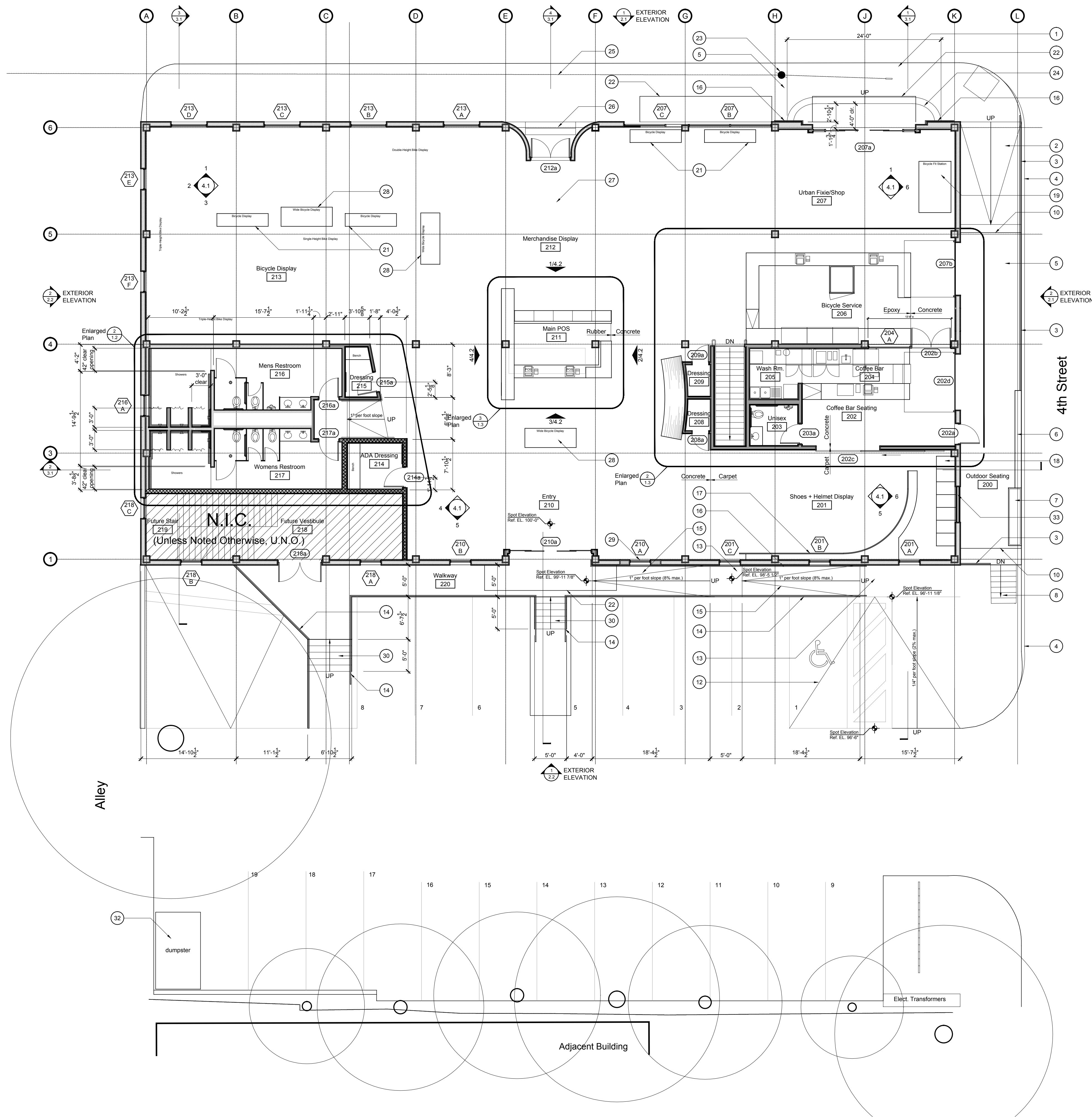


Nueces Street



GROUND FLOOR PLAN GENERAL NOTES:

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- Keynotes located on this sheet are for this sheet only.
- Contractor (GC) to field verify all existing dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHDO immediately.
- New painted gypsum board walls are to be taped and textured with a smooth finish, provide orange peel at ceilings and all other locations U.N.O.
- If applicable, provide floor transitions to match, MHDO to approve type and location.
- GC to provide adequate protection of finish surfaces during installation.
- GC to provide epoxy grout at all tile locations, typ. MHDO to approve type and color.
- All glass to be tempered in areas required by local codes.
- GC to provide portable fire extinguishers as required by local code.
- GC to provide submittals, shop drawings, and/or product data sheets for review and approval by MHDO prior to ordering/installation.
- All cabinetry to rest on a bed of mastic and/or caulk, so as to be securely fastened and seal to the existing finish floor surfaces.
- All Floor Drains indicated are new. Contractor to field verify all existing conditions and coordinate with MEP Engineer.
- The Coffee Shop will comply with Texas Food Establishment Rules (TFER) and all City of Austin codes and ordinances.

GROUND FLOOR PLAN KEYNOTES:

- Existing concrete sidewalk and curb to remain. See Civil drawings.
- Existing brick ramp/sidewalk to remain. See Civil drawings.
- 42" high painted metal guardrail per 1/6.1
- Existing concrete curb and gutter to remain. See Civil drawings.
- Accessible Route shown hatched.
- 42" high painted wood and steel guardrail per 3/6.1
- 42" high stained wood planter per 5/6.1
- Existing concrete stairs to remain.
- Not Used
- Line of existing wood awning above (shown dashed).
- 42" high painted steel guardrail with concrete curb at open stair well to basement per 3/6.3
- Handicap parking space per Civil drawings.
- Concrete landing per Civil drawings. 2% maximum cross slope.
- 42" high painted steel guardrail with handrail per 7/6.1
- Concrete ramp per Civil and Structural drawings. 8% maximum slope.
- 34" high painted steel handrail per 9/6.1
- Shoe and helmet display wall per xxx.xx
- Prefabricated rolling storage wall system per specifications.
- Raised "Bicycle Fit" platform per 5/6.4
- Not Used
- Raised "Bicycle Display" unit per 3/6.4
- Line of new awning above (shown dashed).
- Existing utility pole to be removed. See Civil drawings.
- Concrete steps to existing sidewalk. Contractor to field verify elevation changes and confirm with Designer prior to installation of new stairs. 12" treads with 7" maximum risers.
- Existing cable line to be buried underground. See Civil drawings.
- Existing concrete steps to remain.
- Tempered glass floor and steel support structure per Structural drawings. Glass floor to be flush with new finish floor.
- Raised "Wide Bicycle Display" unit per 4/6.4
- Patch and repair existing brick wall to match existing. Contractor to use salvaged brick from demolition phase. Existing transom window to remain.
- Steel stairs with concrete treads to grade. Contractor to field verify elevation changes and confirm with Designer prior to installation of new stairs. 12" treads with 7" maximum risers.
- Not Used
- New dumpster and trash receptacles placed on machine laid asphalt or concrete pad. See Civil drawings.
- Remove existing storefront glazing and door system. Infill existing opening with metal studs and exterior grade sheetrock. Tape and texture new wall to properly prepare surface for Owner provided graphic.

WALL LEGEND

- 5 1/2" metal stud wall, typical unless otherwise noted
- 5 1/2" metal stud wall with R-19 sound batt insulation
- 1.5 hour rated fire wall
- 3 5/8" metal stud wall
- Existing concrete / masonry wall or column to remain
- New concrete / masonry wall to match existing

EQUIPMENT LEGEND PLUMBING LEGEND

E1 Air Compressor	P1 -ADA Compliant Wall Hung Lavatory
E2 -32" Refrigerator	P2 -Floor Mounted Water Closet
E3 -32" Refrigerator	P3 -Wall Hung Urinal
E4 Cardboard Baller No. 1	P4 Bicycle Wash Station
E5 Cardboard Baller No. 2	P5 Drop-In Hand Sink
E6 Existing Dumbwaiter	P6 Drop-In Hand Sink
E7 36" Dual Temp Merchandiser Display	P7 2-Compartment Sink with Drain Board
E8 POS Machine and Printer	P8 Drop-In Hand Sink
E9 Espresso Grinder	P9 Wall Hung Urinal
E10 Espresso Machine	P10 Floor Mounted Water Closet
E11 2-Door Glass Display Refrigerator	P11 ADA Compliant Wall-Hung Lavatory
E12 Coffee Grinder	P12 Dron-In Lavatory
E13 2-Door Under Counter Refrigerator	P13 Dron-In Lavatory
E14 Coffee Brewer	P14 Dron-In Lavatory
E15 2-Door Under Counter Freezer	P15 Dron-In Lavatory
E16 Tea Dispenser	P16 Wall Hung Urinal
E17 Counter Top Blender	P17 Floor Mounted Water Closet
E18 Ice Machine	P18 Floor Mounted Water Closet
E19 Under Counter Dishwasher	P19 Floor Mounted Water Closet
E20 POS Machine and Printer	P20 Floor Mounted Water Closet
E21 POS Machine and Printer	P21 Floor Mounted Water Closet
E22 POS Machine and Printer	P22 Shower Head
E23 POS Machine and Printer	P23 Shower Head
	P24 Shower Head
	P25 Shower Head
	P26 Mop Sink

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400 Nueces
Austin, TX | 78701

PERMIT SET - December 06, 2007

Issue:

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<input type="checkbox"/>	Client Review	19 July 2007
<input type="checkbox"/>	Consultant Review	24 July 2007
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<input type="checkbox"/>	Client Revisions	19 Nov. 2007
<input type="checkbox"/>	Struct. Revisions	18 Feb. 2008
<input type="checkbox"/>	Client Revisions	20 Feb. 2008

Drawing Title:

Ground Floor Plan

Sheet:

1.1

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1 Ground Floor Plan
Scale: 1/8"=1'-0"

ENLARGED RESTROOM KEYNOTES:

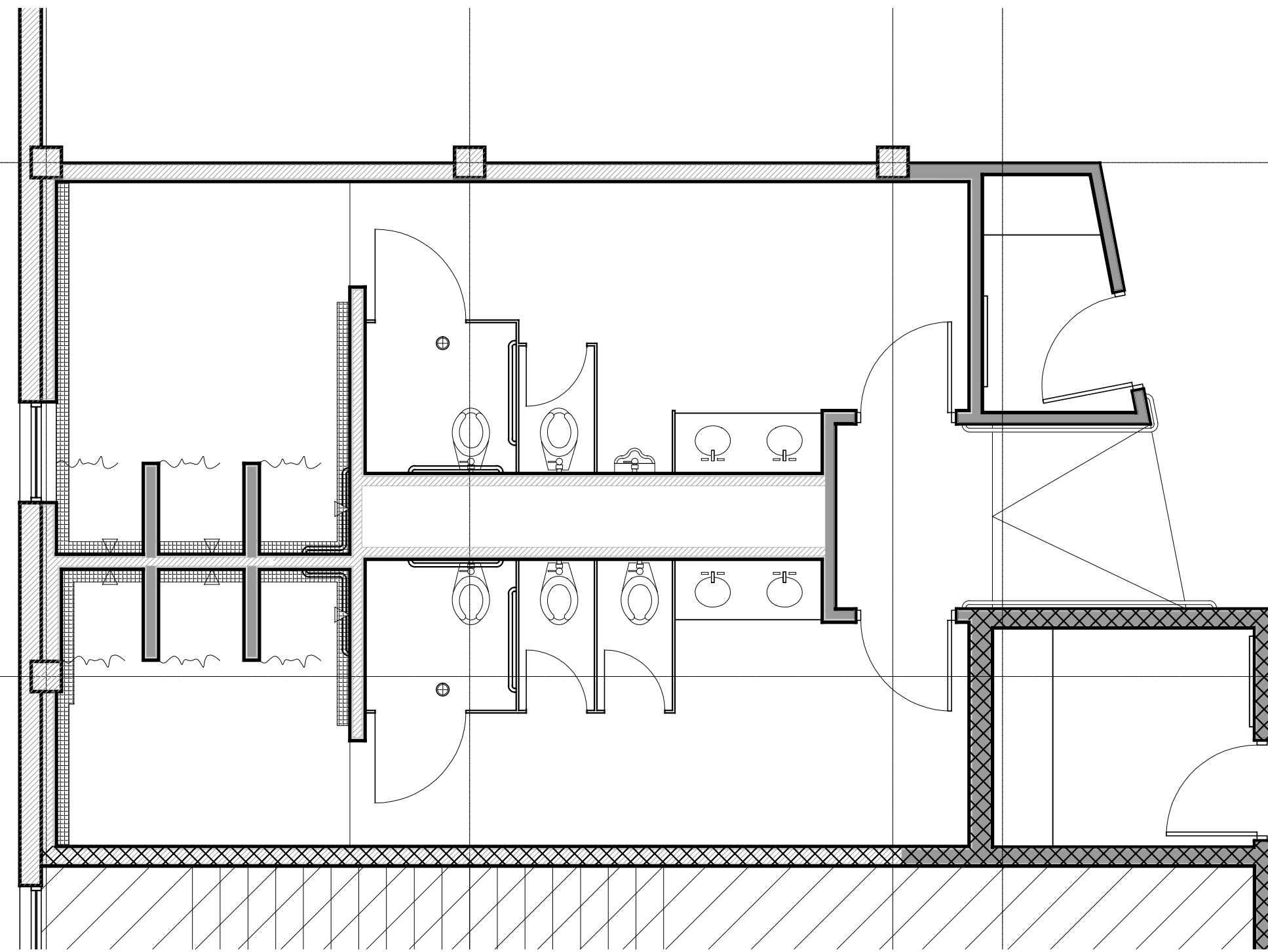
- 18" high stained wood bench seat per 316.5.
- Back It wall hung dressing mirror per 216.5.
- 34" high painted metal handrail per 918.1 similar.
- Concrete ramp sloped a maximum 1" per foot.
- Formica countertop per Finish Schedule sheet 5.3
- Stainless steel urinal privacy screen.
- Stainless steel stall partitions.
- Handicap stall per ADA Compliant sheet 1.0
- Handicap compliant shower seat per sheet 1.0
- Stainless steel shower stall partition.
- Stainless steel shower rod with curtain by Owner.
- Existing trench drain to remain, shown hatched. Consult with MEP drawings.
- Provide non-slip ADA compliant trench grate, typical at shower room.

BASEMENT FLOOR PLAN GENERAL NOTES:

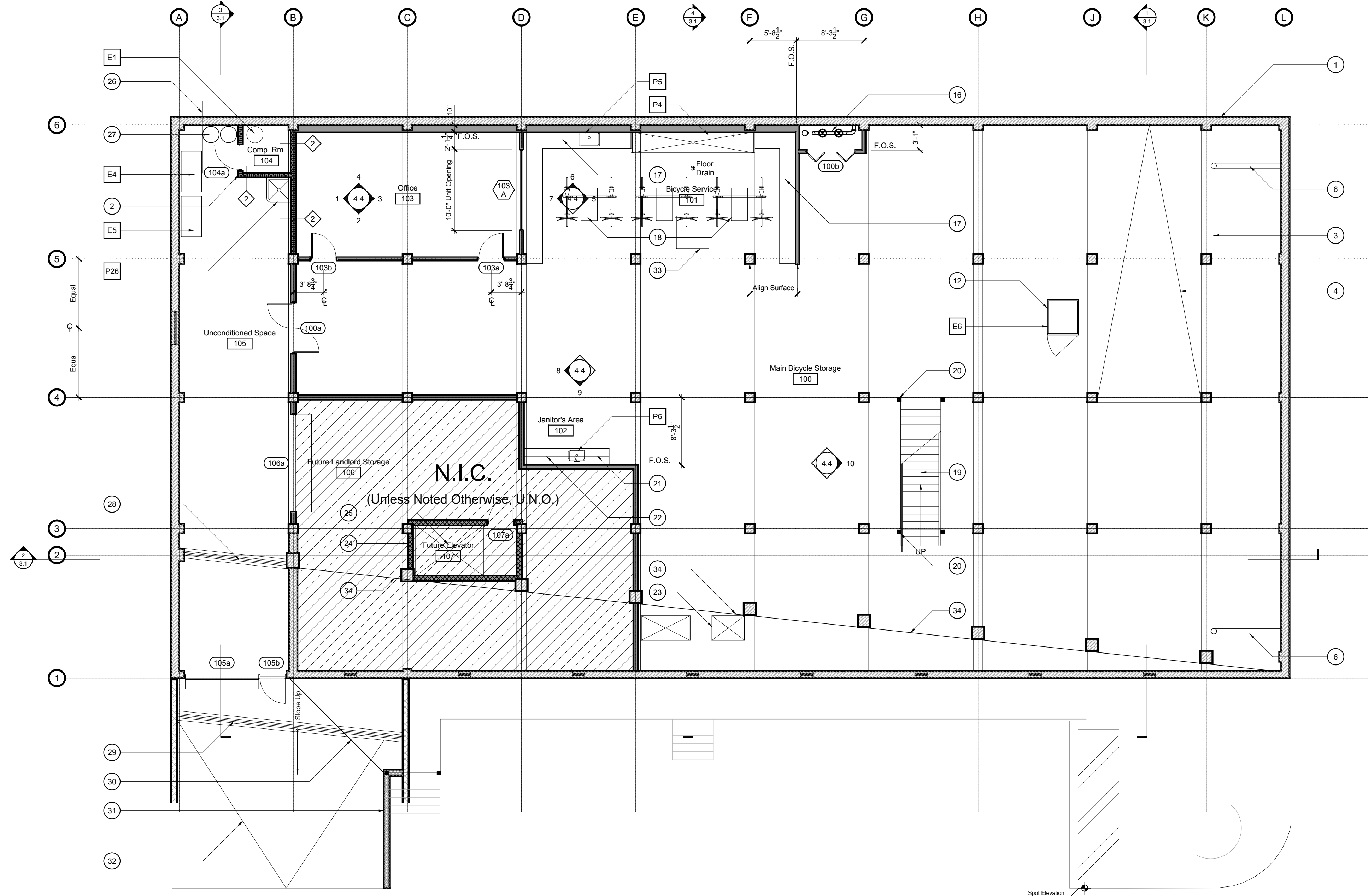
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- New painted gypsum board walls are to be taped and textured with a smooth finish, provide orange peel at ceilings and all other locations U.O.N.
- If applicable, provide floor transitions to match, MHDO to approve type and location.
- GC to provide adequate protection of finish surfaces during installation.
- GC to provide epoxy grout at all tile locations, typ. MHDO to approve type and color.
- All glass to be tempered in areas required by local codes.
- GC to provide portable fire extinguishers as required by local code.
- GC to provide submittals, shop drawings, and/or product data sheets for review and approval by MHDO prior to ordering/installation.
- All cabinetry to rest within a bed of mastic and/or caulk, so as to be securely fastened and seal to the existing finish floor surfaces.
- All Floor Drains indicated are new. Contractor to field verify all existing conditions and coordinate with MEP Engineer.

BASEMENT FLOOR PLAN KEYNOTES:

- Existing concrete and CMU retaining wall to remain. Any required penetrations for mechanical, electrical, and plumbing to be reviewed and approved by the Structural Engineer.
- Provide R-19 sound batts at Compressor Room walls. Seal studs to floor, walls, and ceiling as required to reduce sound transmission through vibration.
- Property Line.
- Area of existing low concrete ceiling to remain. Head height varies from 5-feet minimum to 9-feet maximum.
- Not Used
- Existing exposed 8-inch roof scupper drain (7'-0" above finish slab).
- New concrete retaining wall per Structural drawings.
- Concrete steps from grade to basement level - 11" treads with 7" maximum risers - Contractor to field verify existing grade to basement elevation change prior to framing for steps - Consult with Designer regarding any dimension discrepancies.
- 34" high painted steel handrail per 918.1
- Line of existing raised concrete curb below new finish landing (shown dashed) - Contractor to field verify existing grade to basement elevation change prior to framing for new landing height - to basement elevation change prior to framing for steps - Consult with Designer regarding any dimension discrepancies.
- New concrete steps - 11" treads with 7" maximum risers - Contractor to field verify new landing height - to basement elevation change prior to framing for steps - Consult with Designer regarding any dimension discrepancies.
- See detail 7/6.6
- New wood with plastic laminate storage cubbies - See interior elevations for dimensions and configuration.
- 18-inch high wood clad raised platform over existing concrete curb below (shown dashed) - See detail 7/6.6
- 18-inch high wood clad raised platform over existing concrete curb below (shown dashed) - See detail 7/6.6
- Existing fire main and cutoffs to remain. Provide new enclosure as indicated.
- Wood base cabinets with laminate counter tops per 116/5
- Bicycle service stations provided by owner.
- Concrete and steel stairs from main floor to basement. 11" treads with 7" maximum risers. Contractor to field verify existing floor to floor elevation change prior to framing for steps. Consult with Designer regarding any dimension discrepancies.
- Painted steel columns per Structural drawings.
- Janitor's base cabinet with laminate counter tops per finish schedule. See interior elevations for dimensions and configuration.
- Janitor's upper cabinet per finish schedule. See interior elevations for dimensions and configuration.
- HVAC unit per MEP drawings.
- 1-1/2 hour minimum rated elevator shaft walls. Rate all penetrations as required by local codes.
- Future elevator N.I.C.
- Existing gas supply line from street to remain.
- Water heaters per MEP drawings.
- Existing trench drain to remain, repair or replace metal grate as necessary. Provide back flow preventers from storm drain below. Consult with MEP engineer.
- Existing exterior trench drain to remain, repair or replace metal grate as necessary. Provide back flow preventers from storm drain below. Consult with MEP engineer.
- Line of cantilever balcony above (shown dashed) see main floor plan for dimensions.
- Concrete retaining wall per Structural drawings.
- Existing sloped driveway to basement. Provide water diverter at head of slope per Civil drawings.
- Line of glass floor above (shown dashed). See structural drawings for steel frame and details.
- Line of existing concrete curb to remain.



2 Enlarged Plan | Restrooms
Scale: 1/4" = 1'-0"



1 Basement Floor Plan
Scale: 1/8" = 1'-0"

WALL LEGEND

- 5 1/2" metal stud wall, typical unless otherwise noted
- 5 1/2" metal stud wall with R-19 sound batt insulation
- 1.5 hour rated fire wall
- 3 5/8" metal stud wall
- Existing concrete / masonry wall or column to remain
- New concrete / masonry wall to match existing

EQUIPMENT LEGEND

- E1 Air Compressor
- E2 32" Refrigerator
- E3 32" Refrigerator
- E4 Cardboard Bailer No. 1
- E5 Cardboard Bailer No. 2
- E6 Existing Dumbwaiter
- E7 36" Dual Temp Merchandiser Display
- E8 POS Machine and Printer
- E9 Espresso Grinder
- E10 Espresso Machine
- E11 2-Door Glass Display Refrigerator
- E12 Coffee Grinder
- E13 2-Door Under Counter Refrigerator
- E14 Coffee Brewer
- E15 2-Door Under Counter Freezer
- E16 Tea Dispenser
- E17 Counter Top Blender
- E18 Ice Machine
- E19 Under Counter Dishwasher
- E20 POS Machine and Printer
- E21 POS Machine and Printer
- E22 POS Machine and Printer
- E23 POS Machine and Printer

PLUMBING LEGEND

- P1 -ADA Compliant Wall Hung Lavatory
- P2 -Floor Mounted Water Closet
- P3 -Wall Hung Urinal
- P4 Bicycle Wash Station
- P5 Drop-In Hand Sink
- P6 Drop-In Hand Sink
- P7 2-Compartment Sink with Drain Board
- P8 Drop-In Hand Sink
- P9 Wall Hung Urinal
- P10 Floor Mounted Water Closet
- P11 ADA Compliant Wall-Hung Lavatory
- P12 Dron-In Lavatory
- P13 Dron-In Lavatory
- P14 Dron-In Lavatory
- P15 Dron-In Lavatory
- P16 Wall Hung Urinal
- P17 Floor Mounted Water Closet
- P18 Floor Mounted Water Closet
- P19 Floor Mounted Water Closet
- P20 Floor Mounted Water Closet
- P21 Floor Mounted Water Closet
- P22 Shower Head
- P23 Shower Head
- P24 Shower Head
- P25 Shower Head
- P26 Mop Sink

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PERMIT SET - December 06, 2007

Issue:

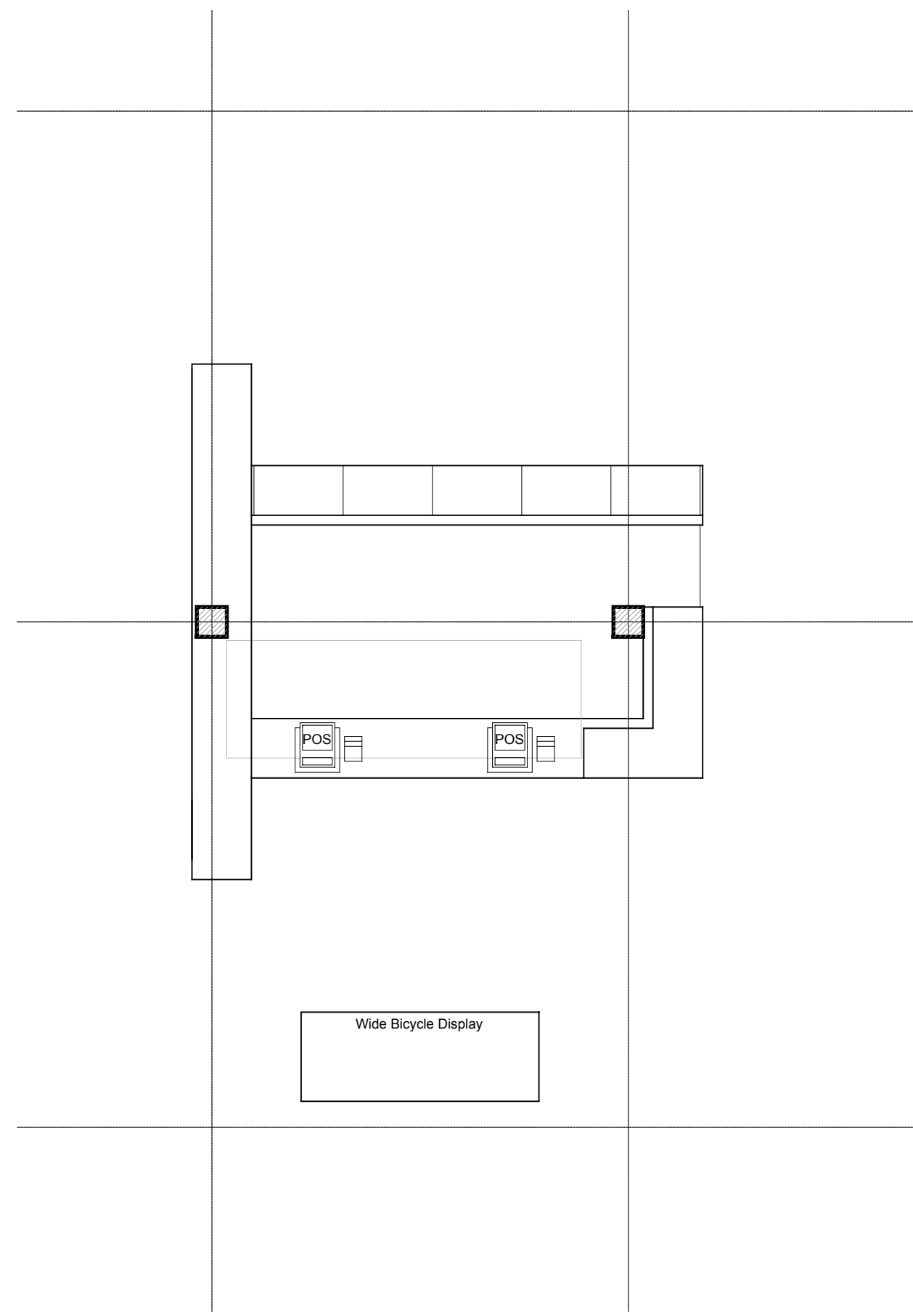
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Consultant Mtg	19 June 2007
Client Review	19 July 2007
Consultant Review	24 July 2007
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Health Dept. Rev.	31 Oct. 2007
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Client Revisions	20 Feb. 2008

Drawing Title:
Basement Floor Plan

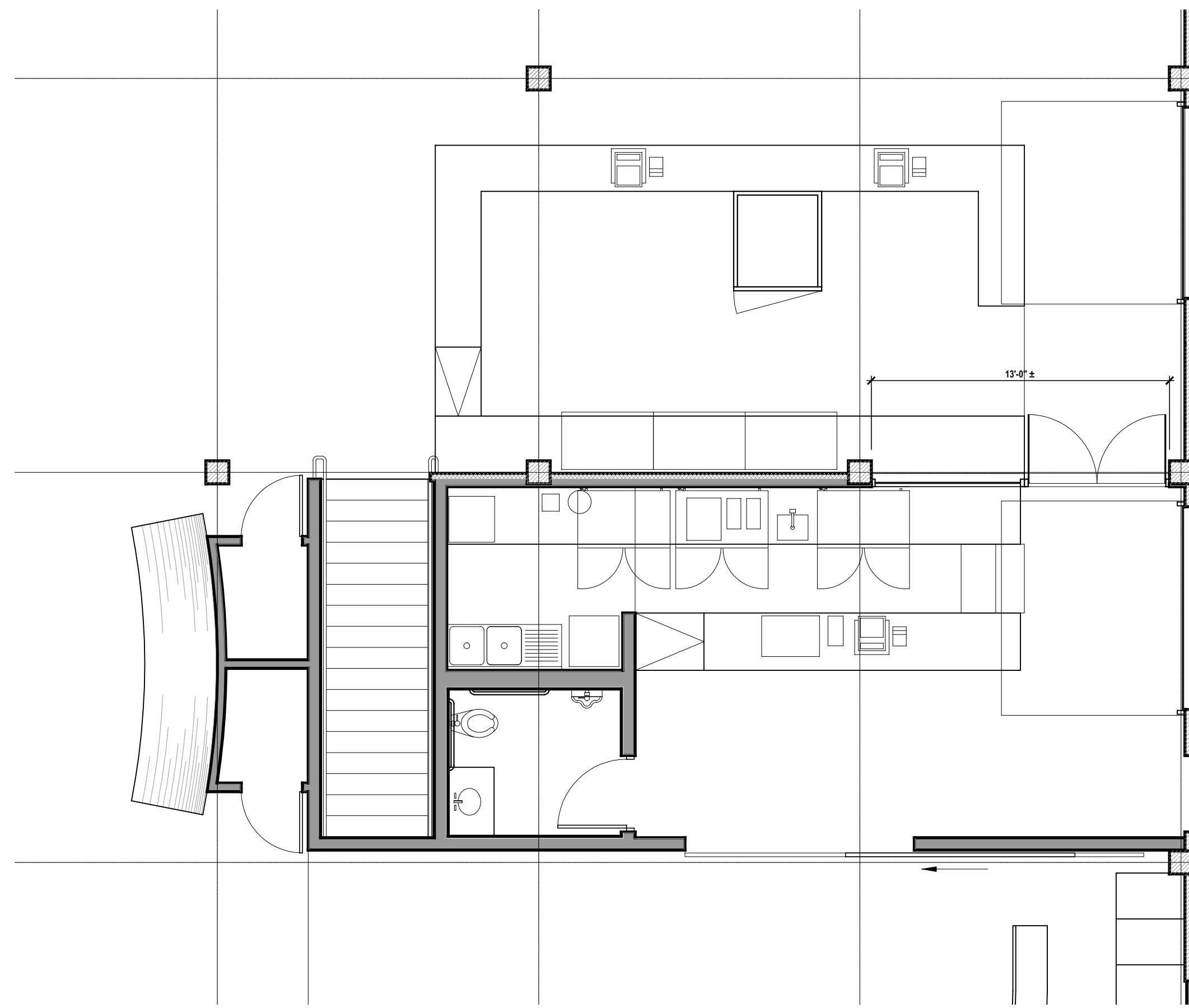
Sheet:
1.2

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3 Enlarged Plan | POS
Scale: 1/4"=1'-0"



2 Enlarged Plan | Coffee Shop/Bicycle Service
Scale: 1/4"=1'-0"

ENLARGED FLOOR PLAN GENERAL NOTES:

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- New painted gypsum board walls are to be taped and textured with a smooth finish, provide orange peel at ceilings and all other locations U.O.N.
- If applicable, provide floor transitions to match MHDO to approve type and location.
- GC to provide adequate protection of finish surfaces during installation.
- GC to provide epoxy grout at all tile locations, typ. MHDO to approve type and color.
- All glass to be tempered in areas required by local codes.
- GC to provide portable fire extinguishers as required by local code.
- GC to provide submittals, shop drawings, and/or product data sheets for review and approval by MHDO prior to ordering/installation.
- All cabinetry to rest within a bed of mastic and/or caulk, so as to be securely fastened and seal to the existing finish floor surfaces.
- All Floor Drains indicated are new. Contractor to field verify all existing conditions and coordinate with MEP Engineer.
- The Coffee Shop will comply with Texas Food Establishment Rules (TFER) and all City of Austin codes and ordinances.

ENLARGED FLOOR PLAN KEYNOTES:

- 36" high custom cabinet per 7/6.5. See interior elevations for configuration.
- Line of overhead door (shown dashed).
- 36" high counter top with built-in adjustable shelves per 5/6.5. See interior elevations for configuration.
- 36" high back of house counter top with built-in adjustable shelves per 8/6.5. See interior elevations for configuration.
- 36" high custom coffee shop cabinet with built-in adjustable shelves per 9/6.5. See interior elevations for configuration.
- 18" high wood bench seat per 3/6.6. See interior elevations.
- Custom wood "velodrome" wall per x/x.x. See interior elevations for dimensions and configuration.
- Patch and repair brick wall as necessary to match existing. Contractor to use salvaged brick.
- Rolling tool cabinets supplied by owner.
- 36" high custom glass top cabinet with built-in drawers per 1/6.5. See interior elevations for configuration.
- Line of concrete patch at removed stairs (shown dashed). See structural drawings for details.
- 36" high custom cabinet with built-in drawers and adjustable shelves per 2/6.5. See interior elevations for configuration.
- 42" high steel guardrail per 1/6.2. See interior elevations for vertical support spacing.
- 48" high custom merchandise cabinet with built-in drawers and adjustable shelves per 3/6.5. See interior elevations for dimensions and configuration.
- 34" high painted steel handrail per 2/6.2.
- Concrete and steel stairs from main floor to basement. 11" treads with 7" maximum risers. Contractor to field verify existing floor to floor elevation change prior to framing for steps. Consult with Designer regarding any dimension discrepancies.
- Flip top countertop. Open below.

ROOF PLAN KEYNOTES:

- Painted steel awning per Structural drawings and detail 1/3.2.
- Existing through wall scupper to remain. Patch and repair any deficient water proofing as necessary.
- Existing concrete parapet top cap to remain, typical.
- Existing steel and wood awning to remain. Patch and repair flat roof membrane and roof to wall flashing as necessary.
- Existing flat roofing and water proof membrane to remain. Patch and repair any leaks and roof to parapet flashing as necessary.
- Provide additional support under new HVAC units per Structural engineer's recommendations.
- New and relocated HVAC units per MEP drawings.
- Line of future roof top bar shown dashed.
- New skylight per specifications.

ENLARGED RESTROOM KEYNOTES:

WALL LEGEND

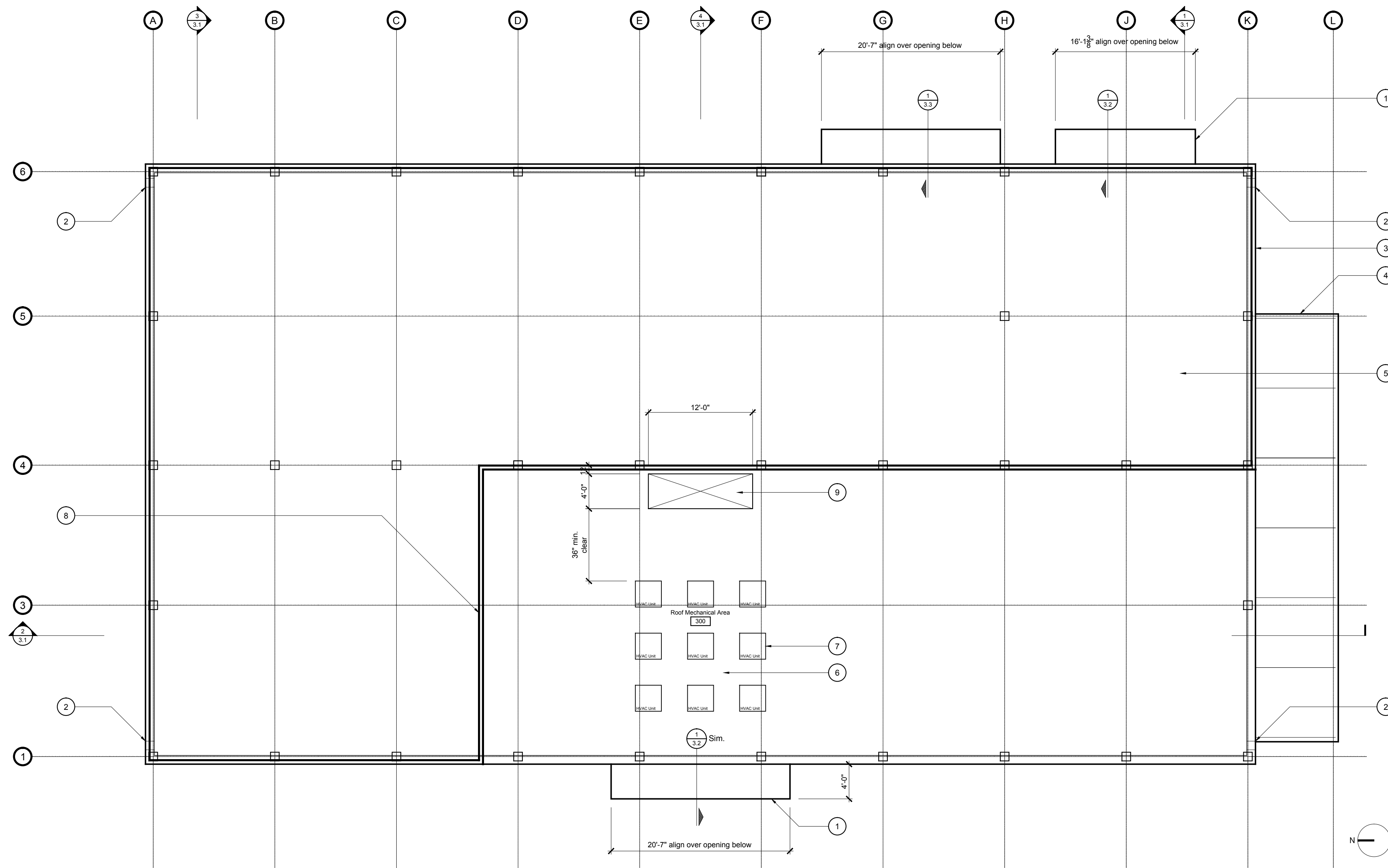
- 5 1/2" metal stud wall, typical unless otherwise noted
- 5 1/2" metal stud wall with R-19 sound batt insulation
- 1.5 hour rated fire wall
- 3 5/8" metal stud wall
- Existing concrete / masonry wall or column to remain
- New concrete / masonry wall to match existing

EQUIPMENT LEGEND

- E1 Air Compressor
- E2 -32" Refrigerator
- E3 -32" Refrigerator
- E4 Cardboard Bailer No. 1
- E5 Cardboard Bailer No. 2
- E6 Existing Dumbwaiter
- E7 36" Dual Temp Merchandiser Display
- E8 POS Machine and Printer
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- E18 Ice Machine
- E19 Under Counter Dishwasher
- E20 POS Machine and Printer
- E21 POS Machine and Printer
- E22 POS Machine and Printer
- E23 POS Machine and Printer

PLUMBING LEGEND

- P1 -ADA Compliant Wall Hung Lavatory
- P2 -Floor Mounted Water Closet
- P3 -Wall Hung Urinal
- P4 Bicycle Wash Station
- P5 Drop-In Hand Sink
- P6 Drop-In Hand Sink
- P7 2-Compartment Sink with Drain Board
- P8 Drop-In Hand Sink
- P9 Wall Hung Urinal
- P10 Floor Mounted Water Closet
- P11 ADA Compliant Wall-Hung Lavatory
- P12 Drop-In Lavatory
- P13 Drop-In Lavatory
- P14 Drop-In Lavatory
- P15 Drop-In Lavatory
- P16 Wall Hung Urinal
- P17 Floor Mounted Water Closet
- P18 Floor Mounted Water Closet
- P19 Floor Mounted Water Closet
- P20 Floor Mounted Water Closet
- P21 Floor Mounted Water Closet
- P22 Shower Head
- P23 Shower Head
- P24 Shower Head
- P25 Shower Head
- P26 Mop Sink



1 Roof Plan
Scale: 1/8"=1'-0"

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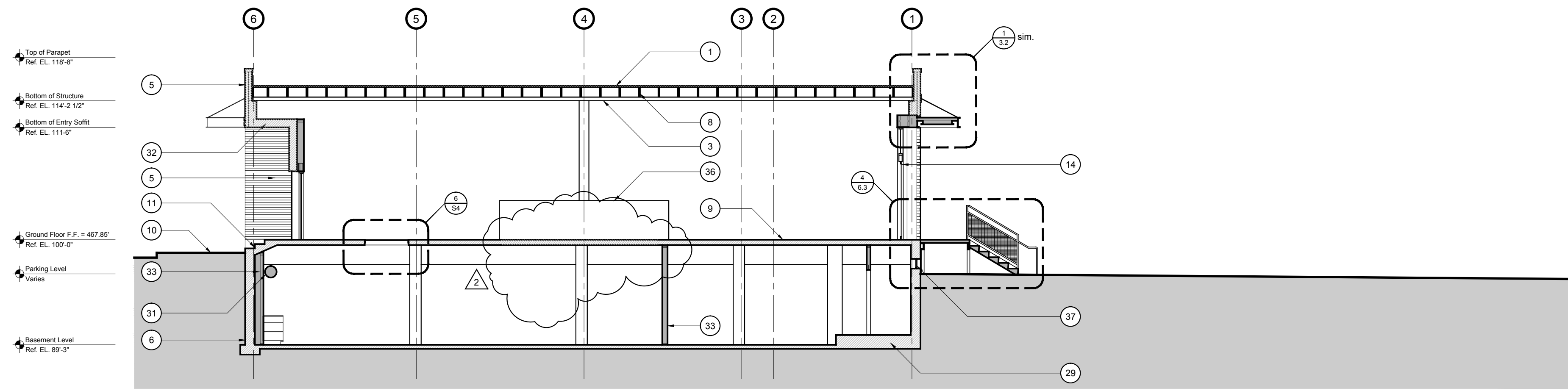
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Client Review	14 June 2007
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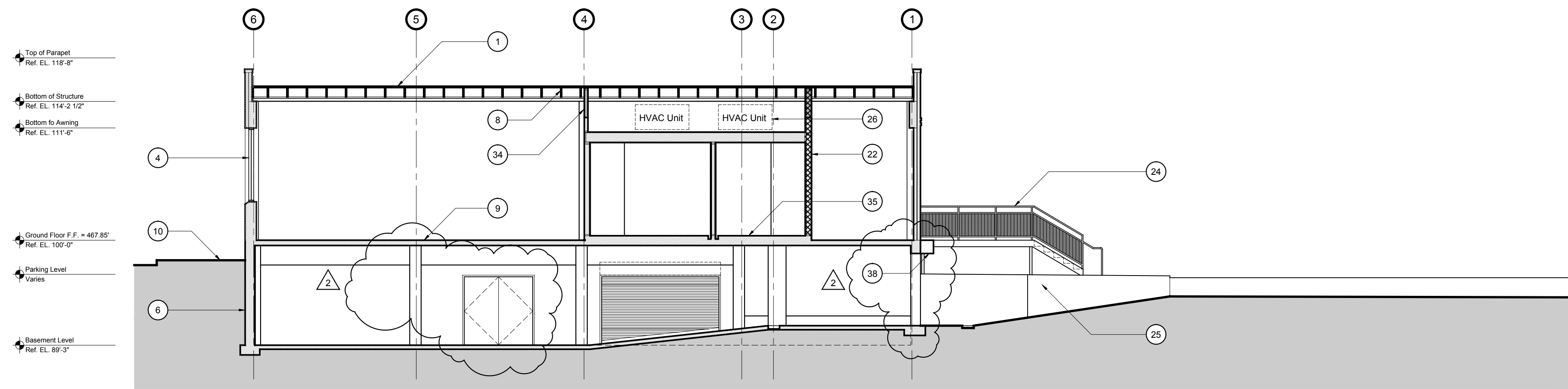
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Roof Plan

Sheet:
1.3

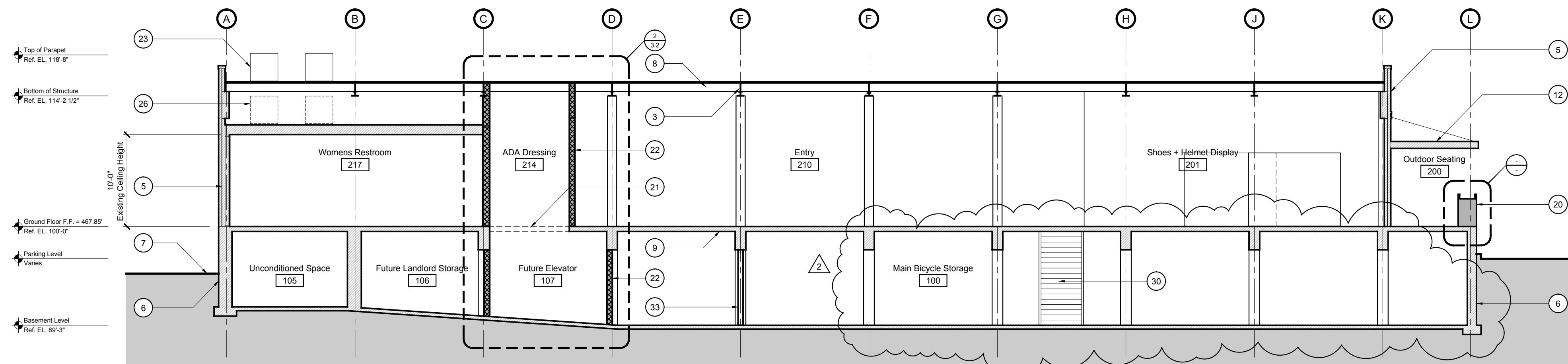
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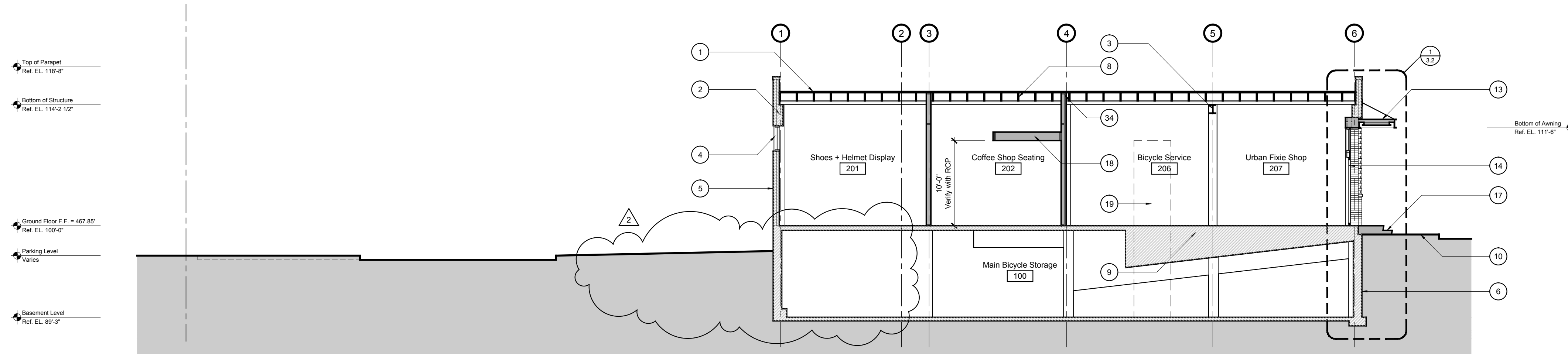
4 Building Section
Scale: 1/8"=1'-0"



3 Building Section
Scale: 1/8"=1'-0"



2 Building Section
Scale: 1/8"=1'-0"



1 Building Section
Scale: 1/8"=1'-0"

GENERAL BUILDING SECTION NOTES:

- Keynotes located on this sheet are for this sheet only.
- The dimensions on this sheet are based off of the face of the existing stud framing. All dimensions are to face of stud, end edge of awning, or centerline of support.

BUILDING SECTION KEYNOTES:

- Existing flat roofing and water proof membrane. Contractor to patch and repair as necessary.
- Existing concrete beam to remain.
- Existing steel beam to remain.
- Existing painted steel window to remain. Contractor to repair or replace any deficient panes of glass and restore the operable portions to proper working order. Consult with Designer as necessary.
- Existing exterior brick facade to remain unless indicated otherwise on the demolition plan. Contractor to field verify the existing brick condition and patch &/or repair any deficiencies. Consult with Designer on site prior to any repairs.
- Existing concrete/CMU basement wall to remain.
- Line of existing grade to remain.
- Existing wood roof structure to remain.
- Existing concrete slab to remain.
- Existing concrete sidewalk to remain.
- Existing concrete steps to sidewalk to remain undisturbed.
- Existing steel and wood awning to remain.
- Painted steel awning per Structural drawings and detail 13/3.1. Provide galvanized sheet metal roof to wall flashing are required per roofing manufacturer's specifications.
- Shorefront glazing system. Window/Door Schedules, typical.
- Door per Door Schedule, typical.
- Concrete landing and steps per plan. See Structural drawings for details.
- Concrete steps to existing concrete sidewalk per plan. See Structural drawings for details.
- Suspended ceiling framing per Reflected Ceiling Plan. See Structural drawings for details.
- Existing dumbwaiter to remain. See detail x/x.x.x.
- 42" high stained wood planter per 5/6.1
- Saw cut slab for future elevator, see Structural drawings for details. Provide new wood false floor per Structural details.
- 1.5 hr. rated firewall for future occupancy separation per plan. Provide fire blocking as required by state and local codes.
- Relocated HVAC condensing units on existing roof. Contractor to verify with Structural engineer any additional supports or detailing required to support all the new and relocated units per the MEP engineer.
- 42" high painted steel guardrail and handrail per detail 7/6.1
- Retaining wall per Structural drawings.
- Existing HVAC units to remain. Contractor to inspect and clean as necessary to bring units back to MEP engineer's designed efficiency.
- Existing roll-up garage door hardware to be replaced. See Door Schedule.
- New stopped-in fixed glass panels set with in existing basement openings. Contractor to field verify all existing openings prior to ordering materials. Provide tempered glass in areas required by local codes.
- Existing raised platform to remain undisturbed.
- Concrete and steel stairs from ground floor to basement. 11" treads with 7" maximum risers. Contractor to field verify existing floor to floor elevation change prior to framing for steps. Consult with Designer regarding any dimension discrepancies.
- Exposed mechanical duct per MEP drawings. Hold duct as close to structure as possible.
- Existing stucco soffit to remain. Patch and repair as necessary.
- New wall framing per plan.
- Extend existing wall framing to existing roof deck. Align finish wall surface.
- Existing raised concrete slab at restrooms to remain u.o.n.
- Custom cabinet, see interior elevations. Align finish cabinet with finish wall surface below.
- Existing basement foundation vent opening to remain. u.o.n.
- Exterior wall mount roll-up garage door per Door Schedule.

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Strud. Revisions	18 Feb. 2008
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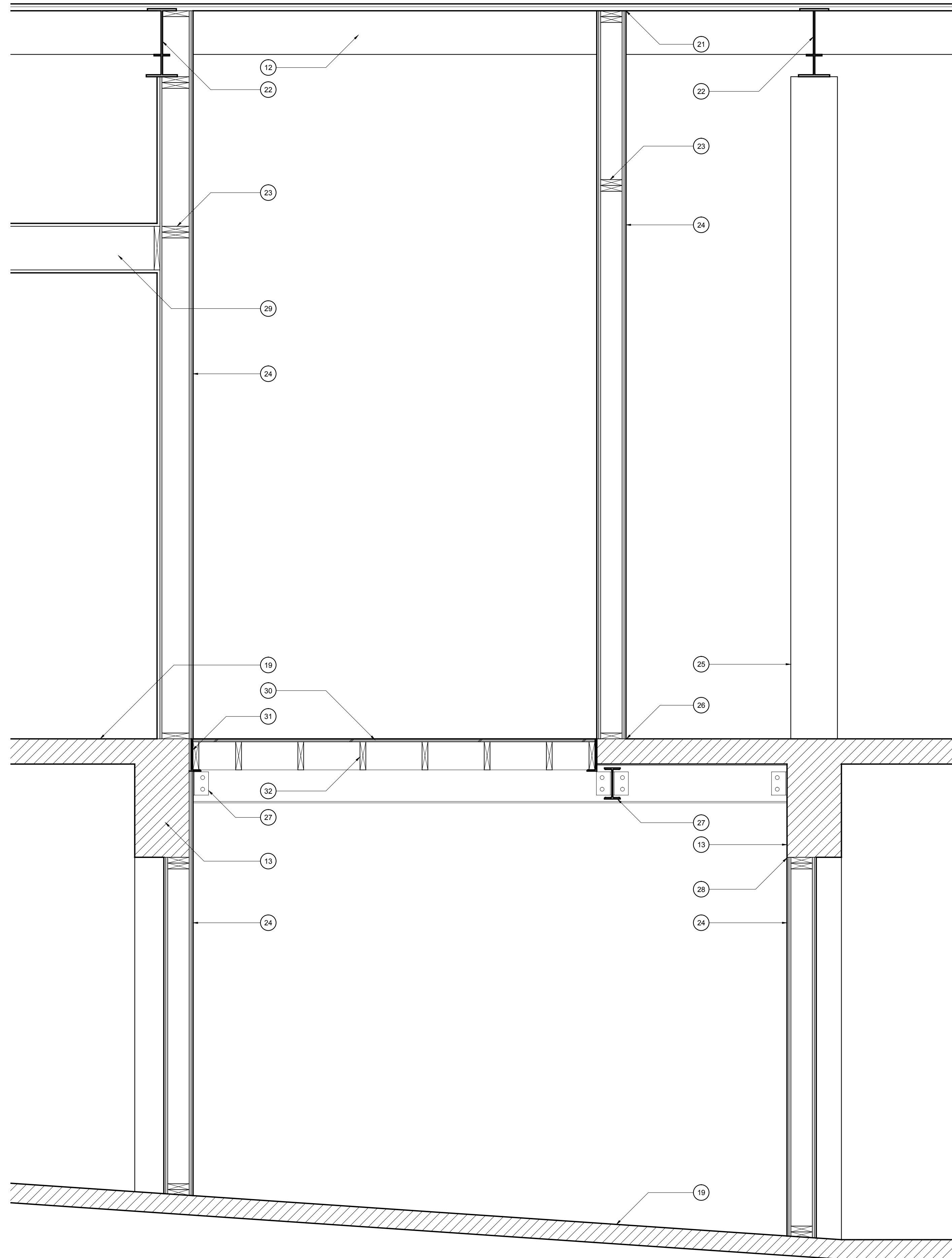
Drawing Title:

Building Sections

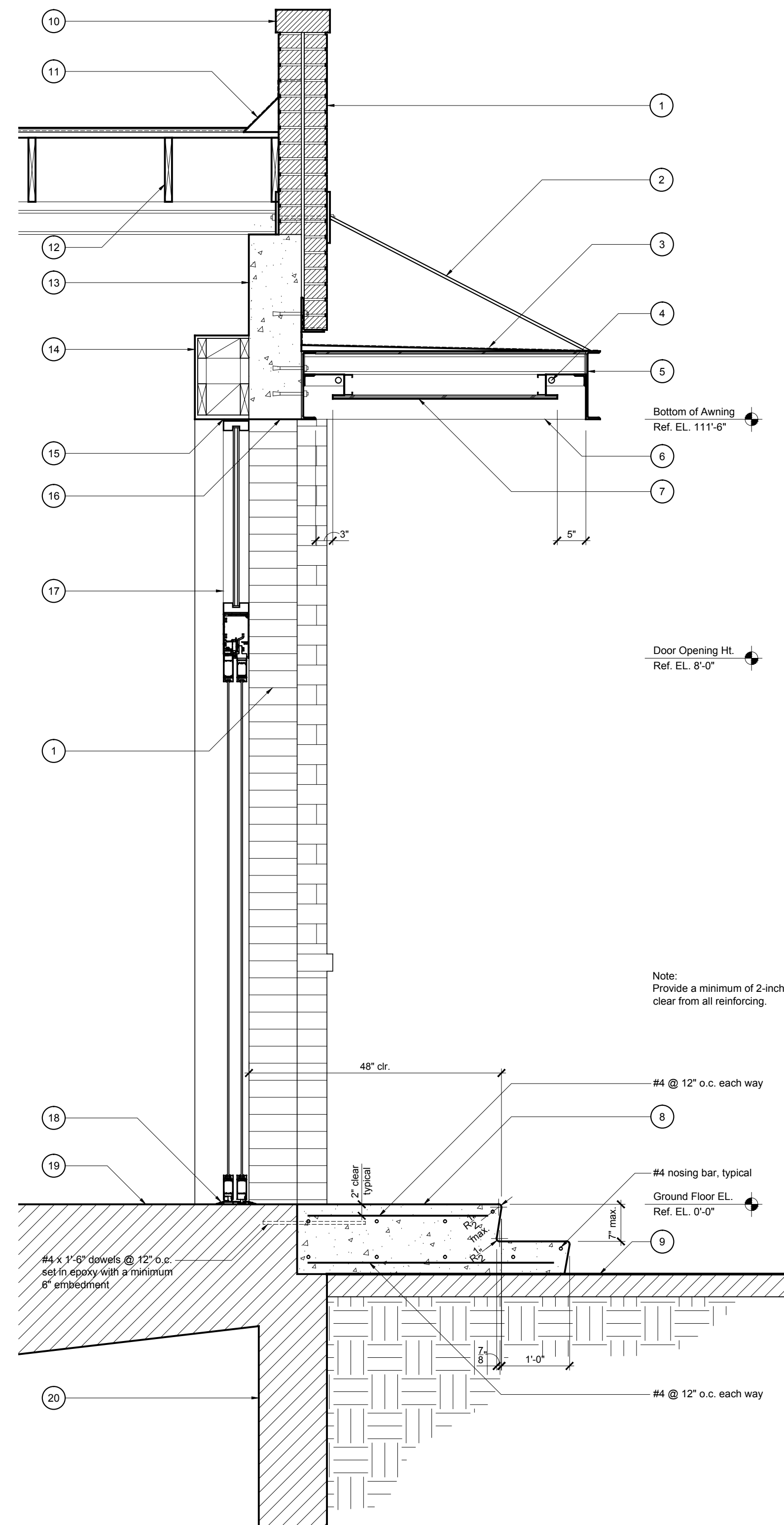
Sheet:

3.1

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2 Wall Section
Scale: 3/4"=1'-0"



1 Wall Section
Scale: 3/4"=1'-0"

GENERAL WALL SECTION NOTES:

1. Keynotes located on this sheet are for this sheet only.
2. The dimensions on this sheet are based off of the face of the existing stud framing. All dimensions are to face of stud, and edge of awning, or centerline of support.

WALL SECTION KEYNOTES:

1. Existing brick facade to remain. Contractor to power wash and clean existing brick veneer, patch and repair any deficient bricks and joints as necessary.
2. Painted steel hanger rod and plates per Structural drawings.
3. Single ply flat roof membrane over water proofing per roof manufacturer's specifications. Slope membrane 1/4" per foot minimum. Provide galvanized sheet metal roof to wall flashing per manufacturer's specifications.
4. Neon tube awning lighting per Reflected Ceiling Plan.
5. Painted steel awning frame and panel framing per Structural drawings.
6. Line of steel awning frame beyond. Align bottom of steel frame with existing concrete beam.
7. Painted metal panel over plywood substrate per Structural drawings. Provide concealed fasteners at metal panel.
8. Concrete slab and steps to existing concrete sidewalk. New finish slab to align with existing finish slab. Drill and dowel new to existing per Structural drawings.
9. Existing concrete sidewalk to remain.
10. Existing concrete parapet cap to remain undisturbed.
11. Existing cant block and roof to wall flashing to remain. Contractor to field verify water proofing membrane and roof flashing, patch and repair as necessary.
12. Existing wood rafters and roof decking to remain undisturbed. Contractor to patch and repair any deficient decking as necessary.
13. Existing concrete beam to remain.
14. Painted gypsum sheet rock wall finish and wood framing (tape and texture).
15. Provide sealant at storefront to gypsum wall board intersection, typ.
16. Exposed bottom of existing concrete beam.
17. Storefront glazing and automatic sliding doors per Door Schedule.
18. 1/2" maximum threshold. See automatic sliding door manufacturer's specifications.
19. Existing concrete slab to remain undisturbed, unless otherwise noted.
20. Existing concrete retaining basement wall to remain.
21. Extend 1-hr. fire wall separation wall to underside of existing roof decking. Provide fire caulking as necessary.
22. Existing steel beam to remain.
23. Fire blocking at fire wall per state and local codes.
24. 1.5 hr. rated fire separation wall per wall type "X". Fire tape all joints and seal all penetrations as required by state and local codes.
25. Existing concrete columns to remain undisturbed.
26. Fire caulking at sill plate typical at fire separation wall.
27. Steel beam per Structural drawings at new elevator opening.
28. Fire caulk at fire separation wall to existing concrete beam per state and local codes.
29. Existing wood ceiling framing to remain. Provide fire blocking adjacent to fire separation wall as necessary.
30. 1-1/8" plywood subfloor at new elevator opening. Subfloor to sit 3/4" below existing concrete slab.
31. Steel support angle at new elevator opening per Structural drawings.
32. New 2x wood floor framing at new elevator opening. Provide blocking as necessary.

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400 Nueces
Austin, TX | 78701

PERMIT SET - December 06, 2007

Issue:

Client Review	14 June 2007
Consultant Mng	19 June 2007
Client Review	19 July 2007
Consultant Review	24 July 2007
Client Review	20 August 2007
Client Review	14 Sept. 2007
Bid Set	22 Oct. 2007
Permit	29 Oct. 2007
Permit no 2	6 Dec. 2007
Construction	-
Health Dept. Rev.	31 Oct. 2007
Client Revisions	19 Nov. 2007
Strud. Revisions	18 Feb. 2008
Client Revisions	20 Feb. 2008

Drawing Title:
Building Sections

Sheet:
3.2

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