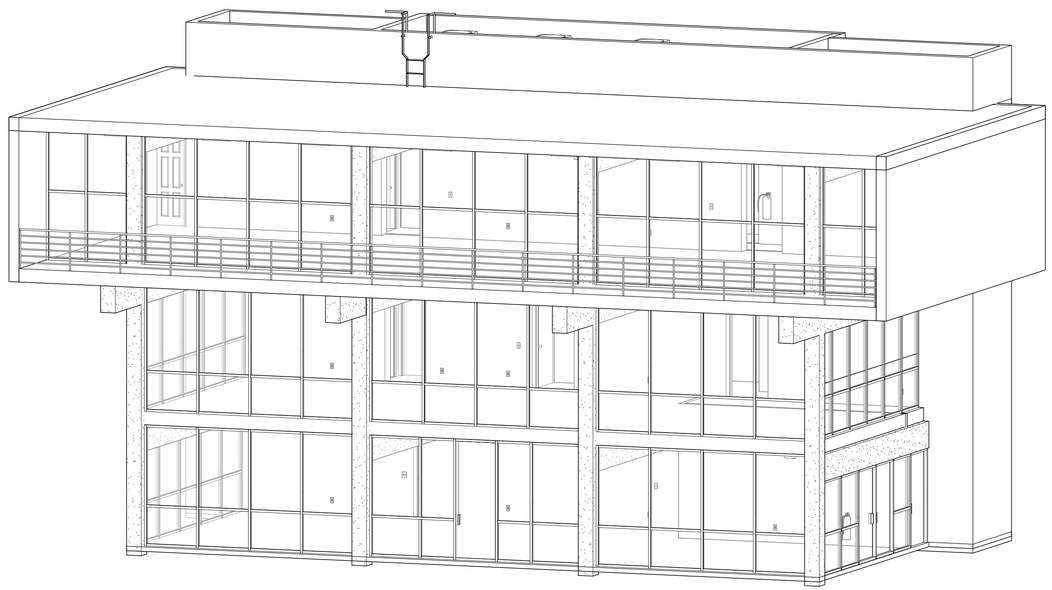
RENOVATION FOR

MARK BOSTEL

1551 2ND ST, SARASOTA, FL 34236



PROFESSIONAL STATEMENT

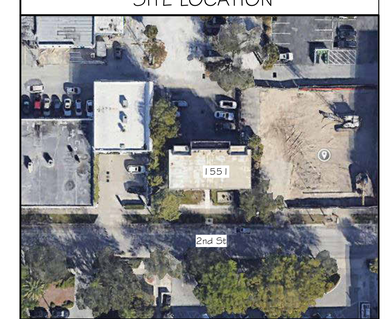
To the best of the Architect's knowledge, these plans & specifications comply with the applicable minimum Building Codes & Fire Safety Standards as determined in accordance with Chapters 553 and 633, Laws of Florida.

To the best of the Architect's knowledge, the wind load design is in conformance with the Florida Building Code, 2023 Edition, Section 1609 for **150mph** wind speed & in conformance with the 2023 FBC Mechanical, Plumbing, & Fire Codes & the 2020 edition of National Electric Codes.

DRAWING INDEX

G001	COVER SHEET
G002	GENERAL NOTES & INFORMATIONS
AD101	EXISTING/DEMO FIRST FLOOR PLAN
AD102	EXISTING/DEMO SECOND FLOOR PLAN
AD103	EXISTING/DEMO THIRD FLOOR PLAN
A-106	PROPOSED FIRST FLOOR PLAN (NOTES)
A-107	PROPOSED FIRST FLOOR PLAN (DIM.)
A-108	PROPOSED SECOND FLOOR PLAN
A-109	PROPOSED THIRD FLOOR PLAN
A-110	PROPOSED ROOF PLAN
A-111	RESTROOMS PLANS
A-201	FRONT & REAR ELEVATIONS
A-202	LEFT & RIGHT SIDES ELEVATIONS
LS-101	LIFE SAFETY PLAN - FIRST FLOOR
LS-102	LIFE SAFETY PLAN - SECOND FLOOR
LS-103	LIFE SAFETY PLAN - THIRD FLOOR
AM-114	PROPOSED A. MECHANICAL
E101	FIRST FLOOR ELECTRICAL CEILING PLAN
E102	FIRST FLOOR ELECTRICAL POWER PLAN
E103	SECOND FLOOR ELECTRICAL CEILING PLAN
E104	SECOND FLOOR ELECTRICAL POWER PLAN
E105	THIRD FLOOR ELECTRICAL CEILING PLAN
E106	THIRD FLOOR ELECTRICAL POWER PLAN

SITE LOCATION



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STATE OF FLORIDA
Joseph G. Johnson
AR101055
REGISTERED ARCHITECT

Digitally signed by Joseph Johnson
Date: 2024.04.24 10:53:45 -04'00'

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RD24-015

SHEET #

G001

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ABBREVIATIONS

@	AT
A.A.	ATTIC ACCESS
AC, A/C	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
ARCH	ARCHITECT / ARCHITECTURAL / ARCHITECTURE
BFE	BASE FLOOD ELEVATION
BRG	BEARING
BS	BOTH SIDES
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPRESSOR
CONC	CONCRETE
CU	AIR CONDITIONING CONDENSER UNIT
D	DRYER
DFE	DESIGN FLOOD ELEVATION
DIA	DIAMETER
DW	DISHWASHER
EA	EACH
ELEC	ELECTRICAL
EMBED	EMBEDMENT
EX	EXISTING
FBC	FLORIDA BUILDING CODE
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FLR	FLOOR
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GYP	GYPSUM
HB	HOSE BIB
HDR	HEADER
HOA	HOMEOWNERS ASSOCIATION
HT	HIGHT
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
HR	HOUR
MAX.	MAXIMUM
MECH	MECHANICAL
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MIN.	MINIMUM / MINUTES
MPH	MILES PER HOUR
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NOA	NOTICE OF ACCEPTANCE
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD / OVERHANG
PL	PROPERTY LINE
PP	POWER PANEL
PSF	POUNDS PER SQUARE FOOT
PVC	POLYVINYL CHLORIDE
REF	REFRIGERATOR
SF	SQUARE FOOT / FEET
SPECS	SPECIFICATIONS
SQ	SQUARE
SV	SMART VENT(S)
T&B	TOP AND BOTTOM
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VB	VAPOR BARRIER
W	WASHER
W/	WITH
WC	WATER CLOSET
W/D	STACKABLE WASHER AND DRYER
WH	WATER HEATER
W/O	WITHOUT

SYMBOLS

01	DOOR TAG
A	WINDOW TAG
GREAT ROOM 12'-0" BRG. VAULT 12'-0" x 12'-0"	ROOM NAME CEILING HEIGHT ROOM SIZE
	REVISION CLOUD
TOP OF ROOF 26'-3 1/2" NAVD	LEVEL LINE
2	DRAWING NOTE
X / 12"	DIRECTION OF SLOPED SURFACE
F01	FOUNDATION TAG
2	EXTERIOR FINISH TAG

GENERAL NOTES

1. OWNER AND/OR CONTRACTOR TO VERIFY ALL DETAILS & DIMENSIONS PRIOR TO CONSTRUCTION.
2. DRIER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
3. ALL WINDOWS & DOORS SHALL BE IMPACT RESISTANT U.N.O.
4. A/C DRAINS SHALL BE READILY ACCESSIBLE.
5. ALL GYPSUM BOARD IN WET AREAS SHALL BE MOISTURE RESISTANT.
6. GENERAL NOTES & KEY NOTES ON ARCHITECTURAL SHEETS APPLY ONLY TO THE SHEET ON WHICH THEY APPEAR
7. CENTER ANY INTERIOR OPENINGS (NOT LOCATED BY DIMENSION), THAT APPEAR TO BE CENTERED IN A WALL
8. DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY ON BUILDINGS THAT HAVE MASONRY PERIMETER WALLS
9. DIMENSIONS ARE TO EXTERIOR FACE OF STUDS ON BUILDINGS THAT HAVE STUD FRAMED PERIMETER WALLS

APPLICATION CODES

- FLORIDA BUILDING CODE - 2023 8th EDITION
- FLORIDA BUILDING CODE RESIDENTIAL - 2023
- FLORIDA BUILDING CODE ENERGY - 2023
- FLORIDA BUILDING CODE PLUMBING - 2023
- FLORIDA BUILDING CODE MECHANICAL - 2023
- NFPA 70 NATIONAL ELECTRICAL CODE (NEC) - 2020

FLORIDA BUILDING NOTES

FBC NOTES:

- PLANS ILLUSTRATE THAT ALL EXTERIOR WINDOWS AND GLASS DOORS ARE REQUIRED TO BE TESTED IN ACCORDANCE WITH ANSI/ AMMA/NWWDA 101/I52 STANDARD AND BEAR AN AMMA OR WDMA LABEL IDENTIFYING THE MANUFACTUR CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY. BUILDER TO PROVIDE ALL NOA'S AND INSTALLATION INSTRUCTIONS
- ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.
- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL FBC-R318
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1" AWAY FROM BUILDING SIDE WALLS.FBC-R 318.5
- IRRIGATION/ SPRINKLER SYSTEM INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN"10" OF THE BUILDING SIDE WALLS." FBC-R318.5
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES." EXCEPTION: PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8 THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE FBC-R318
- SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED". FBC-R506.2.3 & 318.1.4
- CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. FBC-R318.1.5
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0OF THE STRUCTURE SIDEWALLS." FBC-R318.1.6
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.FBC-R318.1.6
- IF A BAIT SYSTEM IS USED, SEE FBC-R318.1.7
- A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE:THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES'. SEE FL STATUTE 482
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL." FBC-R318.6
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING." FBC-R318..6.2
- ALL AREAS BELOW THE DESIGN FLOOD ELEVATION (DFE) MUST BE CONSTRUCTED WITH CLASS 4 OR 5 MATERIALS RESISTANT TO FLOOD DAMAGE AS PER FEMA TECHNICAL BULLETIN 2, ENTITLED âœFLOOD-RESISTANT MATERIALS REQUIREMENTS FOR BUILDINGS LOCATED IN SPECIAL FLOOD HAZARD AREAS
- ALL STAIR MATERIALS BELOW THE DFE MUST BE WATER RESISTANT MATERIALS

AREA TABULATIONS

EXISTING	A/C SPACE	5,190 SF
PROPOSED	A/C SPACE	5,190 SF
TOTAL	NO CHANGE TO A/C AREA	

LOT TABULATION

LOT SIZE	10,500 SF / 100 %
BUILDING FOOTPRINT	1,382 SF
LOT COVERAGE BY BUILDING FOOTPRINT	13.16 %

SCOPE OF WORK

- LEVEL 2 ALTERATION
- INTERIOR RENOVATION
- NEW ELECTRICAL WIRING THROUGHOUT
- REPLACE HVAC AND DUCTWORK
- REMODEL AND REPLACE FIXTURES IN BATHROOMS
- NEW TILE ON 1ST FLOOR
- NEW RAILS FOR STAIRS
- DEMO AND INFILL PONDS ON 1ST FLOOR
- NO CHANGES TO PLUMBING

DESIGN CRITERIA

OCCUPANCY TYPE:	B
CONSTRUCTION TYPE:	IIIB
FIRE SPRINKLERED:	NO
BASIC WIND SPEED:	150 MPH
RISK CATEGORY:	II
WIND EXPOSURE:	D
BUILDING:	ENCLOSED
PRESSURE DESIGN FACTOR:	+/- 0.18
ZONING:	DTC
FLOOD:	X

OCCUPANCY LOAD

FIRST FLOOR:	18 OCCUPANTS
SECOND FLOOR:	16 OCCUPANTS
THIRD FLOOR:	20 OCCUPANTS
TOTAL OCCUPANT LOAD:	54 OCCUPANTS

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SHEET #

G002

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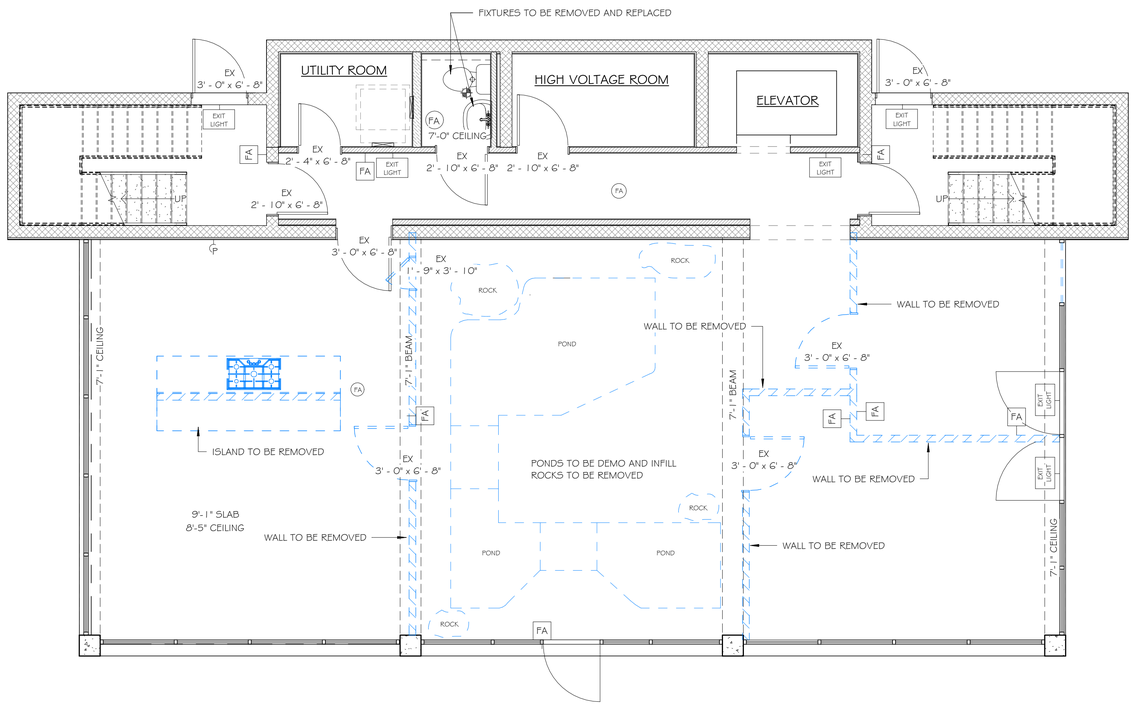
WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



EXISTING/DEMO FIRST FLOOR PLAN

1/4" = 1'-0"

SCOPE OF WORK:

- NEW ELECTRICAL WIRING THROUGHOUT
- REMOVE AND REPLACE FIXTURES IN BATHROOMS TO INCLUDE EXHAUST
- REPLACE HVAC AND DUCTWORK
- POLISH CONCRETE FLOORS ON 2ND AND 3RD FLOORS
- NEW TILE ON 1ST FLOOR
- NEW RAILS FOR STAIRS
- REMOVE GAS IN KITCHEN
- DEMO AND INFILL PONDS ON 1ST FLOOR
- RELOCATE 2 BATHROOM DOORS TO ASSIST WITH ADA

0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

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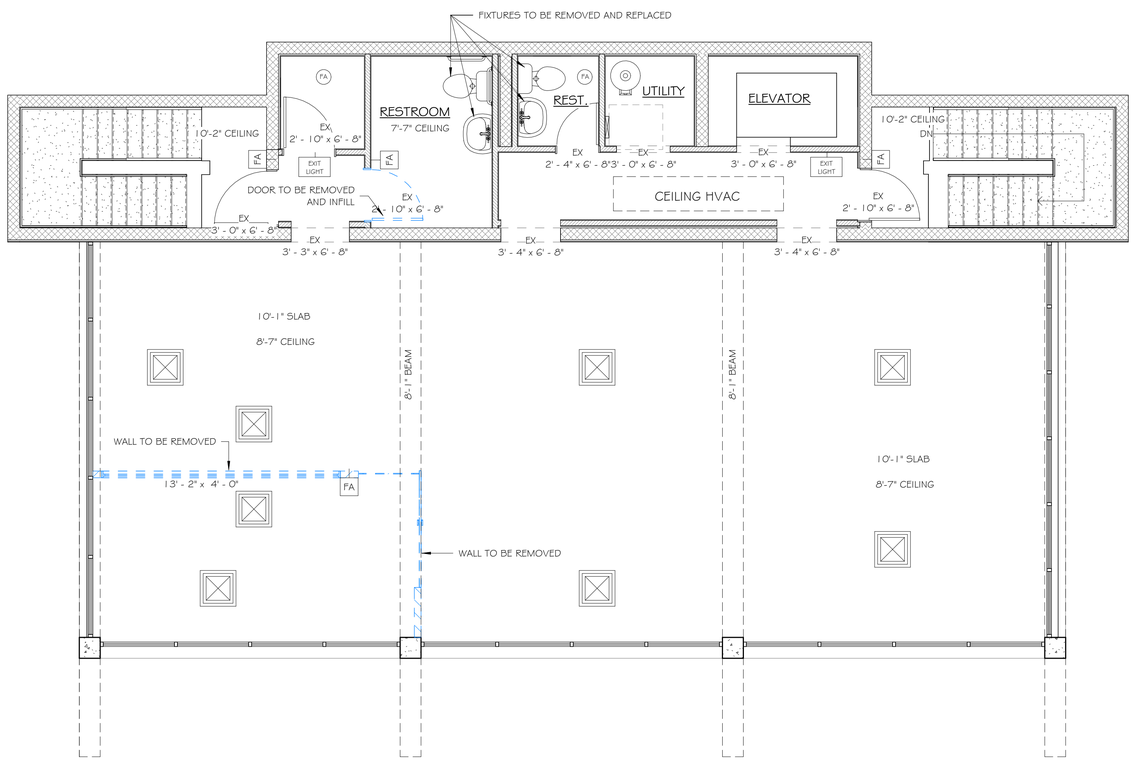
SHEET #

AD101

WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



EXISTING/DEMO SECOND FLOOR PLAN

1/4" = 1'-0"

SCOPE OF WORK:

- NEW ELECTRICAL WIRING THROUGHOUT
- REMOVE AND REPLACE FIXTURES IN BATHROOMS TO INCLUDE EXHAUST
- REPLACE HVAC AND DUCTWORK
- POLISH CONCRETE FLOORS ON 2ND AND 3RD FLOORS
- NEW TILE ON 1ST FLOOR
- NEW RAILS FOR STAIRS
- REMOVE GAS IN KITCHEN
- DEMO AND INFILL PONDS ON 1ST FLOOR
- RELOCATE 2 BATHROOM DOORS TO ASSIST WITH ADA

0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

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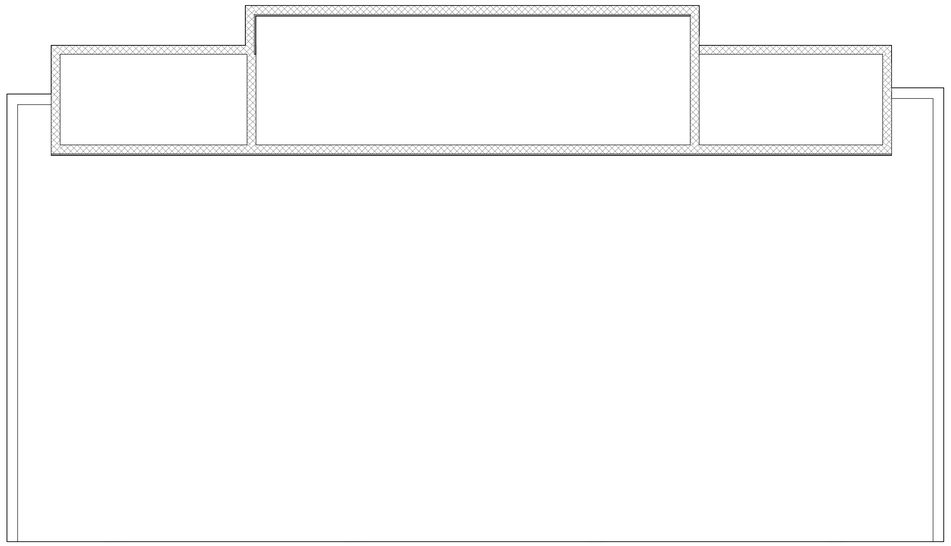
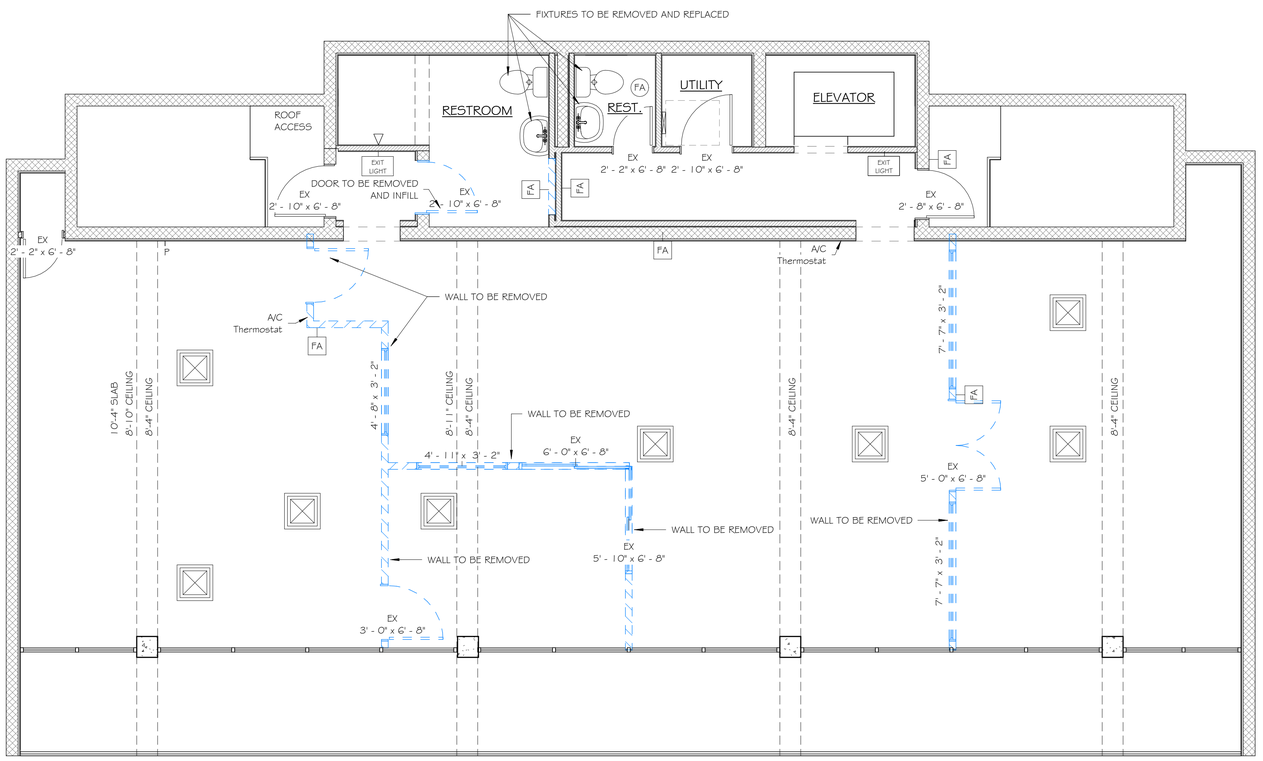
AD102



EXISTING/DEMO ROOF PLAN

3/16" = 1'-0"



EXISTING/DEMO THIRD FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL

SCOPE OF WORK:

- NEW ELECTRICAL WIRING THROUGHOUT
- REMOVE AND REPLACE FIXTURES IN BATHROOMS TO INCLUDE EXHAUST
- REPLACE HVAC AND DUCTWORK
- POLISH CONCRETE FLOORS ON 2ND AND 3RD FLOORS
- NEW TILE ON 1ST FLOOR
- NEW RAILS FOR STAIRS
- REMOVE GAS IN KITCHEN
- DEMO AND INFILL PONDS ON 1ST FLOOR
- RELOCATE 2 BATHROOM DOORS TO ASSIST WITH ADA

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SCALE: 1/4" = 1'-0"

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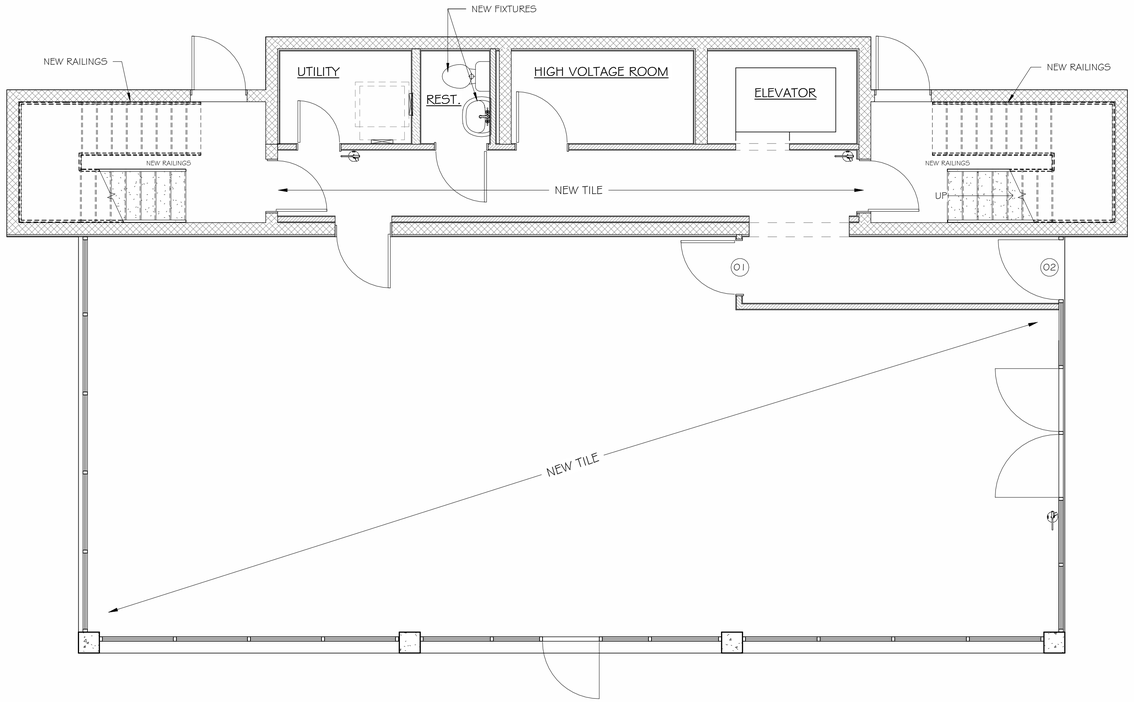
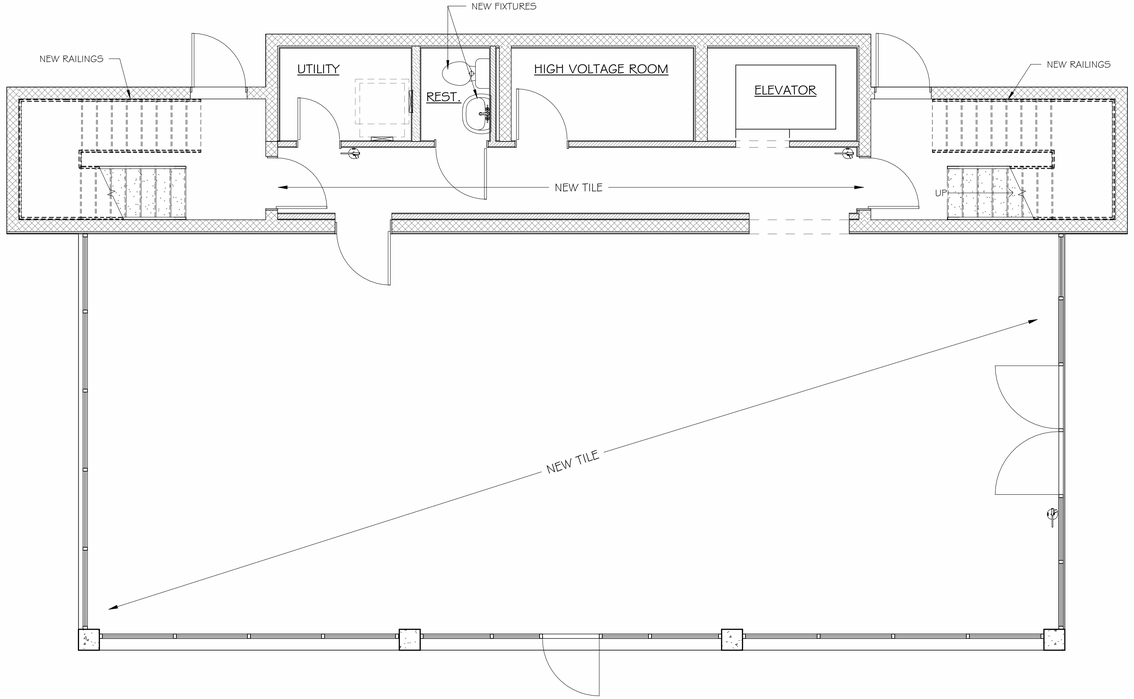


PROPOSED FIRST FLOOR PLAN (NOTES)

1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN (2ND OPTION)

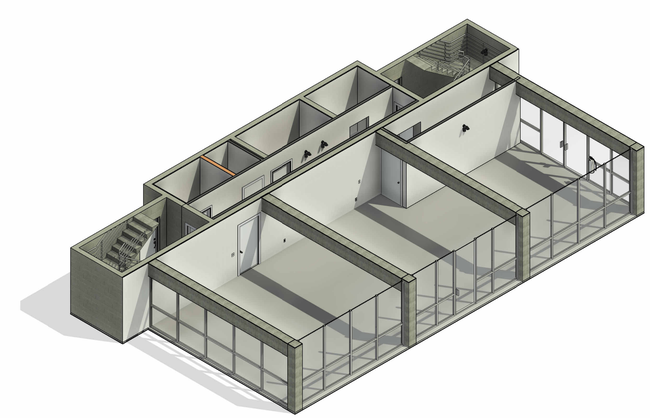
1/4" = 1'-0"

DOOR SCHEDULE

MARK	COUNT	STYLE	FUNCTION	WIDTH x HEIGHT	NOTE
01	3		Interior	3' - 0"/6' - 8"	
02	1		Exterior	3' - 4 1/4"/6' - 11"	GLASS

WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



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A-106

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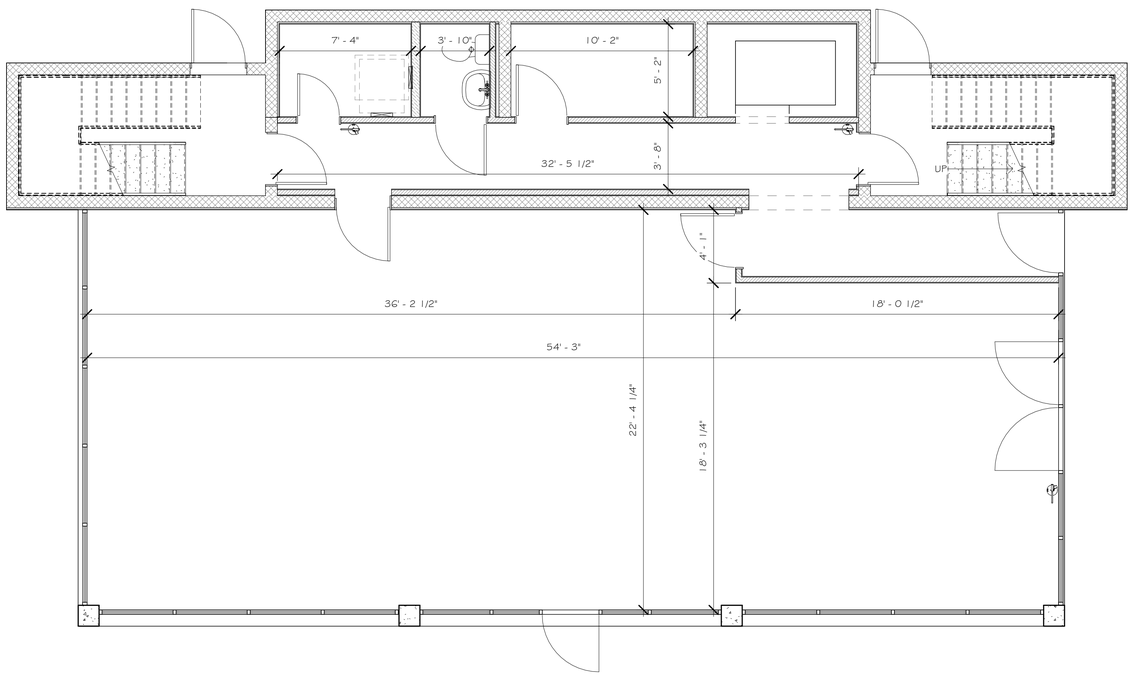

PROPOSED FIRST FLOOR PLAN (DIM)

1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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Renovation for
Mark Bostel
1551 2nd St,
Sarasota, FL 34236

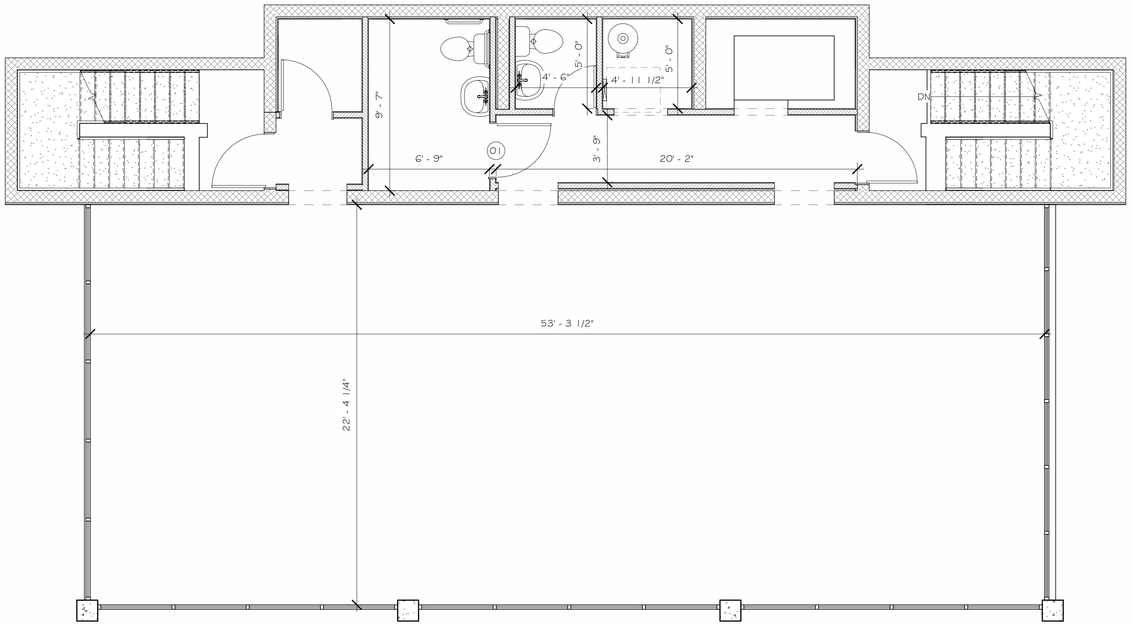
ISSUE DATE

DATE	INITIALS	DESCRIPTION
03/12/24	AS	AS-BUILT
03/20/24	AC	SD
03/27/24	AC	DD
04/03/24	AC	DD

RD24-015

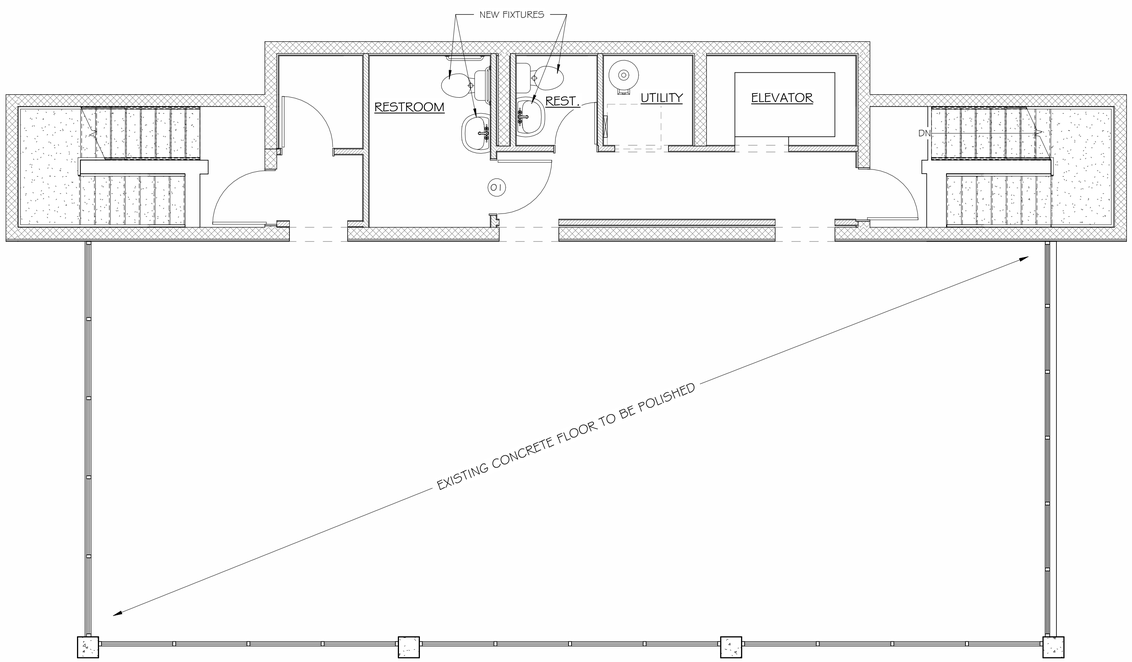
SHEET #

A-107



PROPOSED SECOND FLOOR PLAN (DIM)

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN (NOTES)

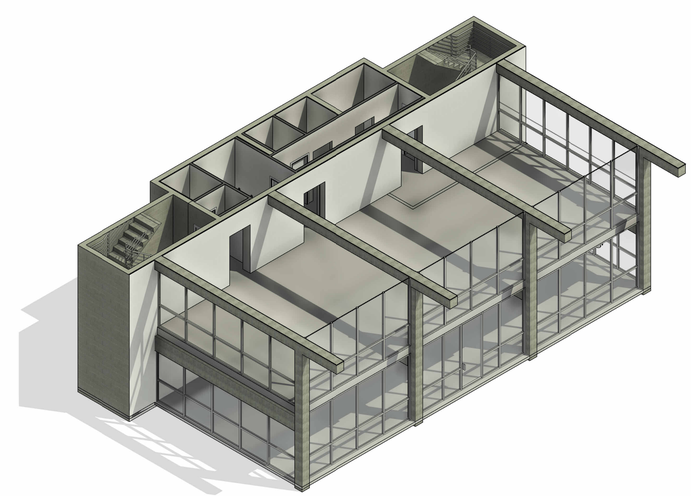
1/4" = 1'-0"

DOOR SCHEDULE

MARK	COUNT	STYLE	FUNCTION	WIDTH x HEIGHT	NOTE
01	3		Interior	3' - 0"/6' - 8"	
02	1		Exterior	3' - 4 1/4"/6' - 11"	GLASS

WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

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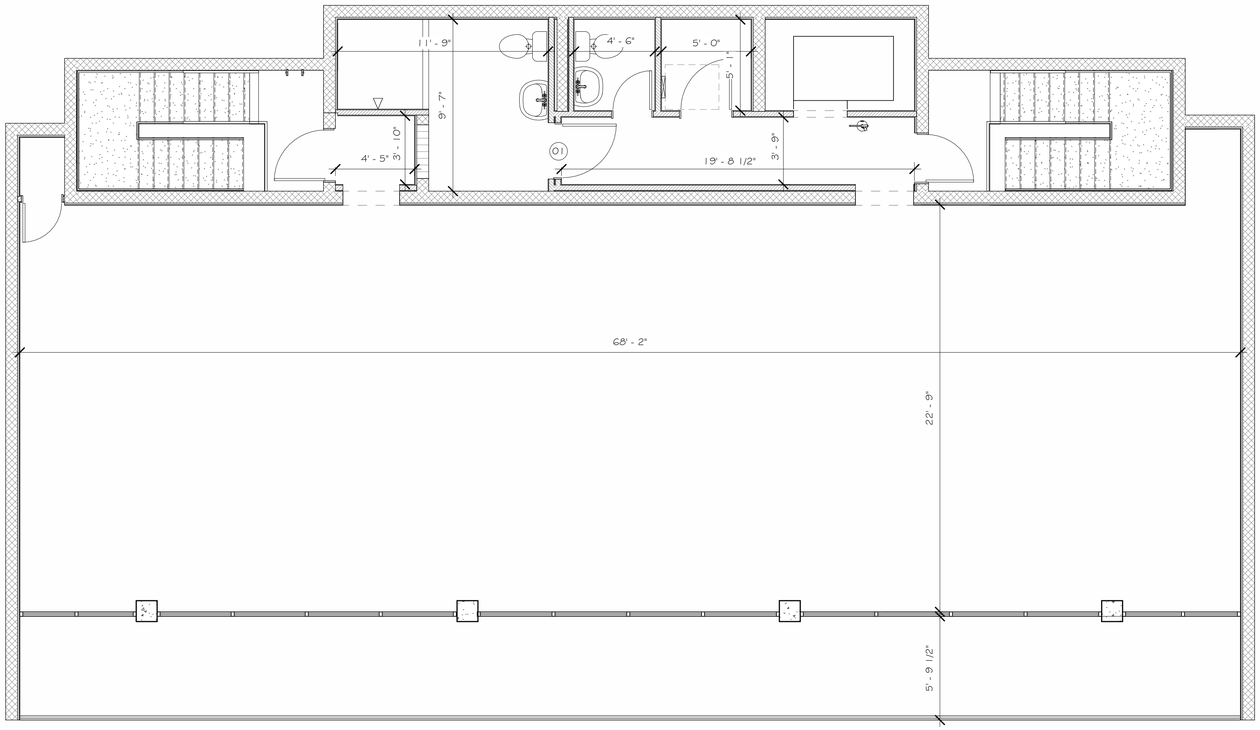
04/03/24	AC	DD

RD24-015

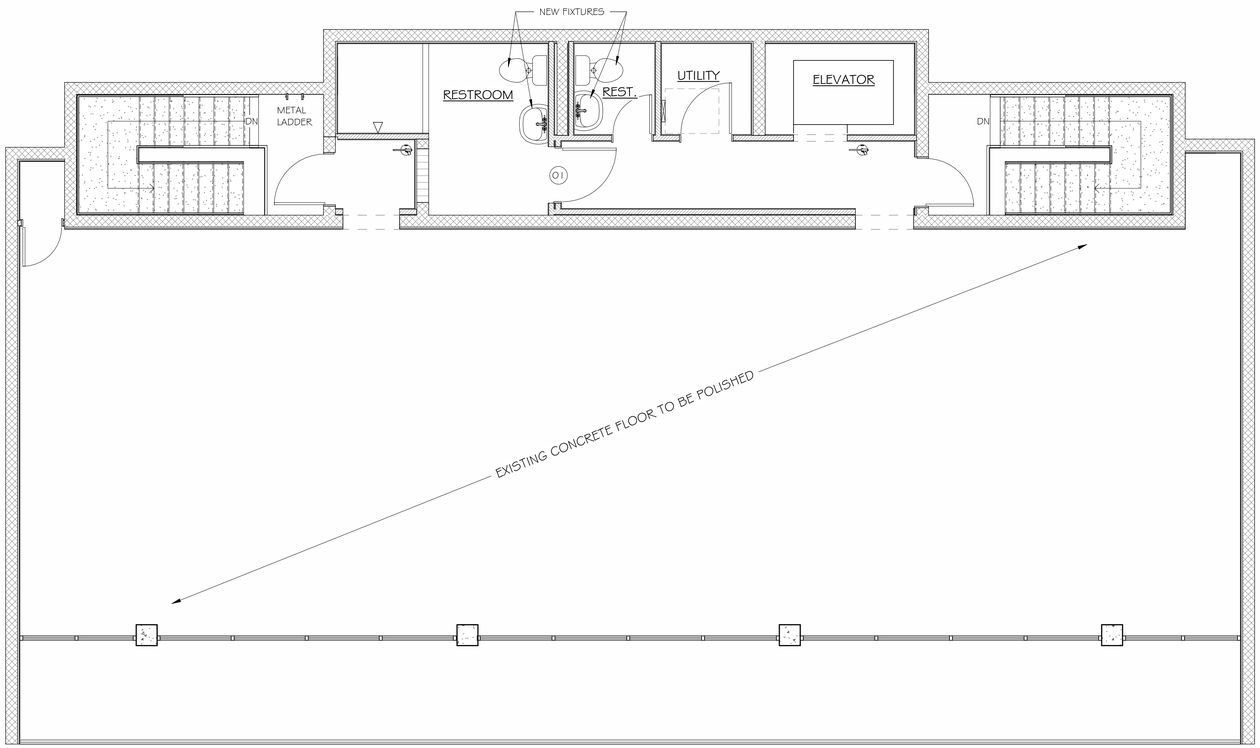
SHEET #

A-108



PROPOSED THIRD FLOOR PLAN (DIM)

1/4" = 1'-0"



PROPOSED THIRD FLOOR PLAN (NOTES)

1/4" = 1'-0"

DOOR SCHEDULE

MARK	COUNT	STYLE	FUNCTION	WIDTH x HEIGHT	NOTE
01	3		Interior	3' - 0"/6' - 8"	
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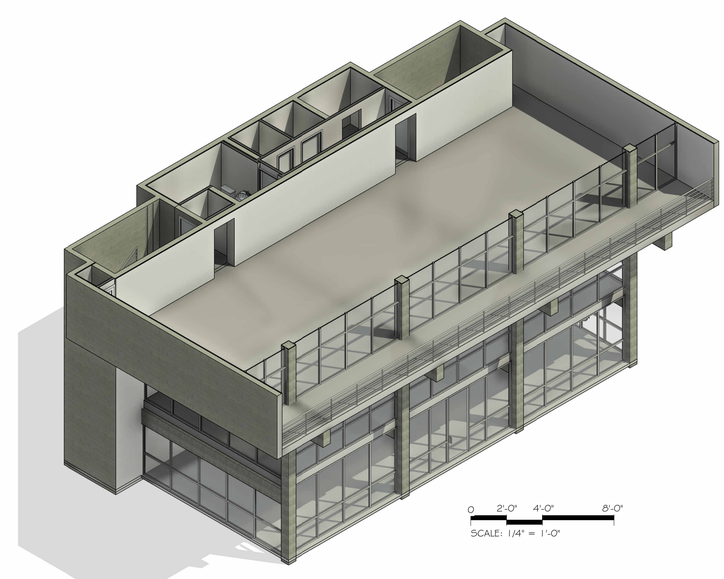
WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



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RD24-015

SHEET #

A-109

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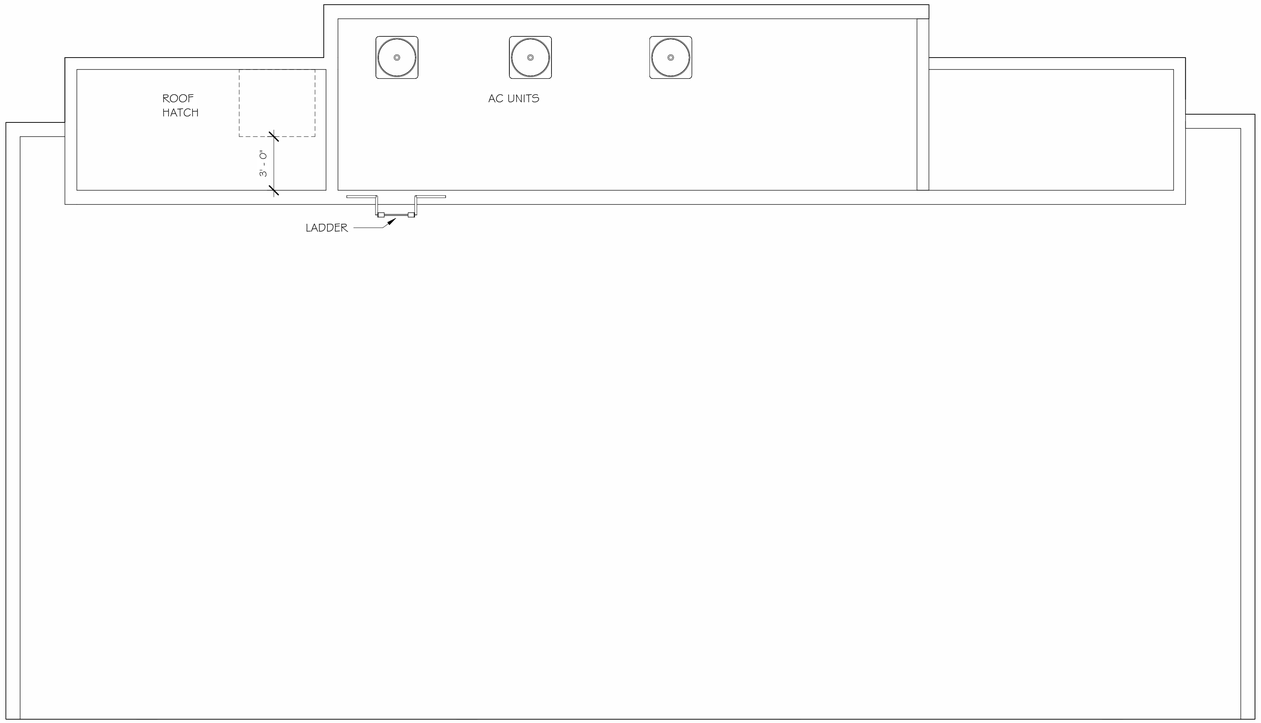
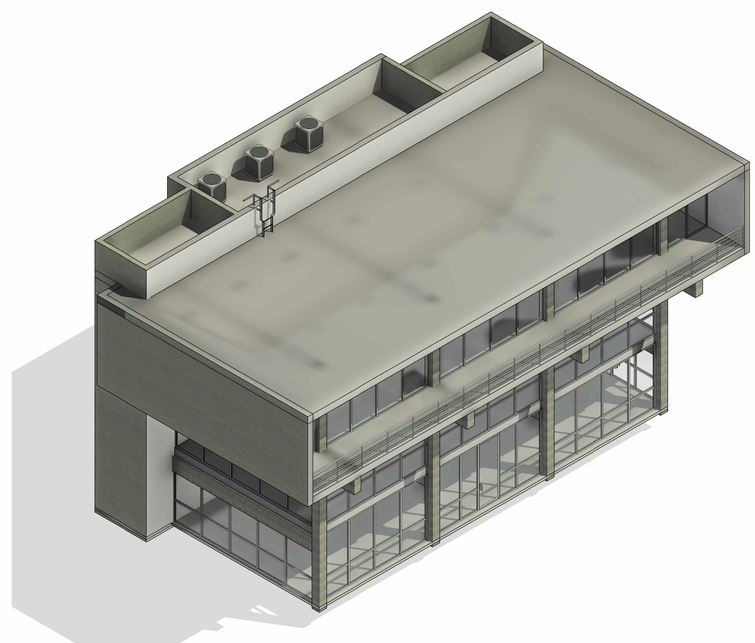
WALL LEGEND

- 2x4 WOOD WALL
- 2x6 WOOD WALL
- 8" CMU BLOCK WALL



PROPOSED ROOF PLAN

1/4" = 1'-0"



0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

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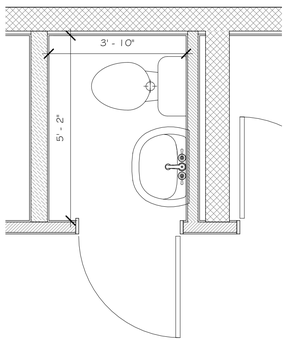
RD24-015

SHEET #

A-110

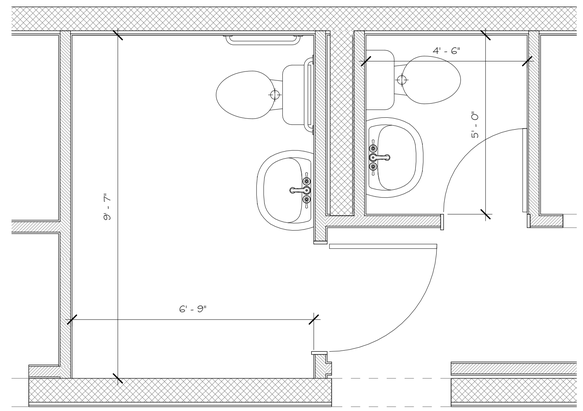
WALL LEGEND

- NEW 2x4 WOOD WALL
- NEW 2x6 WOOD WALL
- NEW 8" CMU BLOCK WALL
- NEW 4 7/8" 1 HR FIRE RATED WALL
- NEW 5" 2 HR FIRE RATED WALL
- NEW 2x4 METAL STUD WALL
- EXISTING 2x4 WOOD WALL
- EXISTING 2x6 WOOD WALL
- EXISTING 8" CMU BLOCK WALL



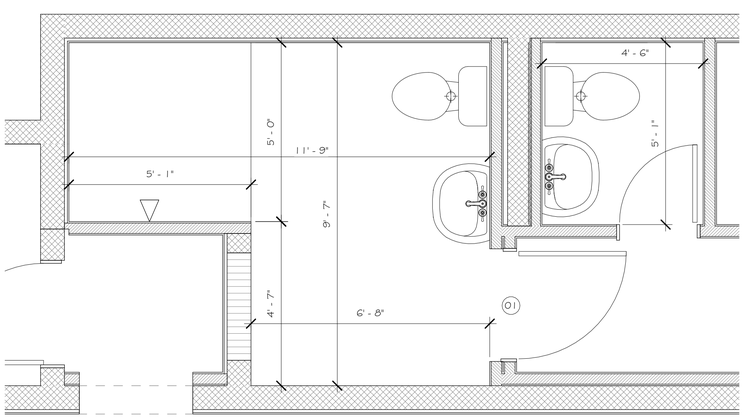
RESTROOM FIRST FLOOR PLAN

1/2" = 1'-0"



RESTROOM SECOND FLOOR PLAN

1/2" = 1'-0"



RESTROOM THIRD FLOOR PLAN

1/2" = 1'-0"

0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

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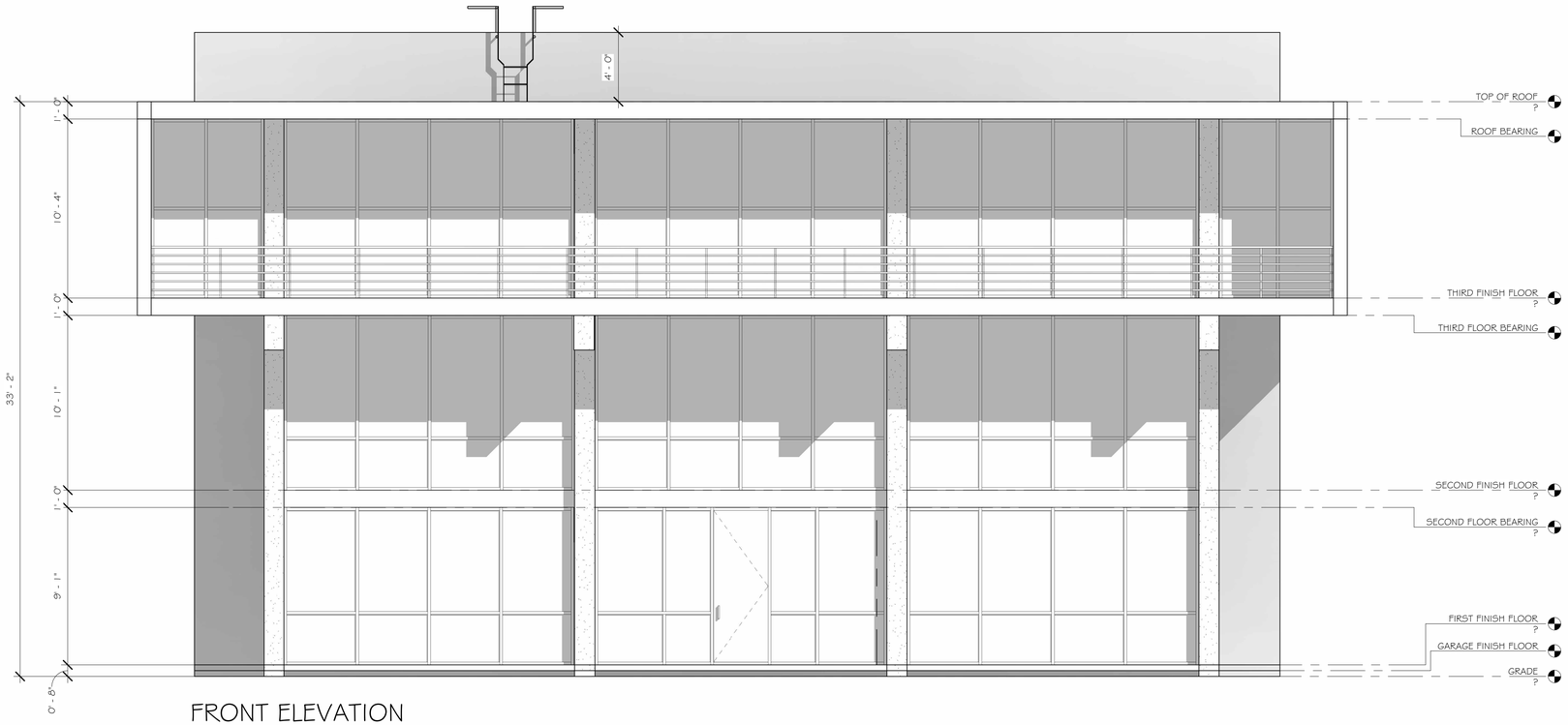
RD24-015

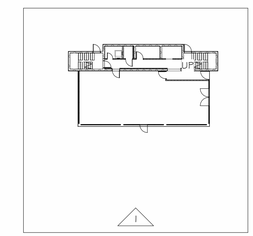
SHEET #

A-111



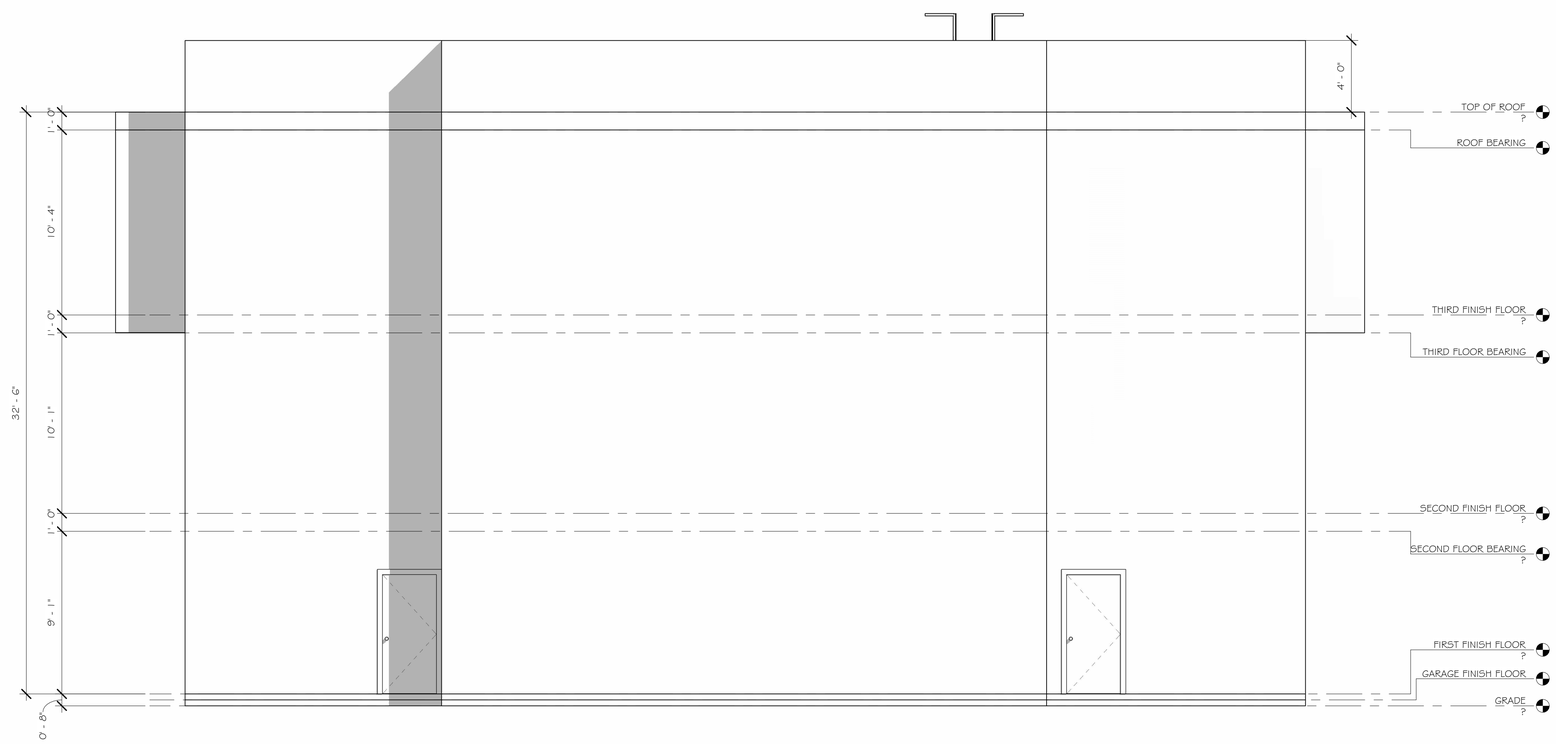
FRONT ELEVATION

1/4" = 1'-0"



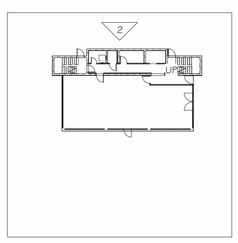
KEY PLAN - FRONT

1" = 30'-0"



REAR ELEVATION

1/4" = 1'-0"



KEY PLAN - REAR

1" = 30'-0"

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SHEET #

A-201

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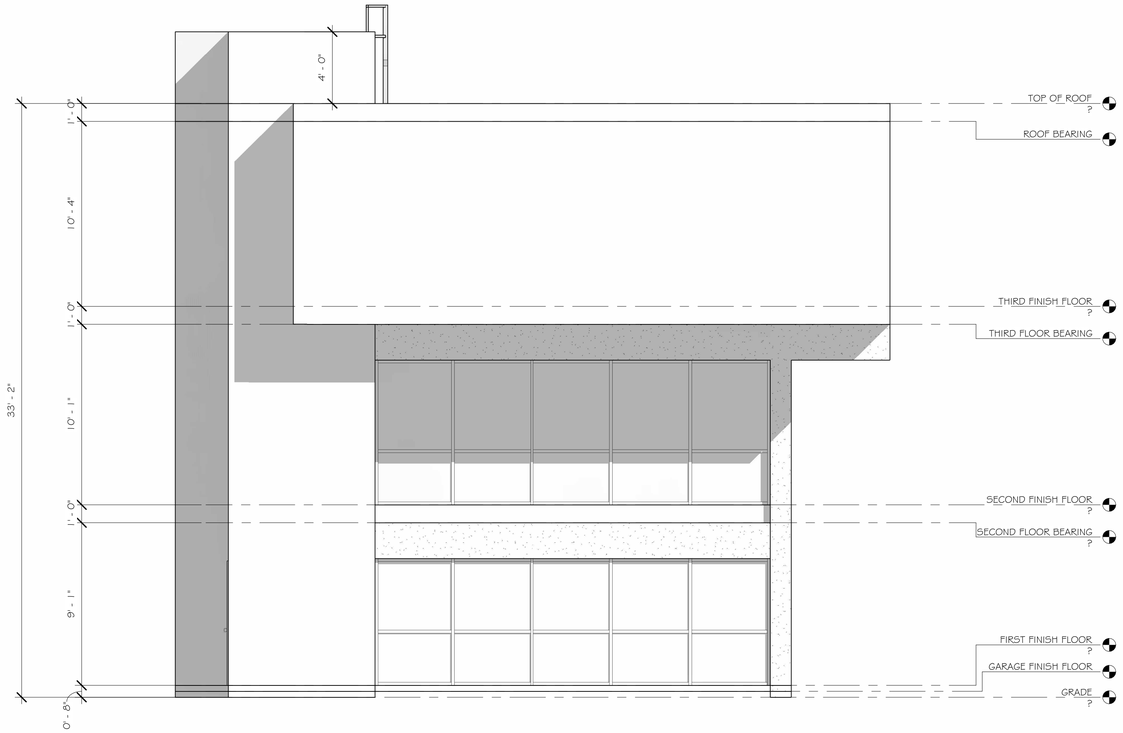
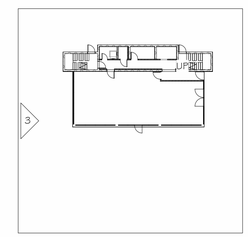


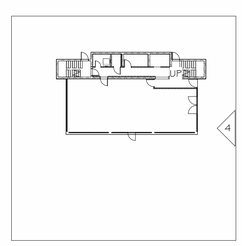
LEFT SIDE ELEVATION

1/4" = 1'-0"



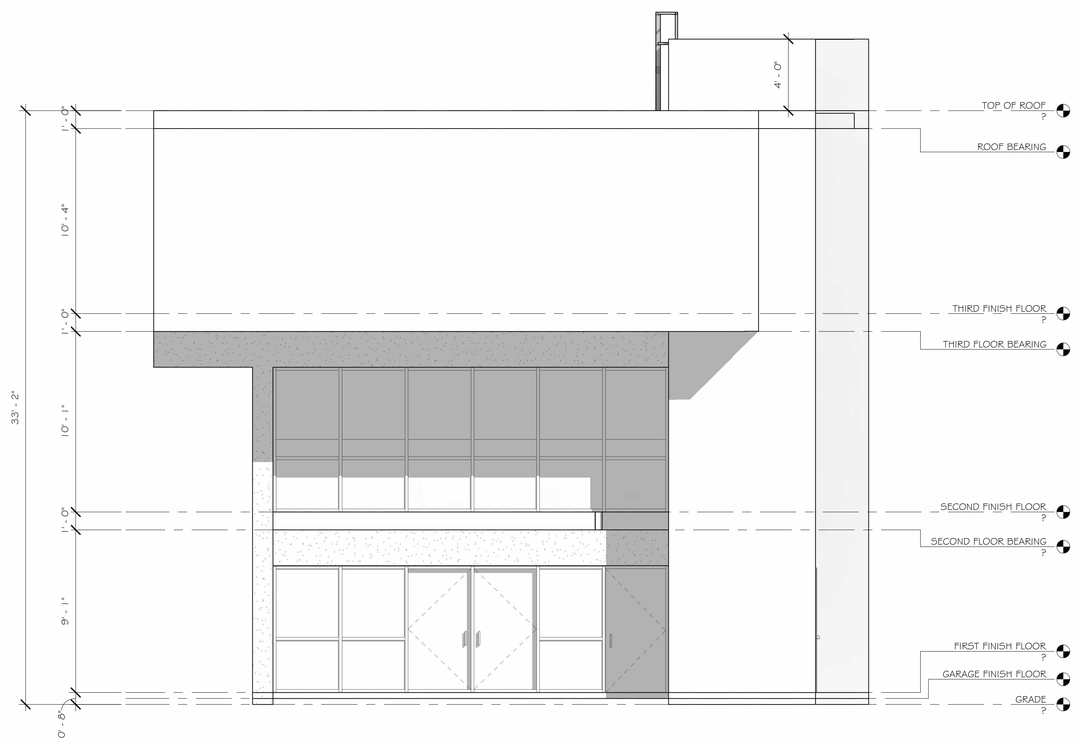
KEY PLAN - LEFT

1" = 30'-0"



KEY PLAN- RIGHT

1" = 30'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

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RD24-015

SHEET #

A-202

LIFE SAFETY LEGEND

FA	FIRE ALARM
	EMERGENCY LIGHT
	FIRE EXTINGUISHER
EXIT	LIGHTED EXIT SIGN

LIFE SAFETY NOTES

- MINIMUM 36" DOOR LEAF AS REQUIRED FOR EXIT.
- EXITS SHALL BE MARKED BY AN APPROVED SIGN AND READILY VISIBLE FROM ANY DIRECTION OF EXIT ACCESS.
- EMERGENCY LIGHTING SHALL BE PROVIDED.
- ONE PORTABLE FIRE EXTINGUISHER TO BE PROVIDED FOR EVERY 1500 SF OF FLOOR AREA OR PORTION THEREOF.

- 36" DOOR LEAF PROVIDED FOR EXIT.
- COMMON PATH MAXIMUM W/ COMPLIES: 75'
  COMMON PATH MAXIMUM PROVIDED: 37'
- PORTABLE FIRE EXTINGUISHER CALCULATION:
  PER UNIT (5190 SF / 1,500 = 3.46 = 4)
  # OF FIRE EXTINGUISHERS PROVIDED: 4
  MAX DISTANCE BETWEEN: 50'

COMPLIANCE STATEMENT

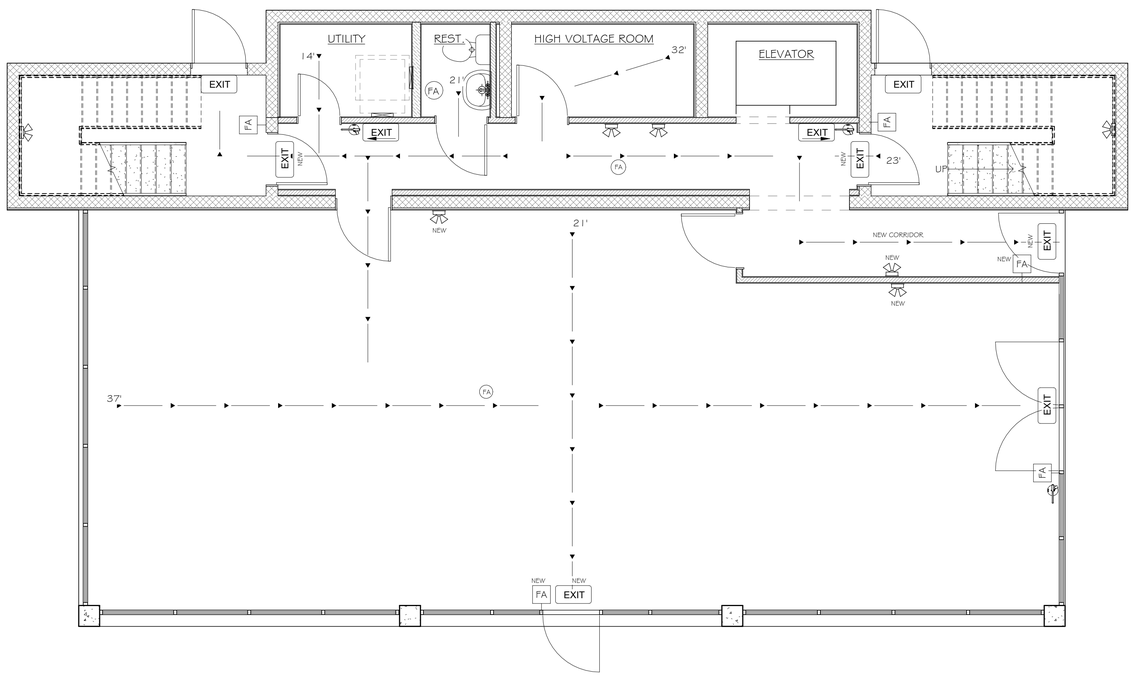
DESIGN CRITERIA, APPLICATION CODES, REGULATIONS & STANDARDS FOR THE LIFE SAFETY PLAN SHALL COMPLY WITH ALL PROVISIONS OF THE NFPA & 101 CODE, OTHER APPLICABLE CODES AND ORDINANCES.

LIFE SAFETY CODE COMPLIANCE

- LIFE SAFETY CODE: 2023
- MEANS OF EGRESS SHALL COMPLY WITH CHAPTER 7 AND CHAPTER 39
- LIFE SAFETY - MEANS OF EGRESS CHAPTER 39.2
- GROUP A-3
- CONSTRUCTION TYPE: III-B
- OCCUPANT LOAD FACTOR TABLE 7.3.1.2

OCCUPANCY LOAD

FIRST FLOOR: 18 OCCUPANTS
SECOND FLOOR: 16 OCCUPANTS
THIRD FLOOR: 20 OCCUPANTS
TOTAL OCCUPANT LOAD: 54 OCCUPANTS



FIRST FLOOR LIFE SAFETY PLAN

1/4" = 1'-0"

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SHEET #

LS-101

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LIFE SAFETY LEGEND

FA	FIRE ALARM
	EMERGENCY LIGHT
	FIRE EXTINGUISHER
EXIT	LIGHTED EXIT SIGN

LIFE SAFETY NOTES

- MINIMUM 36" DOOR LEAF AS REQUIRED FOR EXIT.
- EXITS SHALL BE MARKED BY AN APPROVED SIGN AND READILY VISIBLE FROM ANY DIRECTION OF EXIT ACCESS.
- EMERGENCY LIGHTING SHALL BE PROVIDED.
- ONE PORTABLE FIRE EXTINGUISHER TO BE PROVIDED FOR EVERY 1500 SF OF FLOOR AREA OR PORTION THEREOF.

- 36" DOOR LEAF PROVIDED FOR EXIT.
- COMMON PATH MAXIMUM W/ COMPLIES: 75'
  COMMON PATH MAXIMUM PROVIDED: 39'
- PORTABLE FIRE EXTINGUISHER CALCULATION:
  PER UNIT (5190 SF / 1,500 = 3.46 = 4)
  # OF FIRE EXTINGUISHERS PROVIDED: 4
  MAX DISTANCE BETWEEN: 50'

COMPLIANCE STATEMENT

DESIGN CRITERIA, APPLICATION CODES, REGULATIONS & STANDARDS FOR THE LIFE SAFETY PLAN SHALL COMPLY WITH ALL PROVISIONS OF THE NFPA & 101 CODE, OTHER APPLICABLE CODES AND ORDINANCES.

LIFE SAFETY CODE COMPLIANCE

- LIFE SAFETY CODE: 2023
- MEANS OF EGRESS SHALL COMPLY WITH CHAPTER 7 AND CHAPTER 39
- LIFE SAFETY - MEANS OF EGRESS CHAPTER 39.2
- GROUP A-3
- CONSTRUCTION TYPE: III-B
- OCCUPANT LOAD FACTOR TABLE 7.3.1.2

OCCUPANCY LOAD

FIRST FLOOR: 18 OCCUPANTS
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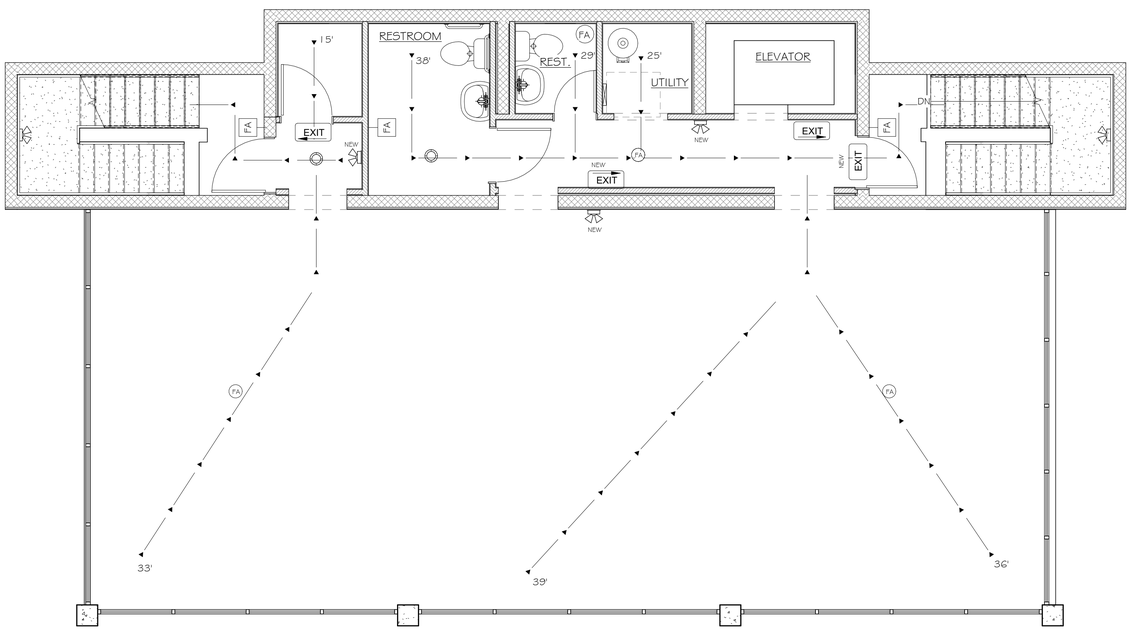
TOTAL OCCUPANT LOAD: 54 OCCUPANTS



SECOND FLOOR LIFE SAFETY PLAN

1/4" = 1'-0"

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04/03/24	AC	DD

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SHEET #

LS-102

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LIFE SAFETY LEGEND

FA	FIRE ALARM
	EMERGENCY LIGHT
	FIRE EXTINGUISHER
EXIT	LIGHTED EXIT SIGN

LIFE SAFETY NOTES

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- EMERGENCY LIGHTING SHALL BE PROVIDED.
- ONE PORTABLE FIRE EXTINGUISHER TO BE PROVIDED FOR EVERY 1500 SF OF FLOOR AREA OR PORTION THEREOF.

- 36" DOOR LEAF PROVIDED FOR EXIT.
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  COMMON PATH MAXIMUM PROVIDED: 38'
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  PER UNIT (5190 SF / 1,500 = 3.46 = 4)
  # OF FIRE EXTINGUISHERS PROVIDED: 4
  MAX DISTANCE BETWEEN: 50'

COMPLIANCE STATEMENT

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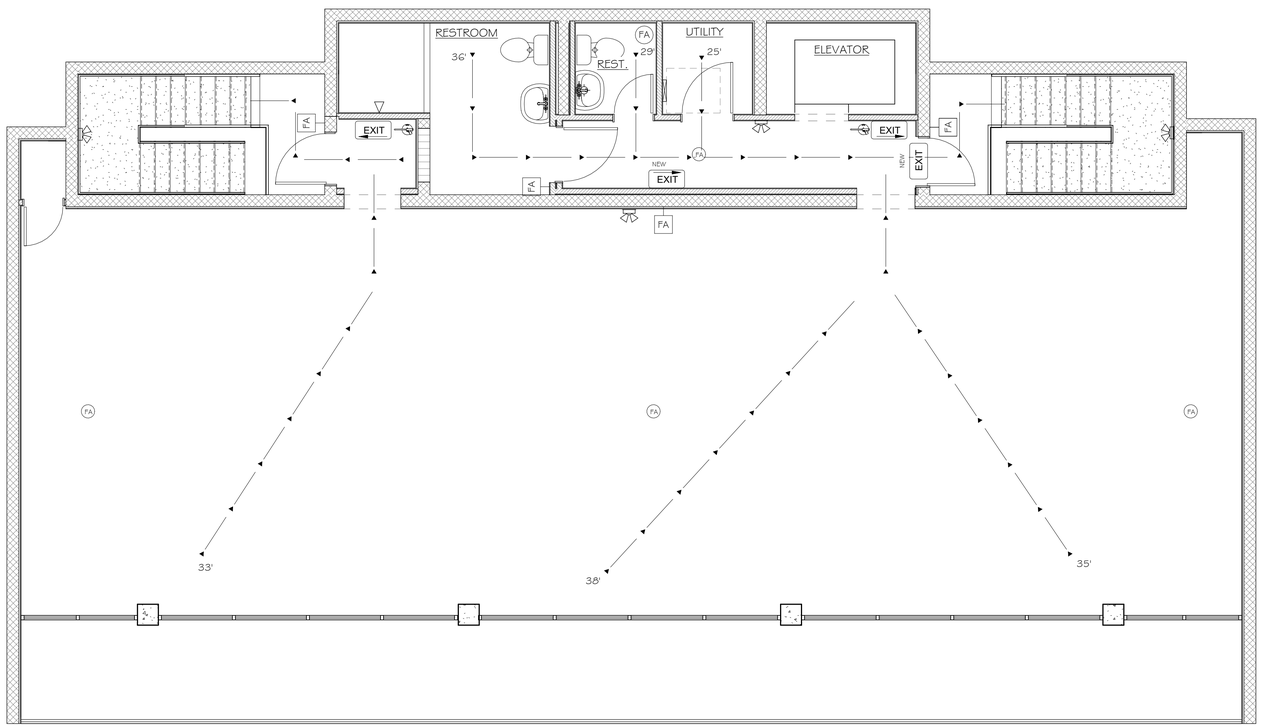
LIFE SAFETY CODE COMPLIANCE

- LIFE SAFETY CODE: 2023
- MEANS OF EGRESS SHALL COMPLY WITH CHAPTER 7 AND CHAPTER 39
- LIFE SAFETY - MEANS OF EGRESS CHAPTER 39.2
- GROUP A-3
- CONSTRUCTION TYPE: III-B
- OCCUPANT LOAD FACTOR TABLE 7.3.1.2

OCCUPANCY LOAD

FIRST FLOOR: 18 OCCUPANTS
SECOND FLOOR: 16 OCCUPANTS
THIRD FLOOR: 20 OCCUPANTS
TOTAL OCCUPANT LOAD: 54 OCCUPANTS



THIRD FLOOR LIFE SAFETY PLAN

1/4" = 1'-0"

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1551 2nd St,
Sarasota, FL 34236

ISSUE DATE

DATE	INITIALS	DESCRIPTION
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03/20/24	AC	SD
03/27/24	AC	DD
04/03/24	AC	DD

RD24-015

SHEET #

LS-103

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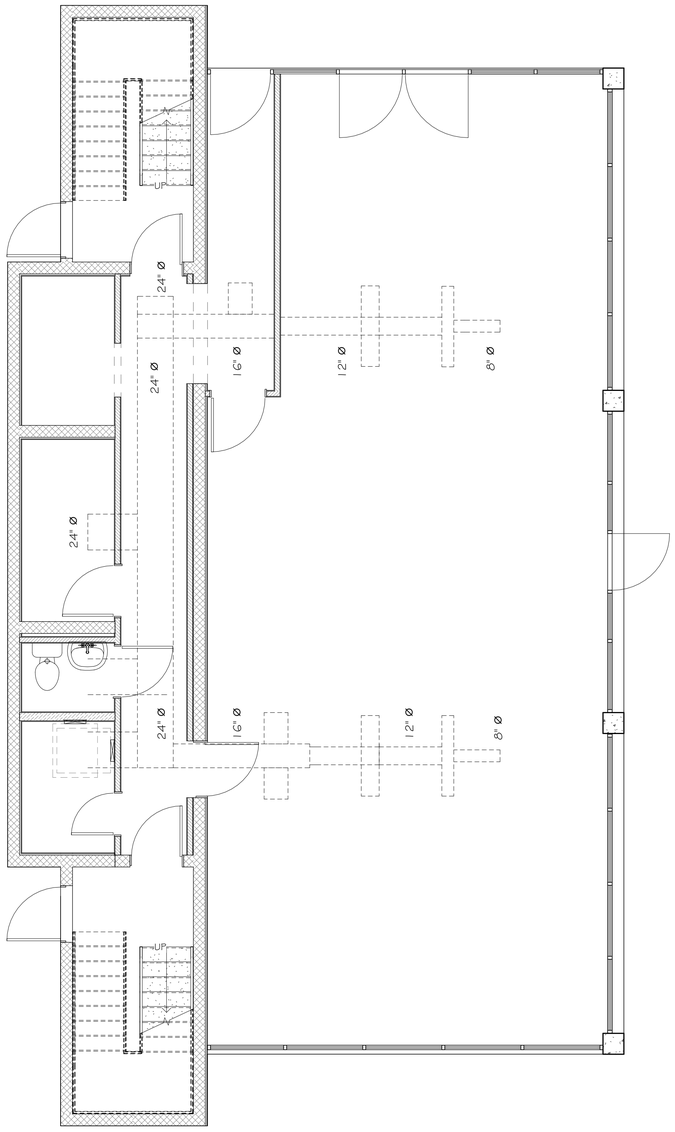
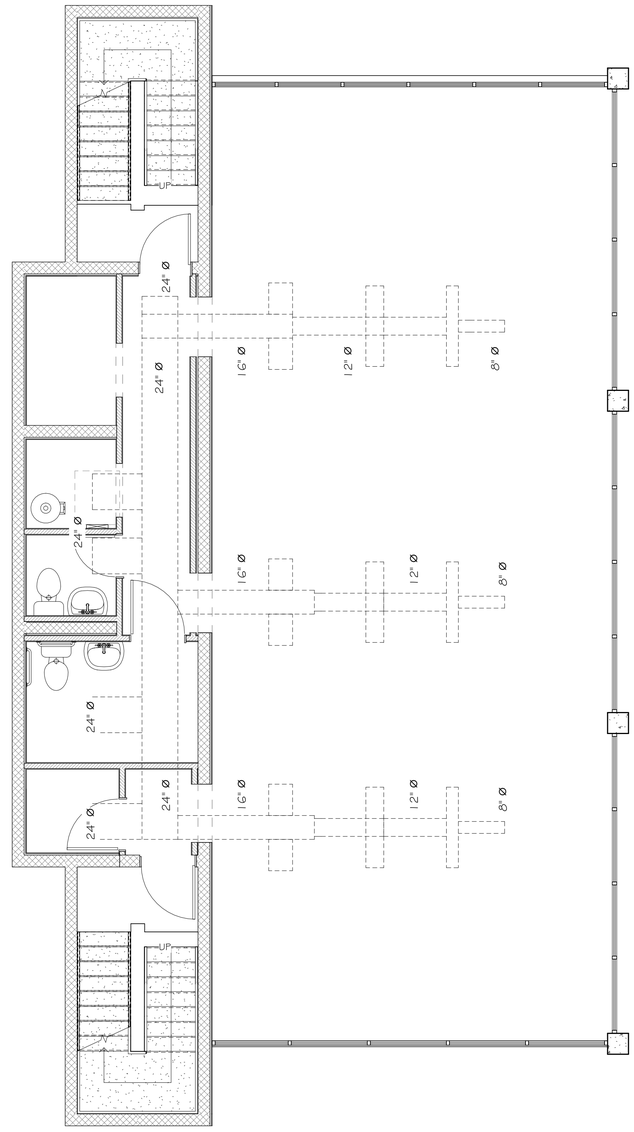


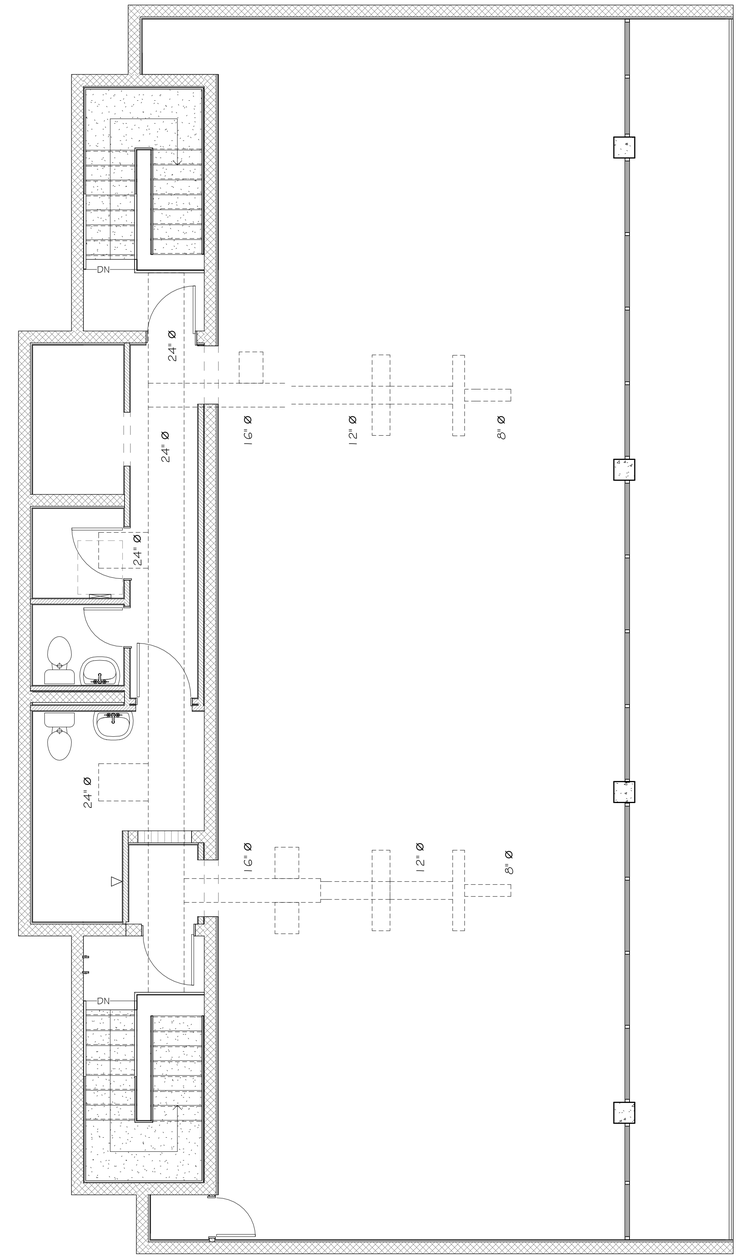
PROPOSED FIRST FLOOR M.

1/4" = 1'-0"



PROPOSED SECOND FLOOR M.

1/4" = 1'-0"



PROPOSED THIRD FLOOR M.

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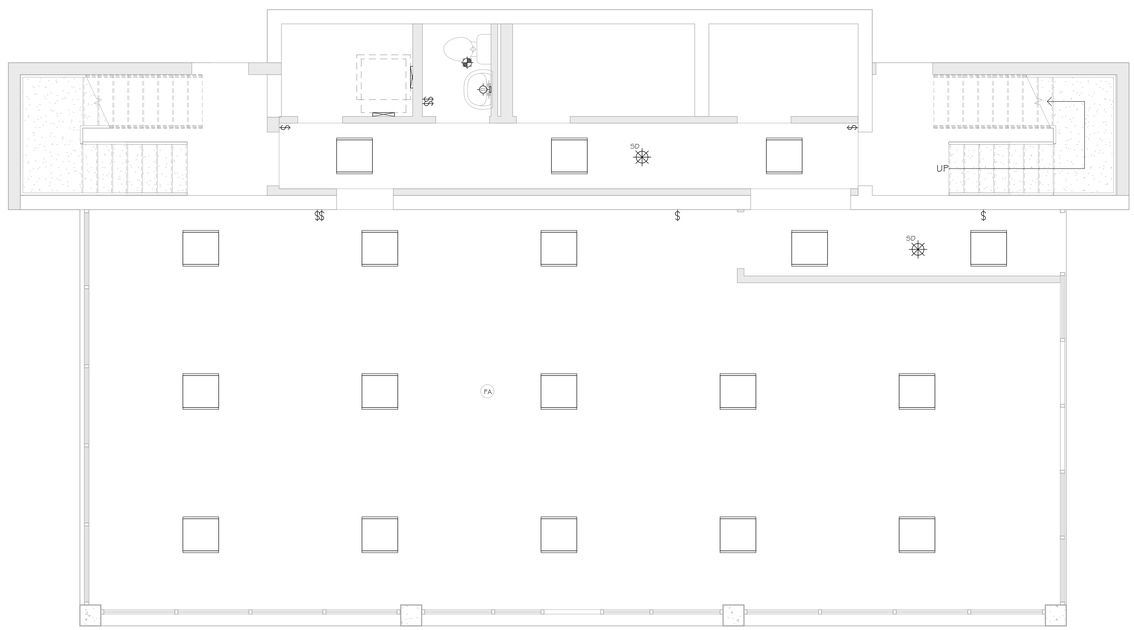
CEILING LEGEND

- NEW LED CEILING LIGHT 24 X 24
- FA — FIRE ALARM
- SD — SMOKE DETECTOR



FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- $3 — SWITCH 3-WAY
- $4 — SWITCH 4-WAY
- $D — SWITCH DIMMER
- $ — SWITCH
- GDO — GARAGE DOOR BUTTON
- GARAGE DOOR OPENER
- SD — SMOKE DETECTOR
- CM — CARBON MONOXIDE DETECTOR
- BATH FAN
- BATH FAN W/ LIGHT
- VANITY STRIP LIGHT (BULB)
- WALL DOUBLE SCONCE LIGHT
- WALL SINGLE SCONCE LIGHT
- UNDER CABINET LIGHT
- CLOSET CASTER LIGHT
- EXTERIOR FLOOD LIGHT
- EXTERIOR WALL ACCENT LIGHT
- EXTERIOR WALL LIGHT
- EYEBALL LIGHT
- FLUORESCENT CEILING LIGHT ROUND
- FLUSH MOUNT / HANGING / KEYLESS CEILING LIGHT
- PENDANT LIGHT
- RECESSED CEILING LIGHT
- FLUORESCENT CEILING LIGHT BARE BULB
- FLUORESCENT CEILING LIGHT RECTANGULAR
- CEILING FAN
- CEILING FAN W/ LIGHT

ELECTRICAL NOTES

ELECTRICAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

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3. NOTIFY BUILDER FOR FIELD VERIFICATIONS & APPROVAL OF FINAL LOCATIONS OF SWITCHES, LIGHT FIXTURES, & ELECTRICAL OUTLETS PRIOR TO WIRING. BUILDER RESERVES THE RIGHT TO CHANGE LOCATIONS OF ELECTRICAL SYSTEM COMPONENTS.
4. ALL ELECTRICAL SWITCHES, OUTLETS, ETC. TO BE INSTALLED ABOVE FLOOD ELEVATION
5. PROVIDE & INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQ'D.
6. PROVIDE & INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI) AS REQ'D.
7. DISHWASHER CIRCUIT WILL BE GFI BREAKER. OUTLET WILL BE LOCATED IN THE SPACE ADJACENT TO THE SPACE OCCUPIED BY THE DISHWASHER & NOT BEHIND THE DISHWASHER & NOT MORE THAN 6'-6" FROM THE EDGE OF THE DISHWASHER PER NEC 422.16
8. GFI RECEPTACLES WILL NOT BE CONCEALED WITHIN CABINETS. RECEPTACLES REQUIRING GFI PROTECTION THAT ARE CONCEALED WITHIN CABINETS WILL HAVE A GFI BREAKER PER NEC 210.8.
9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
   - 9.1. SWITCHES .....42"
   - 9.2. SWITCHES/OUTLETS @ VANITY/KITCHEN ACKSPLASH.....42"
   - 9.3. OUTLETS, TELEPHONE, T.V. .....14"
10. EXACT FIXTURE LOCATIONS TO BE CHOSEN & VERIFIED BY OWNER(S)
11. ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
12. OWNER AND/OR CONTRACTOR TO VERIFY EXISTENCE & LOCATION OF SECURITY, INTERCOM, OR CENTRAL VACUUM SYSTEMS- REFER TO SHOP DRAWINGS FOR SPEC'S.
13. ELECTRICAL PANEL TO BE SET 50 BOTTOM OF PANEL BOX IS 42" OFF GARAGE SLAB
14. UNLESS OTHERWISE INDICATED, INSTALL VANITY LIGHTS & COACH LIGHTS AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
   - 14.1. VANITY LIGHTS.....84"
   - 14.2. COACH LIGHTS.....78"
15. ALL ROOMS TO BE SUPPLIED WITH ARC FAULT CIRCUITS. EXCEPTION: AFCI NOT REQUIRED LIST FOR 2020 NEC IS:
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17. OUTLET SPACING WILL COMPLY W/ NEC 210.52
18. BATHROOM FANS VENT TO OUTSIDE.
19. ALL RECESSED LIGHTING TO BE LED.
20. RECEPTACLES IN WET LOCATIONS MUST HAVE BUBBLE TYPE COVERS NEC 680-22 (a)(4).
21. ELECTRICAL OUTLETS & LIGHT FIXTURES TO BE MORE THAN 10' FROM WATER'S EDGE @ POOLS, EXCEPT WHERE A POOL IS WITHIN 3.0m (10ft) OF A DWELLING & THE DIMENSION OF THE LOT PROCURES MEETING THE REQUIRED CLEARANCES, NOT MORE THAN ONE RECEPTACLE OUTLET SHALL BE PERMITTED IF NOT LESS THAN 1.5m (5ft) MEASURED HORIZONTALLY FROM THE INSIDE WALL OF THE POOL. NEC 680-22 (a)(4).

ELECTRICAL LEGEND

A - ABOVE COUNTER
AB - ABOVE UPPER CABINET
G - GFI PROTECTION
UC - UNDER COUNTER
WP - WEATHER PROTECTED

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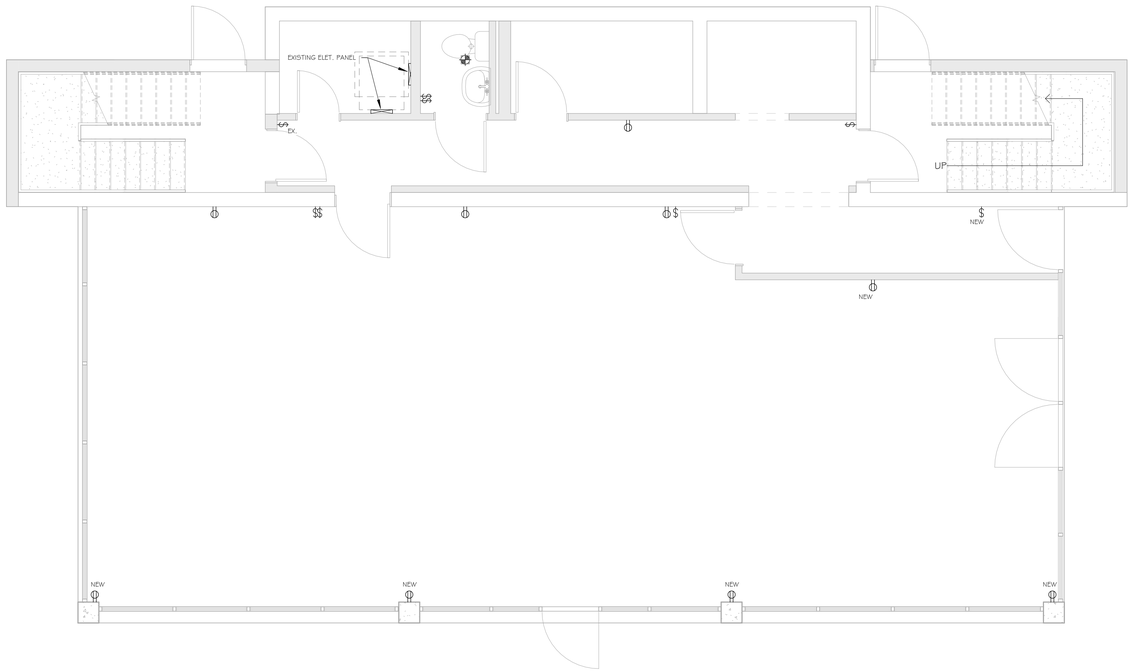
SHEET #

E101



FIRST FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- DOOR BELL BUTTON
- JUCTION BOX
- 220 OUTLET
- CEILING OUTLET
- FLOOR OUTLET
- GFI OUTLET
- WEATHER PROOF OUTLET
- DUPLEX OUTLET
- QUADRUPLEX OUTLET
- DATA
- TELEPHONE
- TV
- DOOR BELL CHIME
- ELECTRICAL PANEL
- ELECTRICAL METER
- GARBAGE DISPOSAL

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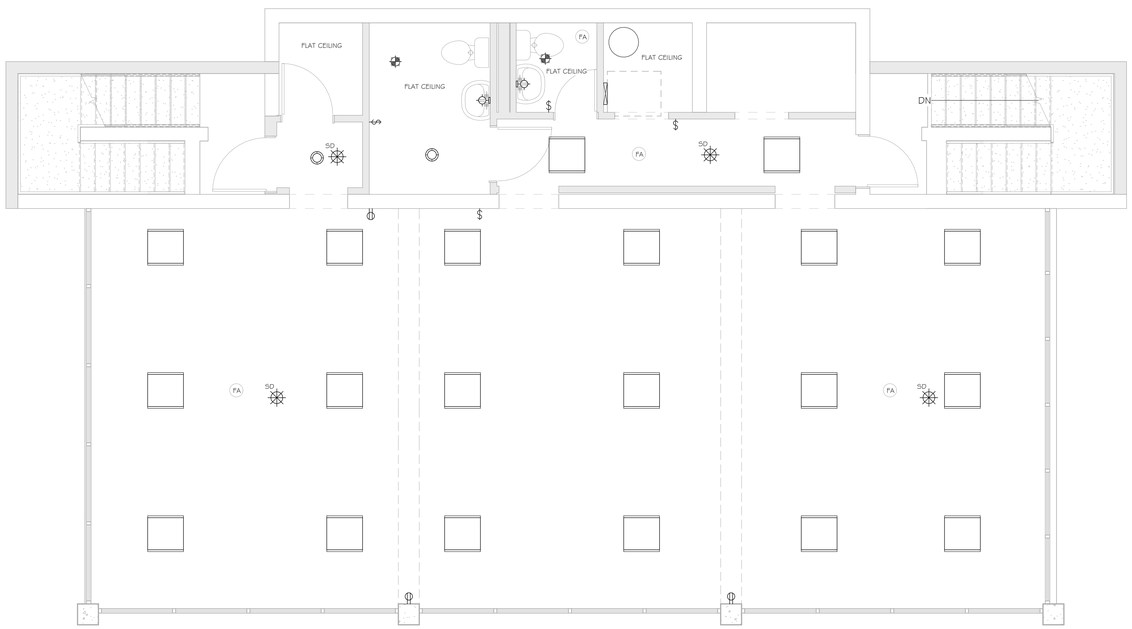
SHEET #

E102

CEILING LEGEND

- NEW LED CEILING LIGHT 24 X 24
- FIRE ALARM
- SMOKE DETECTOR
- NEW FLUORESCENT CEILING LIGHT ROUND



SECOND FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- SWITCH 3-WAY
- SWITCH 4-WAY
- SWITCH DIMMER
- SWITCH
- GARAGE DOOR BUTTON
- GARAGE DOOR OPENER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
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- BATH FAN W/ LIGHT
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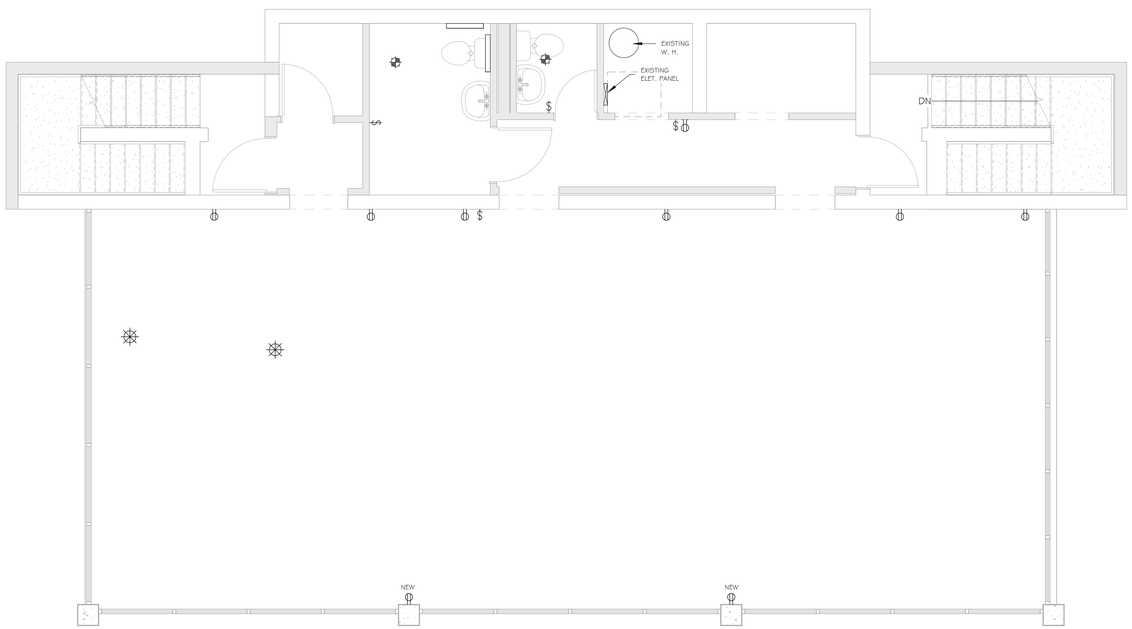

SECOND FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- DOOR BELL BUTTON
- JUCTION BOX
- 220 OUTLET
- CEILING OUTLET
- FLOOR OUTLET
- GFI OUTLET
- WEATHER PROOF OUTLET
- DUPLEX OUTLET
- QUADRUPLEX OUTLET
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   - 9.3. OUTLETS, TELEPHONE, T.V. .....14"
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11. ELECTRICAL PANEL TO BE GROUNDED TO FOOTING STEEL.
12. OWNER AND/OR CONTRACTOR TO VERIFY EXISTENCE & LOCATION OF SECURITY, INTERCOM, OR CENTRAL VACUUM SYSTEMS- REFER TO SHOP DRAWINGS FOR SPEC'S.
13. ELECTRICAL PANEL TO BE SET SO BOTTOM OF PANEL BOX IS 42" OFF GARAGE SLAB
14. UNLESS OTHERWISE INDICATED, INSTALL VANITY LIGHTS & COACH LIGHTS AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:
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16. ALL NEW OR MODIFIED 120V, 15- & 20-AMP BRANCH CIRCUITS REQUIRED FOR ARC-FAULT PROTECTION PER NEC 210.12
17. OUTLET SPACING WILL COMPLY W/ NEC 210.52
18. BATHROOM FANS VENT TO OUTSIDE.
19. ALL RECESSED LIGHTING TO BE LED.
20. RECEPTACLES IN WET LOCATIONS MUST HAVE BUBBLE TYPE COVERS NEC 680-22 (a)(4).
21. ELECTRICAL OUTLETS & LIGHT FIXTURES TO BE MORE THAN 10' FROM WATER'S EDGE @ POOLS, EXCEPT WHERE A POOL IS WITHIN 3.0m (10ft) OF A DWELLING & THE DIMENSION OF THE LOT PROCURES MEETING THE REQUIRED CLEARANCES, NOT MORE THAN ONE RECEPTACLE OUTLET SHALL BE PERMITTED IF NOT LESS THAN 1.5m (5ft) MEASURED HORIZONTALLY FROM THE INSIDE WALL OF THE POOL. NEC 680-22 (a)(4).

ELECTRICAL LEGEND

A - ABOVE COUNTER
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G - GFI PROTECTION
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Renovation for
Mark Bostel
1551 2nd St,
Sarasota, FL 34236

ISSUE DATE

DATE	INITIALS	DESCRIPTION
03/12/24	AS	AS-BUILT
03/20/24	AC	SD
03/27/24	AC	DD
04/03/24	AC	DD

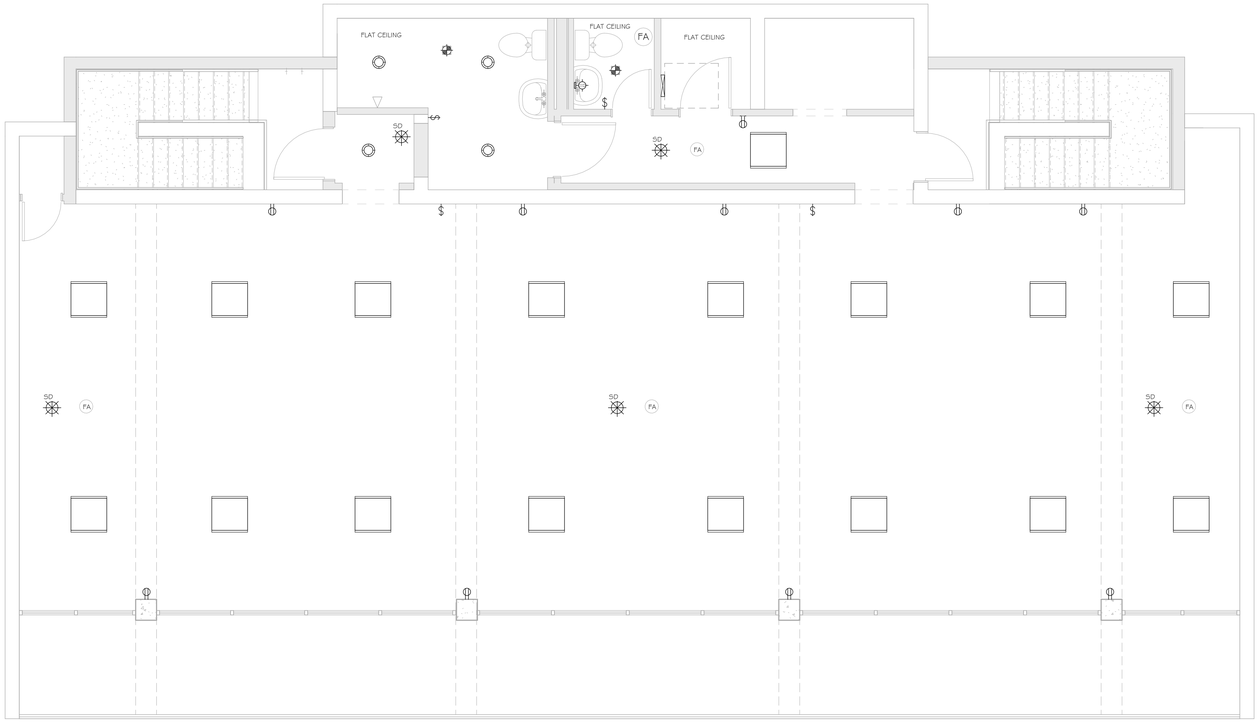
RD24-015

SHEET #

E104

CEILING LEGEND

- LED CEILING LIGHT 24 X 24
- FIRE ALARM
- SMOKE DETECTOR
- NEW FLUORESCENT CEILING LIGHT ROUND



THIRD FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- SWITCH 3-WAY
- SWITCH 4-WAY
- SWITCH DIMMER
- SWITCH
- GARAGE DOOR BUTTON
- GARAGE DOOR OPENER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATH FAN
- BATH FAN W/ LIGHT
- VANITY STRIP LIGHT (BULB)
- WALL DOUBLE SCONCE LIGHT
- WALL SINGLE SCONCE LIGHT
- UNDER CABINET LIGHT
- CLOSET CASTER LIGHT
- EXTERIOR FLOOD LIGHT
- EXTERIOR WALL ACCENT LIGHT
- EXTERIOR WALL LIGHT
- EYEBALL LIGHT
- FLUORESCENT CEILING LIGHT ROUND
- FLUSH MOUNT / HANGING / KEYLESS CEILING LIGHT
- PENDANT LIGHT
- RECESSED CEILING LIGHT
- FLUORESCENT CEILING LIGHT BARE BULB
- FLUORESCENT CEILING LIGHT RECTANGULAR
- CEILING FAN
- CEILING FAN W/ LIGHT

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3. NOTIFY BUILDER FOR FIELD VERIFICATIONS & APPROVAL OF FINAL LOCATIONS OF SWITCHES, LIGHT FIXTURES, & ELECTRICAL OUTLETS PRIOR TO WIRING. BUILDER RESERVES THE RIGHT TO CHANGE LOCATIONS OF ELECTRICAL SYSTEM COMPONENTS.
4. ALL ELECTRICAL SWITCHES, OUTLETS, ETC. TO BE INSTALLED ABOVE FLOOD ELEVATION
5. PROVIDE & INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQ'D.
6. PROVIDE & INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFI) AS REQ'D.
7. DISHWASHER CIRCUIT WILL BE GFI BREAKER. OUTLET WILL BE LOCATED IN THE SPACE ADJACENT TO THE SPACE OCCUPIED BY THE DISHWASHER & NOT BEHIND THE DISHWASHER & NOT MORE THAN 6'-6" FROM THE EDGE OF THE DISHWASHER PER NEC 422.16
8. GFI RECEPTACLES WILL NOT BE CONCEALED WITHIN CABINETS. RECEPTACLES REQUIRING GFI PROTECTION THAT ARE CONCEALED WITHIN CABINETS WILL HAVE A GFI BREAKER PER NEC 210.8.
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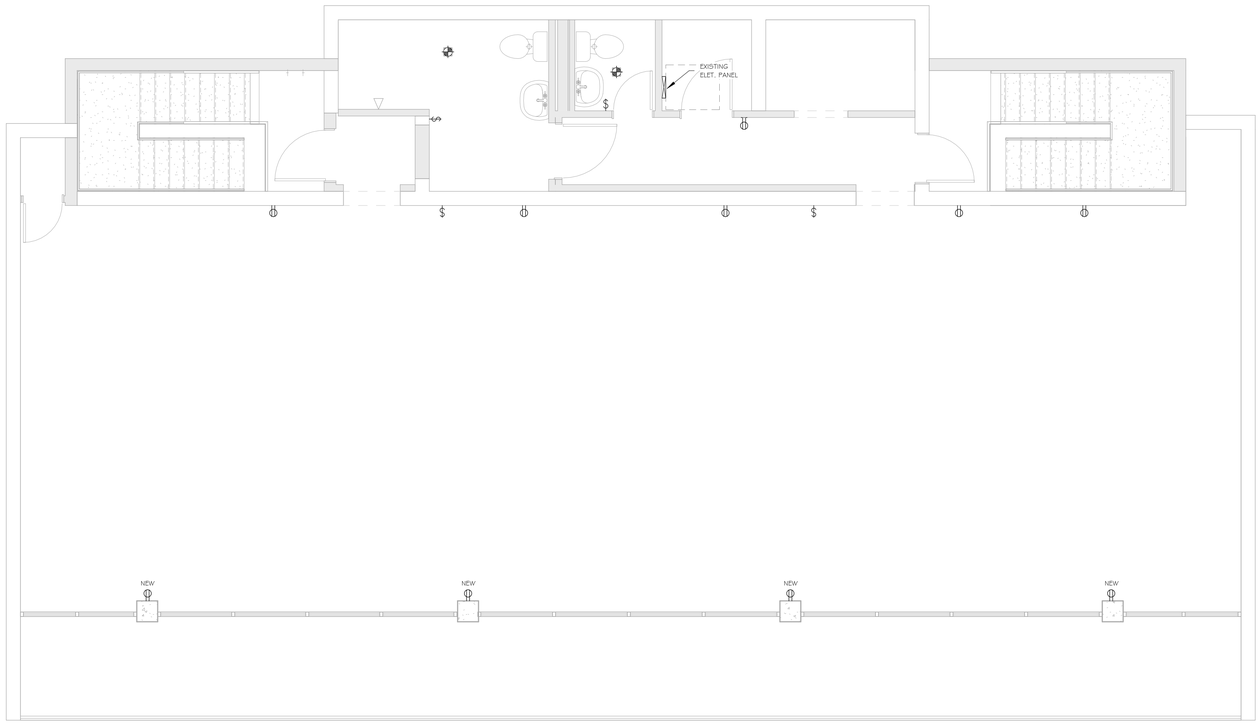
RD24-015

SHEET #

E105



THIRD FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL LEGEND

- DOOR BELL BUTTON
- JUCTION BOX
- 220 OUTLET
- CEILING OUTLET
- FLOOR OUTLET
- GFI OUTLET
- WEATHER PROOF OUTLET
- DUPLEX OUTLET
- QUADRUPLEX OUTLET
- DATA
- TELEPHONE
- TV
- DOOR BELL CHIME
- ELECTRICAL PANEL
- ELECTRICAL METER
- GARBAGE DISPOSAL

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SHEET #

E106