

TO LET  
INDUSTRIAL

 **GRAHAM  
SIBBALD**



**Block 1 Units 6-8 Glencairn  
Industrial Estate, Kilmarnock, KA1  
4BD**

- Mature landscaped business park
- Flexible lease terms
- 3,085 sq ft (353.48 sq m)

## LOCATION

Kilmarnock is situated within East Ayrshire and serves as the main administrative centre of the Council. The town has a resident population of approximately 46,159 persons (Census 2011) and draws on a wider rural catchment and population of surrounding towns and villages.

Kilmarnock is situated approximately 7 miles east of Irvine and 13 miles north west of Ayr and 25 miles south west of Glasgow connected by the A71 and A77 / M77 trunk roads respectively. The A77/M77 provide direct access to Glasgow and the Scottish motorway network.

The property is prominently situated on the north side of Bellsland Grove, accessed from Glenfield Place within Glencairn Industrial Estate.



## DESCRIPTION

The subjects comprise a single-storey end-terraced industrial building of steel portal framed construction with brick and block walls beneath a mono-pitched roof clad in profile metal sheeting. The subjects benefit from a shared surfaced car park to the front elevation. Access to the property is provided via a dedicated vehicle and pedestrian entrance.

Internally, the subjects provide industrial accommodation with kitchen and wc facilities.

## ACCOMMODATION

Ground	3,805 Sq Ft	353.48 Sq M
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## RATEABLE VALUE

The current rateable value is £16,700.

The current Uniform Business Rate for the financial year 2026/27 is 48.1p per pound of Rateable Value excluding water and sewerage charges.

## VAT

The rental is quoted exclusive of VAT. VAT is currently payable upon the rent and any other charges.

## ENERGY PERFORMANCE CERTIFICATE

EPC rating 'G'. Certificate available upon request.

## QUOTING RENT

£38,050 Per Annum

## TENURE

The premises are offered on Full Repairing and Insuring terms.

## LEGAL COSTS

Each party will be responsible for their own legal costs incurred in connection with this transaction.

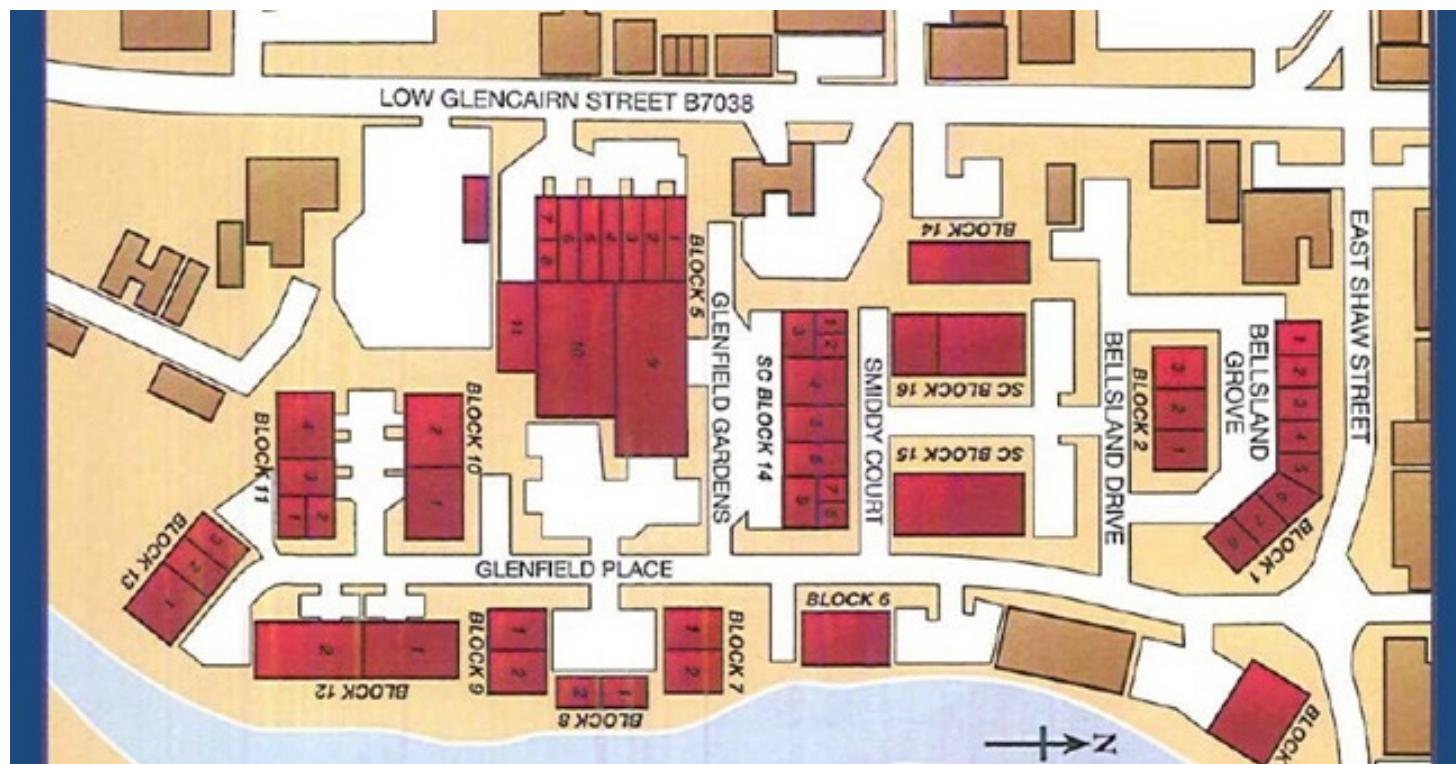
To arrange a viewing please contact:



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### IMPORTANT NOTICE

1. These particulars are intended as a guide only. Their accuracy is not warranted or guaranteed. Intending Purchasers/Tenants should not rely on these particulars but satisfy themselves by inspection of the property. Photographs only show parts of the property which may have changed since they were taken.
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### ANTI-MONEY LAUNDERING (AML) PROCESS

Under HMRC and RICS regulations and The Criminal Finances Act 2017, as property agents facilitating transactions, we are obliged to undertake AML due diligence for both the purchasers and vendors (our client) involved in a transaction. As such, personal and or detailed financial and corporate information will be required before any transaction can conclude.