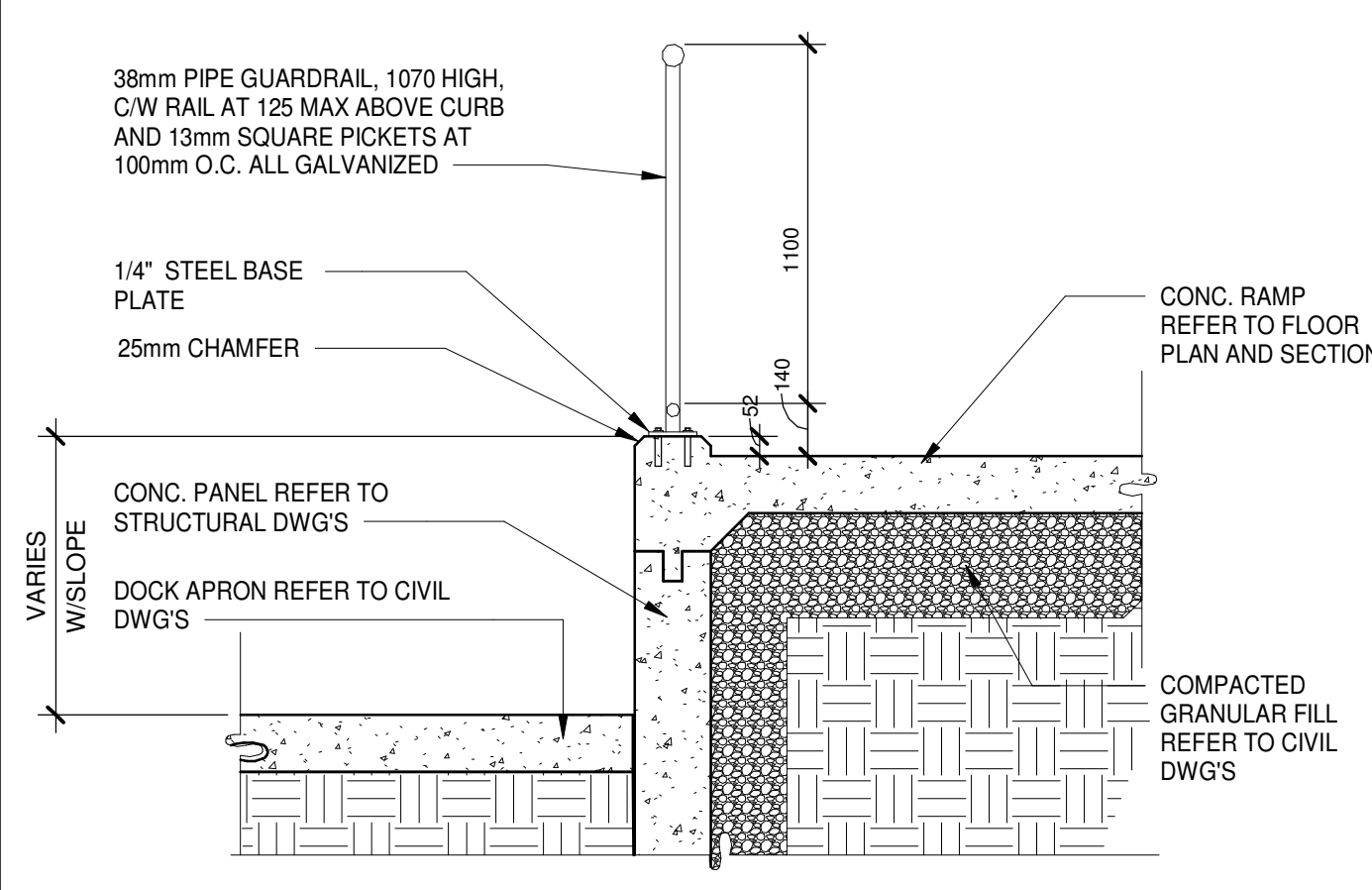


DOCK BUMPER
SCALE: 1 : 5 **7**

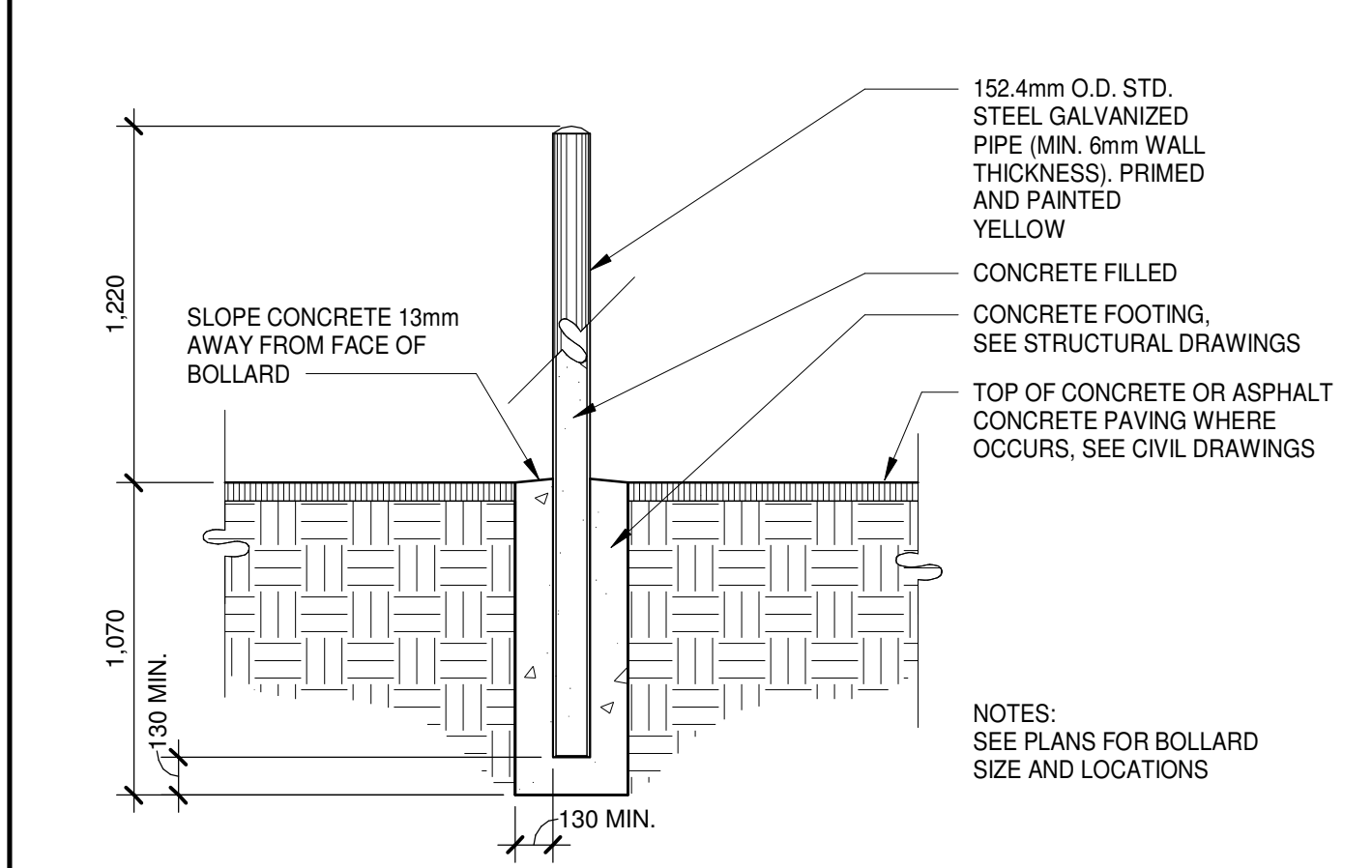
PERCENT OF GRADE	MINIMUM BUMPER PROTECTION	OPTIMUM BUMPER PROTECTION
LEVEL	102mm [4"]	152mm [6"]
1%	127mm [5"]	178mm [7"]
2%	152mm [6"]	203mm [8"]
3%	178mm [7"]	229mm [9"]
4%	203mm [8"]	254mm [10"]
5%	229mm [9"]	279mm [11"]
6%	254mm [10"]	305mm [12"]
7%	279mm [11"]	330mm [13"]
8%	305mm [12"]	356mm [14"]
9%	330mm [13"]	381mm [15"]
10%	356mm [14"]	406mm [16"]
11%	381mm [15"]	432mm [17"]
12%	406mm [16"]	457mm [18"]



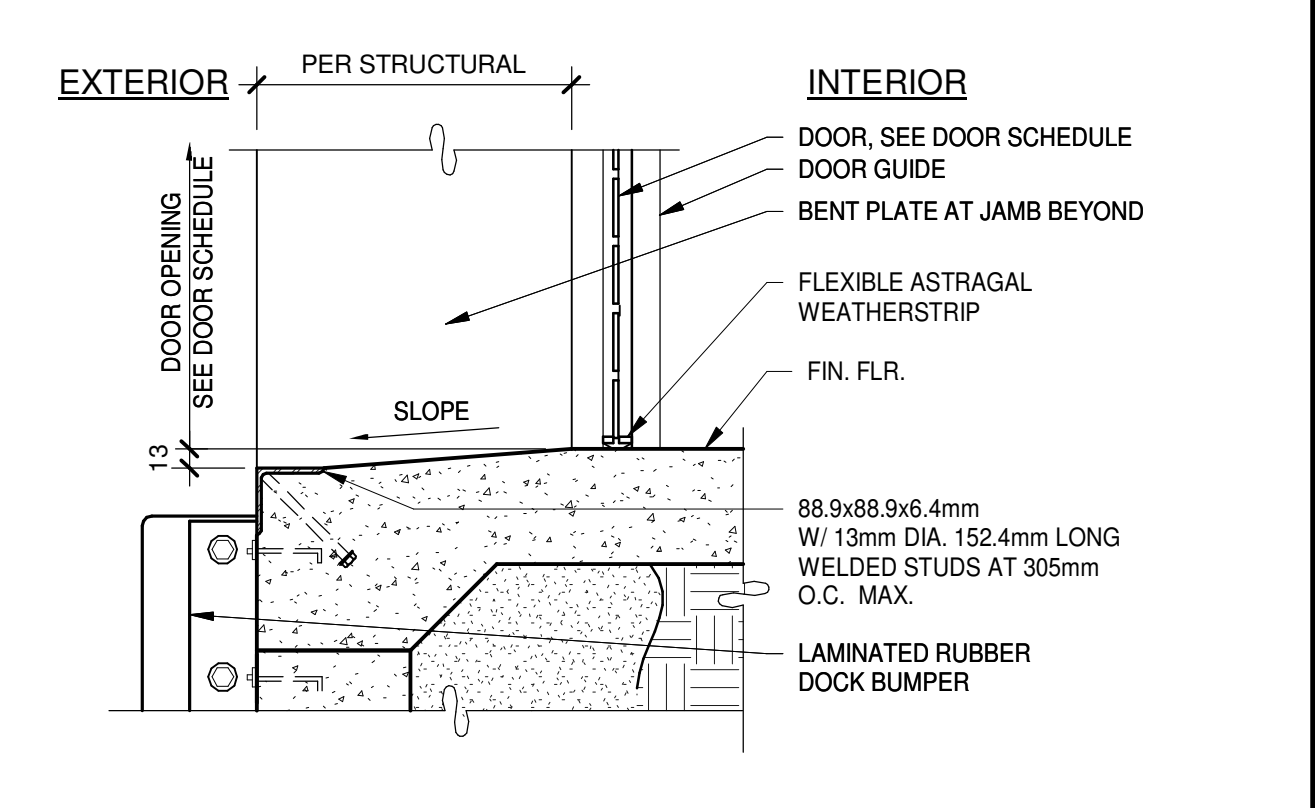
SECTIONAL DOOR SILL AT GRADE
SCALE: 1 : 10 **3**



GUARDRAIL AT RAMP
SCALE: 1 : 20 **12**



BOLLARD
SCALE: 1 : 25 **8**



DOOR SILL AT DOCK HIGH
SCALE: 1 : 5 **4**

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BUILDING B
1400 VICTORIA STREET
WHITBY, ONTARIO

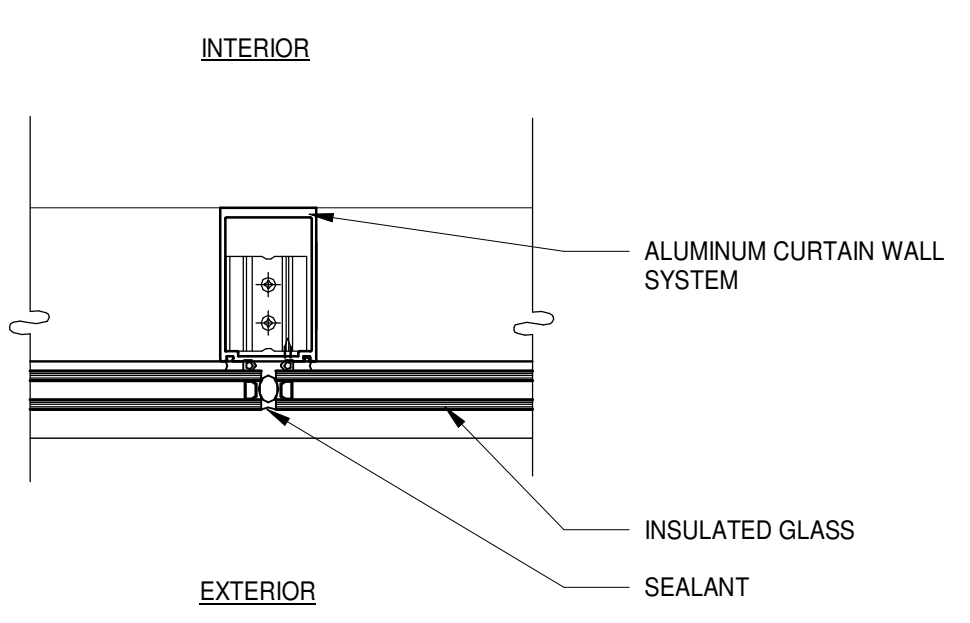
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SHEET
A8.3

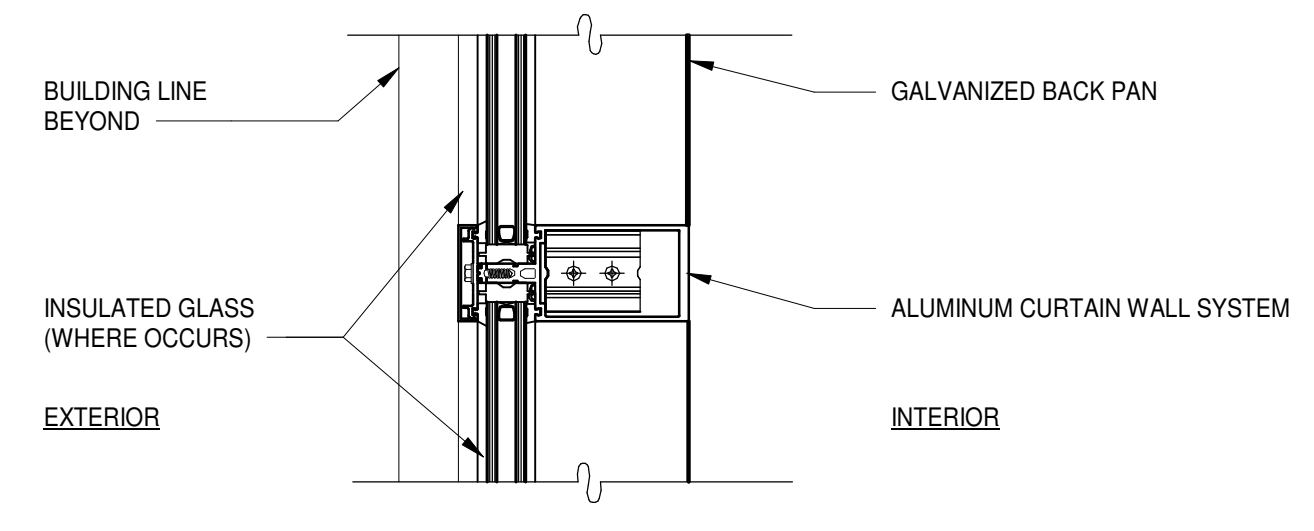
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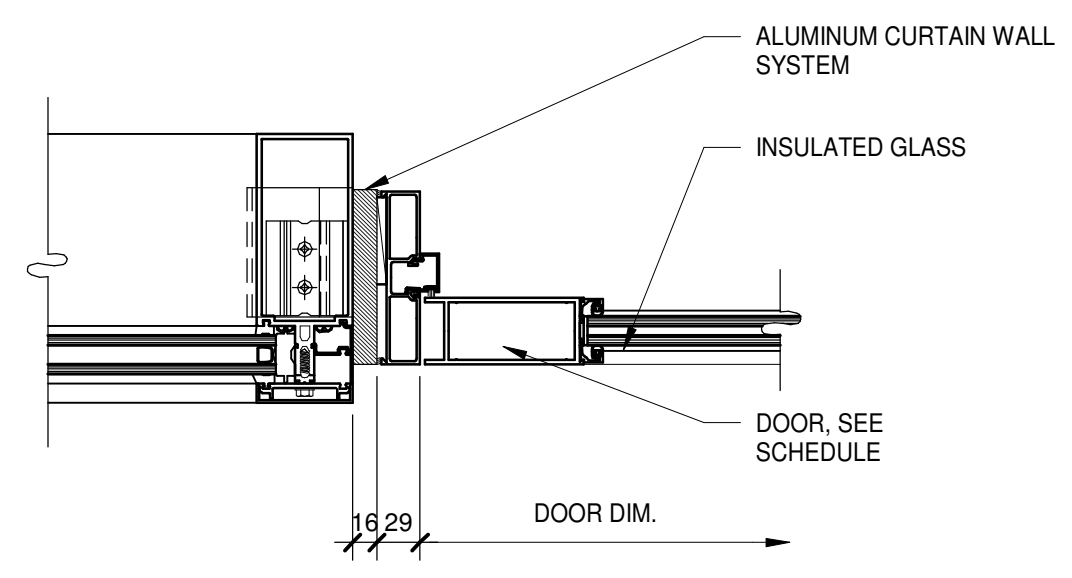
VERTICAL BUTT JOINT
SCALE: 1:5

13



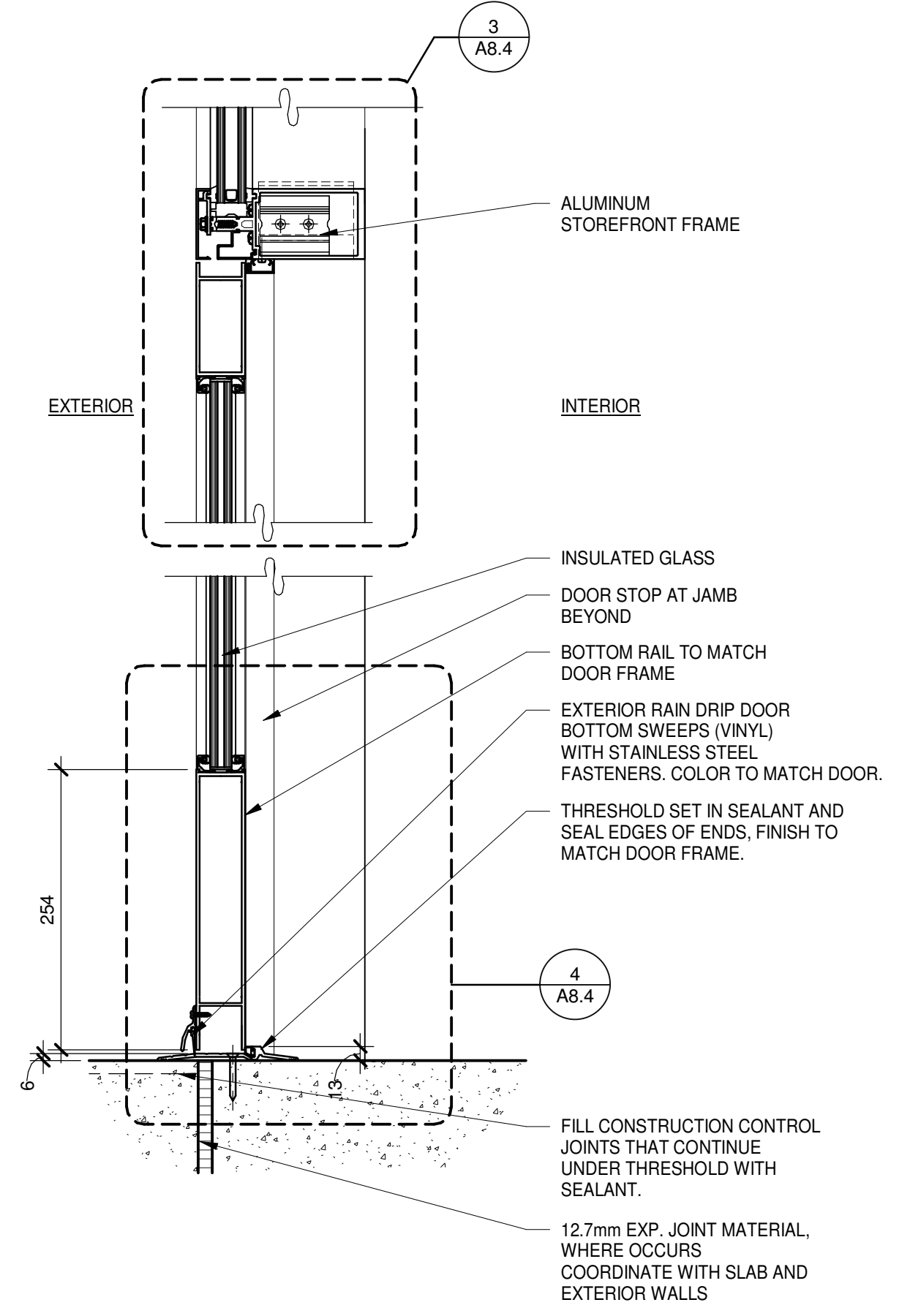
WINDOW MULLION
SCALE: 1:5

9



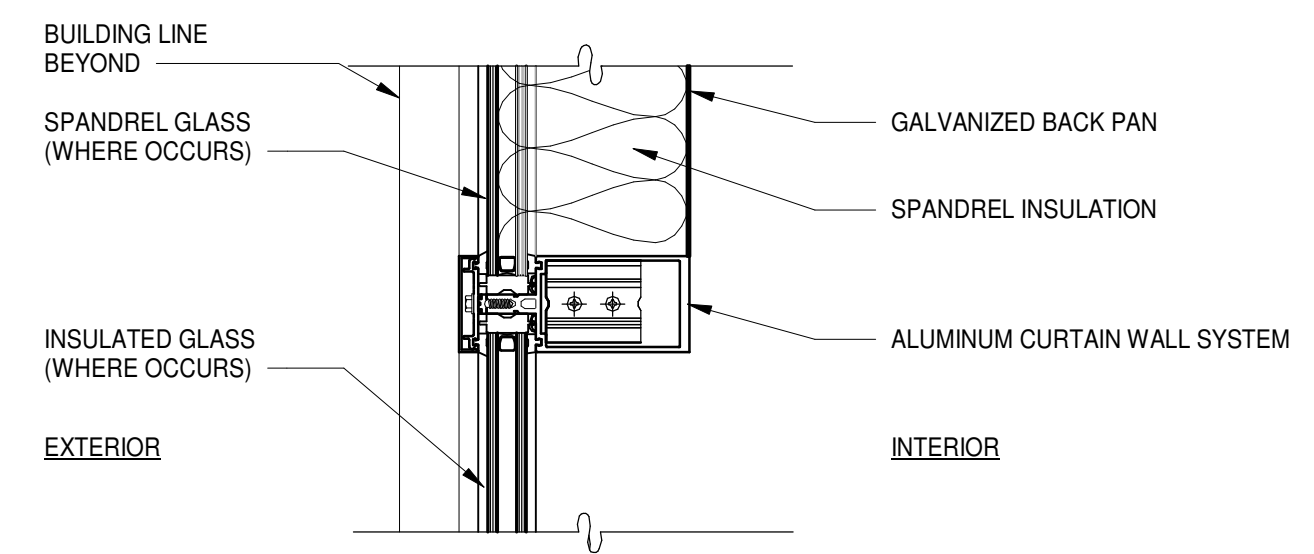
STOREFRONT JAMB
SCALE: 1:5

5



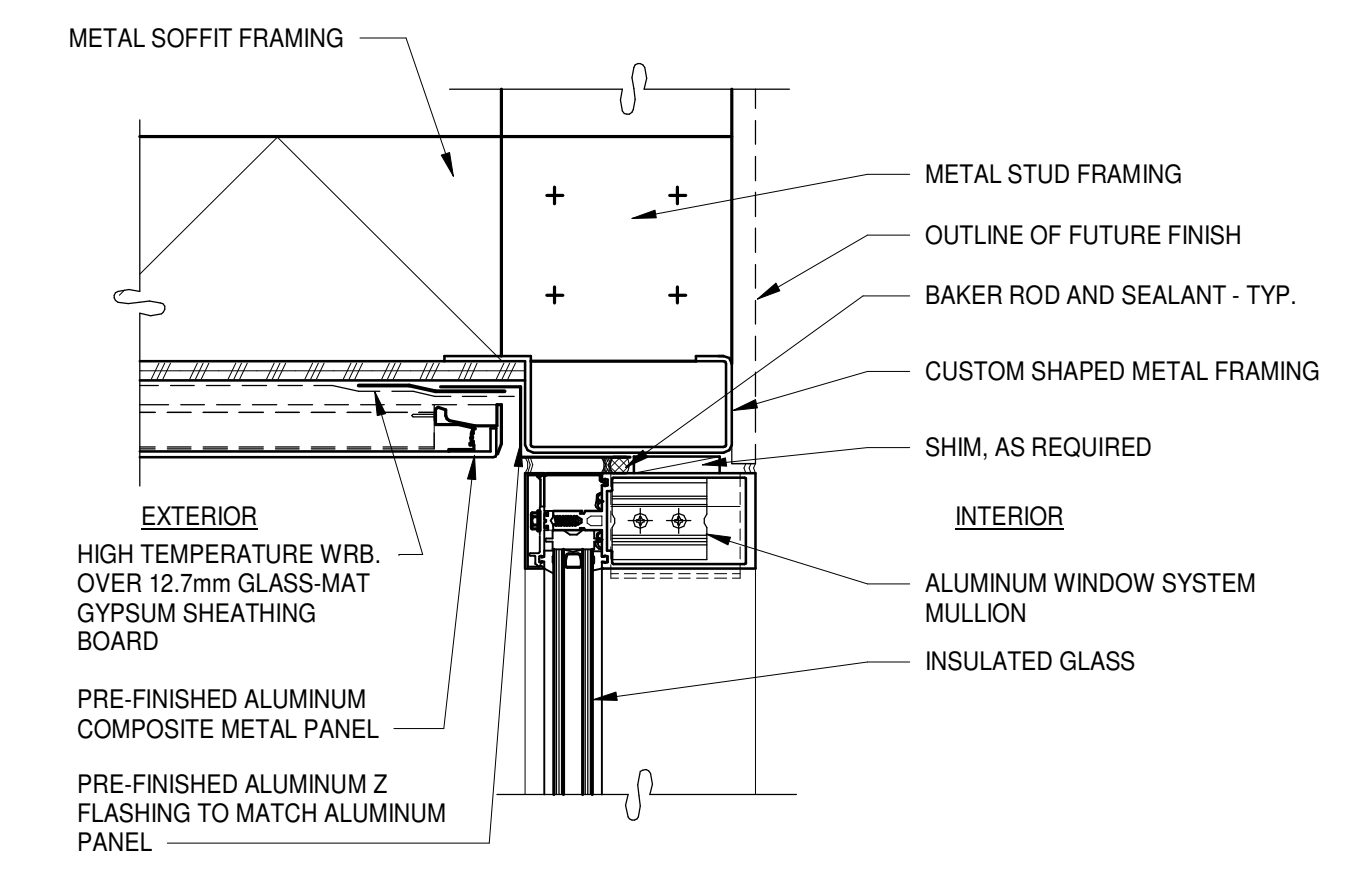
STOREFRONT DOOR
SCALE: 1:5

2



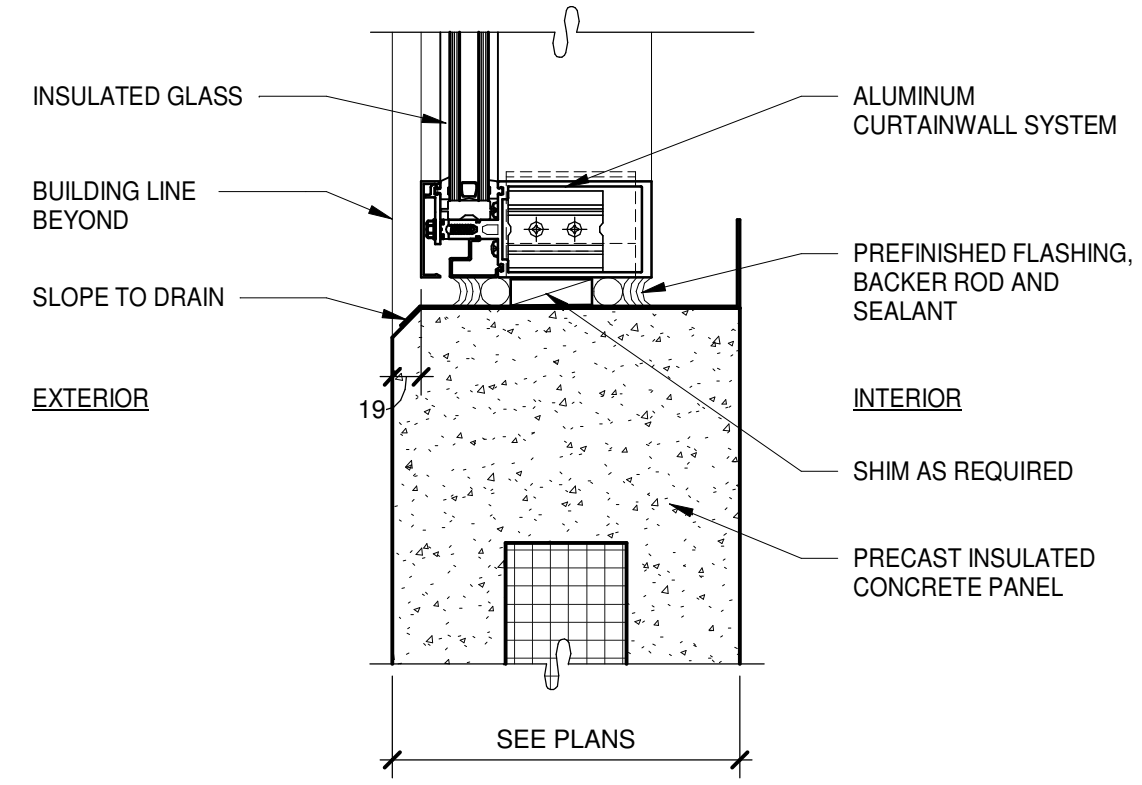
HORIZONTAL MULLION @ SPANDREL
SCALE: 1:5

10



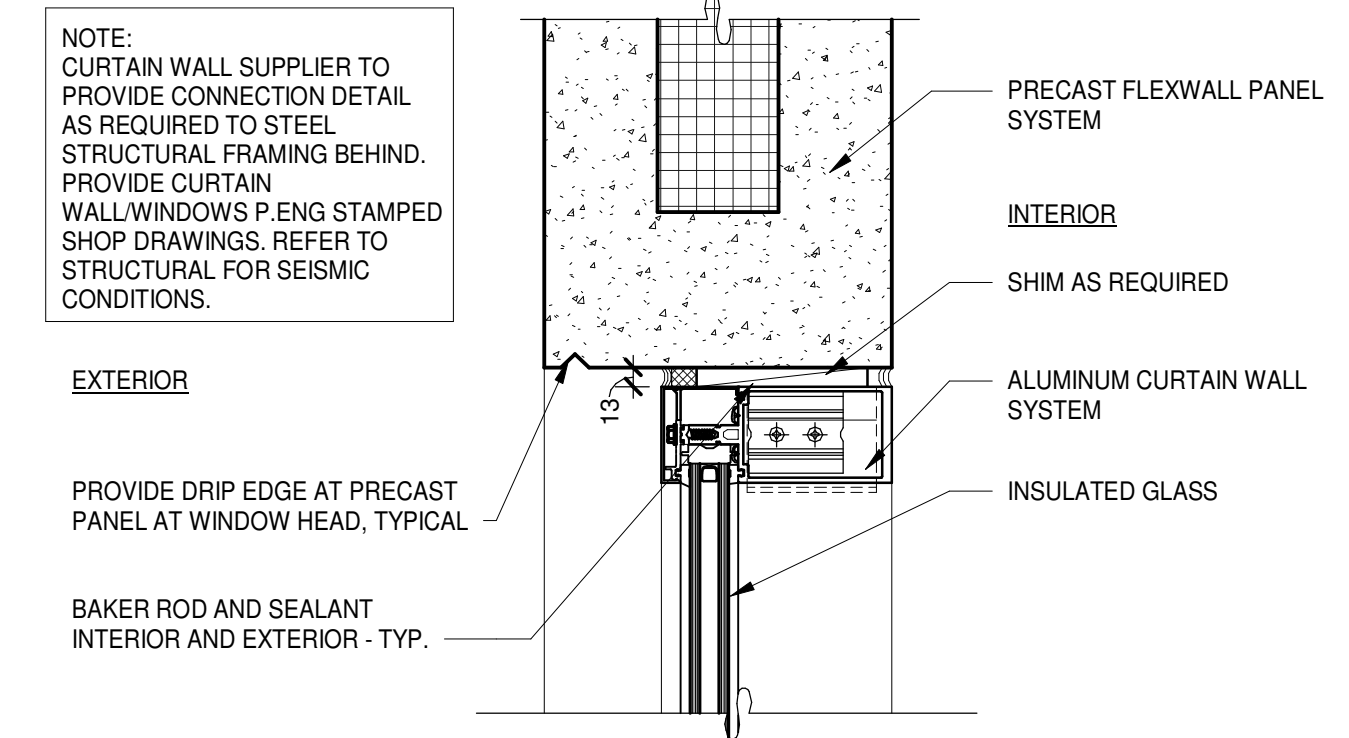
CURTAIN WALL @ SOFFIT
SCALE: 1:5

6



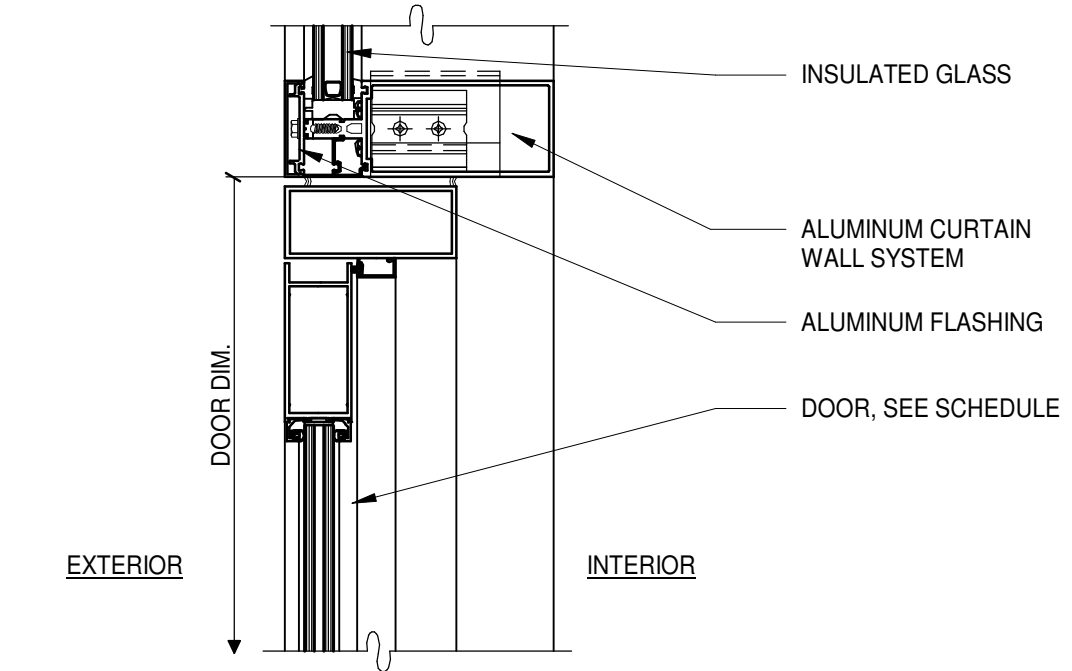
WINDOW SILL
SCALE: 1:5

11



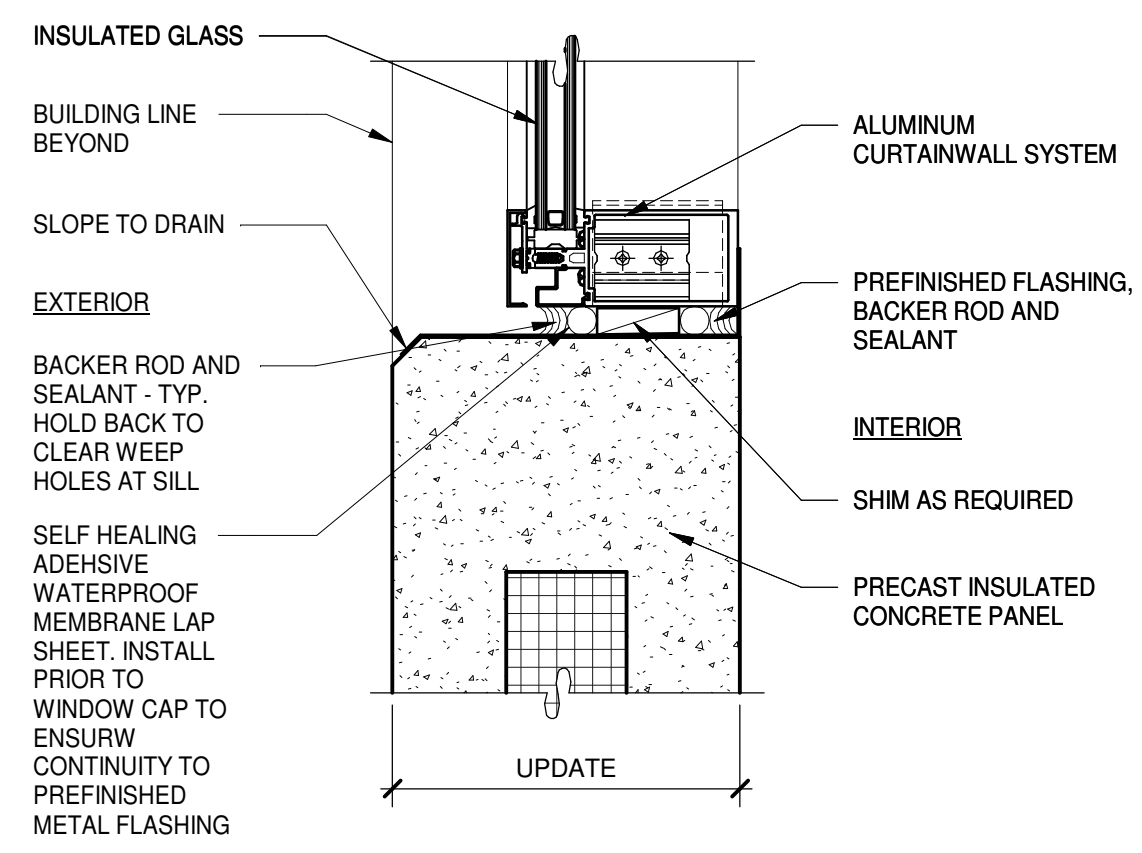
CURTAIN WALL WINDOW HEAD (JAMB SIM.)
SCALE: 1:5

7



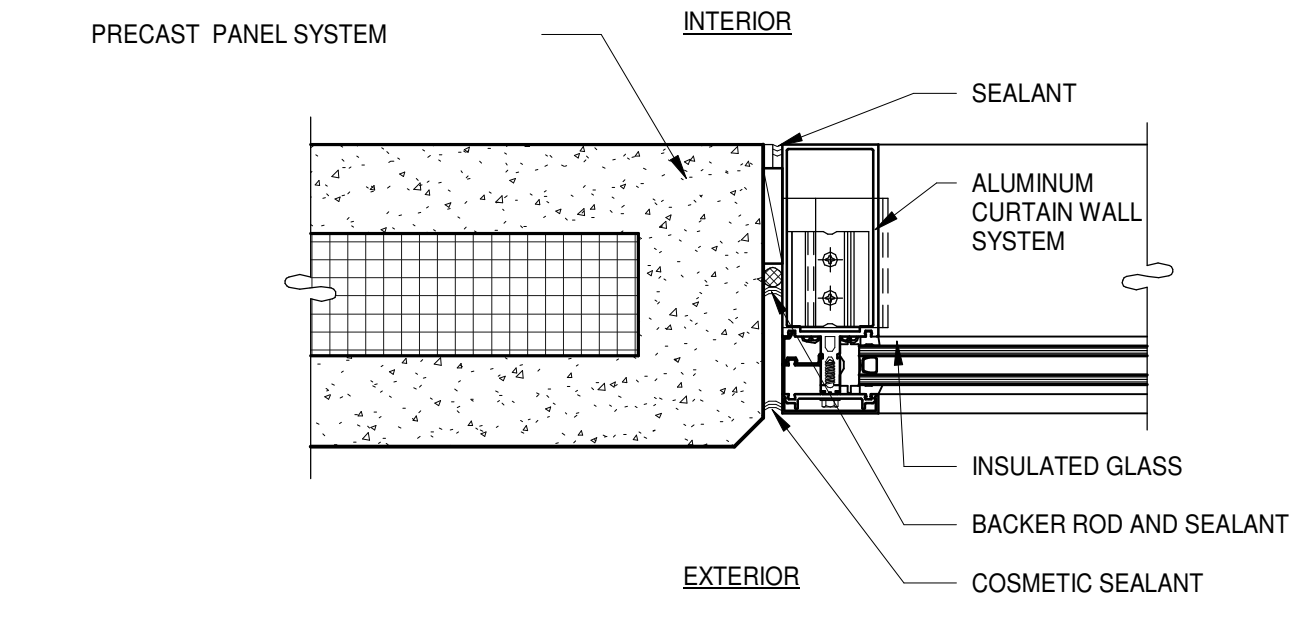
DOOR HEAD
SCALE: 1:5

3



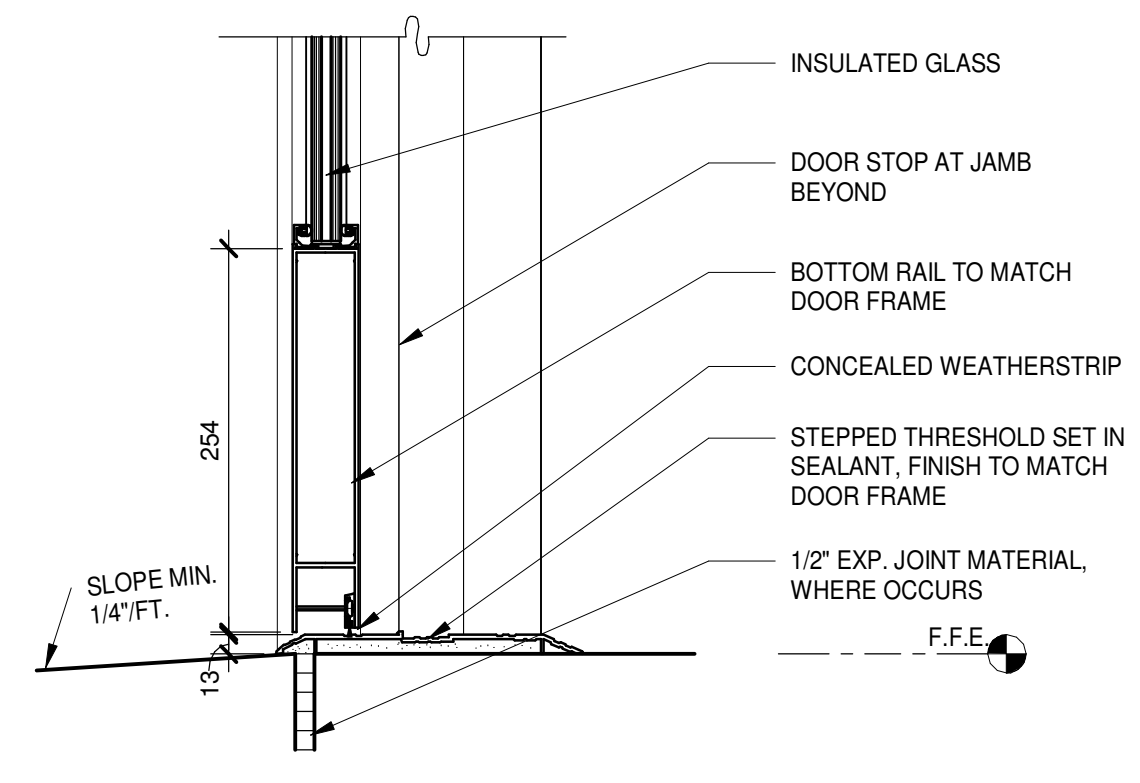
WINDOW SILL (IN PRECAST PANEL)
SCALE: 1:5

12



CURTAIN WALL JAMB
SCALE: 1:5

8



DOOR SILL
SCALE: 1:5

4

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BUILDING B

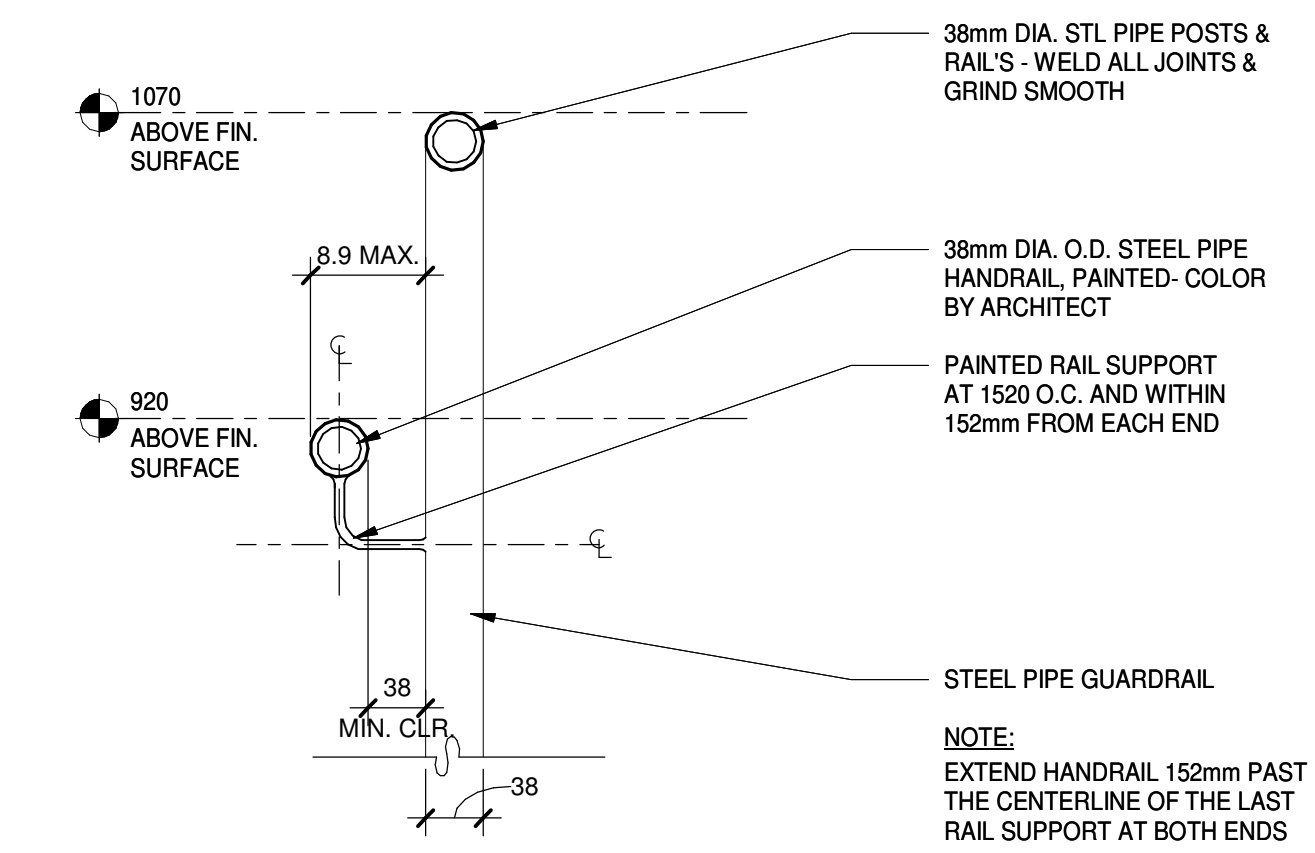
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WHITBY, ONTARIO

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5	2022-04-28	ISSUED FOR TENDER
7	2022-06-07	ISSUED FOR BID
10	2023-05-25	ISSUED FOR CONSTRUCTION

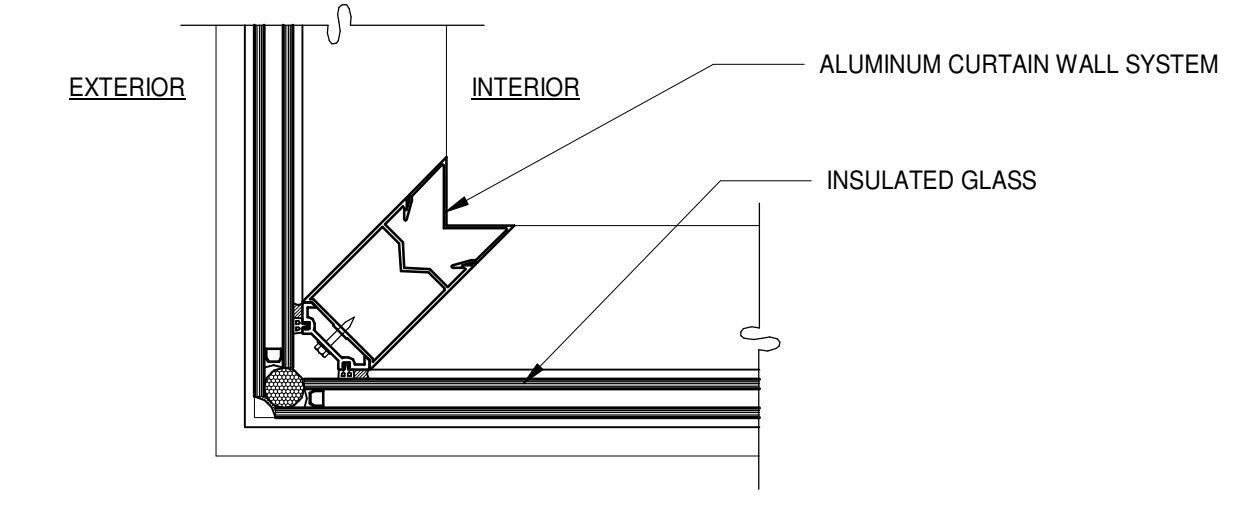
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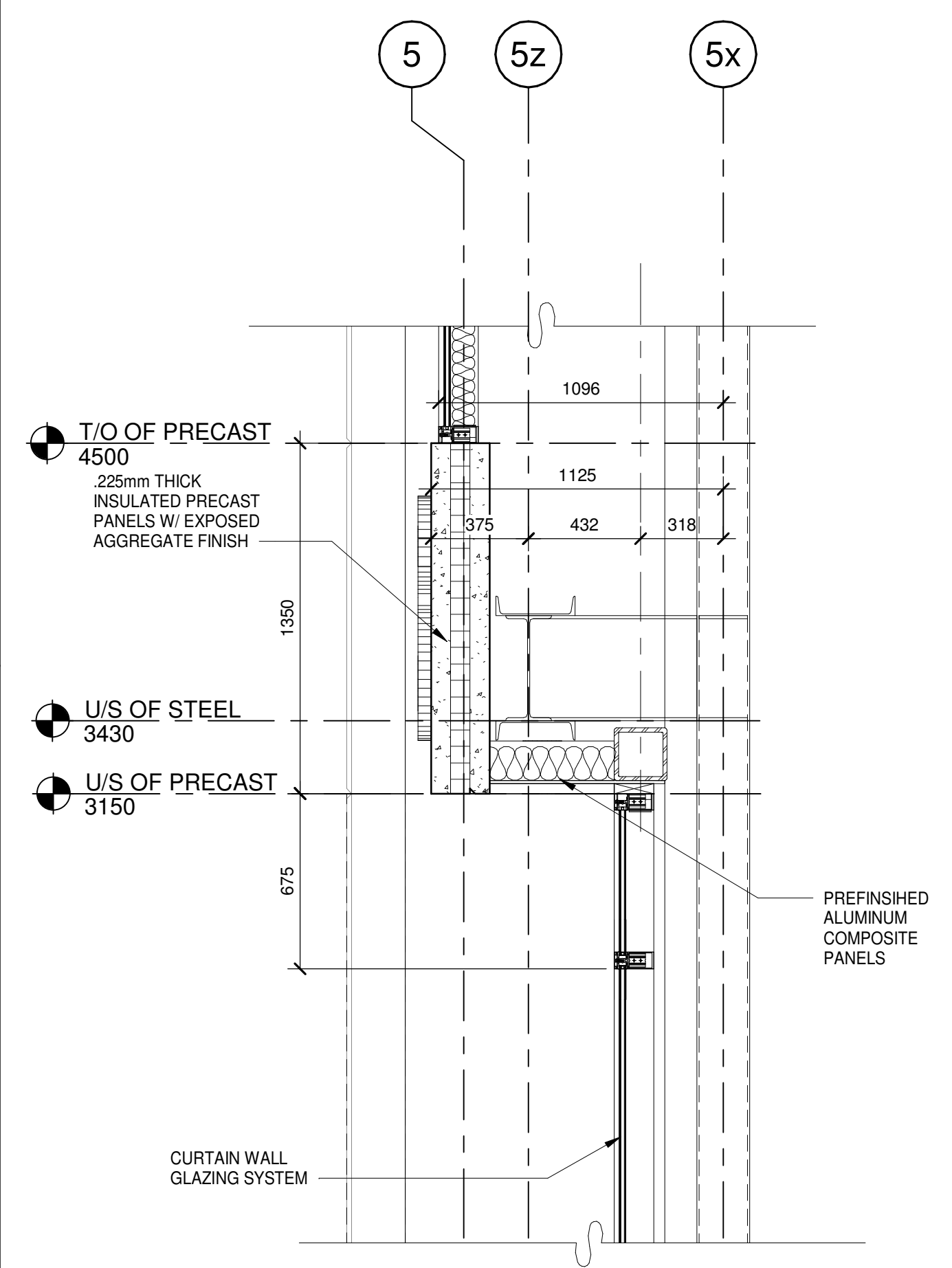
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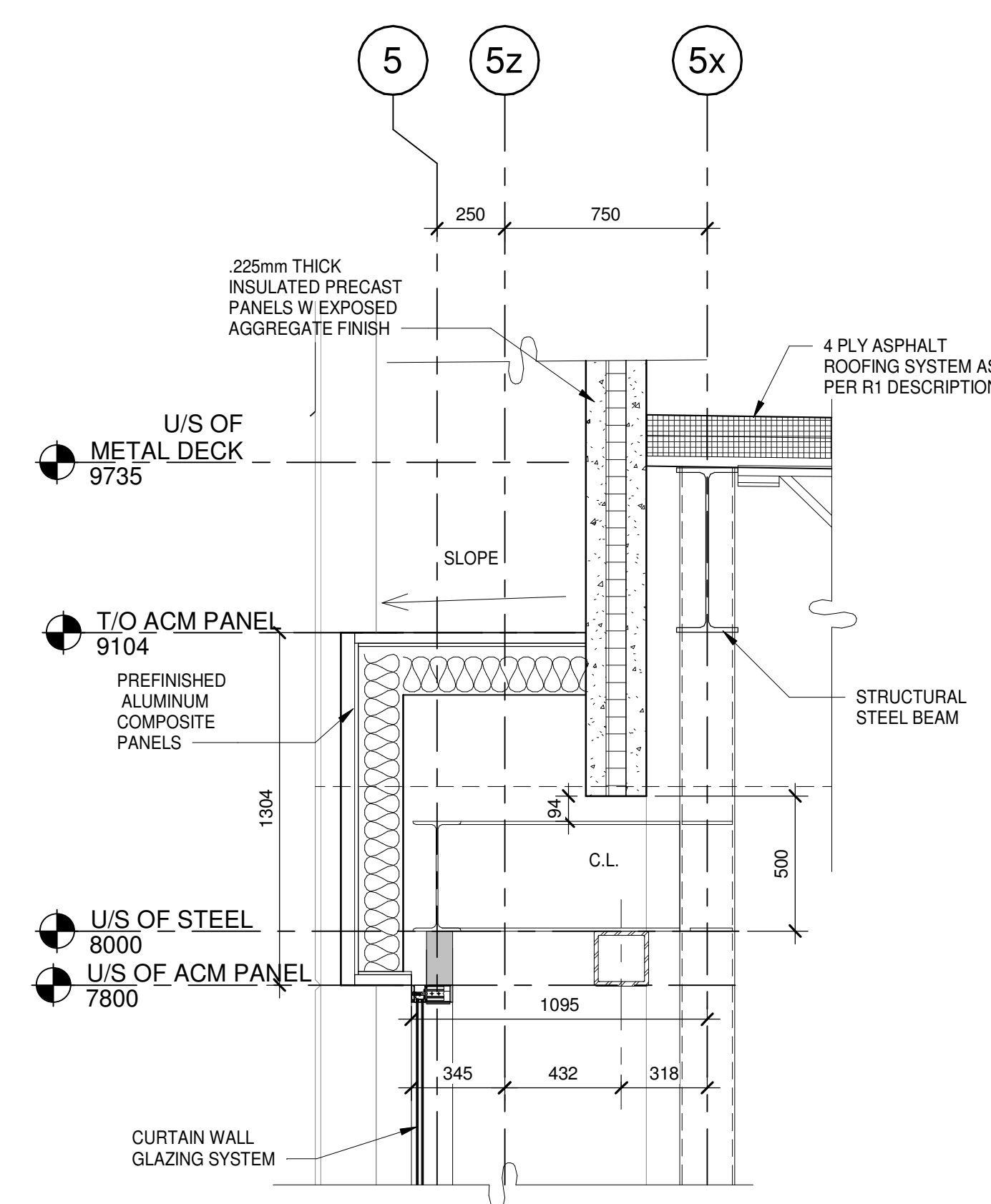
HANDRAIL - SECTION
SCALE: 1 : 5



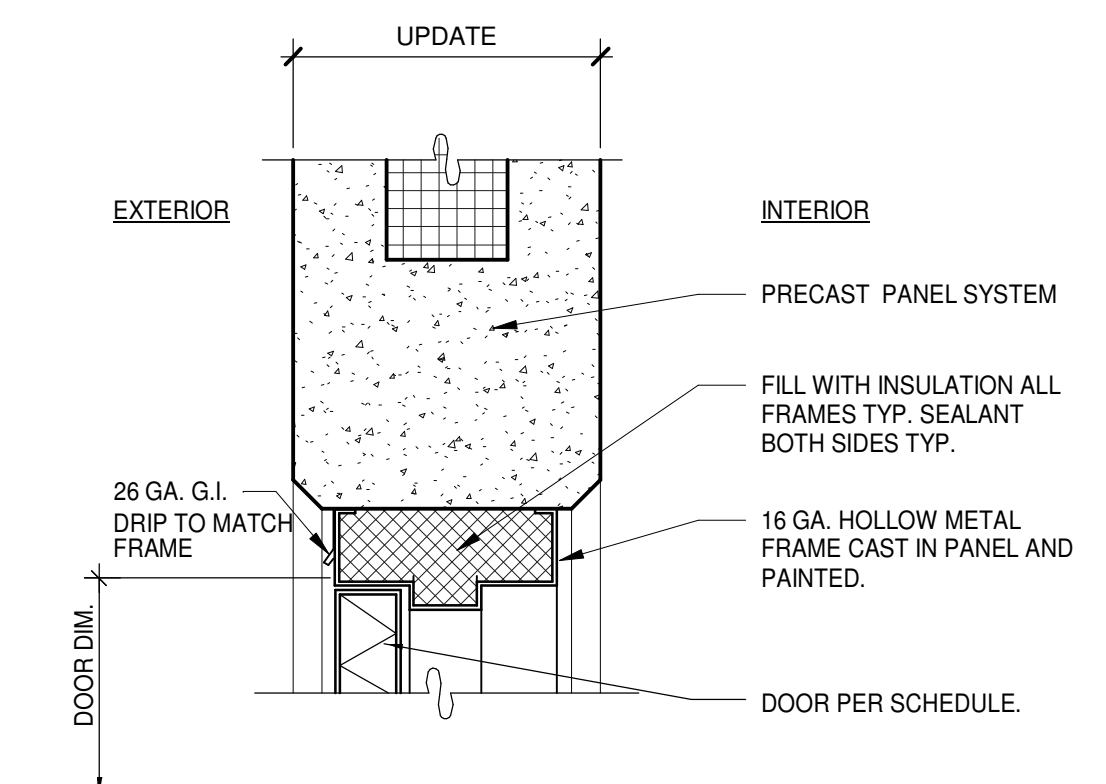
CURTAIN WALL CORNER
SCALE: 1 : 5



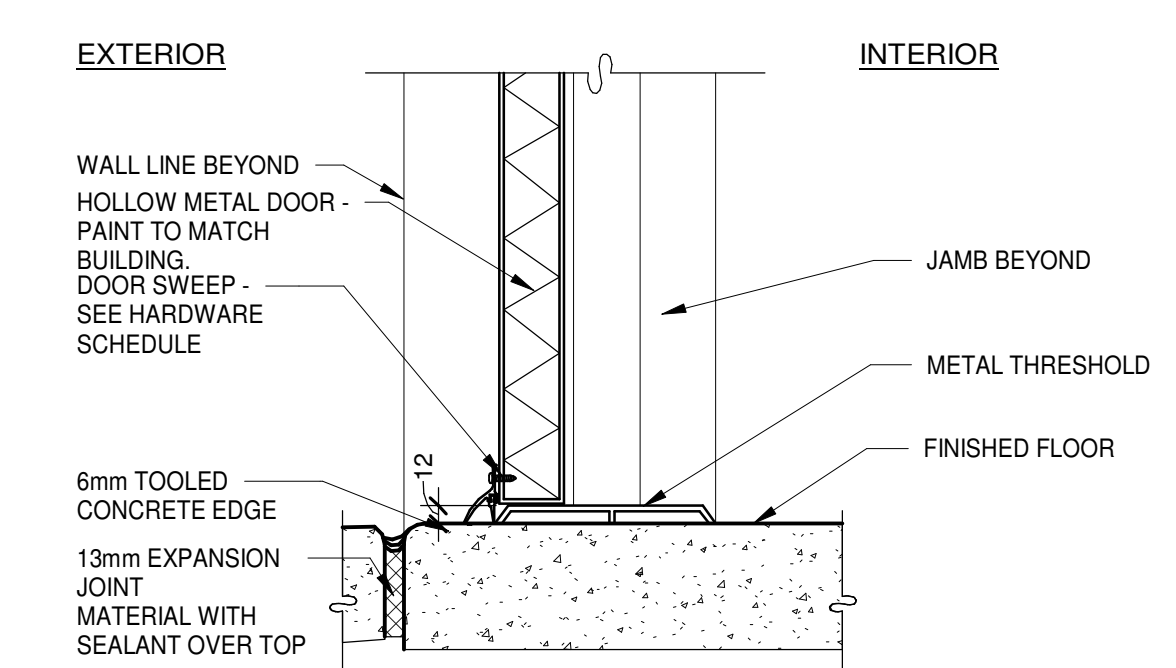
WALL SECTION
SCALE: 1 : 20



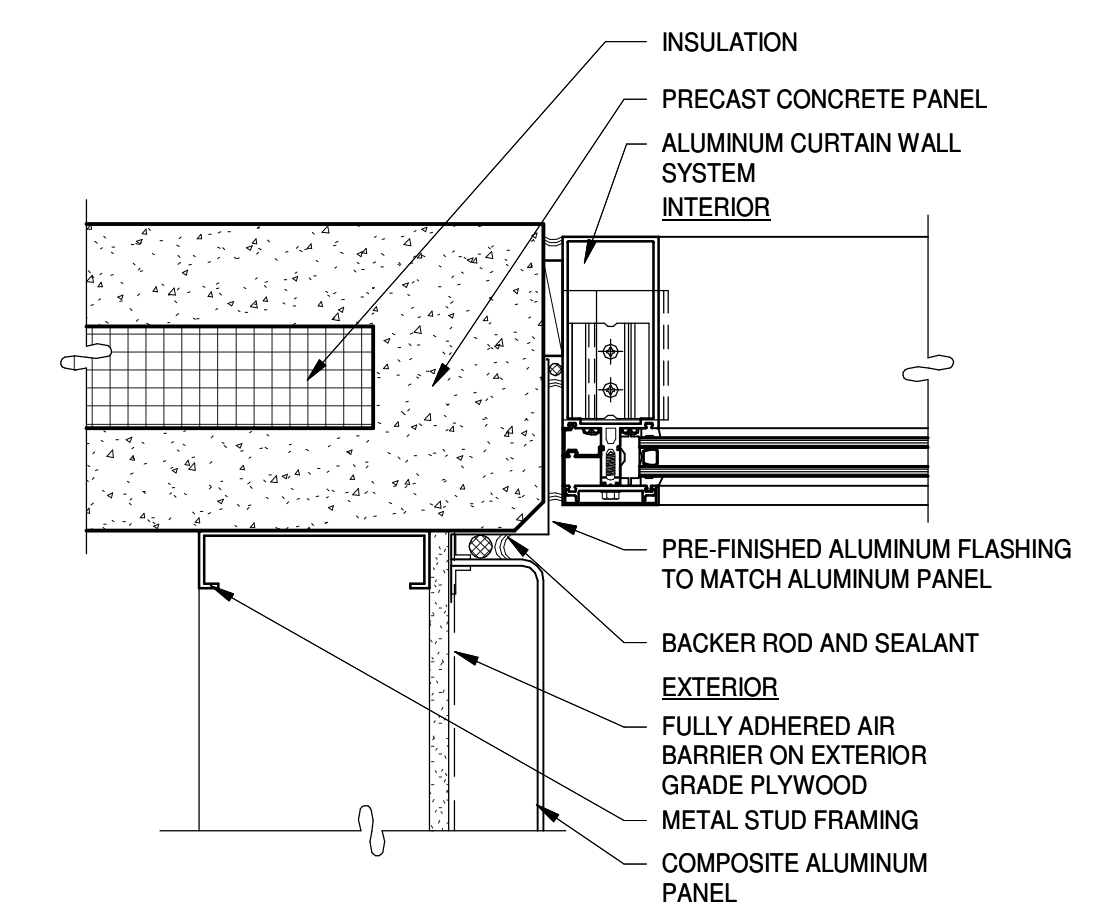
WALL SECTION
SCALE: 1 : 20



HOLLOW METAL DOOR HEAD
SCALE: 1 : 5



HOLLOW METAL DOOR SILL
SCALE: 1 : 5



COMPOSITE METAL DETAIL
SCALE: 1 : 5

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2022-04-28	ISSUED FOR TENDER	
2022-06-03	GENERAL REVISION	
2022-06-07	ISSUED FOR BID	
2023-05-25	ISSUED FOR CONSTRUCTION	

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