



Will Withers
W3 Commercial
512.924.1074 (M)
PO Box 26682
Austin, Texas 78755
will@w3commercial.com

FOR SALE

105 North Llano Street, Fredericksburg, Texas 78624

107 North Llano Street, Fredericksburg, Texas 78624

203 East Austin Street, Fredericksburg, Texas 78624

Asking Price: \$7,496,293.00

Property Summary:

Location: Northeast quadrant of Main St. (Highway 290) and N. Llano St. (North State Highway 16). Frontage on N. Llano St. and E. Austin St.

Total Acreage: 0.842 acres.

Existing Improvements: Three buildings with significant onsite surface parking and an undeveloped building pad site.

- 105 N. Llano St: 2,843 sf. Built in 1885 (same 0.17 ac lot as 107 N. Llano). 2nd story office.
- 107 N. Llano St: 2,327 sf. Built in 1995 (same 0.17 ac lot as 105 N. Llano).
- 203 E. Austin St: 1,148 sf. Built in 1900 (0.672 ac lot).

Parking: 31 bays (12 covered including 1 enclosed garage/storage area). Possibly more unmarked.

Zoning: Central Business District (Historic District & Historic Shopping District designations).

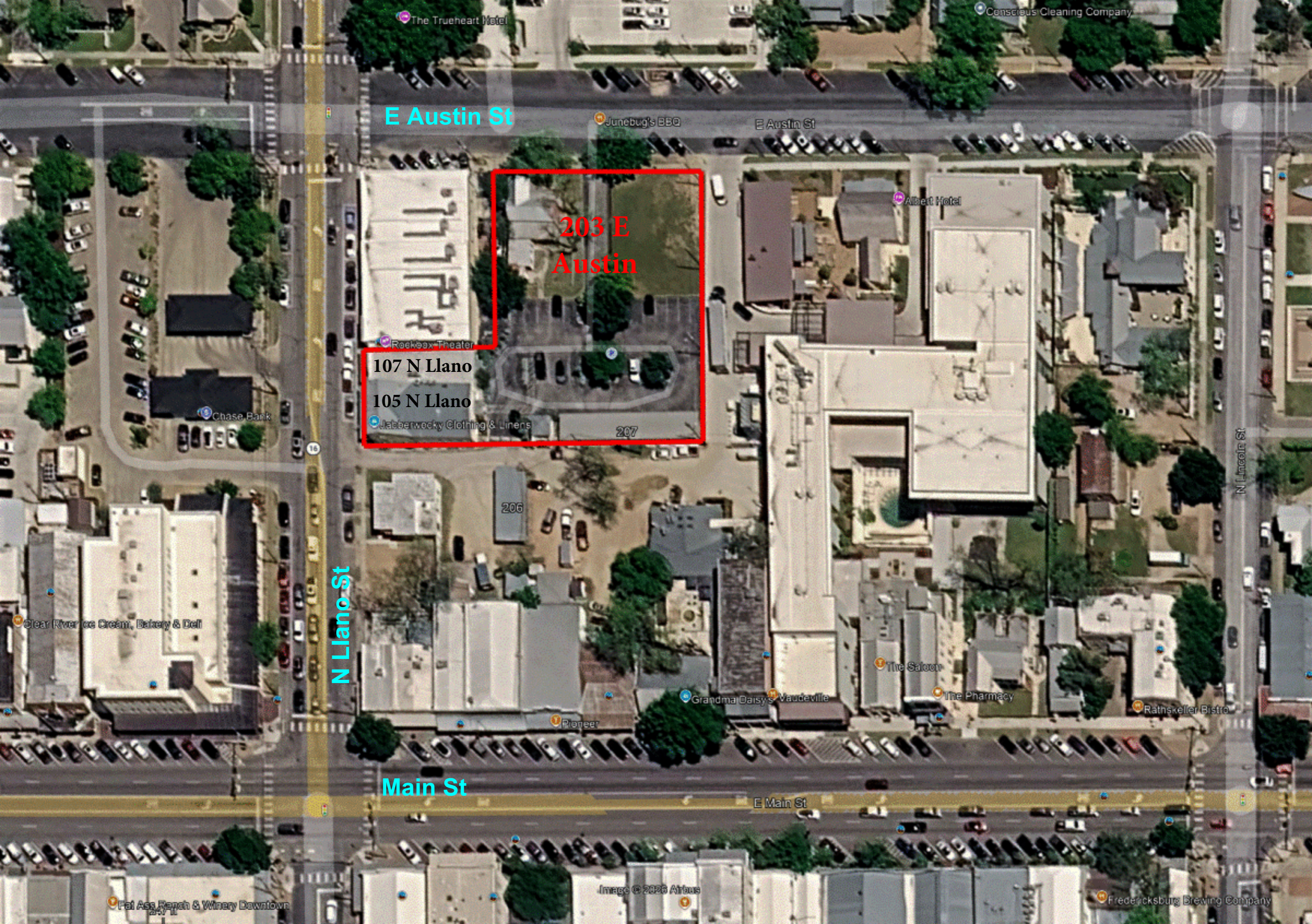
Opportunity: Rare 0.84 acre infill tract just off “Main and Main” with an opportunity to pursue a more dense, mixed-use redevelopment. Reposition and lease well-maintained buildings during hold and entitlement phases. Surrounded by vibrant restaurants, museums, shops, bars, hotels, and many other interests within walking distance.

Utilities: City of Fredericksburg water/wastewater. Atmos Gas. Central Texas Electric Co-op.

Floodplain: None. Zone X.

Note: Survey includes 103 N. Llano Street which is the same owner. Not currently for sale.

ALL INFORMATION IS PRELIMINARY AND MUST BE CONFIRMED WITH A CIVIL ENGINEER



E Austin St

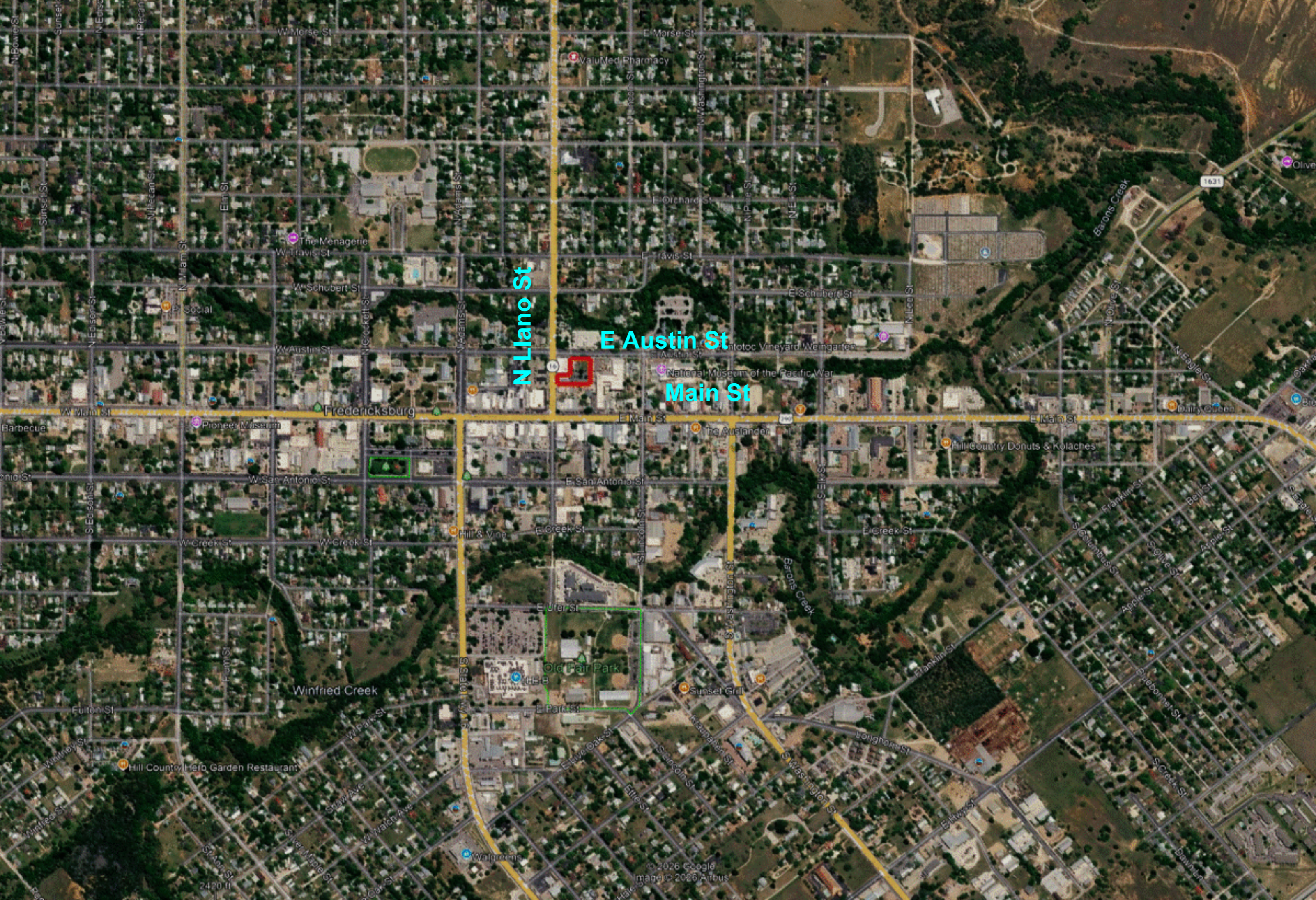
203 E Austin

107 N Llano

105 N Llano

N Llano St

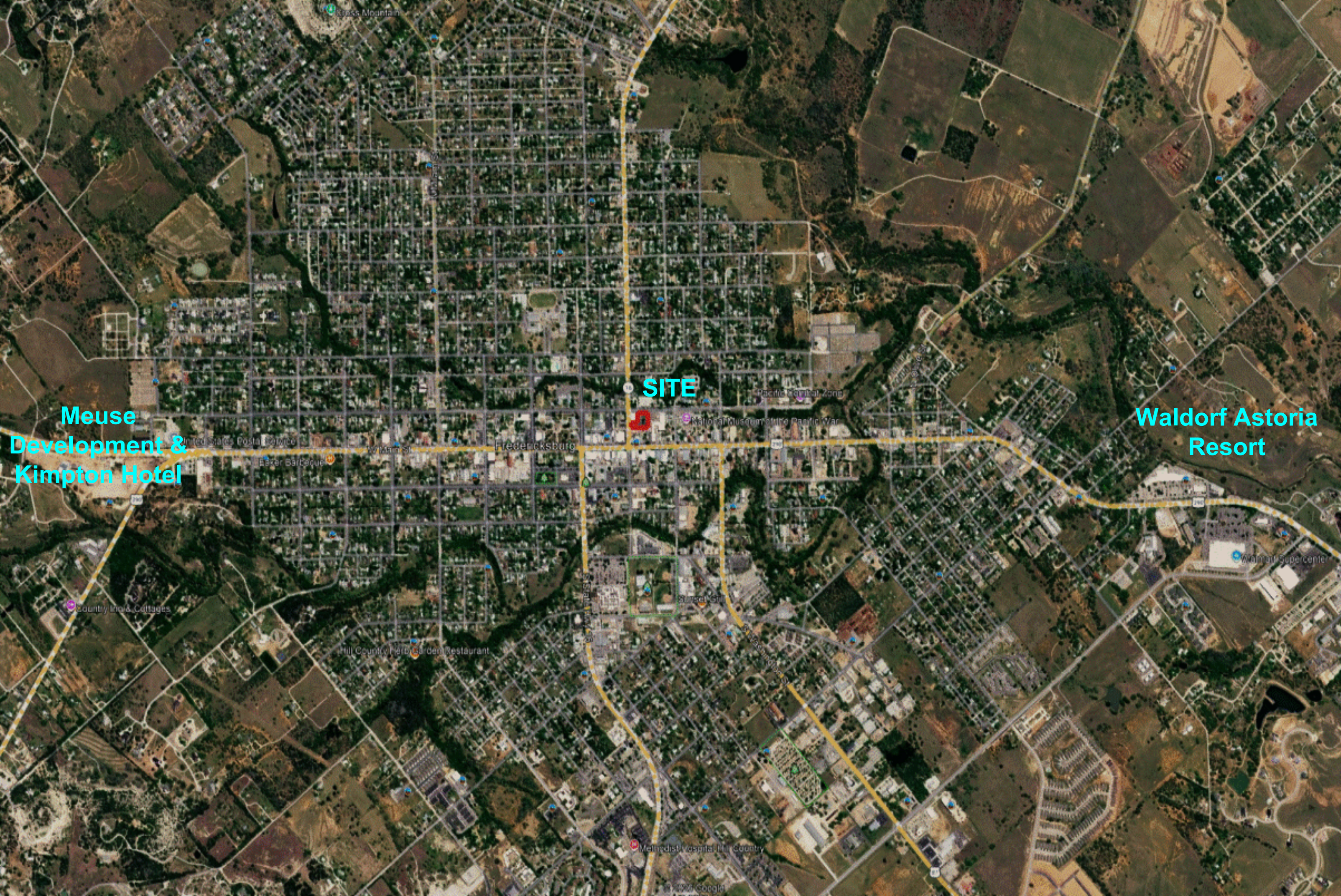
Main St



N Llano St

E Austin St
Main St





SITE

**Meuse
Development &
Kimpton Hotel**

**Waldorf Astoria
Resort**

Fredericksburg

National Museum of the Pacific War

St. Regis Hotel

Methodist Hospital Hill Country

Walmart Supercenter

United States Postal Service

Exxon Barbecue

Hill Country Herb Garden Restaurant

Country Inns & Cottages

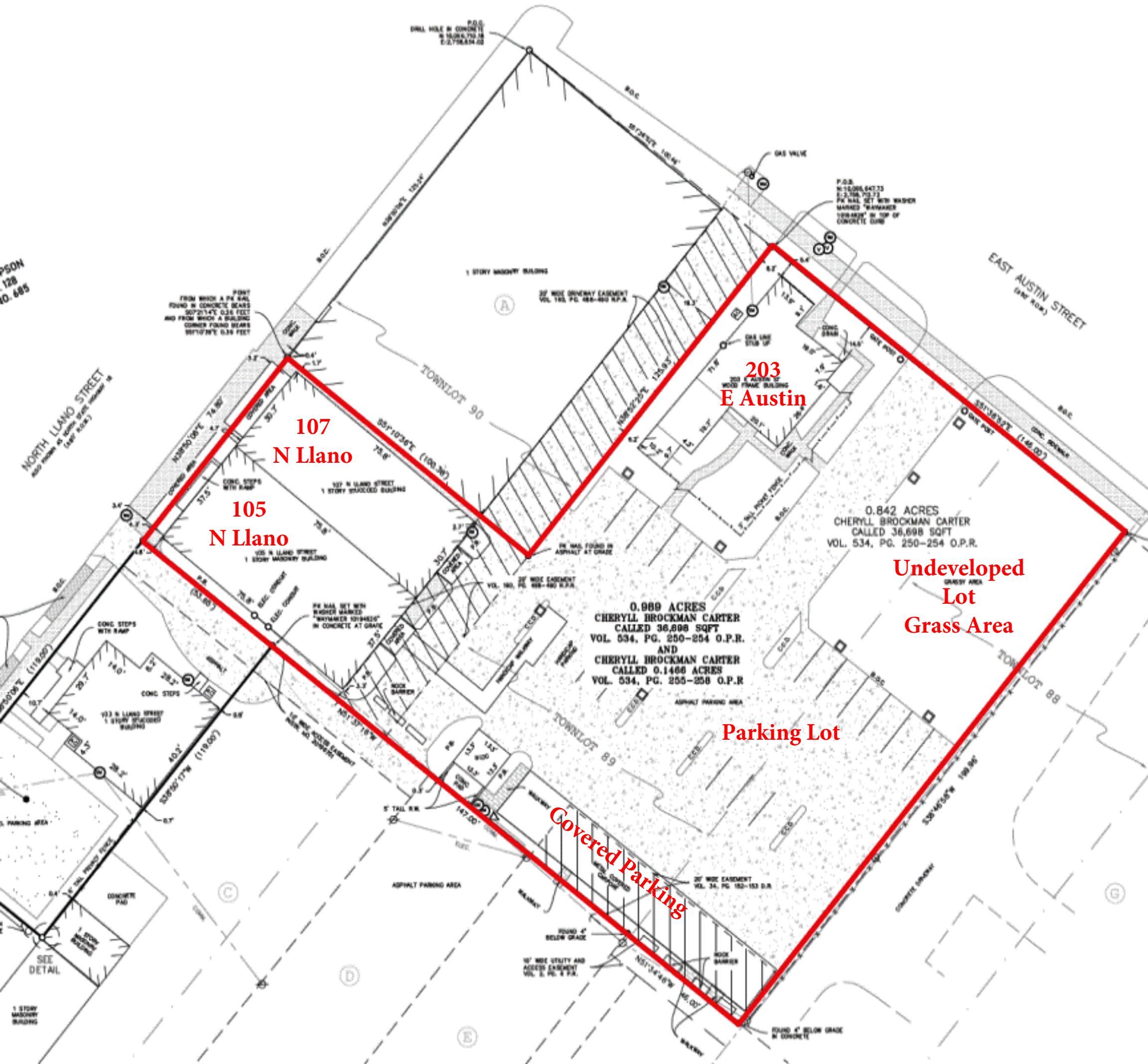
Pacific National Bank

Rocky Mountain

© 2023 Google

MAP SHOWING
TWO TRACTS OF LAND
SITUATED IN THE CITY OF FREDERICKSBURG,
GILLESPIE COUNTY, TEXAS.
PREPARED AT THE REQUEST OF
CHERYLL BROCKMAN CARTER.

BEING ALL OF TOWNLOT NO. 88, A PORTION OF TOWNLOT NO. 89 AND A PORTION OF TOWNLOT NO. 90, TOWNLOTS AS SHOWN ON THE MAP OF FREDERICKSBURG, TEXAS BY THE GERMAN EMIGRATION COMPANY, BEING ALL OF THAT CERTAIN CALLED 36,898 SQUARE FOOT TRACT OF LAND DESCRIBED IN A CONVEYANCE TO CHERYLL BROCKMAN CARTER, FOUND OF RECORD IN VOLUME 534, PAGES 250-254 OF THE OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS, AND
BEING A PORTION OF TOWNLOT 175 AS SHOWN ON THE MAP OF FREDERICKSBURG, TEXAS BY THE GERMAN EMIGRATION COMPANY, BEING ALL OF THAT CERTAIN CALLED 0.1466 ACRE TRACT OF LAND DESCRIBED IN A CONVEYANCE TO CHERYLL BROCKMAN CARTER, FOUND OF RECORD IN VOLUME 534, PAGES 255-258 OF SAID OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS.



THIS SURVEY DOES NOT CONSTITUTE AN ABSTRACT OF TITLE BY THE SURVEYOR AND THE SURVEYOR MAKES NO REPRESENTATION AS TO THE CONDITION OF TITLE. THE ITEMS INCLUDED ON THE TITLE SEARCH CONDUCTED BY HILL COUNTRY TITLES, NO. 14 OF NO. 228-187 OVER A PERIOD OF TIME FROM MARCH 5, 1932 TO MARCH 21, 2025 AT 5:30AM PERTAINING TO AFFECTING EASEMENTS, SET BACK LINES, INTRUSIONS OR PROTRUSIONS (THAT ARE SPECIFICALLY LOCATABLE) ARE SHOWN HEREON. AFFECTING EASEMENTS IS DEEMED AS BEING BASED ONLY ON AN OBJECTIVE ASSESSMENT OF WHERE THE EASEMENT PLUMS PURSUANT TO THE DRAWING INSTRUMENT. ADDITIONAL NOTES CONCERNING THE ITEMS ARE AS FOLLOWS:
36,898 SQUARE FOOT TRACT -
RIGHT-OF-WAY EASEMENT, VOLUME 34, PAGES 153-153 B.R. (SHOWN HEREON)
NOTICE - HISTORICAL DISTRICT - RECORDED UNDER REGISTER NO. 2024287 O.P.R.
SLIANG ACRE TRACT -
AGREEMENT, VOLUME 148, PAGES 317-320 B.P.A. (NOT SPECIFICALLY PLOTTABLE)
NOTICE - HISTORICAL DISTRICT - RECORDED UNDER REGISTER NO. 2024287 O.P.R.

105 N Llano





105 N Llano 2nd Story Office



107 N Llano



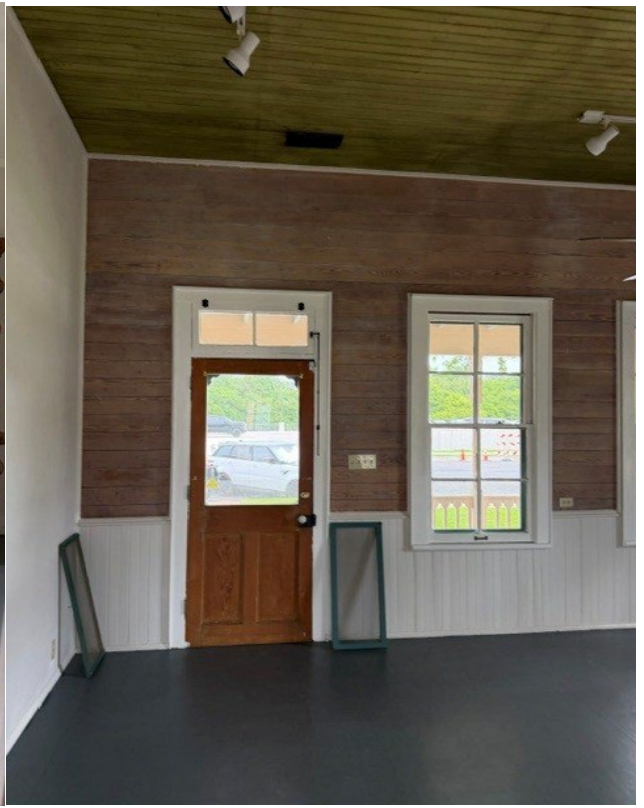


203 E Austin









203 E Austin Basement

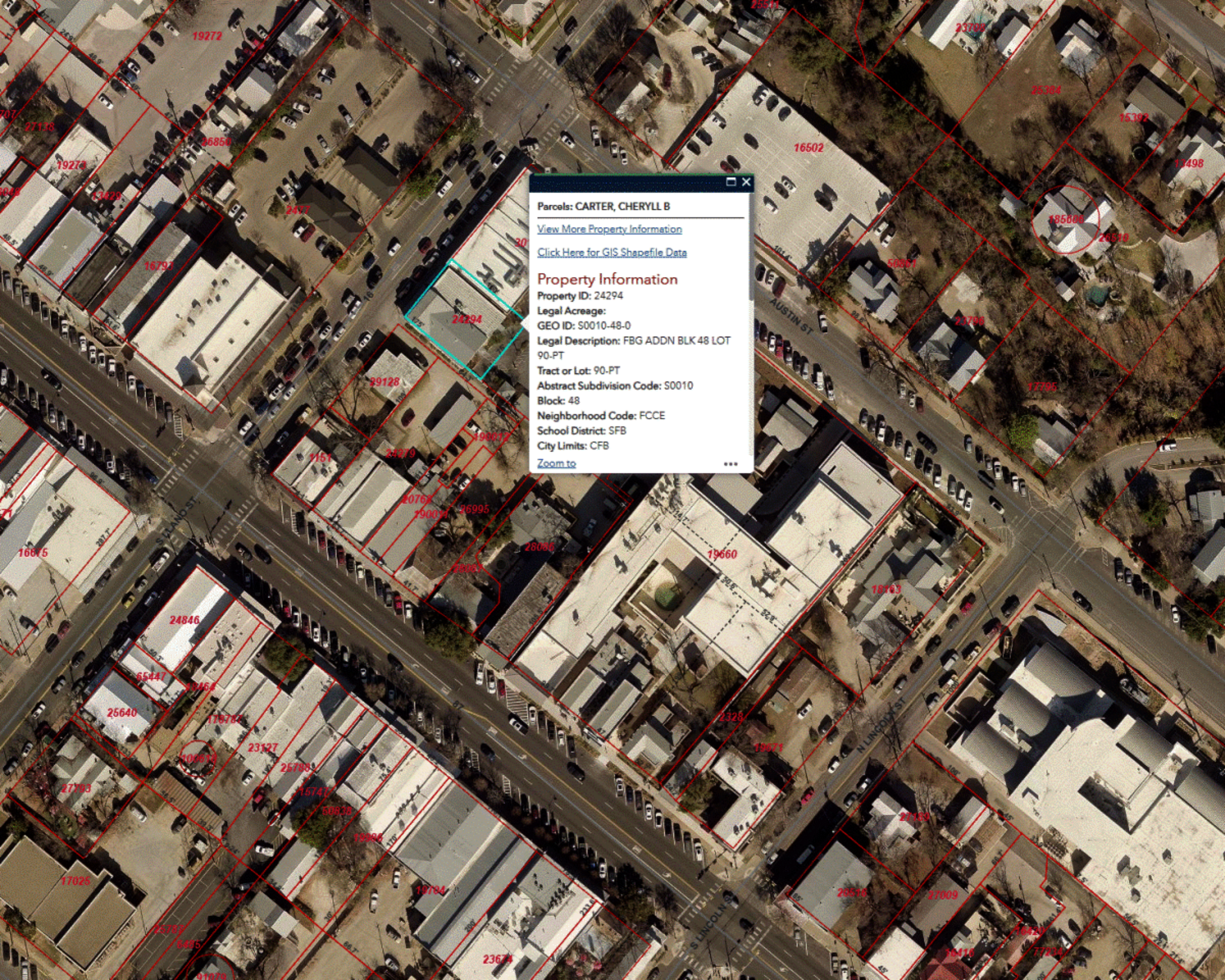


Back Parking Area









Parcels: CARTER, CHERYLL B

[View More Property Information](#)

[Click Here for GIS Shapefile Data](#)

Property Information

Property ID: 24294

Legal Acreage:

GEO ID: S0010-48-0

Legal Description: FBG ADDN BLK 48 LOT 90-PT

Tract or Lot: 90-PT

Abstract Subdivision Code: S0010

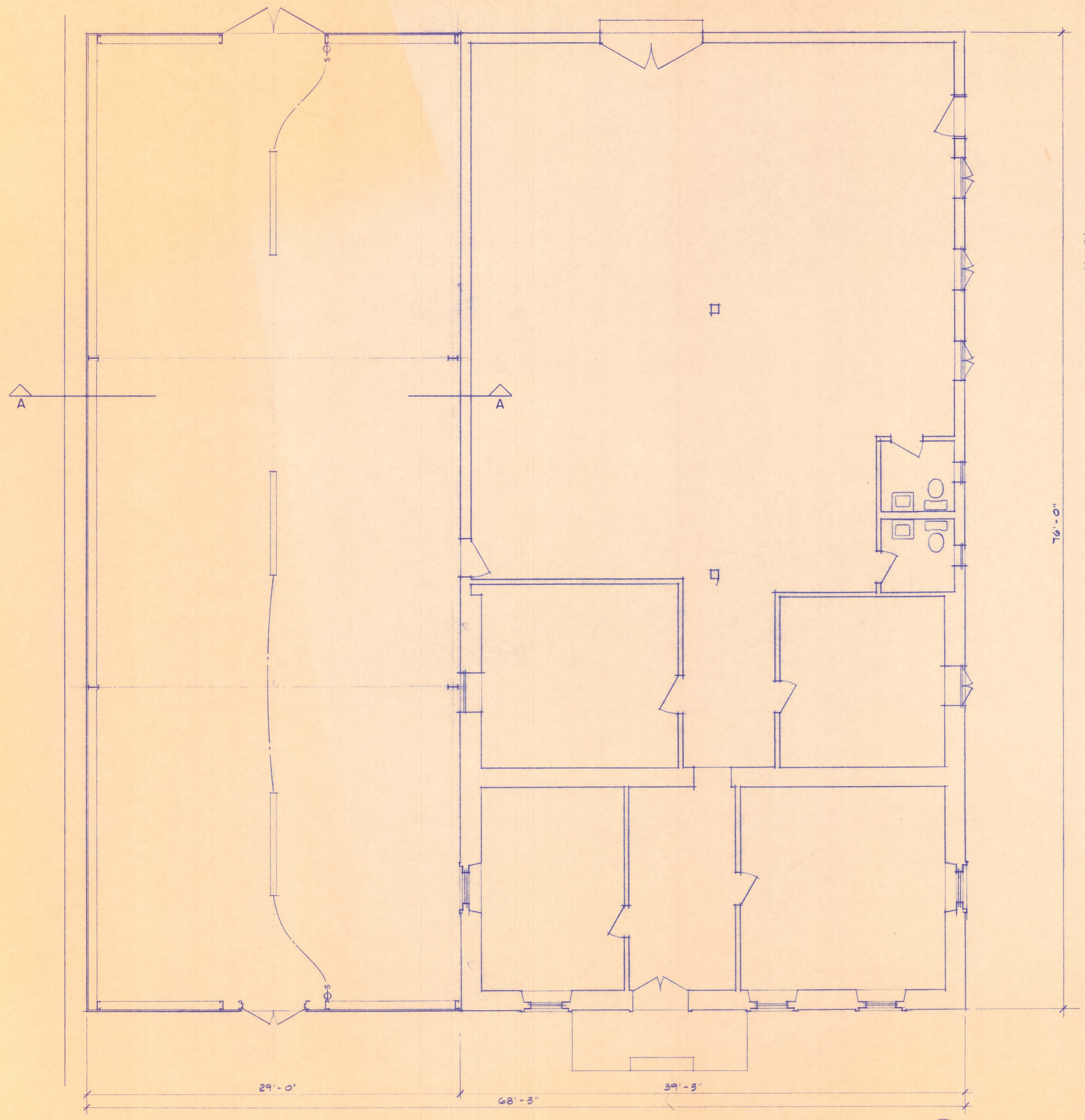
Block: 48

Neighborhood Code: FCCE

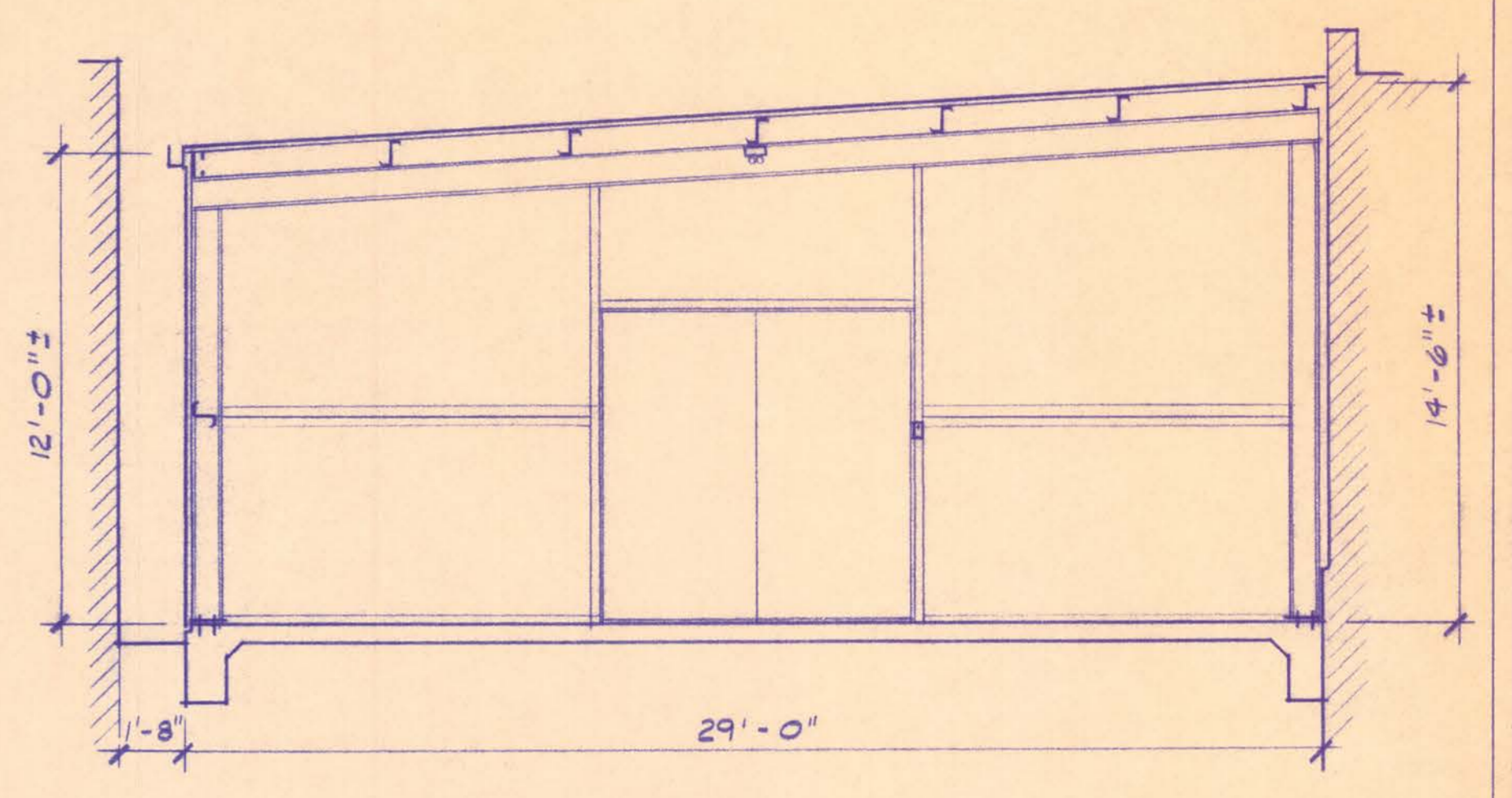
School District: SFB

City Limits: CFB

[Zoom to](#) ...



FIRST FLOOR PLAN
SCALE 1/4" = 1' - 0"



BUILDING SECTION A-A
SCALE 1/4" = 1' - 0"

RANDY STEHLING
RESIDENTIAL AND COMMERCIAL DESIGN

101 E. DRIFTWOOD, #42 • FREDERICKSBURG, TEXAS 78624 • 210-997-5830

REHABILITATION OF

105 NORTH LLANO STREET

FREDERICKSBURG
TEXAS 78624

DATE	11 - 9 - 92
PROJECT NUMBER	92 - 10
REVISED	

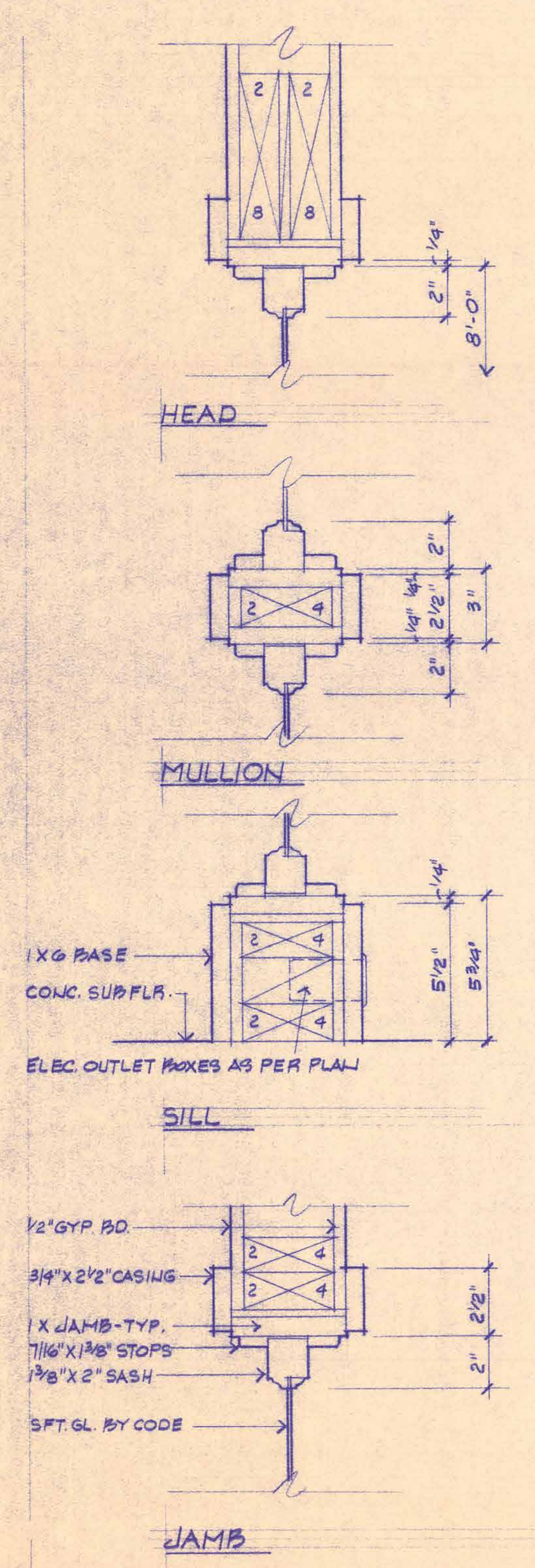
EXISTING CONDITIONS FLOOR PLAN
SHEET NUMBER

EXISTING CONDITIONS 11 / 9 / 92

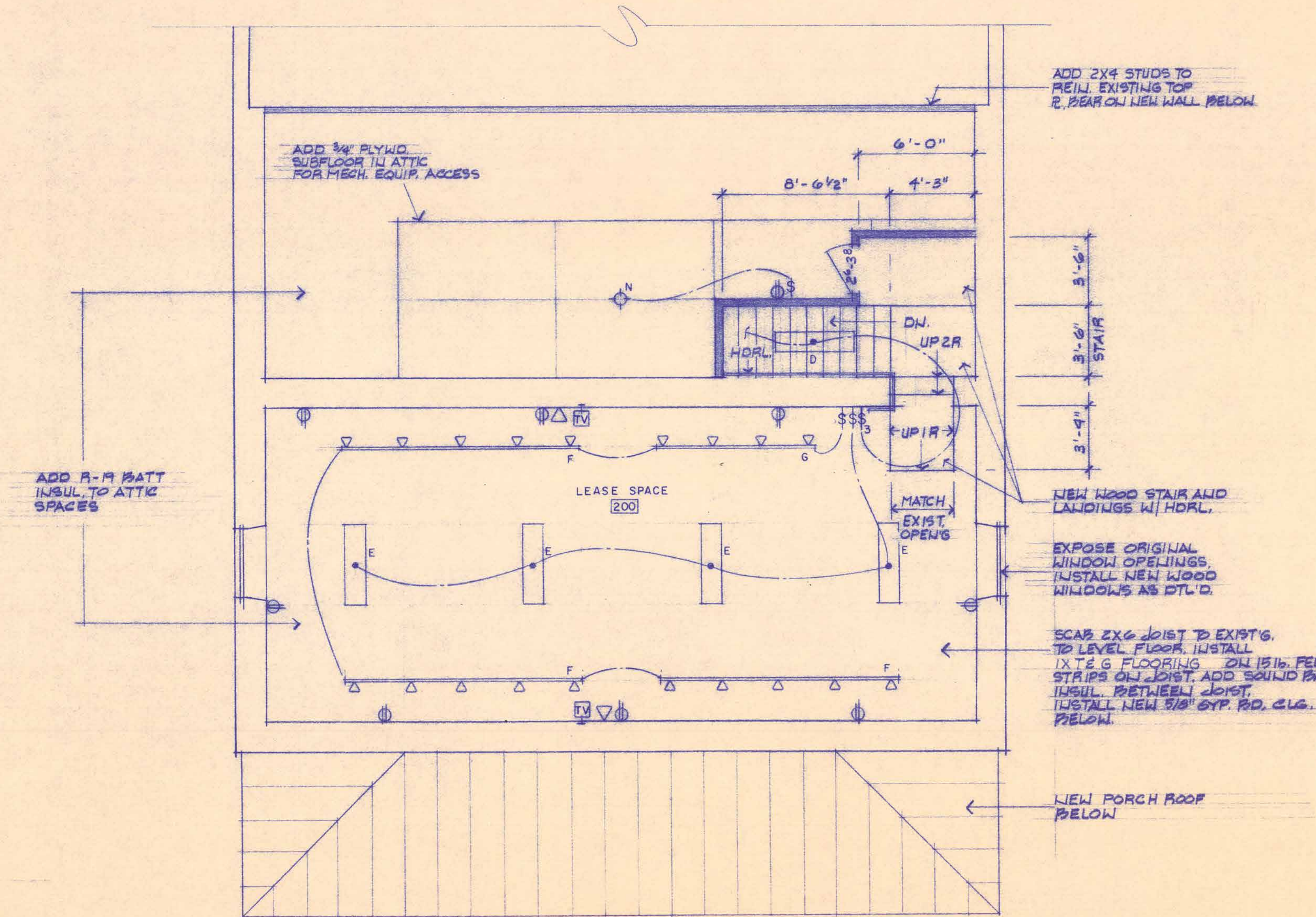
Date	
Hours	
Name	

LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	CATALOG NO.	TYPE	FINISH	LENS	MOUNTING	LAMPS	VOLTS	REMARKS
A	INDY	12T-W-21T-W	INCAH.	WHITE		SURF. CLG.	5-75 PAR 30FL	120	5 Q150 FIXTURES PER TRACK
B	INDY	8T-W-21T-W	INCAH.				4-75 PAR 30 FL		4 Q150 " " "
C	MIDWEST	F414A	FLUOR.		ACRYLIC		2-F40CW		
D	MIDWEST	F412A	FLUOR.		ACRYLIC	↓	2-F40CW		
E	MIDWEST	FLA440	FLUOR.		ACRYLIC	RECESSED	4-F40CW		FLANGE TYPE FIXTURE
F	INDY	12T-W-21T-W	INCAH.			SURF. CLG.	5-75 PAR 30 FL		5 Q150 FIXTURES PER TRACK
G	INDY	8T-W-21T-W	INCAH.				4-75 PAR 30 FL		4 Q150 " " "
H	INDY	12T-W-21T-W	INCAH.	↓			4-75 PAR 30 FL	↓	4 Q150 " " "
I									
J									
K									
L									
M									
N									
O									
P									
Q									
R									
S									
T									
U									
V									
W									
X	DUAL LITE	K55-EP	INCAH.	WHITE	ACRYLIC	CEILING	INCL.	120	EMERGENCY EXIT FIXTURE
Y									
Z									



INTERIOR VIEW WINDOW DTLS.
 3" = 1'-0"



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

RANDY STEHLING
 RESIDENTIAL AND COMMERCIAL DESIGN
 101 E. DRIFTWOOD, #42 • FREDERICKSBURG, TEXAS 78624 • 210-997-5830

REHABILITATION OF
105 NORTH LLANO STREET
 FREDERICKSBURG
 TEXAS 78624

DATE
PROJECT NUMBER
REVISED

SHEET NUMBER
A-2
 OF

Date	
Hours	
Name	

PRELIMINARY
NOT FOR CONSTRUCTION

RANDY R. STEHLING
14396

RANDY R. STEHLING, AIA
ARCHITECT

307 W. MAIN, SUITE 102, FREDERICKSBURG, TEXAS 78624 210-997-0383

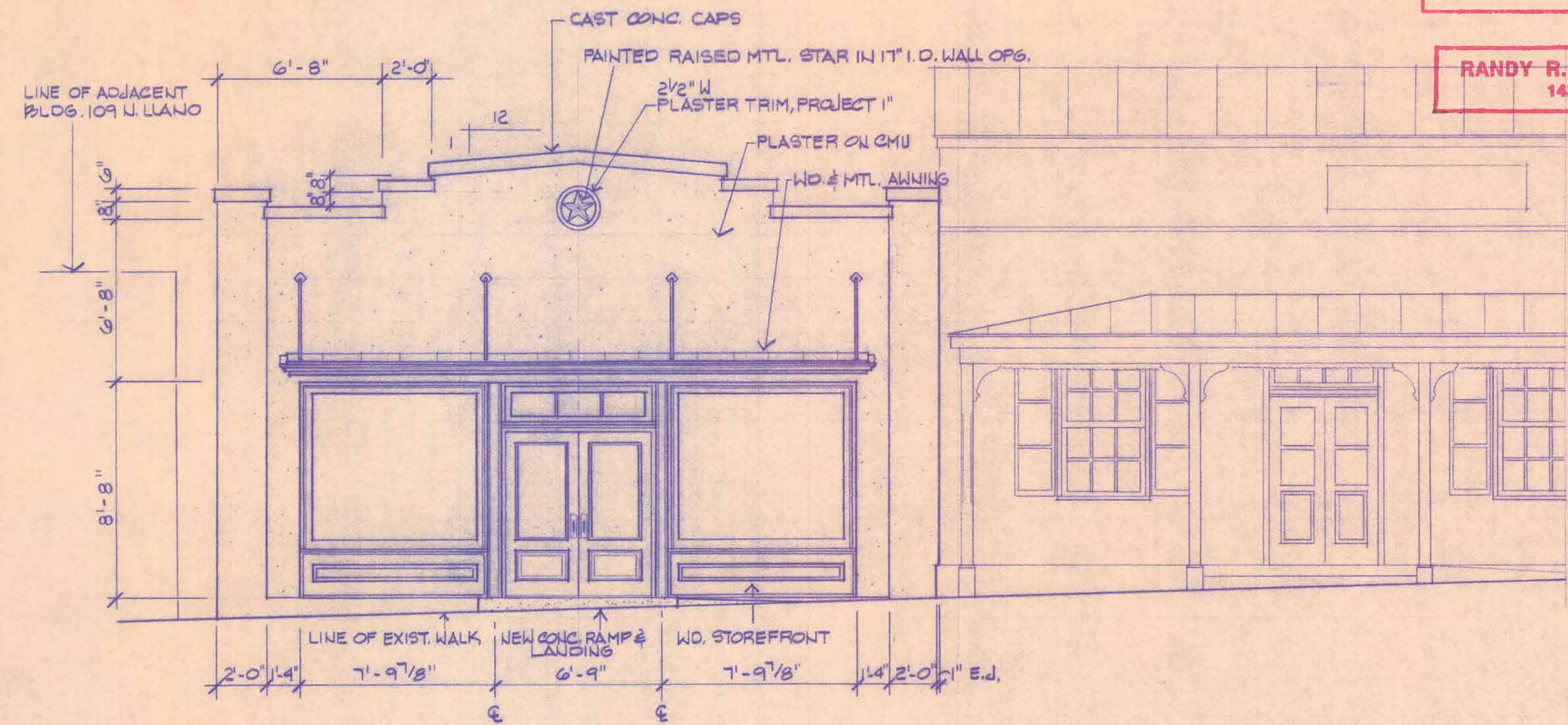
OFFICE BUILDING FOR BOB CARTER
107 NORTH LLANO STREET
FREDERICKSBURG, TEXAS

DATE 6-10-96
PROJECT NUMBER 96-07
REVISED

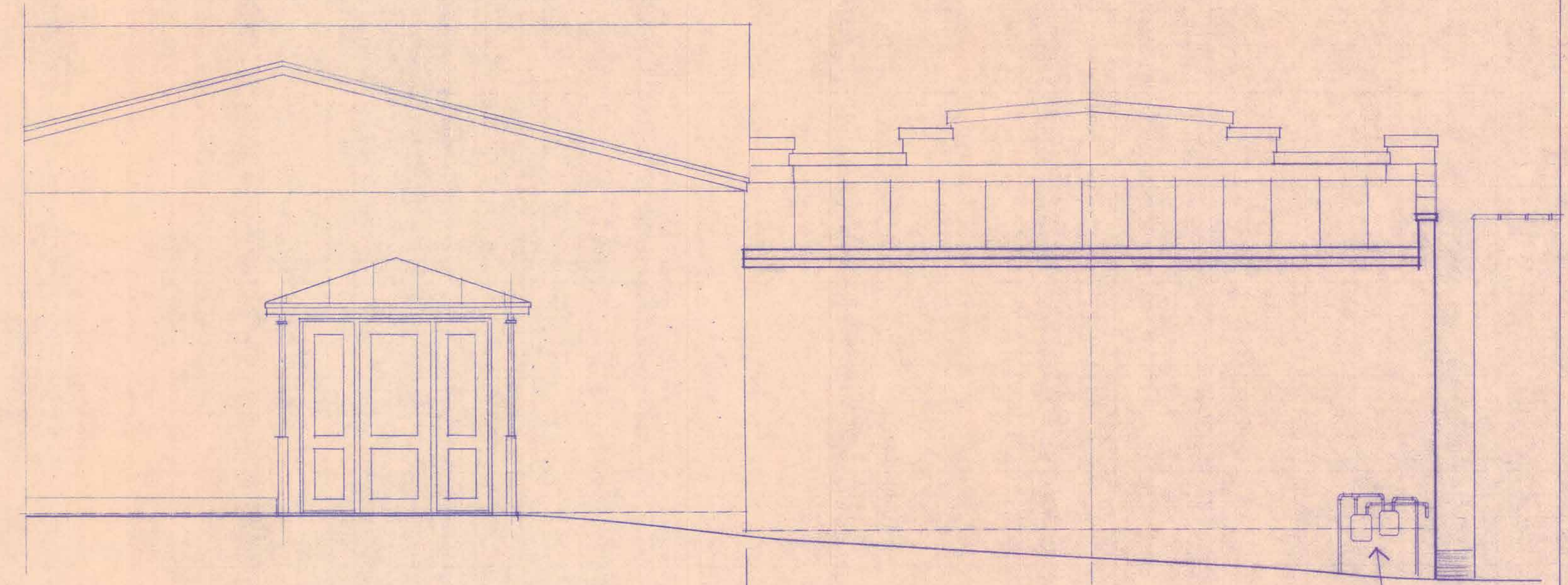
FLOOR PLAN ELEVATIONS

SHEET NUMBER

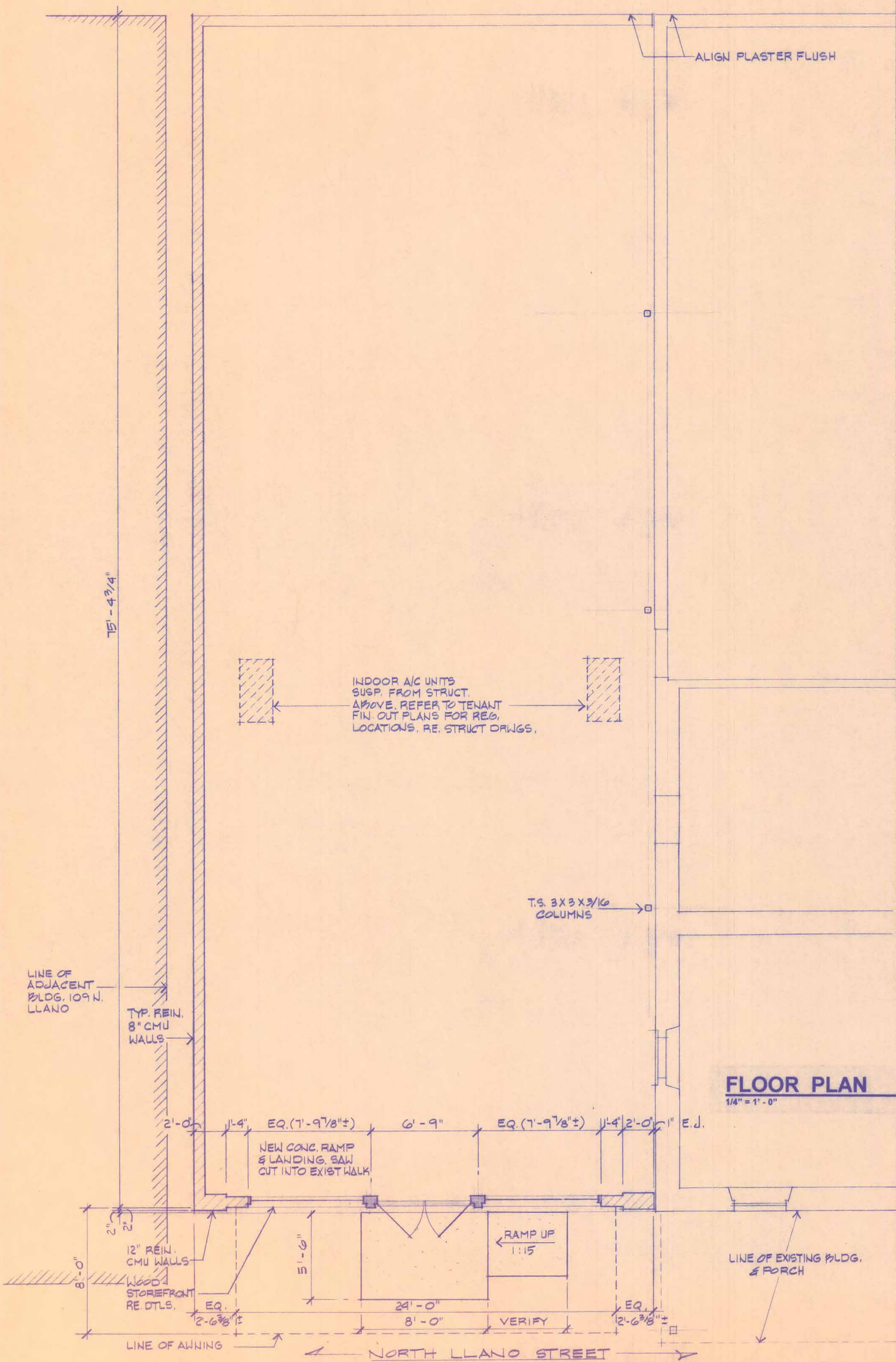
A-1
OF



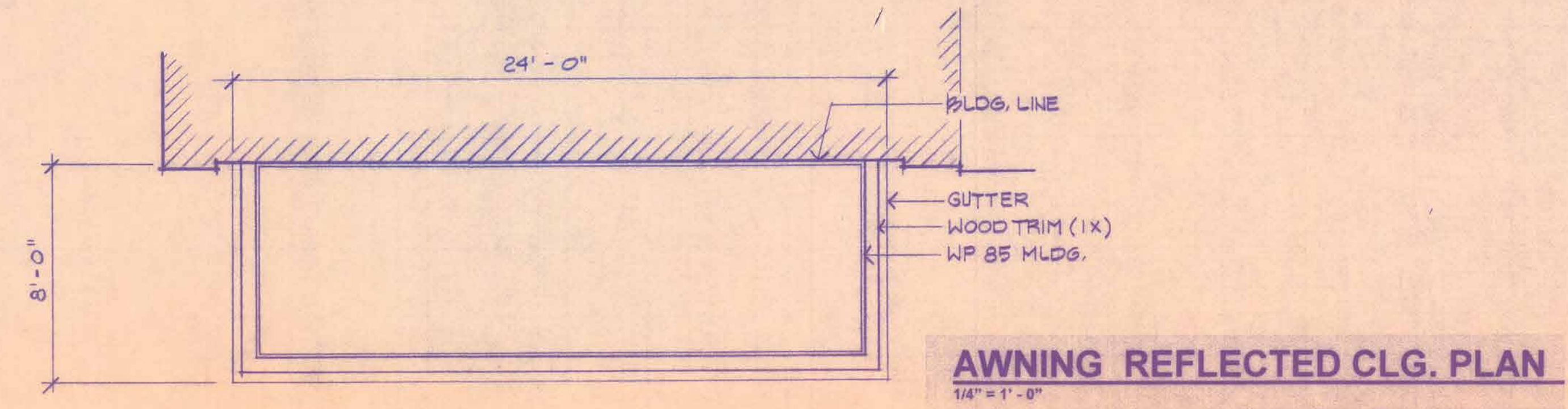
WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"



AWNING REFLECTED CLG. PLAN
1/4" = 1'-0"

Date
Hours
Name

B15036

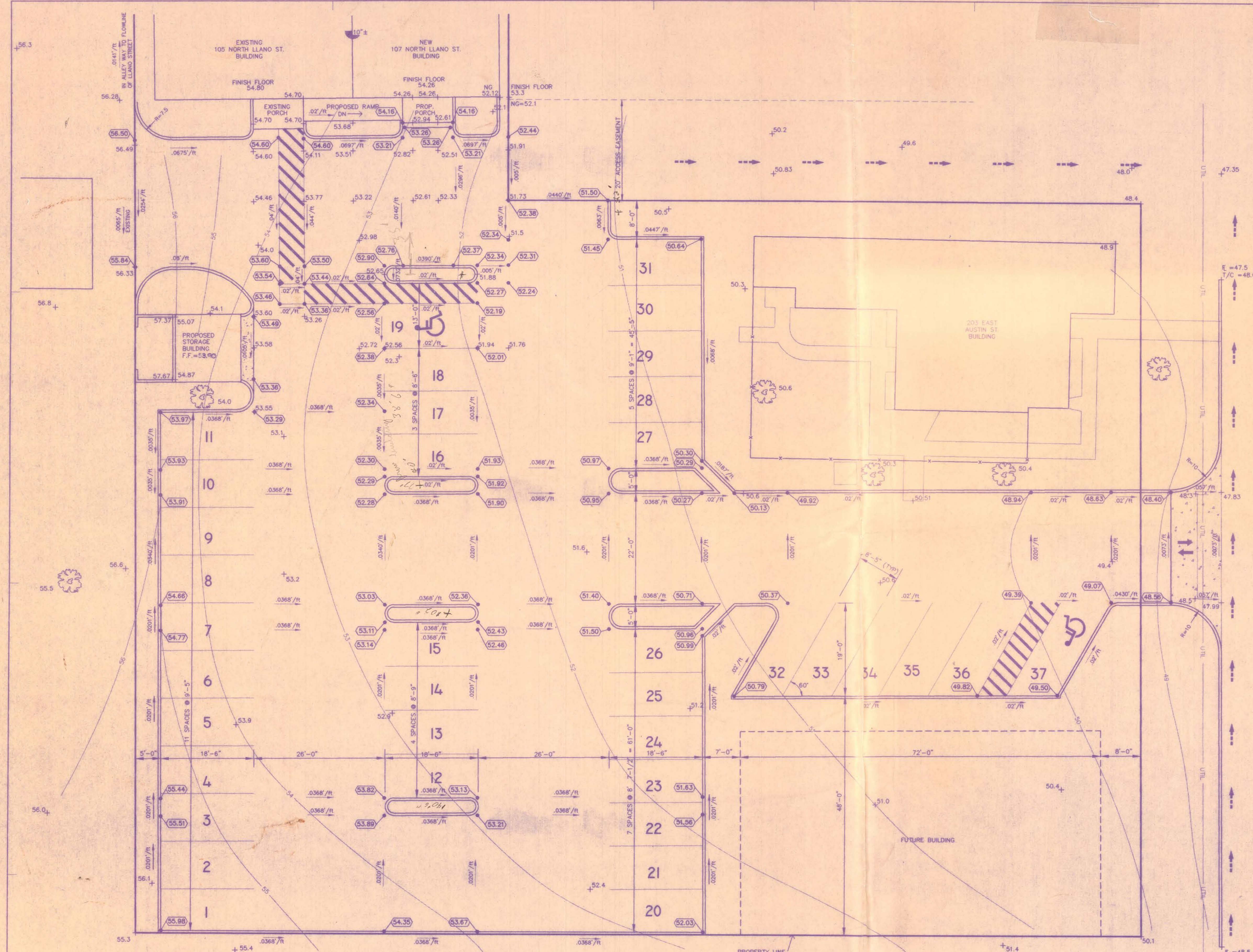


RANDY R. STEHLING, AIA
ARCHITECT
307 W. MAIN, SUITE 102, FREDERICKSBURG, TEXAS 78624 210-997-0383

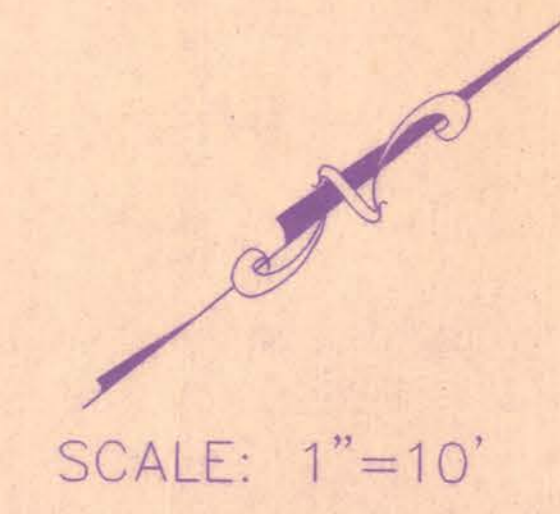
PARKING LOT FOR BOB CARTER
EAST AUSTIN STREET
FREDERICKSBURG, TEXAS

DATE: 10/10/96
JOB NUMBER: 9646
ARCH. JOB NUMBER: 96-14

SHEET NUMBER
C-3
OF



AUSTIN STREET



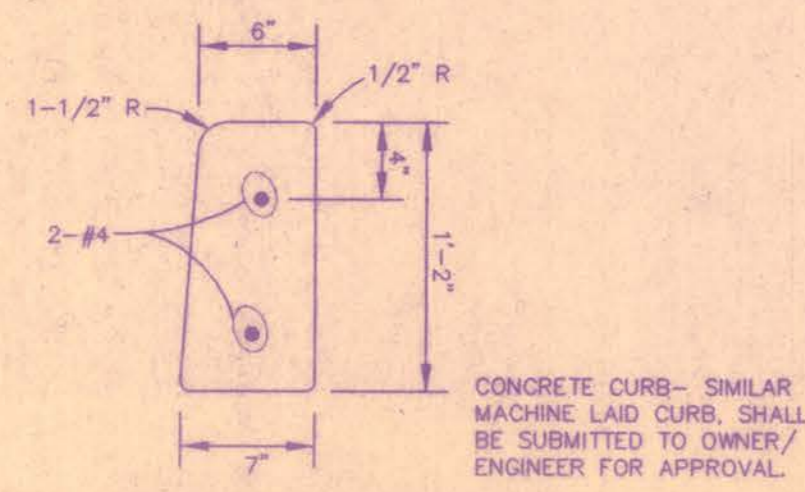
SCALE: 1"=10'

- LEGEND**
- 50.3 ± EXISTING SPOT ELEVATIONS
 - 52.03 ± PROPOSED SPOT ELEVATIONS (TOP OF PAVEMENT)
 - 0.3%/ft PROPOSED SLOPE
 - > EXISTING FLOW
 - 50- EXISTING CONTOURS
 - 50- PROPOSED CONTOURS
 - 50.3 ± EXISTING TREE AND ELEVATION

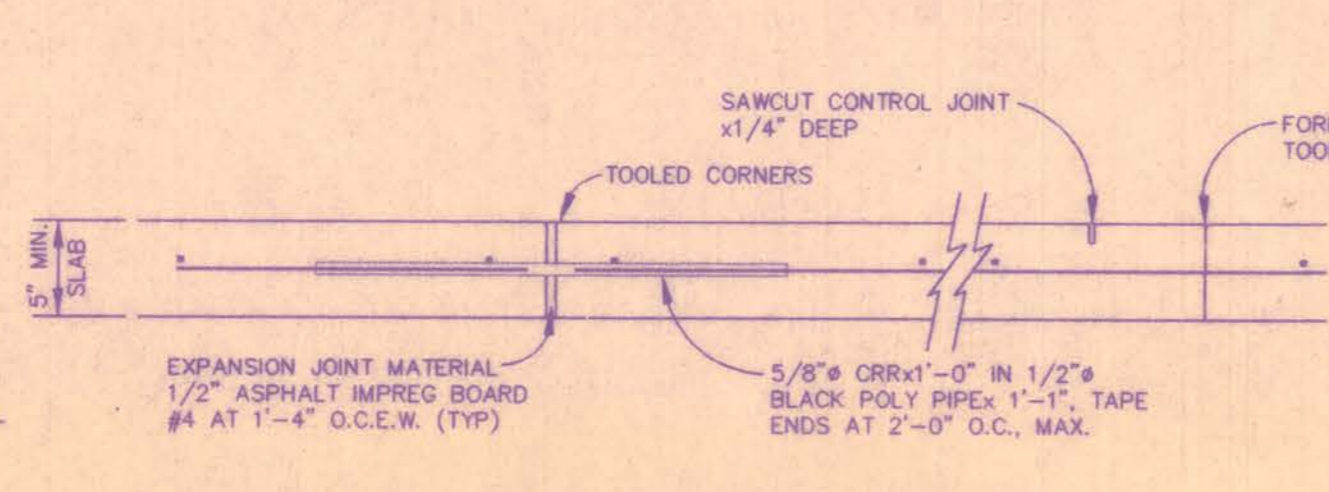
NOTE:
BEFORE CONSTRUCTION ALL PROPERTY LINES SHALL BE VERIFIED BY A REGISTERED PROFESSIONAL LAND SURVEYOR.

GRADING PLAN 300
SCALE: 1"=10'

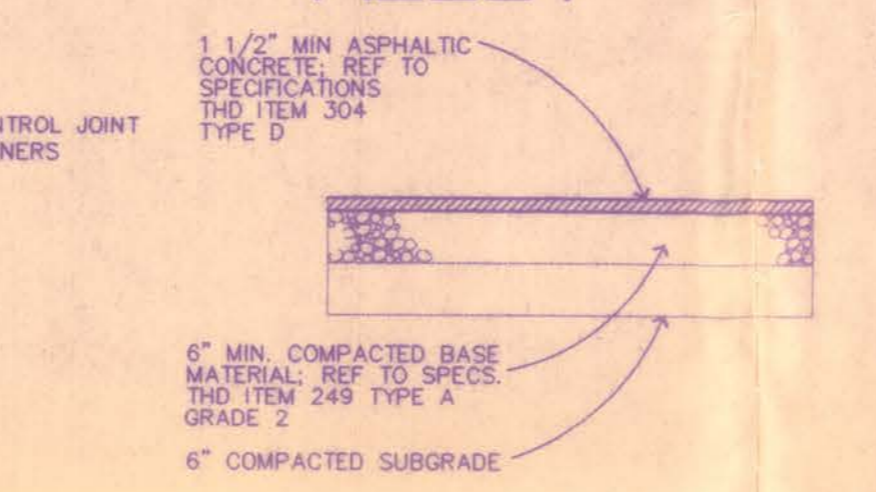
ALLEY



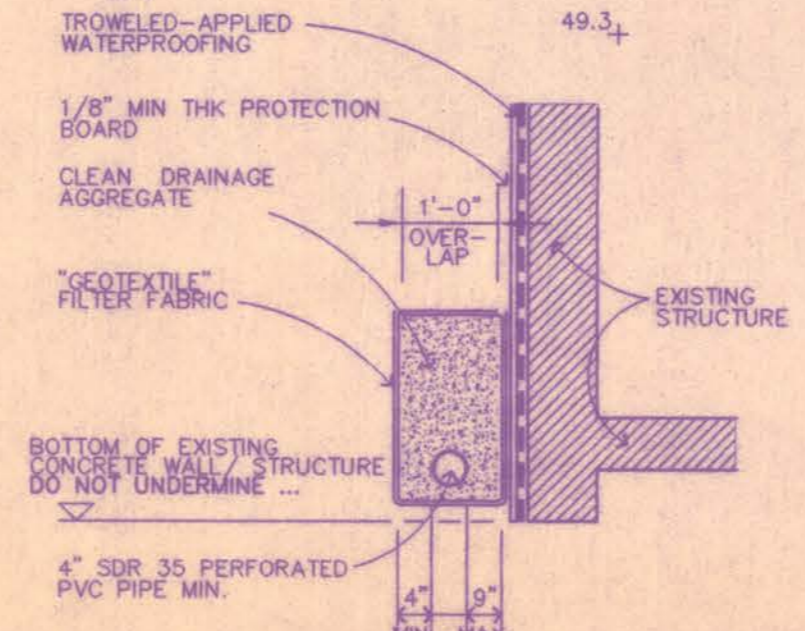
TYPICAL CURB DETAIL 301
SCALE: 1"=1'



CONC. PAVEMENT SECTION 302
SCALE: 1"=1'



ALTERNATIVE PAVING DETAIL 303
NOT TO SCALE



FRENCH DRAIN DETAIL 304
NOT TO SCALE

VORDENBAUM ENGINEERING INC

P.O. BOX 193
FREDERICKSBURG, TEXAS 78624-0193
(210) 997-4744
FAX(210) 997-6967



Plot Scale: 1"=10'
Plot Date: 10/15/96
File No: C:\DWG\9646\9646-C3.DWG



RANDY R. STEHLING, AIA
ARCHITECT

307 W. MAIN, SUITE 102, FREDERICKSBURG, TEXAS 78634 210-997-0583

PARKING LOT FOR BOB CARTER

EAST AUSTIN STREET
FREDERICKSBURG, TEXAS

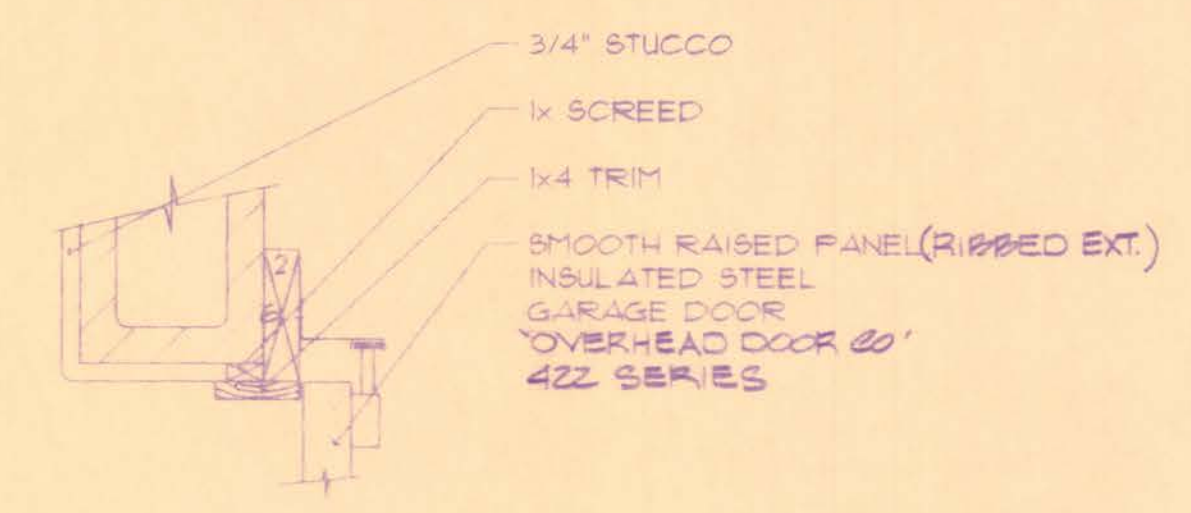
DATE	OCTOBER 18, 1996
JOB NUMBER	96-14
REVISION	

STORAGE BUILDING
PLAN AND DETAILS
SHEET NUMBER

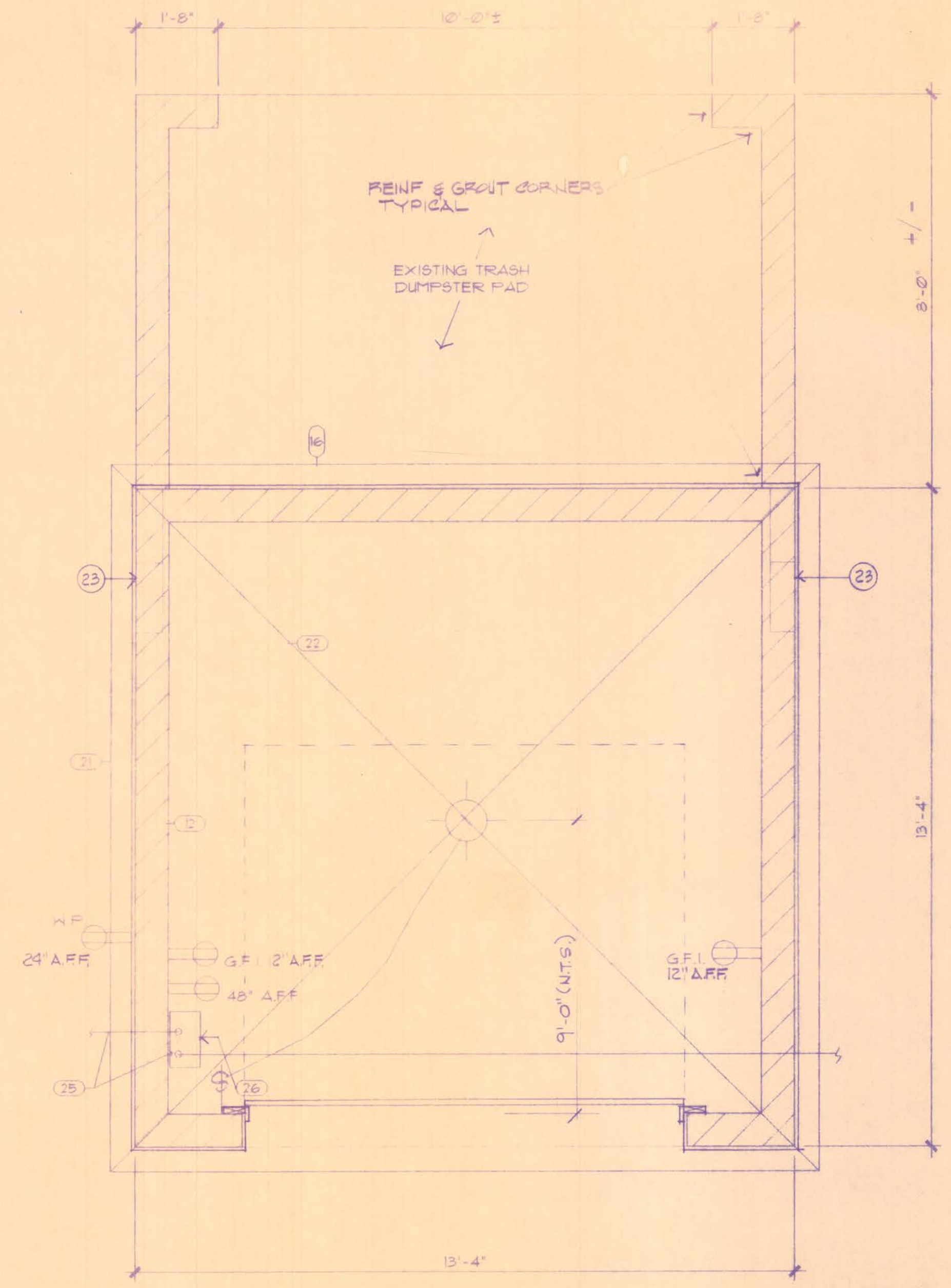
A-1

KEY NOTES

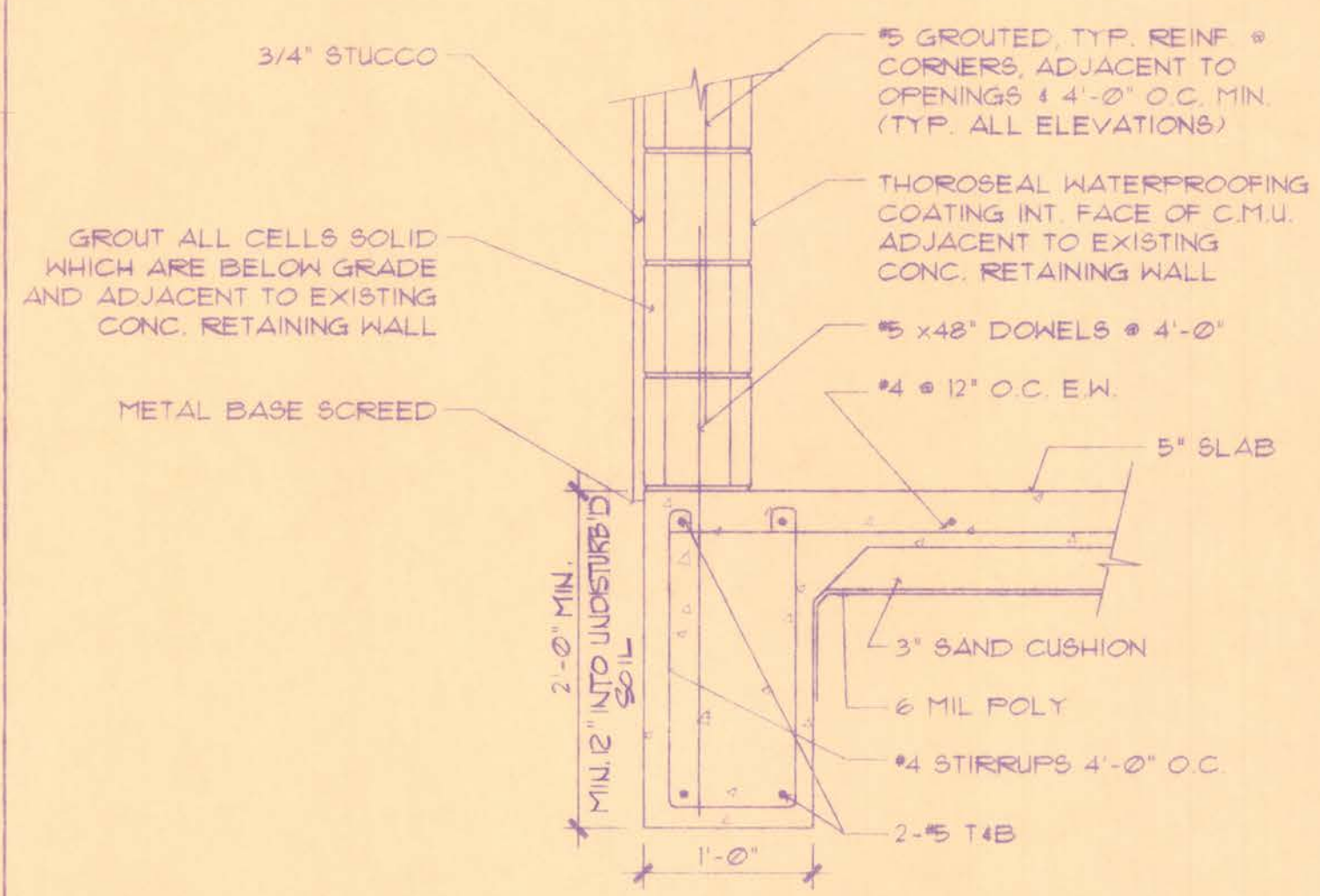
- 1- STANDING SEAM METAL ROOF ON 1x4 LATH 4" O.C. @ EAVE
- 2- 2x6 ROOF RAFTER @ 16" O.C.
- 3- 1/2" A.B. FLYING ON 2x6 CLG. JOISTS 16" O.C. (PAINT) w/ 7" MTL. "H" MOULD
- 4- R-38 BATT INSULATION
- 5- 2x SUB ROUGH FASCIA
- 6- 1x6 FASCIA (PAINTED)
- 7- DRIP EDGE
- 8- 1x2 TRIM (PAINTED)
- 9- 2x TOP PLATE w/ 1/2" J BOLTS @ 48" O.C. w/ 3" MIN. EMBEDMENT
- 10- 1x6 SOFFIT (PAINTED)
- 11- 3/4" STUCCO w/ CORNDO PRIMER AND ELAST-O-MERIC ACRYLIC MEMBRANE WATERPROOFING COATING. TYP.
- 12- 8" REINFORCED C.M.U. w/ HORZ. LADDER TYPE JOINT REIN. @ 24" O.C. VERT. (TYPICAL ALL ELEVATIONS) REFER TO FOOTING DETAIL FOR ADDITIONAL NOTES
- 13- WEEP SCREED
- 14- FLASHING
- 15- CONCRETE CANT
- 16- EXISTING CONC. RETAINING WALL
- 17- 5" CONC. SLAB w/ #4 @ 12" O.C. E.W. ON 3" SAND CUSHION
- 18- NEW CONC. FOOTING. REFER TO DETAIL
- 19- 16" LENTEL BLOCK w/ 2-#5
- 20- 8" BOND BEAM w/ 1-#5
- 21- ROOF OVERHANG
- 22- HIP LINES
- 23- REMOVE CONC. BUTTRUSS WALLS
- 24- 1x2 TRIM ON 1x SCREED
- 25- 1" DIAMETER, SCHEDULE 40 PVC SLEEVES FOR IRRIGATION CONTROLLER WIRING. STUB UP FLUSH WITH INTERIOR FACE OF WALL AND EXTEND 12" BEYOND BUILDING LINE.
- 26- IRRIGATION CONTROLLER BY OTHERS.
- 27- 'OVERHEAD DOOR' 422 SERIES, RIBBED STEEL INSULATED DOOR.
- 28- STUCCO CONTROL JOINT
- 29- METAL BASE SCREED.



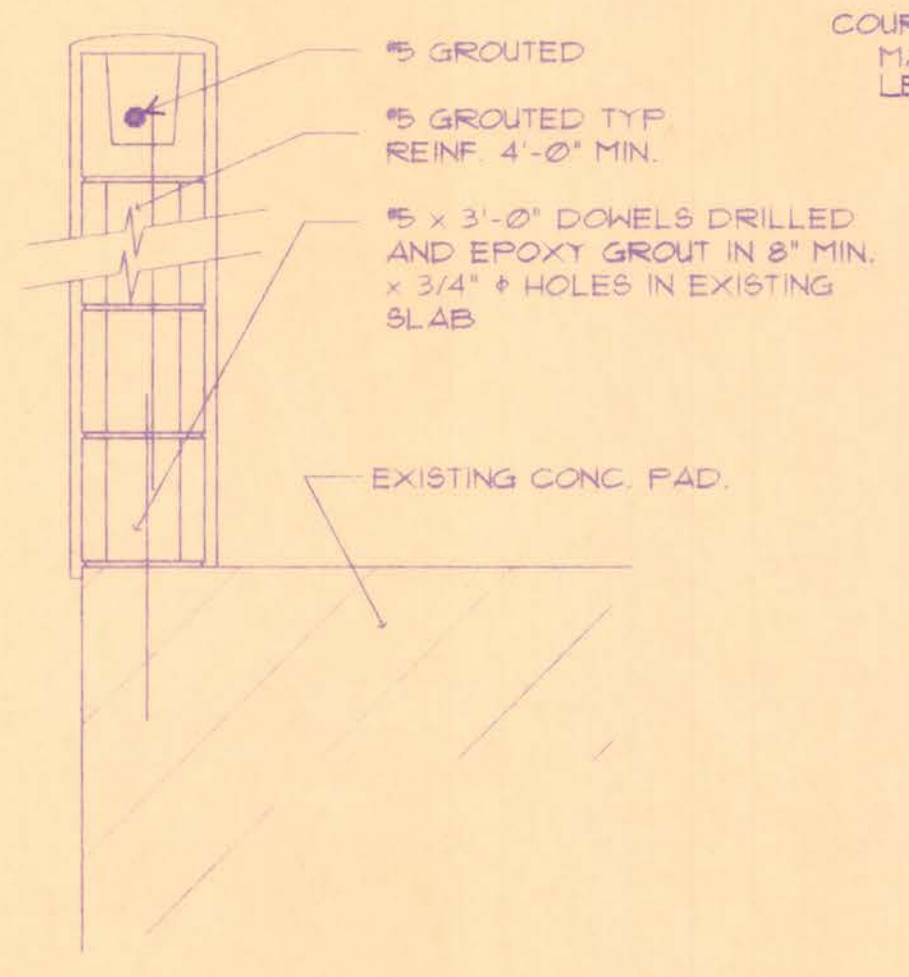
DOOR JAMB HEAD SIM
1/2" = 1'-0"



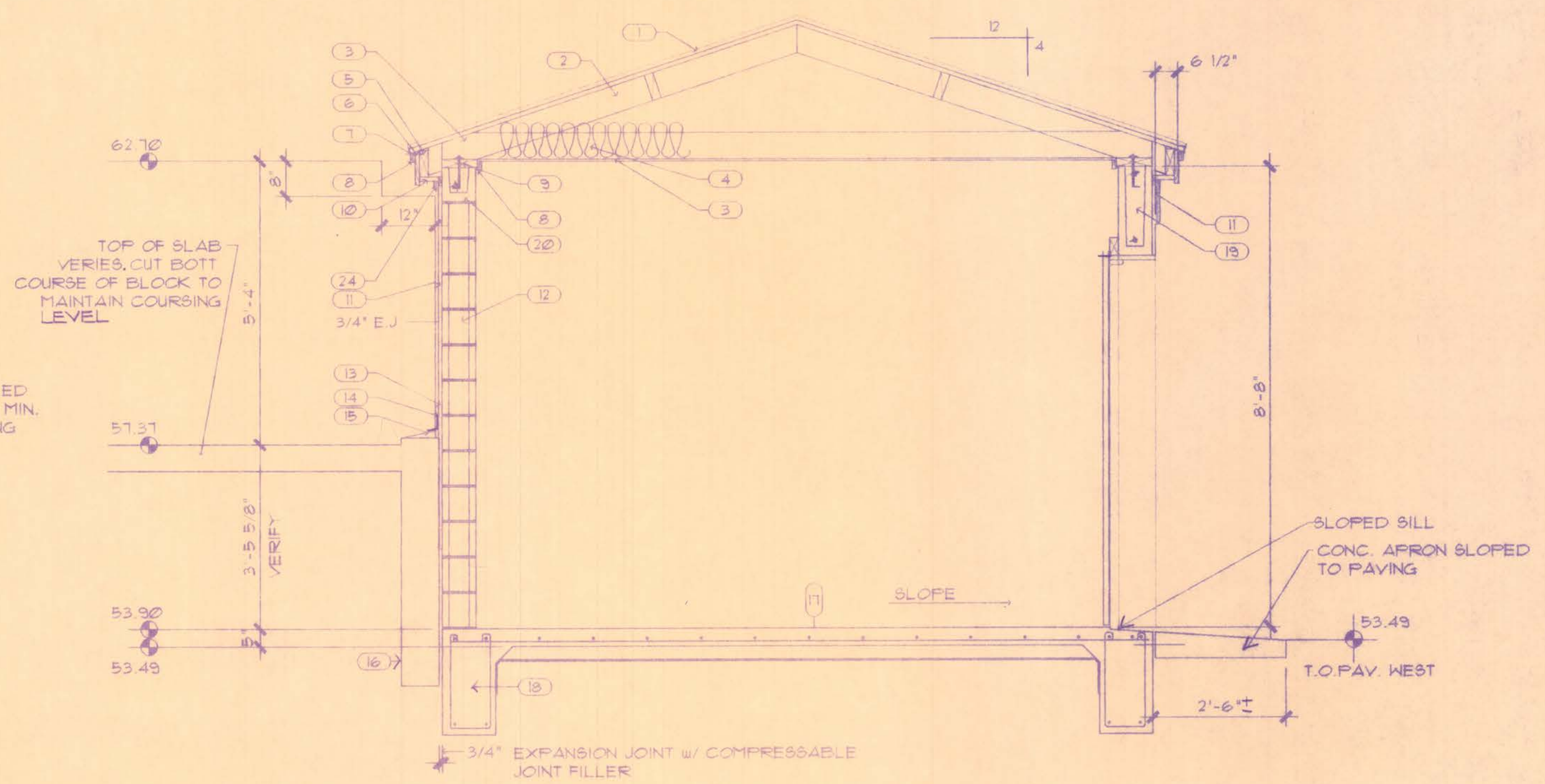
FLOOR PLAN
1/2" = 1'-0"



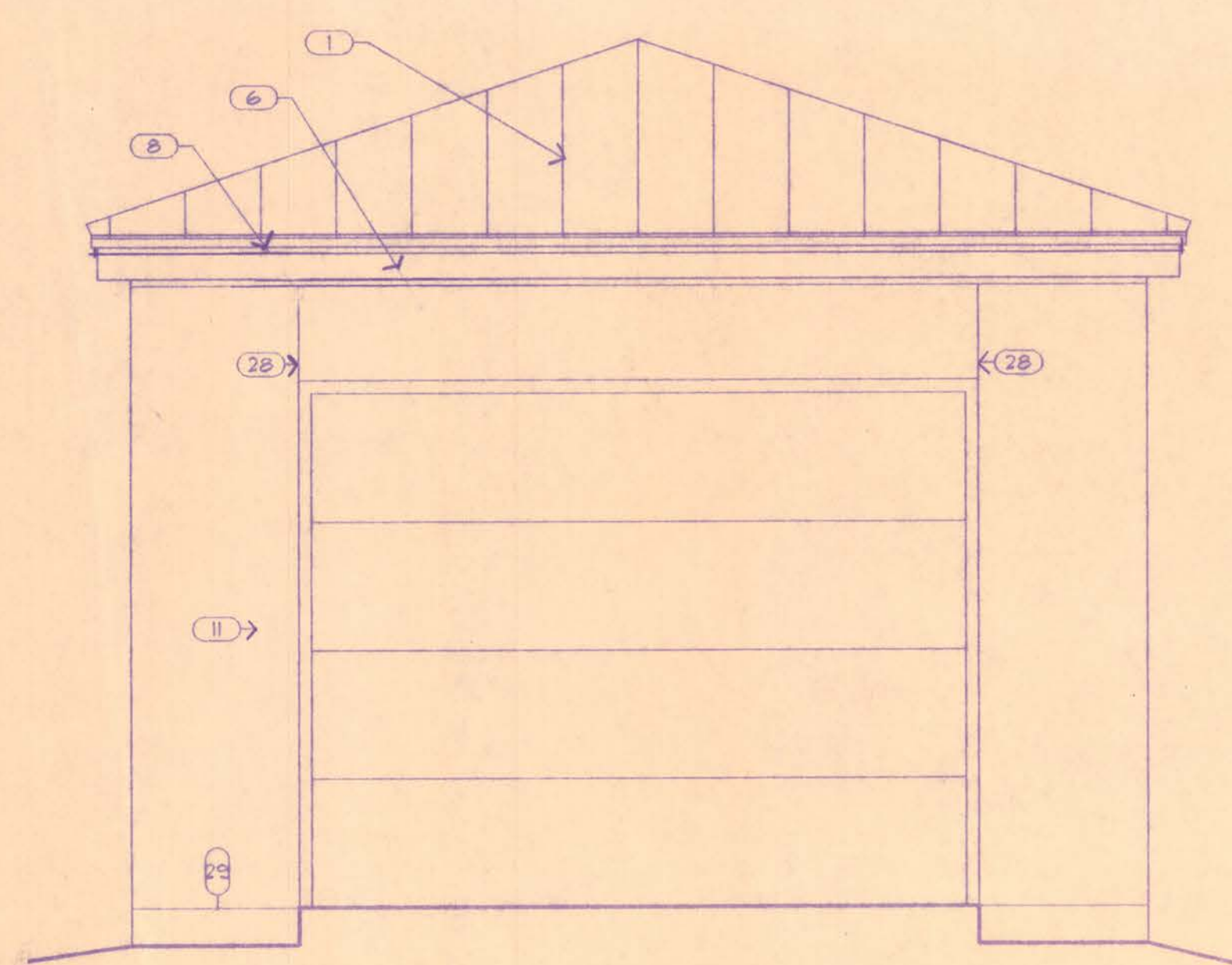
FOOTING DETAIL
1" = 1'-0"



C.M.U. SCREEN WALL DETAIL
1" = 1'-0"



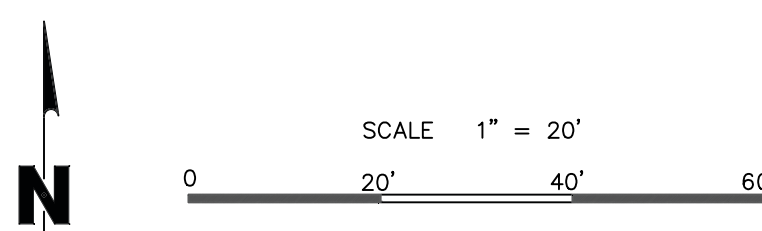
BUILDING SECTION
1/2" = 1'-0"



FRONT ELEVATION
1/2" = 1'-0"

MAP SHOWING TWO TRACTS OF LAND SITUATED IN THE CITY OF FREDERICKSBURG, GILLESPIE COUNTY, TEXAS. PREPARED AT THE REQUEST OF CHERYLL BROCKMAN CARTER.

BEING ALL OF TOWNLOT NO. 89, A PORTION OF TOWNLOT NO. 88 AND A PORTION OF TOWNLOT NO. 90, TOWNLOTS AS SHOWN ON THE MAP OF FREDERICKSBURG, TEXAS BY THE GERMAN EMIGRATION COMPANY, BEING ALL OF THAT CERTAIN CALLED 36,698 SQUARE FOOT TRACT OF LAND DESCRIBED IN A CONVEYANCE TO CHERYLL BROCKMAN CARTER, FOUND OF RECORD IN VOLUME 534, PAGES 250-254 OF THE OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS, AND BEING A PORTION OF TOWNLOT 175 AS SHOWN ON THE MAP OF FREDERICKSBURG, TEXAS BY THE GERMAN EMIGRATION COMPANY, BEING ALL OF THAT CERTAIN CALLED 0.1466 ACRE TRACT OF LAND DESCRIBED IN A CONVEYANCE TO CHERYLL BROCKMAN CARTER, FOUND OF RECORD IN VOLUME 534, PAGES 255-258 OF SAID OFFICIAL PUBLIC RECORDS OF GILLESPIE COUNTY, TEXAS.



ADJOINING PROPERTY INFORMATION LEGEND

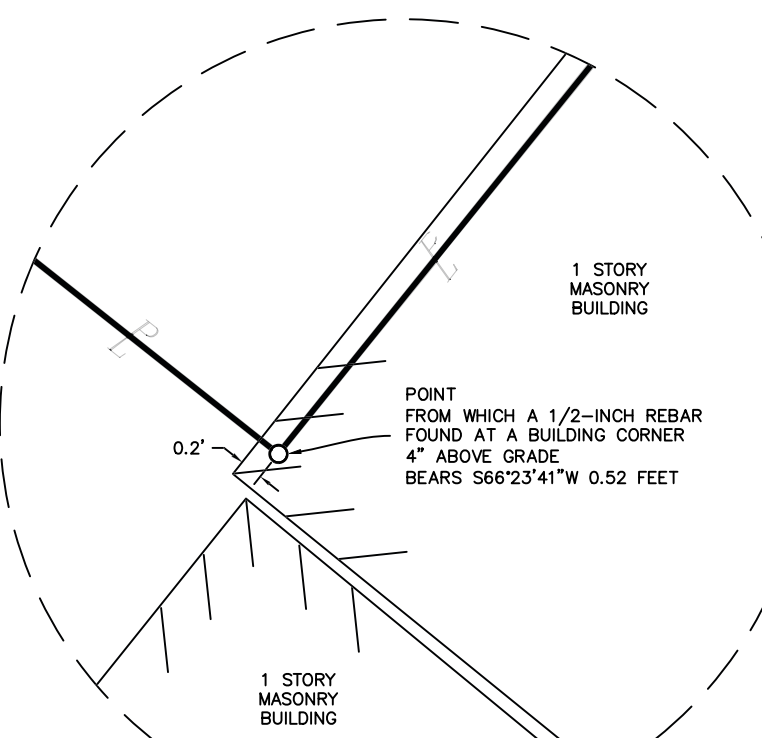
- (A) 109 LLANO STREET, LLC CALLED 0.2889 ACRES INSTR. NO. 20066261 O.P.R.
(B) FBG MR INVESTMENTS, LLC PART OF TOWNLOT NO. 175 INSTR. NO. 20246111 O.P.R. FURTHER DESCRIBED VOL. 49, PG. 185-186 D.R.
(C) PERRY & 208 LLC PART OF TOWNLOT NO. 175 AND PART OF TOWNLOT NO. 176 INSTR. NO. 20125672 O.P.R. FURTHER DESCRIBED VOL. 387, PG. 6-12 R.P.R.
(D) TOWNLOT 176 CONDOMINIUMS INSTR. NO. 20230782 O.P.R.
(E) EDWIN DONALD DIETZ, ET UX. PART OF TOWNLOT NO. 176 VOL. 166, PG. 366-369 R.P.R.
(F) 230 E MAIN LLC TOWNLOT NO. 177B-R INSTR. NO. 20160423 O.P.R. VOL. 2, PG. 6 P.R.
(G) DOUBLE HAUL LLC CALLED 2.051 ACRES INSTR. NO. 20220050 O.P.R.

HENRY L. THOMPSON SURVEY NO. 128 ABSTRACT NO. 685

0.147 ACRES CHERYLL BROCKMAN CARTER CALLED 0.1466 ACRES VOL. 534, PG. 255-258 O.P.R.

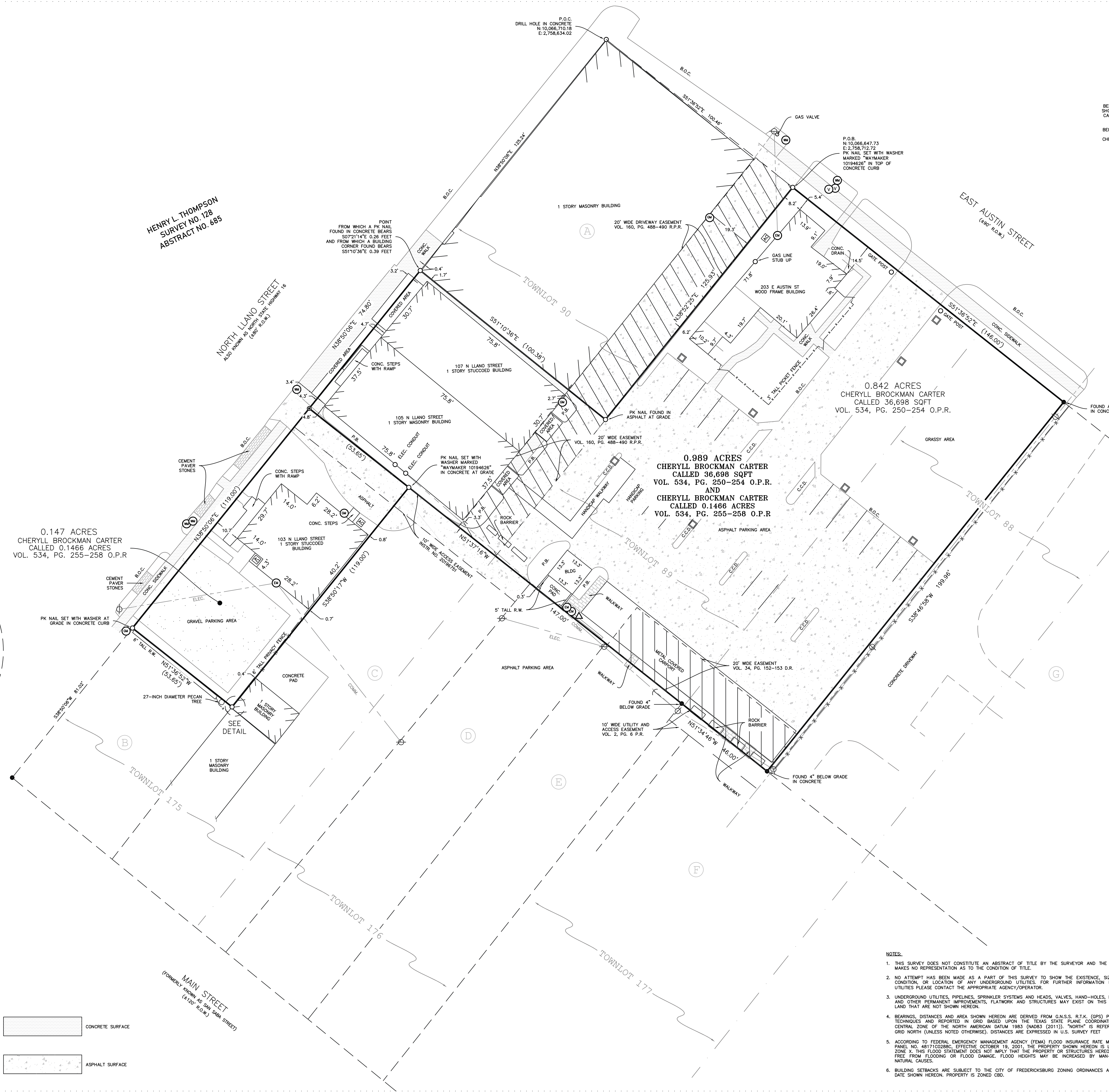
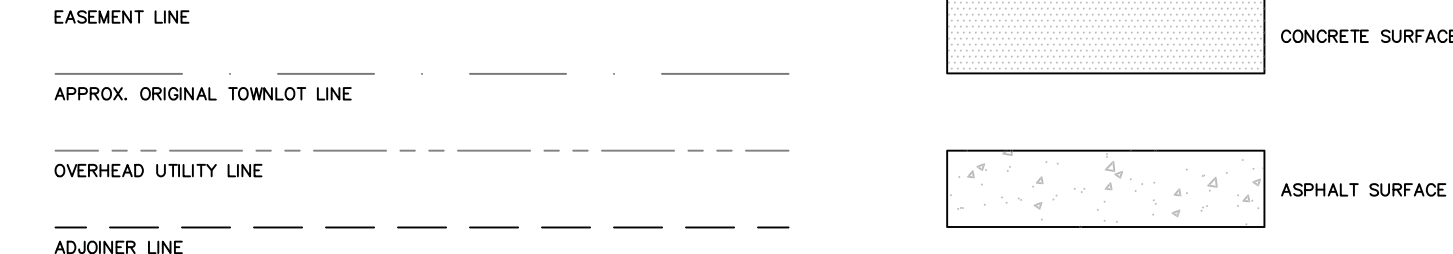
0.989 ACRES CHERYLL BROCKMAN CARTER CALLED 36,698 SQFT VOL. 534, PG. 250-254 O.P.R. AND CHERYLL BROCKMAN CARTER CALLED 0.1466 ACRES VOL. 534, PG. 255-258 O.P.R.

0.842 ACRES CHERYLL BROCKMAN CARTER CALLED 36,698 SQFT VOL. 534, PG. 250-254 O.P.R.



DETAIL SCALE 1" = 2'

- 1/2" DIA. REBAR FOUND
1/2" DIA. REBAR SET (CAPPED: WAYMAKER 10194626)
AS NOTED
UTILITY POLE
FENCE
GUY ANCHOR
WATER VALVE
WATER METER
GAS METER
ELECTRIC METER WITH WEATHER HEAD
AIR CONDITIONER UNIT
NO PARKING SIGN
BLDG. BUILDING
B.O.C. BACK OF CURB
C.C.D. CONCRETE CURB DIVIDER
COMM. COMMUNICATION LINE
P.B. PLANTER BOX
R.W. ROCK WALL
() RECORD CALL



THIS SURVEY DOES NOT CONSTITUTE AN ABSTRACT OF TITLE BY THE SURVEYOR AND THE SURVEYOR MAKES NO REPRESENTATION AS TO THE CONDITION OF TITLE. THE ITEMS INCLUDED ON THE TITLE SEARCH CONDUCTED BY HILL COUNTRY TITLES, INC. IN OF NO. 226-167 OVER A PERIOD OF TIME FROM MARCH 6, 1922 TO MARCH 23, 2008 AT 9:00AM PERTAINING TO AFFECTING EASEMENTS, SET BACK LINES, INTRUSIONS OR PROTRUSIONS (THAT ARE SPECIFICALLY LOCATABLE) ARE SHOWN HEREON. AFFECTING EASEMENTS IS QUALIFIED AS BEING BASED ONLY ON AN OBJECTIVE ASSESSMENT OF WHERE THE EASEMENT PLOTS PURSUANT TO THE GRANTING INSTRUMENT. ADDITIONAL NOTES CONCERNING THE ITEMS ARE AS FOLLOWS:
36,698 SQUARE FOOT TRACT - RIGHT-OF-WAY EASEMENT, VOLUME 34, PAGES 152-153 D.R. (SHOWN HEREON)
0.1466 ACRE TRACT - HISTORICAL DISTRICT - RECORDED UNDER REGISTER NO. 20214297 O.P.R.
AGREEMENT, VOLUME 140, PAGES 347-350 R.P.R. (NOT SPECIFICALLY PLOTTABLE)
NOTICE - HISTORICAL DISTRICT - RECORDED UNDER REGISTER NO. 20214297 O.P.R.

TO CHERYLL CARTER: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2026 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6, 7, 8, 13, 16-17, 19-20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 7, 2026. DATE OF PLAT: APRIL 30, 2026



WILLIAM JAY DOCHERTY, JR. REG. PROF. LAND SURVEYOR NO. 6457 FIELD MEASUREMENTS APRIL 7, 2026 SURVEY ISSUED: APRIL 30, 2026 PROJECT NO. 2602-07



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Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

11-03-2025



TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER’S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker’s own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client’s questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

WRITTEN AGREEMENTS ARE REQUIRED IN CERTAIN SITUATIONS: A license holder who performs brokerage activity for a prospective buyer of residential property must enter into a written agreement with the buyer before showing any residential property to the buyer or if no residential property will be shown, before presenting an offer on behalf of the buyer. This written agreement must contain specific information required by Texas law. For more information on these requirements, see section 1101.563 of the Texas Occupations Code. **Even if a written agreement is not required, to avoid disputes, all agreements between you and a broker should be in writing and clearly establish: (i) the broker’s duties and responsibilities to you and your obligations under the agreement; and (ii) the amount or rate of compensation the broker will receive and how this amount is determined.**

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner’s agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner’s agent must perform the broker’s minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent by the buyer or buyer’s agent. **An owner’s agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant’s agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer’s agent must perform the broker’s minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller’s agent. **A buyer/tenant’s agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker’s obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties’ written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

A LICENSE HOLDER CAN SHOW PROPERTY TO A BUYER/TENANT WITHOUT REPRESENTING THE BUYER/TENANT IF:

- The broker has not agreed with the buyer/tenant, either orally or in writing, to represent the buyer/tenant;
- The broker is not otherwise acting as the buyer/tenant’s agent at the time of showing the property;
- The broker does not provide the buyer/tenant opinions or advice regarding the property or real estate transactions generally; and
- The broker does not perform any other act of real estate brokerage for the buyer/tenant.

Before showing a residential property to an unrepresented prospective buyer, a license holder must enter into a written agreement that contains the information required by section 1101.563 of the Texas Occupations Code. The agreement may not be exclusive and must be limited to no more than 14 days.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker’s services. Please acknowledge receipt of this notice below and retain a copy for your records.

William Edward Withers	539100-B	will@w3commercial.com	512-924-1074
Name of Sponsoring Broker (Licensed Individual or Business Entity)	License No.	Email	Phone
William Edward Withers	539100-B	will@w3commercial.com	512-924-1074
Name of Designated Broker of Licensed Business Entity, if applicable	License No.	Email	Phone
Name of Licensed Supervisor of Sales Agent/Associate, if applicable	License No.	Email	Phone
Name of Sales Agent/Associate	License No.	Email	Phone

Buyer/Tenant/Seller/Landlord Initials

Date