

LEGEND		
CURB LINES	WATER VALVE	PARCEL BOUNDARY
BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
OVERHEAD LINES	UNKNOWN ELECTRICAL	SECTION LINE
FIBER OPTIC CABLE	STREET LIGHTS	SET BACK LINES
SANITARY SEWER	POLES	EASEMENTS
WATER MAINS	GUY ANCHORS	MEANDER/TIE LINE
GAS MAIN	TRANSFORMERS	MONUMENTS
CONVEYOR	SHORELINE/DITCH	IRON PINS & PIPES AS NOTED
RAILROAD	SIGNS	SEC.-GOVERNMENTAL SECTION
FENCES	GATE VALVE	CRS-LAWLER 1/2" CAPPED REBAR SET
BUILDINGS	HVAC UNIT	CTIF-CRIMP TOP IRON PIPE FOUND
CULVERTS	PIPE STUB	CRF-CAPPED REBAR FOUND
CATCH BASINS	SANITARY CLEAN OUT	IRF-IRON ROD (REBAR) FOUND
MAN HOLES	GAS LINE MARKER	CMF-CONCRETE MONUMENT FOUND
FIRE HYDRANT	GAS METER	RCP-REINFORCED CONCRETE PIPE
POST INDICATOR VALVE	HANDICAP PARKING	CMF-CORRUGATED METAL PIPE
WATER METER	FIBER OPTIC CABLE	R/W-RIGHT OF WAY

ZONING:
 THIS PROPERTY CURRENTLY ZONED I-1 & I-2 WHICH CARRY THE FOLLOWING RESTRICTIONS:
 MINIMUM SITE AREA: 10,000 SQ. FT.
 MAXIMUM SITE COVERAGE (ALL BUILDINGS): 75%
 MAXIMUM BUILDING HEIGHT: I-1=45', I-2=100'
 MINIMUM FRONT YARD: 25'
 MINIMUM SIDE & REAR YARDS: NONE

PARKING:
 CITY OF MOBILE PARKING REQUIREMENTS FOR INDUSTRIAL SITES CALL FOR 1 SPACE FOR EACH 300 SQ. FT. OF GROSS FLOOR SPACE, DEVOTED TO OFFICE OR COMMERCIAL USE, PLUS 1 SPACE PER 3 WAREHOUSE EMPLOYEES.

FLOOD ZONE:
 FEMA NFIP FLOOD INSURANCE RATE MAP 01097C0552K DATED MARCH 17, 2010, SHOWS THIS PROPERTY IN ZONE X UNSHADED, ZONE X SHADED, ZONE A AND ZONE AE, BASE FLOOD ELEVATION 12.0' NAVD 1988.
 FLOOD ZONE DETERMINATION MADE FROM GRAPHIC PLOTTING ONLY.

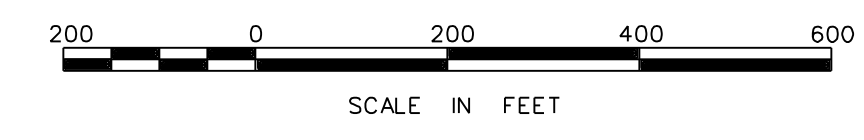
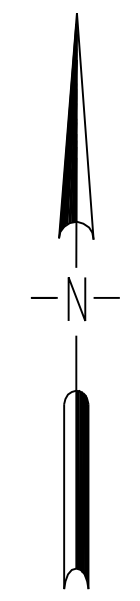
GENERAL NOTES:
 1000 FOOT GRID BASED ON ALABAMA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD 83 (1992) ESTABLISHED ON SITE USING RTK GPS REFERENCING NOS GPS CONTROL MONUMENT "B 407". BEARINGS REFER TO GRID NORTH YIELDING A BEARING OF N-49°-08'-38"-W ALONG THE NORTH R/W LINE OF CONCEPTION STREET ROAD. IMPROVEMENT INFORMATION LOCATED WITH LEICA TOTAL STATIONS FIELD SURVEY COMPLETED 12 JULY, 2013. USTN CADD FILE: \sgr\GULF-LUMBER\13069-ALTA\09-OVERALL-BOUNDARY.DGN.

SURVEYORS CERTIFICATE:
 The undersigned, being a registered land surveyor of the State of Alabama certifies to (i) FIRST AMERICAN TITLE INSURANCE COMPANY, (ii) ANDERS, BOYETTE & BRADY, P.C., (iii) SCOTCH & GULF LUMBER, LLC, (iv) MFBS CORPORATION and, (v) MAYNARD COOPER AND GALE, P.C., their successors and assigns, as their interests may appear, that:

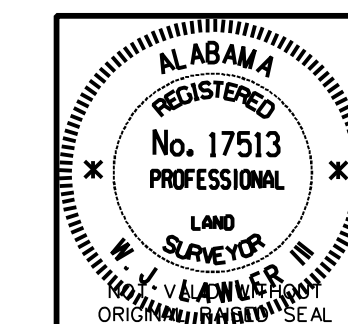
- This map or plot and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2011, and includes Items 1 through 4, 6a, 6b, 7a, 8 through 10a, 10b, 12, 13, 16, 17, 18, 19 and 20a, of Table A thereof Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Alabama, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
- The survey and the property description set forth hereon was prepared by me, a registered land surveyor in the State of Alabama. The survey was made on the ground on July 12, 2013, and correctly shows the area of the subject property, the location and type of all buildings, parking areas (including number and type of spaces), structures and other improvements situated on the subject property, the distance from the improvements to exterior property lines, and any other matters situated on the subject property.
- Except as shown on the survey, there are no easements, encumbrances or rights of way (including visible utility lines) affecting the subject property.
- Except as shown on the survey, there are no encroachments (a) by the improvements on the subject property upon adjoining properties, streets or alleys, or (b) by the improvements on adjoining properties, streets or alleys upon the subject property.
- The location of each easement, dedication, right of way, license, servitude, and other matter (above or below ground) affecting the subject property and listed in the title insurance commitment dated May 6, 2013, issued by First American Title Insurance Company, with respect to the subject property, or of which the undersigned has knowledge, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located, and, to the extent such matters cannot be located, we have made reference to such fact in the notes to the survey. The property shown on the survey is the property described in that title commitment. Except as shown, the location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment or imposed by the City of Mobile, Mobile County, Alabama.
- The subject property abuts and has access to and from a duly dedicated and accepted public street or highway and the name of such street or highway is shown on the survey.
- Except as shown on the survey, the subject property does not serve any adjoining property for visible evidence of drainage, utilities, or ingress or egress, and, except as shown on the survey, none of the visible evidence of utilities serving the subject property enter the subject property from an adjoining property other than through an easement naming Mobile County, Alabama or other appropriate agency, as the grantee. The direction of flow and points of ingress and egress of all visible evidence of utility lines are as shown on the survey.
- All zoning requirements related to building setbacks, parking and building height, and the zoning use and density classification are shown hereon.
- The subject property comprises one or more separate tax lots for real estate tax assessment purposes.
- There are no material conflicts between the standards described above and any applicable local or state standards.
- The parties listed above are entitled to rely on the survey and this certificate as being true and accurate.

Signed:

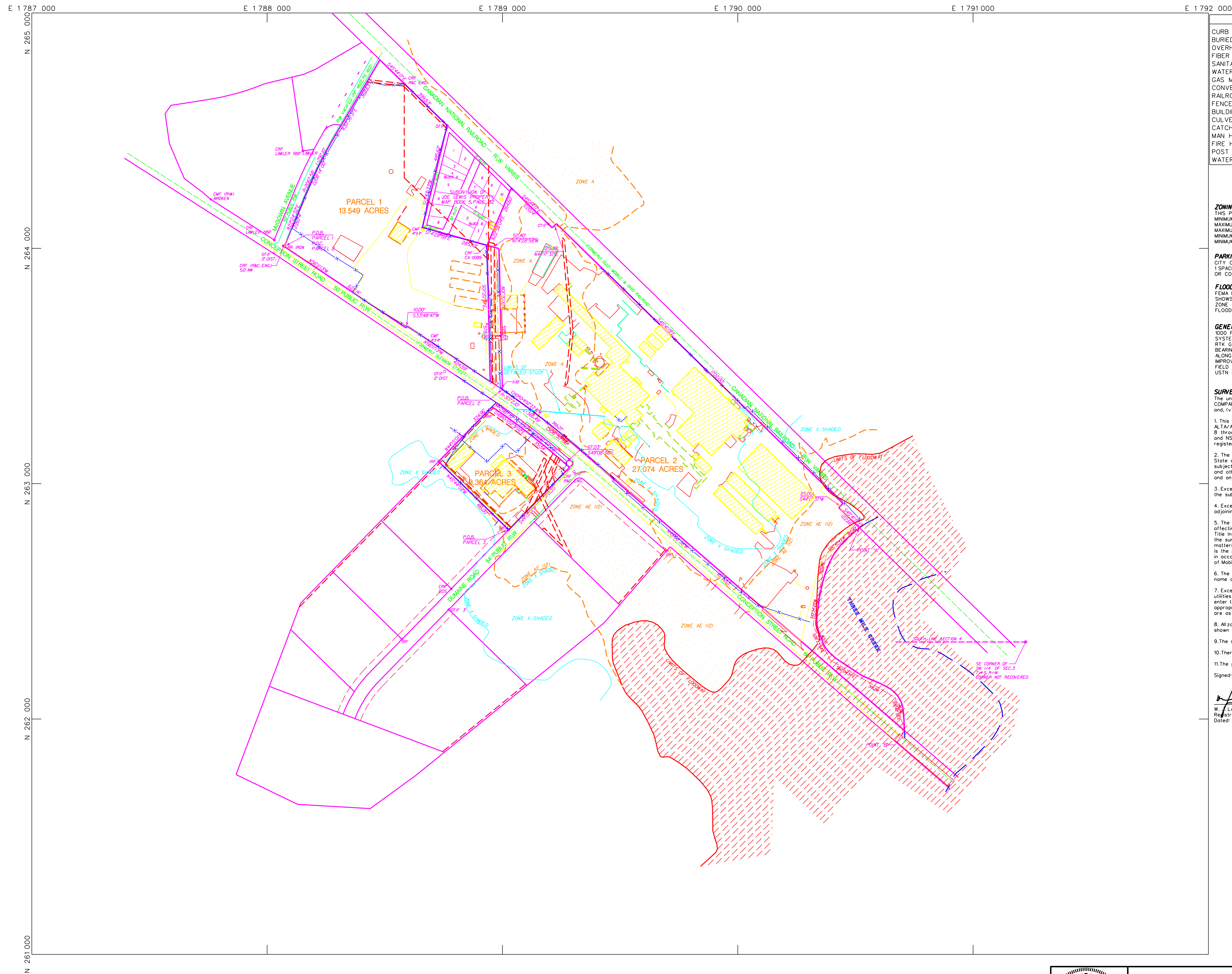
 W. J. LAWLER III
 Registration No.: 17513
 Dated: July 16, 2013



REVISIONS			
SCOTCH GULF LUMBER, LLC			
ALTA/ACSM AS-BUILT SURVEY OF			
MOBILE, ALABAMA SAW MILL FACILITY			
REF:	MAYNARD, COOPER & GALE, P.C.--GREG CURRAN		
DATE:	16 JULY, 2013	SCALE:	1"=200'
SHEET	01 OF 08	PROJ. No.	13-069
DWG. No.	13-069-1	FAX	(251) 661-9177



LAWLER AND COMPANY
 LAND AND INDUSTRIAL SURVEYORS
 2879 CLAUDIA LANE
 THEODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177



LEGEND

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BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
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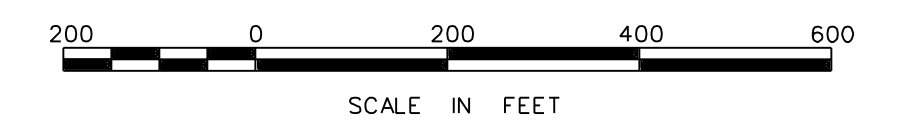
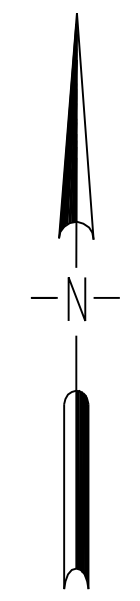
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 USTN CADD FILE: \sgh\GULF-LUMBER\ 13069-ALTA\09-OVERALL-BOUNDARY.DGN.

SURVEYORS CERTIFICATE:
 The undersigned being a registered land surveyor of the State of Alabama certifies to (i) FIRST AMERICAN TITLE INSURANCE COMPANY, (ii) ANDERS, BOYETTE & BRADY, P.C., (iii) SCOTCH & GULF LUMBER, LLC, (iv) MFS CORPORATION and, (v) MAYNARD COOPER AND GALE, P.C., their successors and assigns, as their interests may appear, that:

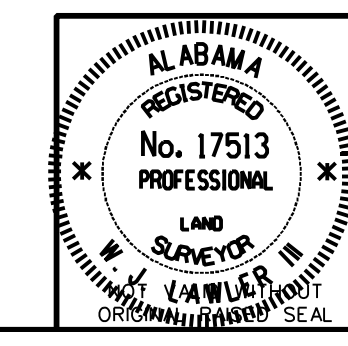
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- The location of each easement, dedication, right of way, license, servitude, and other matter (above or below ground) affecting the subject property and listed in the title insurance commitment dated May 6, 2013, issued by First American Title Insurance Company, with respect to the subject property, or of which the undersigned has knowledge, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located, and, to the extent such matters cannot be located, we have made reference to such fact in the notes to the survey. The property shown on the survey is the property described in that title commitment. Except as shown, the location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment or imposed by the City of Mobile, Mobile County, Alabama.
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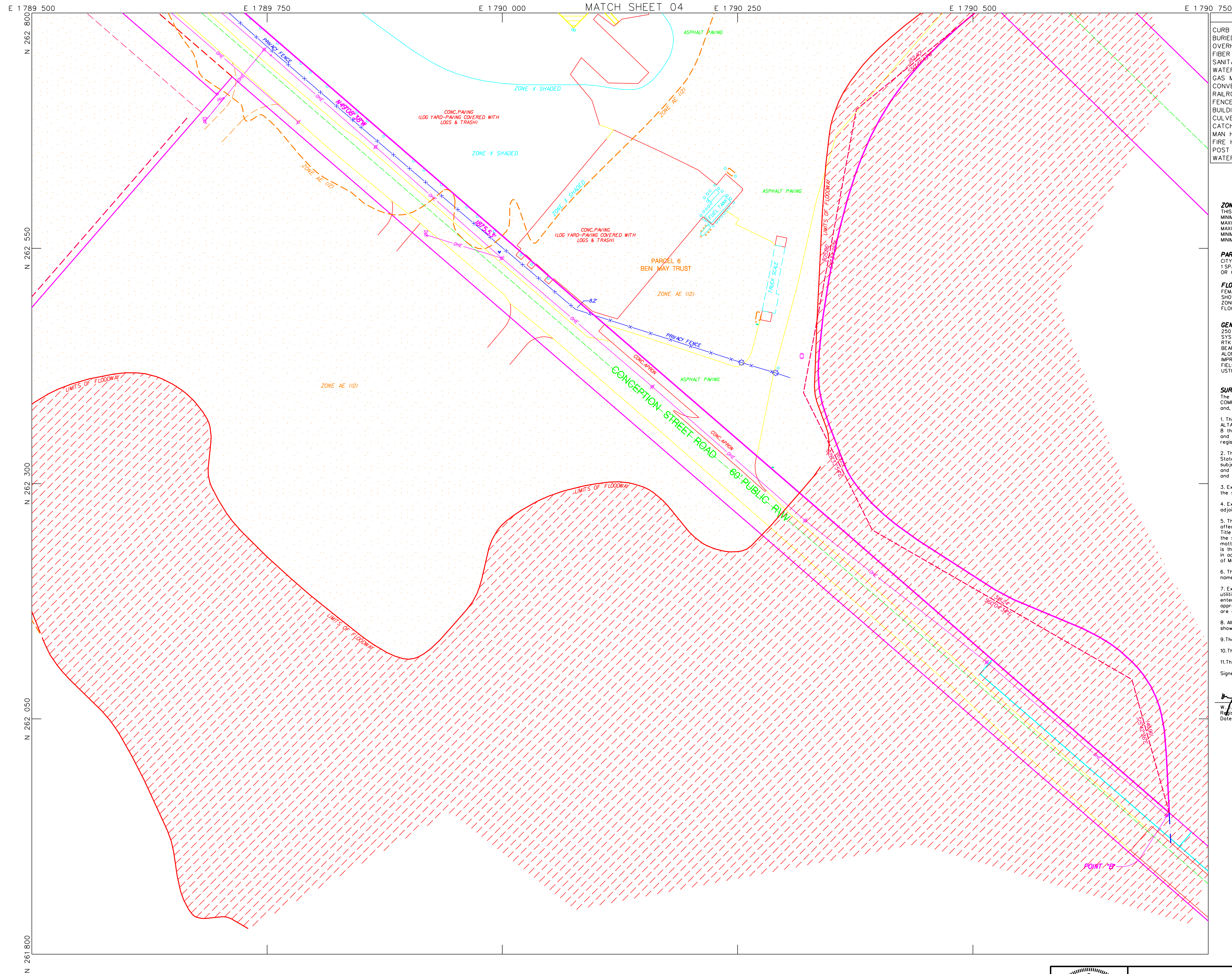
 W. J. LAWLER, III
 Registration No: 17513
 Dated: July 16, 2013



REVISIONS			
SCOTCH GULF LUMBER, LLC			
ALTA/ACSM AS-BUILT SURVEY OF MOBILE, ALABAMA SAW MILL FACILITY			
REF:	MAYNARD, COOPER & GALE, P.C.--GREG CURRAN		
DATE:	16 JULY, 2013	SCALE:	1"=200'
SHEET:	02 OF 08		
PROJ. NO.	13-069	DWG. No.	13-069-1



LAWLER AND COMPANY
 LAND AND INDUSTRIAL SURVEYORS
 2879 CLAUDIA LANE
 THEODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177



LEGEND		
CURB LINES	WATER VALVE	PARCEL BOUNDARY
BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
OVERHEAD LINES	UNKNOWN ELECTRICAL	SECTION LINE
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RAILROAD	SIGNS	SEC.-GOVERNMENTAL SECTION
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PARKING:
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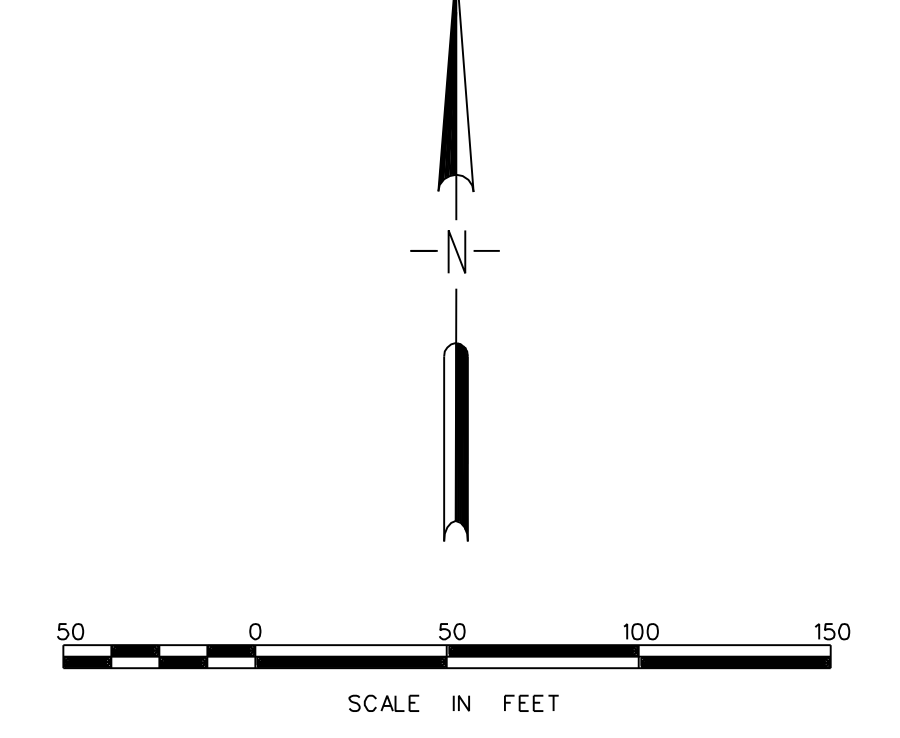
GENERAL NOTES:
 250 FOOT GRID BASED ON ALABAMA STATE PLANE COORDINATE SYSTEM. WEST ZONE. MAD 83 19921 ESTABLISHED ON SITE USING RTK GPS REFERENCING NGS GPS CONTROL MONUMENT "B 407". BEARINGS REFER TO GRID NORTH YIELDING A BEARING OF N-49°-08'-38"-W ALONG THE NORTH R/W LINE OF CONCEPTION STREET ROAD IMPROVEMENT INFORMATION LOCATED WITH LEICA TOTAL STATIONS FIELD SURVEY COMPLETED 12 JULY, 2013. USTN CADD FILE: \sps\GULF-LUMBER-13069-ALTA 1\16 09-OVERALL-BOUNDARY.DGN.

SURVEYORS CERTIFICATE:
 The undersigned, being a registered land surveyor of the State of Alabama certifies to (i) FIRST AMERICAN TITLE INSURANCE COMPANY, (ii) ANDERS, BOYETTE & BRADY, P.C., (iii) SCOTCH & GULF LUMBER, LLC, (iv) MFBS CORPORATION and, (v) MAYNARD COOPER AND GALE, P.C., their successors and assigns, as their interests may appear, that:

- This map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land and Title Surveys," jointly established and adopted by ALTA and NSPS in 2011, and includes items 1 through 4, 6a, 6b, 7a, 8 through 10a, 10b, 11b, 12, 13, 16, 17, 18, 19 and 20a, of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Alabama, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
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- The location of each easement, dedication, right of way, license, servitude, and other matter (above or below ground) affecting the subject property and listed in the title insurance commitment dated May 6, 2013, issued by First American Title Insurance Company, with respect to the subject property, or of which the undersigned has knowledge, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located, and, to the extent such matters cannot be located, we have made reference to such fact in the notes to the survey. The property shown on the survey is the property described in that title commitment. Except as shown, the location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment or imposed by the City of Mobile, Mobile County, Alabama.
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 W. J. LAWLER, III
 Registration No.: 17513
 Dated: July 16, 2013

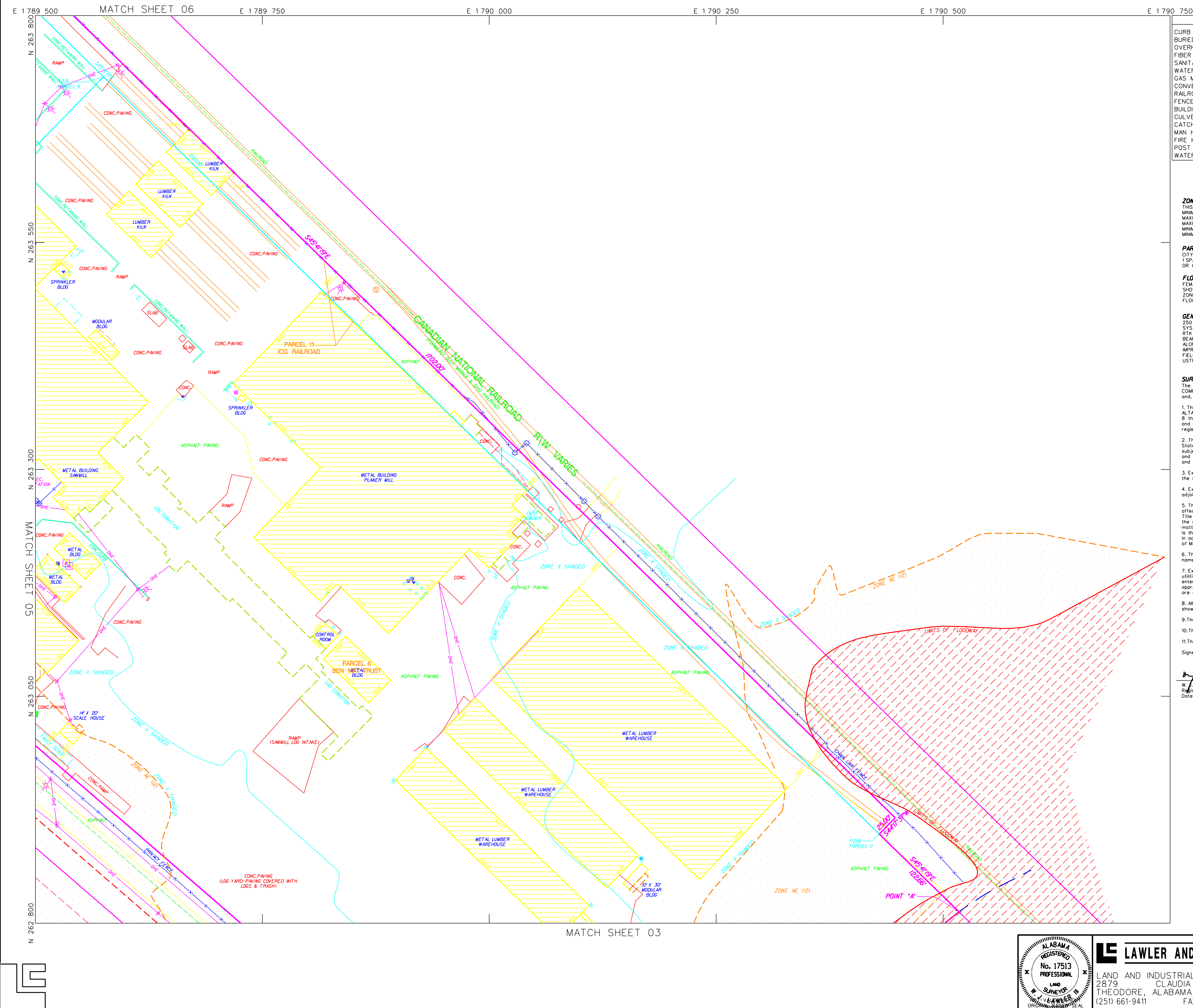


REVISIONS			

SCOTCH GULF LUMBER, LLC			
ALTA/ACSM AS-BUILT SURVEY OF			
MOBILE, ALABAMA SAW MILL FACILITY			
REF:	MAYNARD, COOPER & GALE, P.C.--GREG CURRAN		
DATE:	16 JULY, 2013	SCALE:	1"=50'
SHEET:	03 OF 08	PROJ. NO.	13-069
DWG. No.	13-069-1		

LAWLER AND COMPANY

LAND AND INDUSTRIAL SURVEYORS
 2879 CLAUDIA LANE
 THE ODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177



LEGEND

CURB LINES	WATER VALVE	PARCEL BOUNDARY
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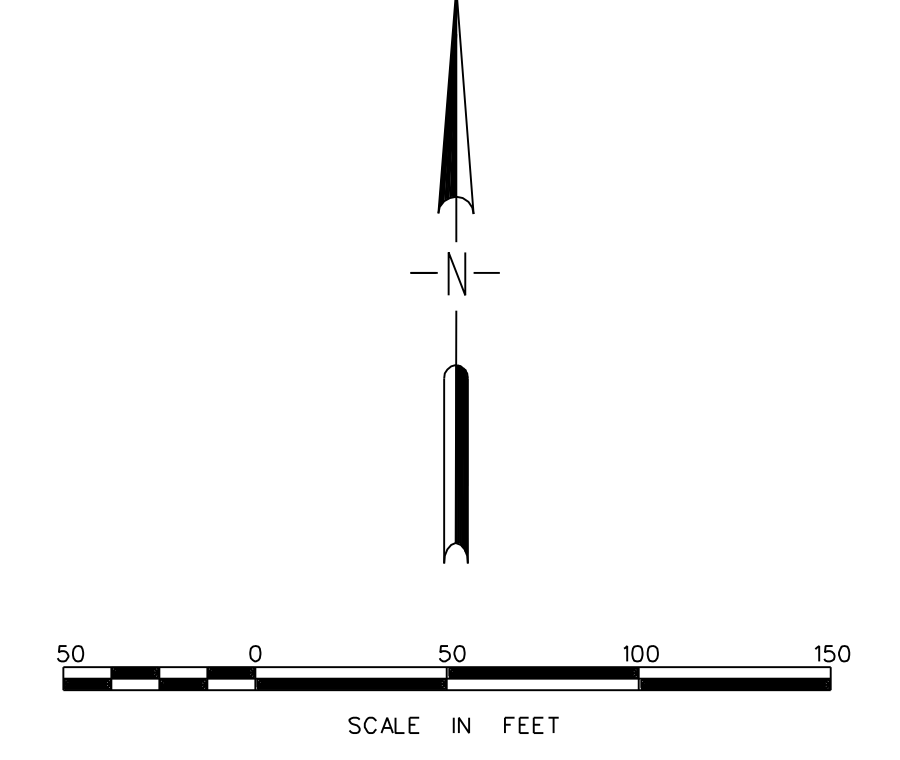
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- There are no material conflicts between the standards described above and any applicable local or state standards.
- The parties listed above are entitled to rely on the survey and this certificate as being true and accurate.

Signed:

 W. J. LAWLER, III
 Registration No.: 17513
 Dated: July 16, 2013



REVISIONS

SCOTCH GULF LUMBER, LLC
 ALTA/ACSM AS-BUILT SURVEY OF
 MOBILE, ALABAMA SAW MILL FACILITY

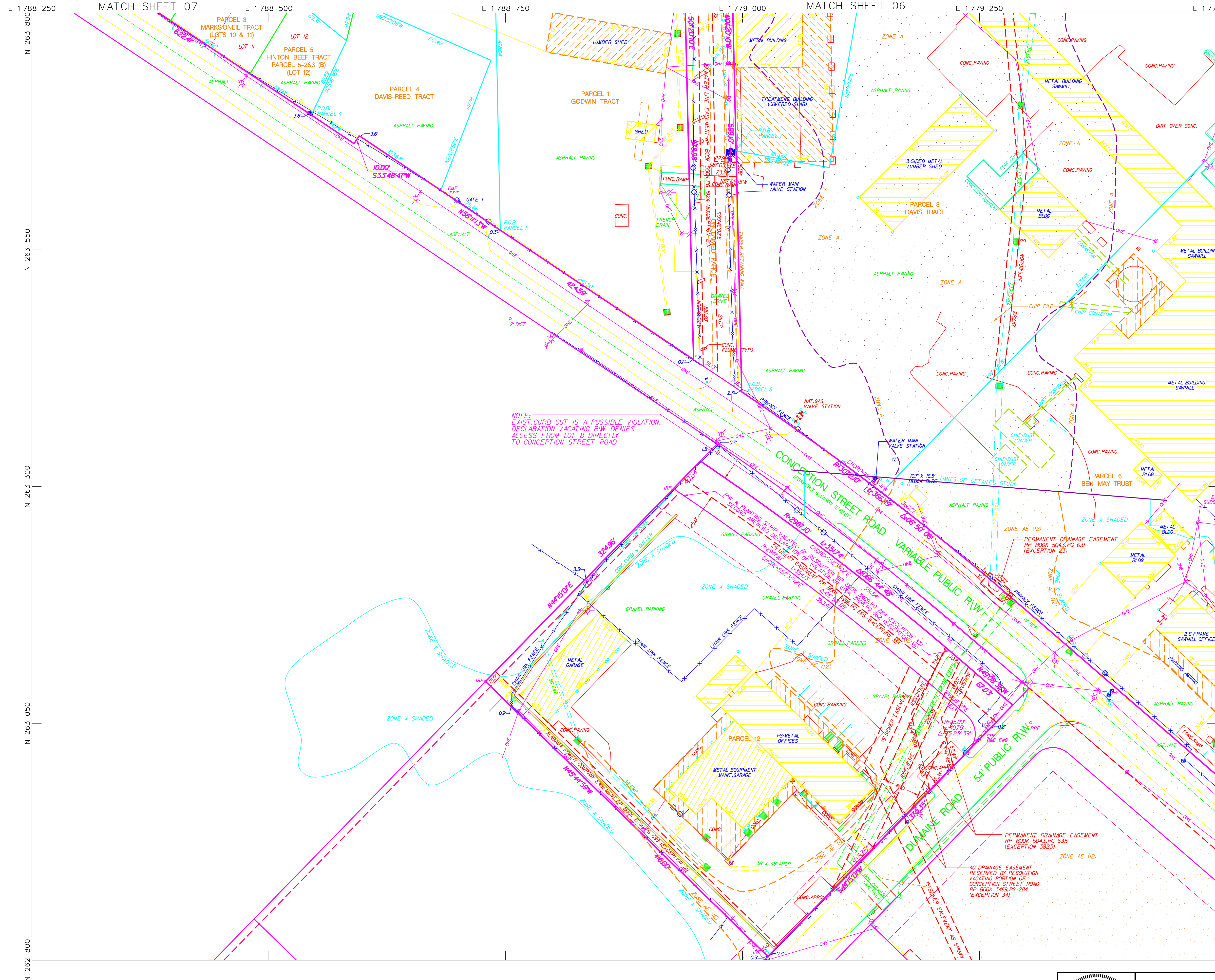
REF: MAYNARD, COOPER & GALE, P.C.--GREG CURRAN

DATE: 16 JULY, 2013 SCALE: 1"=50' SHEET 04 OF 08

PROJ. NO. 13-069 DWG. No. 13-069-1

LAWLER AND COMPANY
 LAND AND INDUSTRIAL SURVEYORS
 2879 CLAUDIA LANE
 THEODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177

ALABAMA REGISTERED PROFESSIONAL LAND SURVEYOR No. 17513



LEGEND

CURB LINES	WATER VALVE	PARCEL BOUNDARY
BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
OVERHEAD LINES	UNION ELECTRICAL	SECTION LINE
FIBER OPTIC CABLE	STREET LIGHTS	SET BACK LINES
SANITARY SEWER	POLES	EASEMENTS
WATER MAINS	GUY ANCHORS	MEANDERIE LINE
GAS MAIN	TRANSFORMERS	MONUMENTS
CONVEYOR	SHORELINE/DITCH	IRON PINS & PIPES AS NOTED
RAILROAD	SIGNS	SEC.-GOVERNMENTAL SECTION
FENCES	GATE VALVE	CRS-LAWLER 1/2" CAPPED REBAR SET
BUILDINGS	HVAC UNIT	CTIF-CRIMP TOP IRON PIPE FOUND
CULVERTS	PIPE STUB	CRF-CAPPED REBAR FOUND
CATCH BASINS	SANITARY CLEAN OUT	IRF-IRON ROD (REBAR) FOUND
MAN HOLES	GAS LINE MARKER	CMF-CONCRETE MONUMENT FOUND
FIRE HYDRANT	GAS METER	RCF-REINFORCED CONCRETE PIPE
POST INDICATOR VALVE	HANDICAP PARKING	CMP-CORRUGATED METAL PIPE
WATER METER	FIBER OPTIC CABLE	R/W-RIGHT OF WAY

ZONING:
 THIS PROPERTY CURRENTLY ZONED I-1 & I-2 WHICH CARRY THE FOLLOWING RESTRICTIONS:
 MINIMUM SITE AREA: 10,000 SQ. FT.
 MAXIMUM SITE COVERAGE: 75%
 MAXIMUM BUILDING HEIGHT: 1-14.5', 1-2-100'
 MINIMUM FRONT YARD: 25'
 MINIMUM SIDE & REAR YARDS: NONE

PARKING:
 CITY OF MOBILE PARKING REQUIREMENTS FOR INDUSTRIAL SITES CALL FOR 1 SPACE FOR EACH 300 SQ. FT. OF GROSS FLOOR SPACE DEVOTED TO OFFICE OR COMMERCIAL USE, PLUS 1 SPACE PER 3 WAREHOUSE EMPLOYEES.

FLOOD ZONE:
 FEMA FLOOD INSURANCE RATE MAP 10070552K DATED MARCH 17, 2010. SHOWS THIS PROPERTY IN ZONE X UNSHADED, ZONE X SHADED, ZONE A AND ZONE AE. BASE FLOOD ELEVATION 12.0' NAVD 1988. FLOOD ZONE DETERMINATION MADE FROM GRAPHIC PLOTTING ONLY.

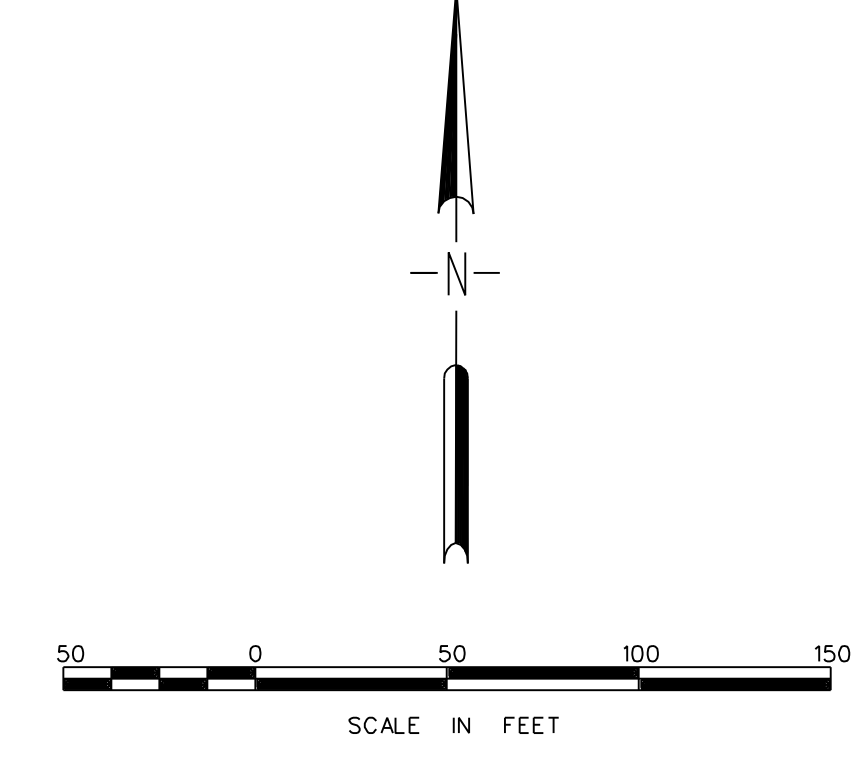
GENERAL NOTES:
 250 FOOT GRID BASED ON ALABAMA STATE PLANE COORDINATE SYSTEM. WEST ZONE, NAD 83 (1992) ESTABLISHED ON SITE USING RTK GPS REFERENCING NGS GPS CONTROL MONUMENT "B 407". BEARINGS REFER TO GRID NORTH YIELDING A BEARING OF N 49° 08' 38" W ALONG THE NORTH R/W LINE OF CONCEPTION STREET ROAD IMPROVEMENT INFORMATION LOCATED WITH LEICA TOTAL STATIONS FIELD SURVEY COMPLETED 12 JULY, 2013. USTN CADD FILE: \spn\GULF-LUMBER_13069-ALTA 1/16 09-OVERALL-BOUNDARY.DGN.

SURVEYORS CERTIFICATE:
 The undersigned, being a registered land surveyor of the State of Alabama certifies to (i) FIRST AMERICAN TITLE INSURANCE COMPANY, (ii) ANDERS, BOYETTE & BRADY, P.C., (iii) SCOTCH & GULF LUMBER, LLC, (iv) MFBS CORPORATION and, (v) MAYNARD COOPER AND GALE, P.C., their successors or assigns, as their interests may appear, that:

- This map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA and NSPS" jointly established and adopted by ALTA and NSPS in 2011, and includes items 1 through 4, 6a, 6b, 7a, 8 through 10a, 10b, 11b, 12, 13, 16, 17, 18, 19 and 20a, of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Alabama, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
- The survey and the property description set forth hereon was prepared by me, a registered land surveyor in the State of Alabama. The survey was made on the ground on July 12, 2013, and correctly shows the area of the subject property, the location and type of all buildings, parking areas (including number and type of spaces), structures and other improvements situated on the subject property, the distance from the improvements to exterior property lines, and any other matters situated on the subject property.
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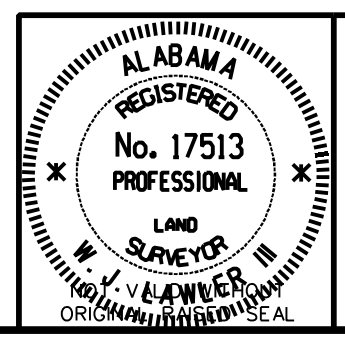
Signed:

 W. J. LAWLER, III
 Registration No.: 17513
 Dated: July 16, 2013



NOTE:
 EXIST. CURB CUT IS A POSSIBLE VIOLATION. DECLARATION VACATING R/W DENIES ACCESS FROM LOT 8 DIRECTLY TO CONCEPTION STREET ROAD

REVISIONS



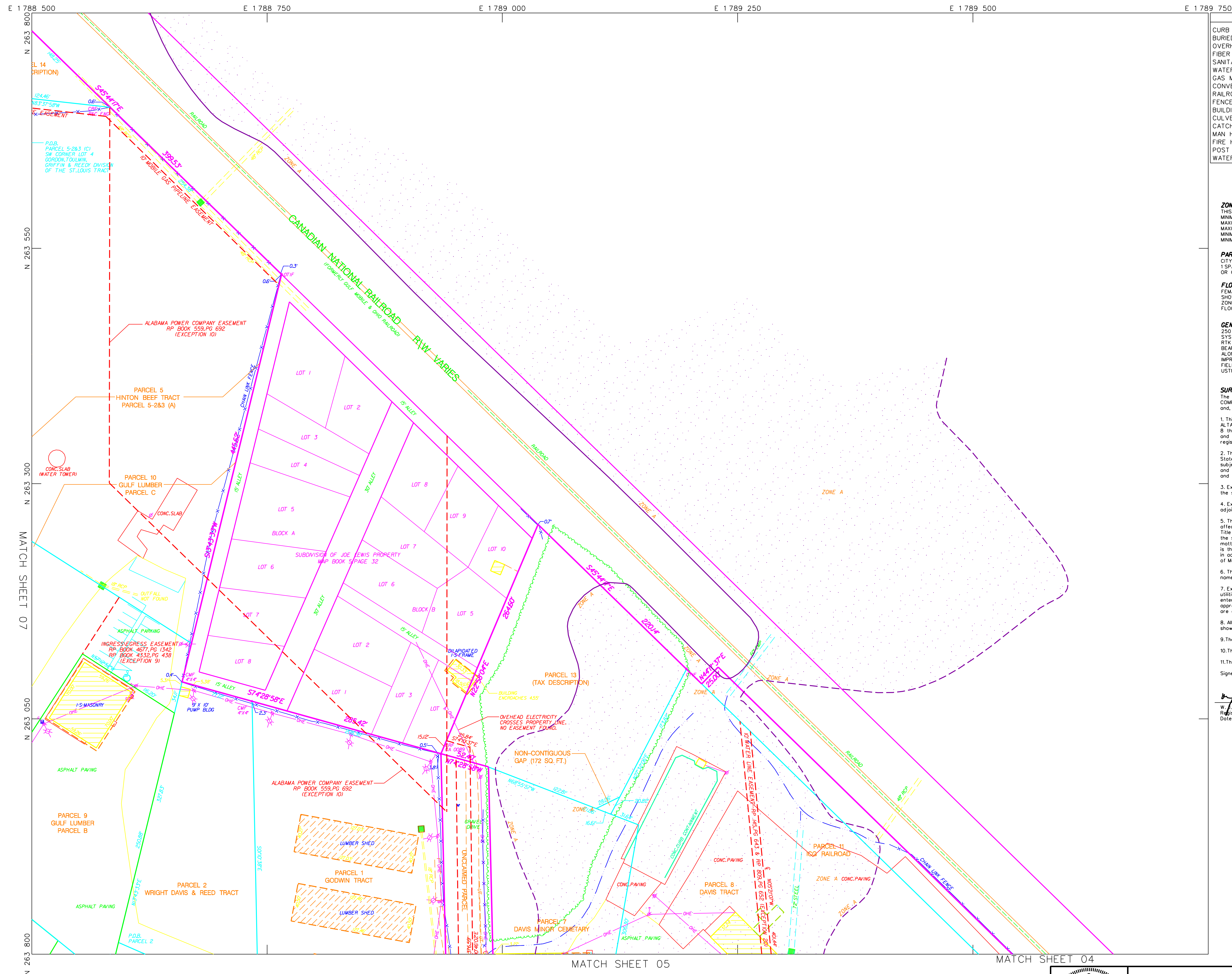
LAWLER AND COMPANY
 LAND AND INDUSTRIAL SURVEYORS
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 THEODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177

SCOTCH GULF LUMBER, LLC
 ALTA/ACSM AS-BUILT SURVEY OF
 MOBILE, ALABAMA SAW MILL FACILITY

REF: MAYNARD, COOPER & GALE, P.C.--GREG CURRAN

DATE: 16 JULY, 2013 SCALE: 1"=50' SHEET 05 OF 08

PROJ. NO. 13-069 DWG. No. 13-069-1



LEGEND		
CURB LINES	WATER VALVE	PARCEL BOUNDARY
BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
OVERHEAD LINES	UNKNOWN ELECTRICAL	SECTION LINE
FIBER OPTIC CABLE	STREET LIGHTS	SET BACK LINES
SANITARY SEWER	POLES	EASEMENTS
WATER MAINS	GUY ANCHORS	MEANDERING LINE
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CONVEYOR	SHORELINE/DITCH	IRON PINS & PIPES AS NOTED
RAILROAD	SIGNS	SEC.-GOVERNMENTAL SECTION
FENCES	GATE VALVE	CRS-LAWLER 1/2" CAPPED REBAR SET
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WATER METER	FIBER OPTIC CABLE	R/W-RIGHT OF WAY


ZONING:
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 MINIMUM SITE AREA: 10,000 SQ. FT.
 MAXIMUM SITE COVERAGE (ALL BUILDINGS): 75%
 MAXIMUM BUILDING HEIGHT: I-1:45', I-2:100'
 MINIMUM FRONT YARD: 25'
 MINIMUM SIDE & REAR YARDS: NONE

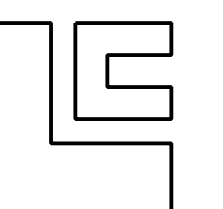
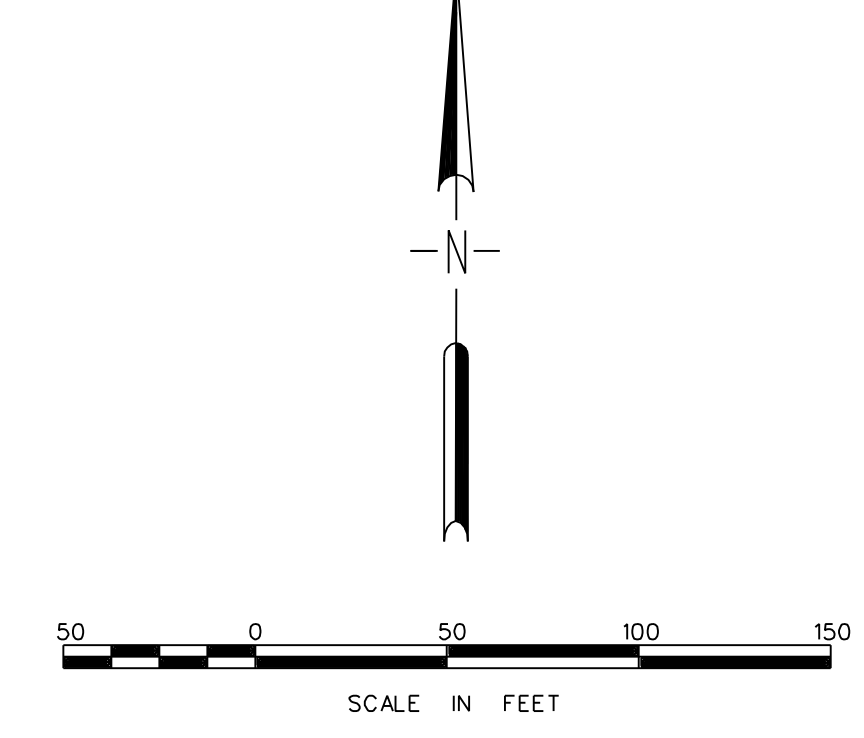
PARKING:
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FLOOD ZONE:
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GENERAL NOTES:
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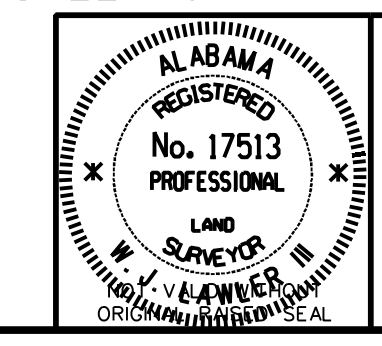
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 Registration No.: 17513
 Dated: July 16, 2013



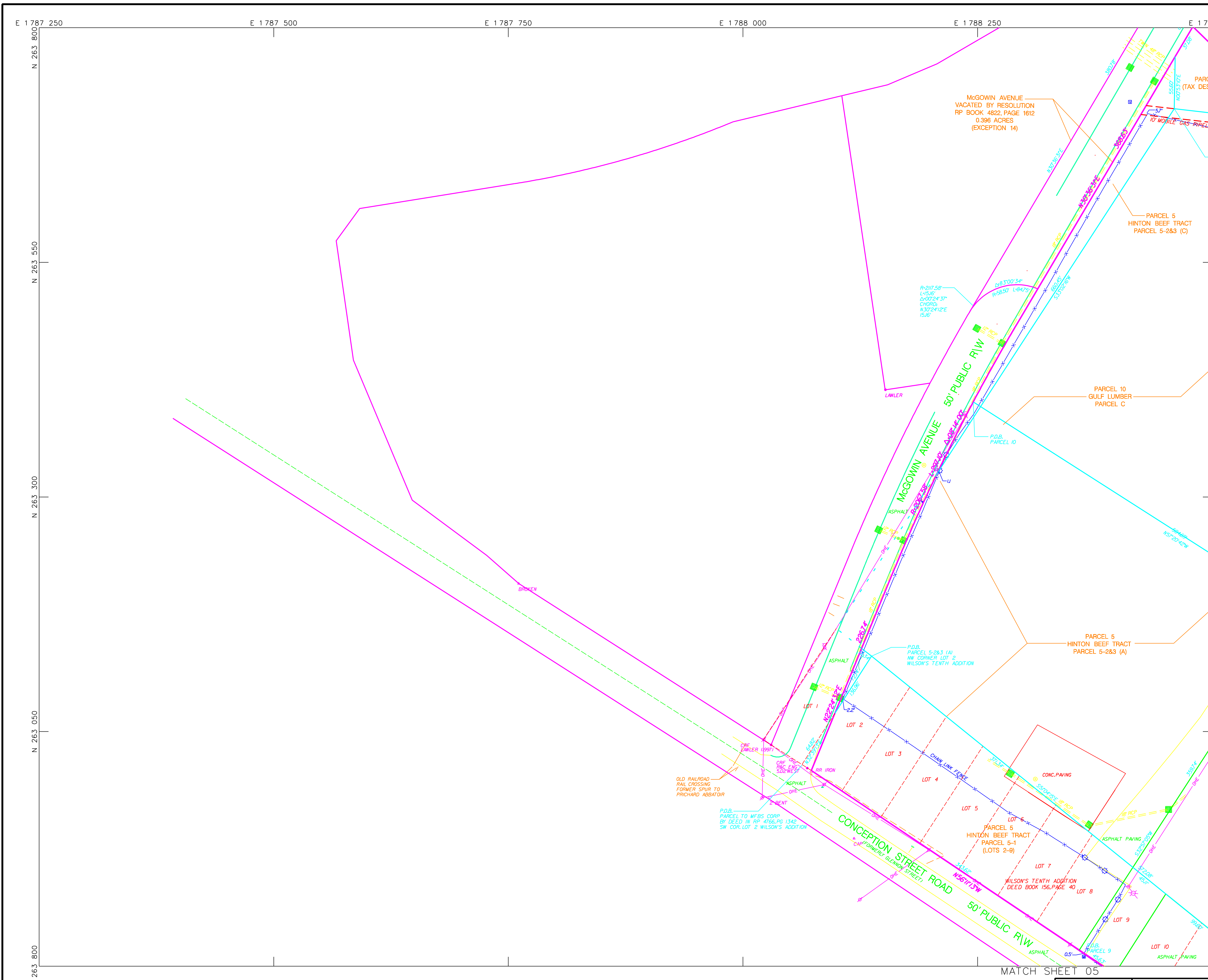
MATCH SHEET 05

MATCH SHEET 04



LAWLER AND COMPANY
 LAND AND INDUSTRIAL SURVEYORS
 2879 CLAUDIA LANE
 THEODORE, ALABAMA 36528
 (251) 661-9411 FAX (251) 661-9177

REVISIONS			
SCOTCH GULF LUMBER, LLC			
ALTA/ACSM AS-BUILT SURVEY OF MOBILE, ALABAMA SAW MILL FACILITY			
REF:	MAYNARD, COOPER & GALE, P.C.--GREG CURRAN		
DATE:	16 JULY, 2013	SCALE:	1"=50'
PROJ. NO.	13-069	DWG. No.	13-069-1
			SHEET 06 OF 08



LEGEND		
CURB LINES	WATER VALVE	PARCEL BOUNDARY
BURIED TELEPHONE	TELEPHONE BOX	ADJOINING PROPERTY
OVERHEAD LINES	UNKNOWN ELECTRICAL	SECTION LINE
FIBER OPTIC CABLE	STREET LIGHTS	SET BACK LINES
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CONVEYOR	SHORELINE DITCH	IRON PINS & PIPES AS NOTED
RAILROAD	SIGNS	SEC. GOVERNMENTAL SECTION
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CATCH BASINS	SANITARY CLEAN OUT	IRF-IRON ROD (REBAR) FOUND
MAN HOLES	GAS LINE MARKER	CMF-CONCRETE MONUMENT FOUND
FIRE HYDRANT	GAS METER	RCP-REINFORCED CONCRETE PIPE
POST INDICATOR VALVE	HANDICAP PARKING	CMP-CORRUGATED METAL PIPE
WATER METER	FIBER OPTIC CABLE	R/W-RIGHT OF WAY

ZONING:
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 MINIMUM FRONT YARD: 25'
 MINIMUM SIDE & REAR YARDS: NONE

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 FLOOD ZONE DETERMINATION MADE FROM GRAPHIC PLOTTING ONLY.

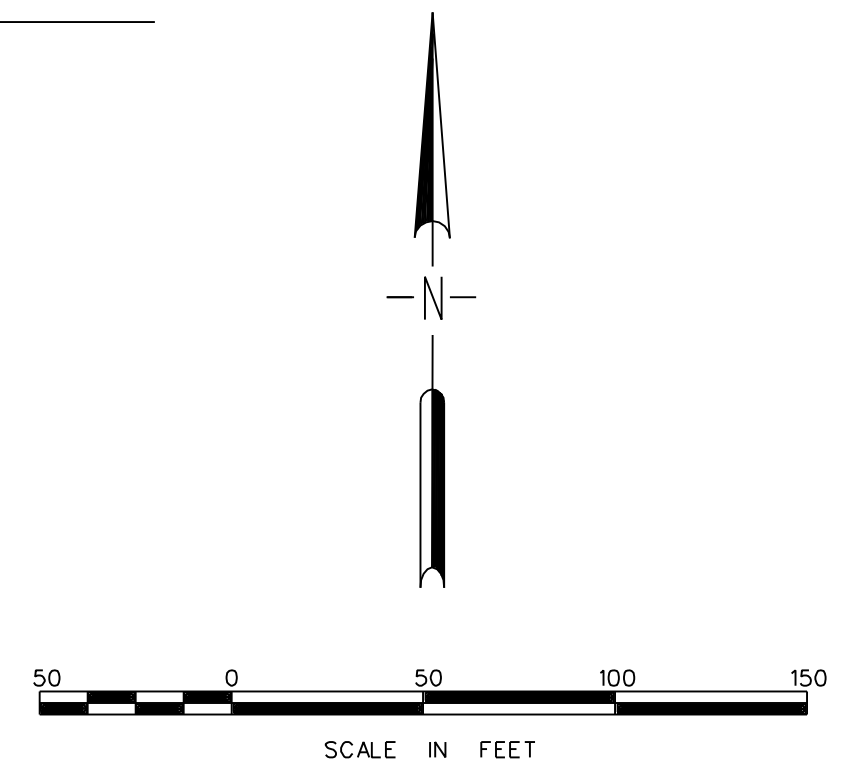
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 BEARINGS REFER TO GRID NORTH YIELDING A BEARING OF N 49° 08' 38" W ALONG THE NORTH R/W LINE OF CONCEPTION STREET ROAD IMPROVEMENT INFORMATION LOCATED WITH LEICA TOTAL STATIONS FIELD SURVEY COMPLETED 12 JULY, 2013.
 USTN CADD FILE: \sdr\GULF-LUMBER\13069-ALTA 1\16 09-OVERALL-BOUNDARY.DGN.

SURVEYORS CERTIFICATE:
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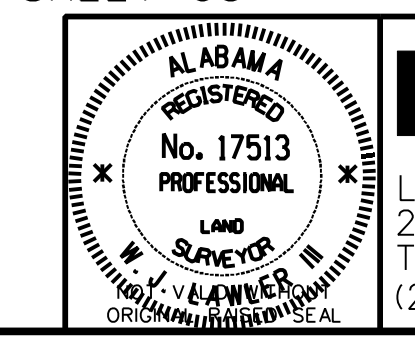
Signed:

W. J. LAWLER, III
 Registration No.: 17513
 Dated: July 16, 2013



REVISIONS			

SCOTCH GULF LUMBER, LLC ALTA/ACSM AS-BUILT SURVEY OF MOBILE, ALABAMA SAW MILL FACILITY			
REF:	MAYNARD, COOPER & GALE, P.C. -- GREG CURRAN		
DATE:	16 JULY, 2013	SCALE:	1"=50'
SHEET:	07 OF 08	DWG. No.:	13-069-1



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 LAND AND INDUSTRIAL SURVEYORS
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