

14.17 Reserved

(Ord. PL04727-050721, 07-01-2021)

14.18 Reserved

(Ord. PL04727-050721, 07-01-2021)

14.19 B1 Downtown Districts

14.19.01 The B1 Downtown Core and the B1 Downtown Interface Districts encompass the Town of Boone’s downtown area and represent, in large measure, the remaining vestiges of the Town’s historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the districts is listed below:

- A. B1 Downtown Core District:** The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass.
- B. B1 Downtown Interface District:** The Downtown Interface District serves as a gateway into the downtown area and as the transition between the B1 Downtown Core District and adjacent zoning districts. Development in this district must be sensitive to issues of compatibility with the Downtown Core District as well as surrounding zoning districts, many which are low-density residential.

14.19.02 Relationship to Other Regulations:

- A.** Where there is a conflict between this Article and other provisions in the Unified Development Ordinance, with the exception of any Historic District overlay or Historic Landmark designation, the provisions in this Article shall govern.

14.19.03 B1 Permissible Uses

Use #	Use	B1DC	BDI	Reference
1.0	Household Living			
1.14	Multi-Family Dwelling in Mixed Use (up to 30 bedrooms)	L	L	15.04

Use #	Use	B1DC	BDI	Reference
1.15	Multi-Family Dwelling in Mixed Use (31-100 bedrooms)	CD	CD	15.04
1.16	Multi-Family Dwelling in Mixed Use (> 100 bedrooms)		CD	15.04
2.0 Group Living				
2.03	Residential Reentry, Category 1		CD	15.07
2.04	Residential Reentry, Category 2		CD	15.07
3.0 Transient Living				
3.01	Home for Survivors of Domestic Violence		L	15.11
3.02	Shelter for Homeless, Category 1		L	15.12
3.04	Bed and Breakfast, Category 1		L	15.13
3.06	Vacation Rental	L	L	15.14
3.07	Homestay Rental	L	L	15.05
3.09	Hotel, Small	P	P	
4.0 Institutional				
4.03	Funeral Home Establishment	P	P	
4.04	Crematorium	CD	CD	
4.05	Cemetery	P	P	
4.06	Post Office	P	P	
5.0 Government Uses				
5.01	Government Cultural Facility	P	P	
5.02	Government Neighborhood Cultural Facility, Indoor Activity Only	P	P	
5.03	Government Neighborhood Cultural Facility, Includes Outdoor Activity	P	P	
5.04	Recreation Facility, Category 1	P	P	
5.05	Recreation Facility, Category 2	P	P	
5.06	Recreation Facility, Category 3	CD	CD	
5.07	Event Venue, Category 1	P	P	
5.08	Event Venue, Category 2	P	P	
5.09	Event Venue, Category 3	CD	CD	
5.12	Police Substation	P	P	
5.13	Utility Facility, Town	L	L	15.16
5.14	Utility Facility, Government, Neighborhood	L	L	15.16
5.16	Government Facility	P	P	
6.0 Non-Government Utility Facility				
6.01	Utility Facility, Neighborhood	L	L	15.16
7.0 Wireless Communication				
7.01	Small Wireless Collocation	L	L	15.18
7.02	Wireless Facility Collocation on Existing Wireless Support Structure or Utility Pole	L	L	15.17
7.03	Stealth Wireless Facility Attached to Existing Building or Structure	L	L	15.17
7.05	Non-stealth Wireless Facility Collocation on Electrical Transmission Towers	L	L	15.17
7.06	Stealth Wireless Support Structure	L	L	15.17
7.08	Emergency Response Communication Antenna	P	P	
8.0 Assembly				
8.01	Religious Assembly, Category 1	P	P	
8.02	Religious Assembly, Category 2		P	
8.03	Religious Assembly, Category 3		CD	
8.04	Club/Lodge		CD	
9.0 Education				
9.07	College- or university-operated community enterprise	L	L	15.63
10.0 Daycare				
10.01	Child Daycare, Large		CD	15.19
10.02	Child Daycare Center		CD	15.19
10.05	All Other Daycare		CD	
11.0 General Sales and Service				
11.03	Veterinary Office/Hospital without Outdoor Kennels	P	P	
11.04	Financial Institution ≤ 5,000 ft ²	P	P	
11.05	Financial Institution > 5,000 ft ²	P	P	

Use #	Use	B1DC	BDI	Reference
11.06	Restaurants ≤ 3,500 ft ²	P	P	
11.07	Restaurant > 3,500 ft ² open to the public during 10 pm – 6 am	P	P	
11.08	Other Restaurants > 3,500 ft ²	P	P	
11.10	Personal Service Establishments	P	P	
11.11	Retail Store up to 5,000 ft ²	P	P	
11.12	Retail Store more than 5,000 but less than 25,000 ft ²	CD	CD	
11.14	Business or Professional Office	P	P	
11.15	Medical Office, Category 1	P	P	
11.16	Medical Office, Category 2	P	P	
11.18	Medical Office, Category 4	P	P	
11.20	Medical Emergency Response		P	
11.21	Open Air Market, Recurring		L	15.22
11.24	Moped Sales and Service		P	
11.29	Seasonal Retail Activities and Amusements	P	P	
11.30	Electric-Vehicle Charging Station		CD	15.65
12.0 Recreation & Entertainment Uses				
12.03	Indoor Theater	P	P	
12.04	Outdoor Theater		CD	
12.05	Event Venue, Category 1	P	P	
12.06	Event Venue, Category 2	P	P	
12.07	Event Venue, Category 3	P	P	
12.10	Recreation Facility, Category 1	P	P	
13.0 Agriculture				
13.01	Garden, Community	L	L	15.29
13.02	Garden, Residential	L	L	15.30
13.09	Forestry	L	L	15.31
14.0 Manufacturing				
14.01	Microbrewery/Microdistillery	CD	CD	15.32
14.02	Brewpub	L	L	15.32
15.0 Parking				
15.01	Parking Lot	CD	CD	15.39
15.02	Parking Structure	CD	CD	15.40
15.03	Park and Ride Lots		CD	15.39
Allowable Accessory Uses				
A-1	Secondary suite		L	15.45
A-2	Home occupation	L	L	15.46
A-3	Accessory dwelling unit		L	15.47
A-5	Outdoor display	L	L	15.49
A-7	Outdoor dining	L	L	15.51
A-14	Bees	L	L	15.57
A-15	Garden, residential	L	L	15.58
A-20	Swimming pools, spas, and hot tubs	L	L	15.59
A-22	Vehicular gate	L	L	15.61
A-25	Open air market, accessory	L	L	15.22
A-26	Daycare, small	P	P	
A-27	Limited structure to enable recreational use of open rooftops	CD	CD	14.03.07(F) 14.19.06(H)(8)(d)
A-28	Solar Energy System	L	L	15.64
A-29	Electric-Vehicle Charging Station	L	L	15.65
Allowable Temporary Uses				
T-1	Temporary family care structure	L	L	15.62
T-2	Temporary construction or repair dwelling	L	L	15.62
T-3	Temporary construction trailer	L	L	15.62
T-6	Temporary portable storage containers	L	L	15.62

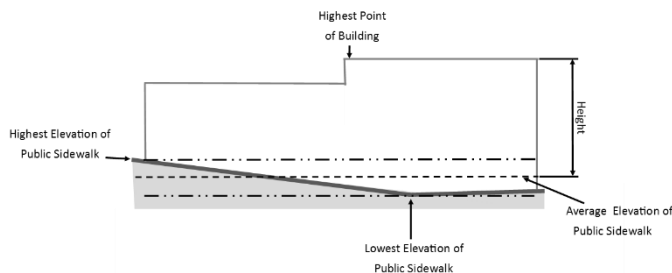
Use #	Use	B1DC	BDI	Reference
T-9	Carrier on wheels (cow)	L	L	15.62
T-10	Yard sales		L	15.62
T-11	Itinerant merchant/peddler	L	L	15.62
T-12	Open air market, temporary	L	L	15.62
T-14	Temporary Disaster Relief	L	L	15.62

14.19.04 B1 Development Standards

- A. Minimum Gross Land Area: (see Subsection 14.03.02)**
 - 1. B1 Downtown Core: 2,500 square feet
 - 2. B1 Downtown Interface: 5,000 square feet
- B. Minimum Lot Width: (see Subsection 14.03.03)**
 - 1. B1 Downtown Core: 25 feet
 - 2. B1 Downtown Interface: 50 feet
- C. Minimum Street Frontage: (See Subsection 14.03.04)**
 - 1. B1 Downtown Core: 20 feet
 - 2. B1 Downtown Interface: 40 feet
- D. Minimum Building Footprint:**
 - 1. B1 Downtown Core: 50% of lot
 - 2. B1 Downtown Interface: None
- E. Minimum Setbacks: (See Subsection 14.03.06)**
 - 1. Street:
 - a. Downtown Core: Buildings in the B1 Downtown Core District shall be constructed to the build-to line. The build-to line is the back of the required public sidewalk or the back of the street right-of-way along the primary public way. The building may be set back farther if the area created by an additional setback is designated as plaza space and/or landscaped greenspace that retains the intended connection between the publicly accessible pedestrian realm and ground-level internal portions of the building.
 - b. Downtown Interface: Buildings in the B1 Downtown Interface District shall be subject to a minimum fifteen-foot (15') street setback, measured from the back of the required public sidewalk. Additional setback is allowed if the area created by an additional setback is designated as plaza space and/or landscaped greenspace that retains the intended connection between the publicly accessible pedestrian realm and ground-level internal portions of the building.

2. Interior: 0', except whenever a lot in a B1 Downtown District has a common boundary line with a lot in an adjacent zoning district, the interior setback requirement applicable to the B1 lot shall be the minimum set forth for the adjacent lot.
3. In the B1 district, the minimum street setback distance shall not apply to a projecting theater marquee, canopy or roof overhang supports as long as such supports do not go beyond the edge of the sidewalk. This exemption shall not obviate the need for an encroachment agreement.

F. Maximum Building Height: (See Subsection 14.03.07)



B1 - Building Height for Lots with Street Frontage

1. Buildings which front on King Street as shown on the map above are limited to thirty feet (30'), as measured from the average elevation of the existing or proposed public sidewalk facing King Street to the highest point of the building or structure.
2. Buildings which front King Street on corner lots shall be limited to thirty feet (30'), as measured from the average elevation of the existing or proposed public sidewalk facing King Street to the highest point of the building or structure.
3. Buildings which front on King Street as shown on the map above and Howard Street are limited to thirty feet (30') at the King Street elevation, and thirty-three feet (33')

at the Howard Street elevation. Building height shall be measured from the average elevation of the existing or proposed public sidewalk facing the street to the highest point of the building or structure subject to the limitations below. The building height limitation for the King Street elevation may extend horizontally from the building frontage on King Street toward Howard Street not more than 75% of the lot length.

4. Buildings which front on King Street as shown on the map above and Queen Street are limited to thirty feet (30') at the King Street elevation, and thirty-three feet (33') at the Queen Street elevation. Building height shall be measured from the average elevation of the existing or proposed public sidewalk facing the street to the highest point of the building or structure. The applicable building height shall apply for each street and the building height limitation shall terminate at the midpoint of the lot.
5. Buildings fronting streets in the B1 Districts, outside of the area governed by Subsection 14.19.03(G)(1) above, are limited to thirty-three feet (33'), as measured from the average elevation of the existing or proposed public sidewalk facing the street to the highest point of the building or structure containing the primary entrance.
6. Buildings in the B1 Districts located on interior lots with no street frontage are limited to thirty-three feet (33'), with height being the vertical distance measured from the average elevation of the finished grade at the primary façade of the building to the highest point of the building or structure.
7. Building Height Limitations:
 - a. Flat roofs shall be capped by parapets of sufficient height to screen rooftop equipment and penthouses from view when standing at ground level twenty feet (20') from the structure.
 - i. The building height limitations for buildings on King Street governed by Subsection 14.19.03(F)(1) above shall include parapet walls.
 - ii. The building height limitations for buildings governed by Subsections 14.19.03(F)(2) and 14.19.04(F)(3) above shall not include parapet walls so long as the parapet walls do not exceed 4' above the maximum building height of thirty-three feet (33'). The height of parapet walls above 4' shall be counted toward the building height.
 - b. The height of a building existing as of April 26, 2018 may not be increased, whether by demolition and rebuilding or reconstruction, renovation, or improvement, unless approved under the Conditional District Zoning Map Amendment process set forth in Article 9 herein. Provided, however, that an addition or modification of the features exempted in Subsection 14.03.07(F) does not trigger the requirement for the Conditional District Zoning Map Amendment process.

14.19.05 Occupancy

- A. One (1) family or up to two (2) unrelated persons (see Section 14.04) per dwelling unit. A dwelling occupied by a family (but not by unrelated persons) may also have one (1) roomer.
- B. Specified properties subject to Town-initiated rezoning by ordinance adopted October 21, 2021 will be permitted to have occupancy of up to 4 unrelated persons per dwelling unit until such time the property is redeveloped to a conforming use; provided, this exception is available only with respect to existing structures and does not apply to new construction, including any additions.

14.19.06 Appearance Standards:

- A. The B1 Downtown Core and the B1 Downtown Interface Zoning districts are located within the Central Fire District which is regulated by the most recent edition of the NC Building Code. Applicants will be required to submit sufficient information during the zoning permit process for Staff to determine compliance of the proposed development with the requirements of the Central Fire District.
- B. **Purpose:** For purposes of this Section the term “historic” shall mean any building, building material, or feature fifty years or older as of May 1, 2018.
- C. **Intent:** When the Administrator is in doubt that a development meets the intent of the regulations of this Section, the permit shall be denied. The applicant may challenge this determination by appeal to the Town of Boone Board of Adjustment, in conformity with the procedures of Article 6.
- D. **Applicability:** This section is applicable to the primary and secondary facades and to any other publicly visible portions of building pursuant to UDO Subsection 25.01.01.
- E. **Rhythm, Proportion, and Building Massing**
 - 1. Rhythm and proportion are critical elements in an architectural composition, and it is vital that applicants understand and employ these principles when planning and designing additions and new construction. By following these principles, a project is more likely to achieve compatibility with the historic context of the downtown area. The principles of rhythm and proportion—which may refer to an individual building on one lot or several buildings that comprise a streetscape—are important to ensuring that renovations, additions and new construction projects are compatible with the surrounding neighborhood.
 - a. Rhythm refers to the regular, or rhythmic, occurrence of building design elements such as windows and doors across a facade. Rhythm also refers to the pattern of buildings along a street.
 - b. Proportion refers to a relationship between building design elements with respect to size and/or quantity. Proportion also refers to the height of a

building in relation to its width and the dimensions of the structure in relation to the dimension of nearby buildings.

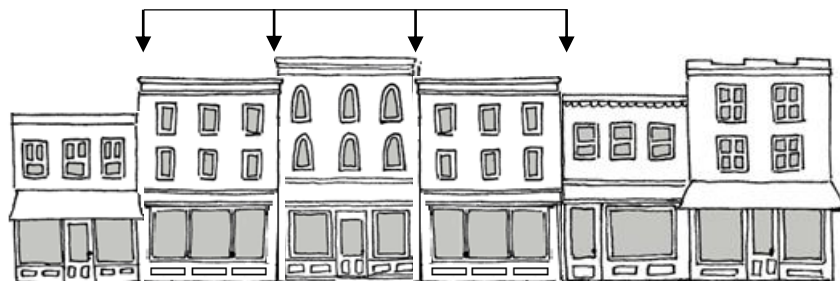
2. Building massing refers to the general shape and size of a building. Building massing in the Downtown Districts should be similar to the massing patterns of buildings within the Downtown Core. These buildings have relatively modest massing. They have few, if any, building setbacks or projections and are almost always built straight up to the parapet, with the exception of recessed entries and architectural features listed herein.
 - a. Applicants should utilize a segmented façade on larger buildings which breaks up the building’s façade such that it appears as several different buildings. Changes in the segmented façade should occur at the first-floor tenant demising lines. Tenants may take up single or multiple segments. See photograph below for example.



Photograph reproduced by permission of the City of Alpharetta, Georgia, *Alpharetta Downtown Design Guidelines* (Alpharetta, GA, 2017). 17.

- b. The segment widths shall be similar to the general widths of the buildings in the Downtown Core. See Graphic below.

Graphic 14.19.01-1 Segmented Treatment of Larger Building



- G. Compatibility with Existing District.** For purposes of this Article, when a development standard requires an element to be “similar or compatible” with Downtown historic buildings, the applicant shall reference the following group of buildings, herein after referred to as “desired downtown design” for the identified features:

Graphic 14.19.06-2 Desired Downtown Design: 593-603 West King Street Identified Features: Original brick materials, brick detailing and coping; fenestration percentages



Graphic 14.19.06-3 Desired Downtown Design: 607 West King Street Identified Features: Original brick materials, brick detailing and coping; fenestration percentages; transom over door



Graphic 14.19.06-4 Desired Downtown Design 627 West King Street Identified Features: Original brick materials, brick detailing and coping; medallions; fenestration percentages; transom over door



Graphic 14.19.06-5 Desired Downtown Design 630 West King Street Identified Features: Original brick materials, brick detailing; fenestration percentages; clerestory windows; doors; storefront window; awnings



Graphic 14.19.06-6 Desired Downtown Design 659-661 West King Street Identified Features: Original brick materials and brick detailing; original concrete detailing; fenestration percentages; transom over door at 659 West King Street



Graphic 14.19.06-7 Desired Downtown Design 671 West King Street Identified Features: Building demonstrates sympathetic renovation with brick materials, brick detailing, fenestration percentages, transoms over doors and awnings



Graphic 14.19.06-8 Desired Downtown Design 680 West King Street Identified Features: Original stone material; window detailing



Graphic 14.19.06-9 Desired Downtown Design 685 West King Street Identified Features: Original brick materials, brick detailing, fenestration percentages, windows; and storefront window



Graphic 14.19.06-10 Desired Downtown Design 718 West King Street Identified Features: Original stone materials, fenestration percentages; door; storefront window

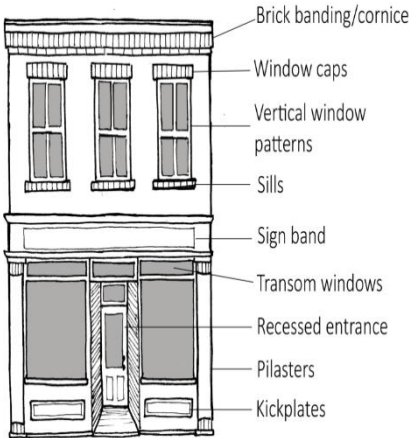


H. Design Standards for New Construction and Additions

- 1. **Purpose.** The purpose of this section is to provide standards for the design of new building construction in the B1 districts in order to retain the historic context of the area while providing new opportunities for design. New building design must be sympathetic to existing buildings in the B1 Downtown Core, and respect the traditional qualities that make downtown unique, such as use of storefront detailing and choice of materials. Applicants shall use the design elements that pay tribute to what was historically present in Boone’s architecture. Compatible contemporary designs rather than historic duplications or replications are acceptable when new construction is considered.

- 2. **Architectural Features.**
 - a. Inclusion of the following architectural features supports the determination that a design is sympathetic or compatible with the area:

Graphic 14.19.06-11 Architectural Features



- i. First floor display windows.
- ii. Recessed entrance doors where the door will not extend past the front of the building.
- iii. Transoms or clerestory windows above doors and windows.
- iv. Cornices
- v. Decorative Masonry Elements:
 - A. Belt course: a course of bricks which runs the entire length of the façade and is laid in a pattern different to the stretcher or common course (examples include soldier or sailor course).

- B. Stone belt course: a course of stone (such as granite) which runs the entire length of the façade and is in a different material than the remainder of the façade.
 - C. Masonry lintels or sills
 - D. Quoins
- b. The features below will assist with contributing to the determination that a building is sympathetic or compatible but to a lesser degree than the list above:
- i. Kick plates when used as base to the windows and the entrance doors along a façade.
 - ii. Angled entrances on corners,
 - iii. Vertical window patterns and shapes between upper stories,
 - iv. Pilasters,
 - v. Friezes and fasciae,
 - vi. Medallions,
 - vii. Sunbursts,
 - viii. Corbels,
 - ix. Decorative molding
- c. **B1 Downtown Interface District.** Additional contemporary architectural features allowed within the B1 Downtown Interface District that are not allowed within the B1 Downtown Core District include but are not limited to:
- i. Large glass windows on upper floors
 - ii. Metal detail and metal roof elements
 - iii. Accordion or garage-style window/doors

3. Fenestrations

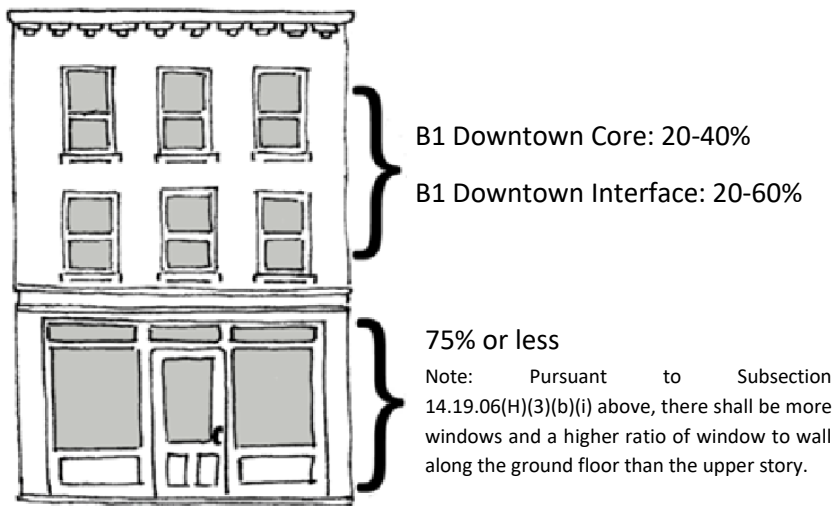
- a. The rhythm, placement, size and proportion of window and door openings shall be designed to be similar or compatible with the desired downtown designs. See Subsection 14.19.06(G).
- b. All buildings shall have storefront windows along all ground-floor level primary and secondary facades.
 - i. There shall be a higher ratio of window to wall along the ground floor than the upper stories of the same building as detailed in Graphic 14.19.06-12.

- ii. The bottom of ground floor windows must be no more than thirty inches (30") above the sidewalk.
 - iii. The top of ground floor windows should be no less than eight feet (8') above the sidewalk.
 - iv. The window to wall ratio should not exceed 75% of the ground floor façade area as detailed in Graphic 14.19.06-12 is measured from the average final grade of the façade to the roof for single-story buildings and to the lowest point of the second-story floor support for multi-story buildings.
 - v. Any below-ground story which has a visible façade at the public sidewalk shall install windows similar in style and trim to the windows on the other levels of the same façade to the extent practical as to provide natural light into the below-ground story.
- c. The window to wall ratio of an upper story shall meet the percentages outlined below. Parapets should not be included in the window to wall ratio for upper stories:

District	Upper Floor Window Coverage
B1 Downtown Core	20-40%
B1 Downtown Interface	20-60%

- d. The use of clear or lightly-tinted colored glass on windows and doors (minimum 70% VLT) is required. Spandrel glass is prohibited.

Graphic 14.19.06-12 Window to Wall Ratio

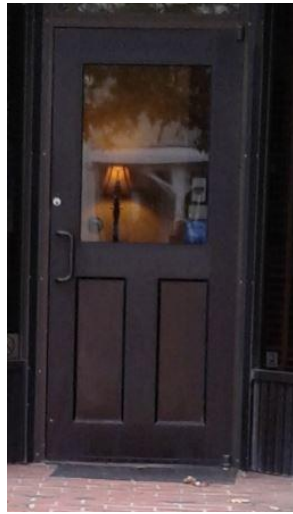


e. Exterior Doors

- i. B1 Downtown Interface: All entrance doors off of the primary and secondary facades must be architecturally compatible/sympathetic with the storefront of the building.
- ii. B1 Downtown Core: All entrance doors on the primary and secondary facades shall be made of a solid wood frame and must be architecturally compatible/sympathetic with the storefront of the building.
- iii. Following are photographs of acceptable and unacceptable doors based upon use.

Acceptable Door Gallery for Any Use:





Acceptable Door Gallery for Office and Residential Access (directly into unit):



Acceptable Door Gallery for Residential Access (entrance into common area or directly into unit):



Unacceptable Door Gallery:



4. Materials.

- a. **Acceptable Materials:** The use of materials that are similar or compatible in dimension, durability, and finish to the desired downtown designs. See Subsection 14.19.06(G).
 - i. **Acceptable Field Materials:**
 - A. Brick or stone, unglazed and unpainted
 - B. Stucco finishes, but only (1) on non-primary or non-secondary facades; (2) the stucco finish must be similar or compatible to historic examples found in the B1 Downtown Core District, and (3) the stucco finish is not the primary building material.
 - ii. **Acceptable Trim Materials:**
 - A. Brick or stone, unglazed and unpainted.
 - B. Noncombustible wood details (Allowable wood detailed in the most recent NC Building Code)
 - C. Metal (only on window and door trim)
 - D. Copper
 - E. Brick, Clay, or Ceramic Pavers
 - F. Concrete and stone lintels
 - G. Concrete, stone, or brick caps or cornices
- b. **Prohibited Materials:** The following exterior building materials are prohibited:

- i. Prohibited Field Materials:
 - A. Fiber-cement,
 - B. Metal,
 - C. Vinyl,
 - D. PVC composites,
 - E. Fiber reinforced concrete (FRC),
 - F. Glass curtain walls,
 - G. Mirrored glass,
 - H. Plexi-glass,
 - I. Concrete blocks,
 - J. Simulated brick or stone,
 - K. Stacked stone with no mortar,
 - L. Thin-stacked stone,
 - M. Stucco finishes except as allowed in Subsection 14.19.06(H)(4)(a)(i)(B), and
 - N. Dryvit, EIFS
- ii. Prohibited Trim Materials (includes trim on doors and windows):
 - A. Fiber-cement
 - B. Metal (except on window and door trim),
 - C. Vinyl,
 - D. PVC composites,
 - E. Fiber reinforced concrete (FRC),
 - F. Concrete blocks,
 - G. Simulated brick or stone,
 - H. Stacked stone with no mortar,
 - I. Thin-stacked stone, and
 - J. Stucco finishes
- iii. Any materials not listed are prohibited.
- iv. Exceptions for prohibited materials. An otherwise prohibited material may be used in an addition if the applicant demonstrates that the same material is a historic material used on the existing building.

5. **Color**

a. Cornices, doors, door and window trim, awnings, canopies, and kickplates can be any color.

6. **Roofs:** Historically, most of Boone’s downtown commercial buildings had flat roofs. This theme should be carried forward in new construction and additions using the following guidelines:

a. The roof planes should be hidden from view on the façade, and rooflines should be decorated using historic decorative details. Use historic photographs and/or neighboring buildings as a guide.

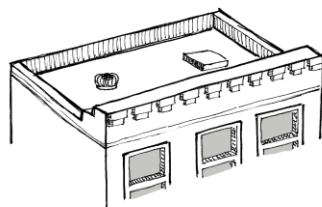
b. Terracotta tile or limestone roof coping is required in the B1 Downtown Core District and encouraged in the B1 Downtown Interface District.

c. Residential roof types are prohibited.

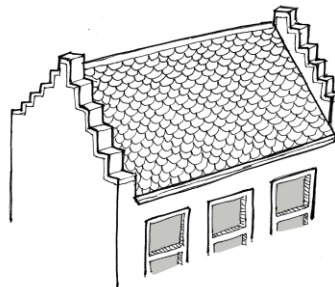
d. Pitched roofs are prohibited, with the exception of decorative roof elements such as clock towers and cupolas.

Graphic 14.19.06-13 Roofs

Roof parapet hides flat roof plane and utility equipment



Pitched & residential roof types are not allowed



7. **Awnings and Canopies:** Awnings and canopies shall be designed in relationship to the historic context of the surrounding district.

a. B1 Downtown Core:

i. Design should be complementary to the shape and color of the building façade.

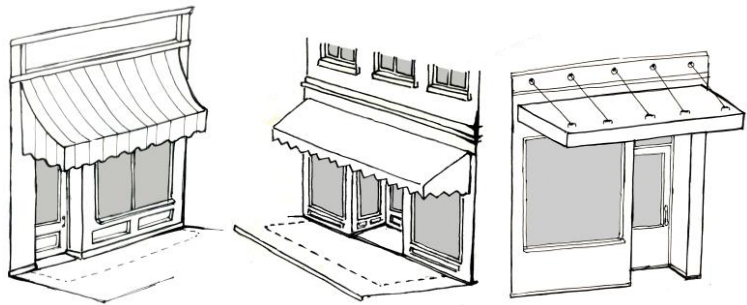
ii. Awnings and canopies that are illuminated from within must be covered or finished with fully opaque materials.

iii. Acceptable awning and canopy styles are listed below (see Graphic 1 below):

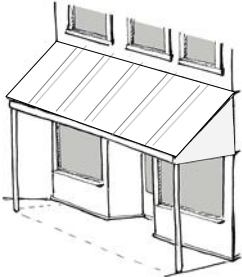
A. Metal frame covered with UV protected non-shiny cloth or canvas; or

B. Cable-hung awning or canopies

- b. B1 Downtown Interface:
 - i. Design should be complementary to the shape and color of the building façade.
 - ii. Awnings and canopies that are illuminated from within must be covered or finished with fully opaque materials.
 - iii. Acceptable awning and canopy styles are listed below (See Graphics below):
 - A. Metal frame covered with UV protected non-shiny cloth or canvas;
 - B. Cable-hung awning or canopies;
 - C. Decorative wood frame awnings or canopies with copper roofing are allowed in the B1 Interface district; (allowable wood detailed in the most recent NC Building Code)
 - D. Canopies with vertical supports are only allowed where the vertical supports do not encroach in the public way (sidewalk, alley, etc.).



Graphic 14.19.06-14 Acceptable Awning and Canopy Types in B1 Downtown Core and B1 Downtown Interface



Graphic 14.19.06-15 Additional Acceptable Canopy Type in B1 Downtown Interface

- 8. **Additions:**
 - a. New additions should be designed and constructed so that the character-defining features of a building are not radically changed, obscured, damaged, or destroyed. New design should always be clearly differentiated so that the addition does not appear to be part of the original building. Do not attempt to duplicate form, material, style, wall plane, roofline, cornice height.

- b. Exterior materials for additions shall be compatible with those on the original building.
- c. The addition should complement the scale, massing, materials, and window spacing of the adjacent building(s).
- d. Rooftop Additions: Rooftop additions to existing commercial buildings, including those intended to accommodate elevator shafts, bars, decks, kitchen prep areas, social areas, or to otherwise enable recreational use of open rooftops, are generally not appropriate if any portion of the rooftop addition is visible from the street-level right of way adjacent to the primary facade.
 - i. For buildings located on corner lots, additions should not be visible from the street-level secondary facade, either. In the vast majority of cases, this will mean positioning the addition within the one-third portion of the rooftop located closest to the non-primary or non-secondary facade of the existing building.
 - ii. Rooftop additions should never destroy or damage character-defining features of an existing building, and they should be designed to be compatible with both the size, scale, color, material, form, style, and character of the building on which they are erected. Rooftop additions should be subordinate to the existing building in size and design, and compatible with its massing, scale, materials, and features. Nevertheless, additions should be sufficiently differentiated as new elements from original components of the existing building.
 - iii. Rooftop additions should maintain the lowest possible profile in their construction, so that walkways, decks, seating areas, solar arrays, and similar components are built as close as functionally possible to the original roof surface of the existing building.
 - iv. The additions shall not be visible when viewed at eye level (5'-6" from grade) from the opposite side of the right-of-way adjacent to the primary façade (directly in front of the building; for corner properties, said additions shall also not be visible when viewed at eye level (5'6" from grade) from the opposite side of the side of the right-of-way adjacent to the secondary façade directly in front of the secondary facade.
 - A. When a building on a corner lot has more than one secondary façade, this standard shall only apply to the secondary façade with the higher level of vehicular traffic.

I. Design Standards for Renovation of Existing Buildings.

- 1. **Purpose:** A building may need renovation for a number of reasons. A building may be in poor condition, or may have been insensitively remodeled in the past.

Similarly, certain changes may be desired in order to add either modern conveniences to a building or to bring the building up to current building code standards. Renovations to existing buildings shall be consistent with guidelines set forth herein.

2. Applicants should exercise caution when undertaking renovations of buildings and building facades within the B1 Districts because once a nonconforming material or feature has been removed, the applicant will only be able to proceed with new materials and features which meet the requirements of this Section. Renovations are prohibited if they will destroy historic features or otherwise preclude subsequent preservation efforts.
3. Distinctive or historic materials, features, finishes, construction techniques or examples of building craftsmanship of a building shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property shall be prohibited.
4. Applicants shall identify, retain, and preserve masonry features that are important in defining the overall historic character of the building (such as, but not limited to: walls, brackets, railings, cornices, window and door surrounds, steps and columns), as well as decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.
5. Applicants shall identify, retain and preserve wood features that are important in defining the overall historic character of the building (such as, but not limited to: siding, cornices, brackets, window and door surrounds, and steps) and their paints, finishes and colors.
6. Applicants shall identify, retain and preserve storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as, but not limited to: display windows, base panels, bulkheads, signs, doors, transoms, clerestory windows, kick plates, corner posts, piers, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other more recent, non-historic or insignificant alterations can help reveal the historic character of the storefront. If the original façade has been covered, then it should be uncovered if structurally feasible.
7. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinct feature, the new feature will match the old in design, color, texture, and where possible, materials. Missing features will be substantiated by documentary and physical evidence and

shall only be replaced with new materials that match the existing historic material in composition, size, shape, texture, pattern, color and detail.

8. Materials that are not visually compatible with the original façade, such as shiny metals, mirror glass, plastic panels, and vinyl windows or doors are prohibited, unless they can be documented through historic images or similar documentation.
9. A historic material found on the existing building used for the same purpose or location will be found to be acceptable. Where necessary or desirable due to lack of historic materials, equivalency of alternative materials, or other reasons demonstrated to the satisfaction of the Administrator, applicants may use a compatible substitute material that reproduces the overall appearance and aesthetic of the historic material.
10. Non-historic buildings (building built less than fifty years ago) in the B1 and buildings previously renovated or altered so that no historic features or materials remain shall be renovated in accordance with the standards set forth in Subsection 14.19.06(H).
 - a. Non-historic materials or features may be repaired.
 - b. Original materials to non-historic buildings may be replaced with materials that are similar in design, workmanship and composition. Field Materials.
11. Color
 - a. Field Materials
 - i. If paint removal is not structurally feasible, painted field materials may be repainted.
 - ii. Non-painted field materials may not be painted.
 - iii. Paint color should be similar to the original color of the field material, the existing painted color of the field material, or a color from the Benjamin Moore Historical Collection series or equivalent.
 - b. Trim Materials
 - i. If paint removal is not structurally feasible, painted trim materials may be repainted.
 - ii. Non-painted trim materials may not be painted.
 - iii. When previously painted brick or stone trim, such as window lintels or sills must be repainted, paint color should be similar to the original color of the field material, the existing painted color of the field material, or a color from the Benjamin Moore Historical Collection series or equivalent.
 - iv. All other cornices, doors, door and window trim, awnings, canopies, and kickplates can be any color.

12. Awnings and Canopies:

- a. B1 Downtown Core: Awning and canopies shall only be allowed in cases where their use can be historically documented in relationship to the historic context of the existing building.
 - i. Design should be complementary to the shape and color of the building façade.
 - ii. Existing awnings and shed roof canopies on historic properties should be evaluated for their historical accuracy. In those cases where they are not appropriate, they should be removed and the original building façade appearance and orientation restored.
 - iii. Shed roof canopies are not historically appropriate to downtown Boone and are prohibited in renovations.
 - iv. Awnings and canopies that are illuminated from within must be covered or finished with fully opaque materials.
 - v. Acceptable awning and canopy styles are listed below (see Graphic 1 Acceptable Awning and Canopy Types in the B1 Downtown Core and B1 Downtown Interface):
 - i. Metal frame covered with UV protected non-shiny cloth or canvas; or
 - ii. Cable-hung awning or canopies
- b. B1 Downtown Interface: Awning and canopies should only be installed in cases where their use can be historically documented in relationship to the historic context of an existing building and/or the surrounding district.
 - i. In these instances, their design should be complementary to the shape and color of the building façade.
 - ii. Existing awnings and shed roof canopies on historic properties should be evaluated for their historical accuracy. In those cases where they are not appropriate, they should be removed and the original building façade appearance and orientation restored.
 - iii. Shed roof canopies are not historically appropriate to Boone and are prohibited in renovations.
 - iv. Awnings and canopies that are illuminated from within must be covered or finished with fully opaque materials.
 - v. Acceptable awning and canopy styles are listed below:
 - A. Metal frame covered with UV protected non-shiny cloth or canvas;
 - B. Cable-hung awning or canopies;

- C. Decorative wood frame awnings or canopies with copper roofing are allowed in the B1 Interface district; (allowable wood detailed in the most recent NC Building Code)
- D. Canopies with vertical supports are only allowed where the vertical supports do not encroach in the public way (sidewalk, alley, etc.).

13. Exterior Doors

- a. Original exterior doors historic to the building shall be repaired and retained.
- b. The reuse of historic hardware and locks is encouraged.
- c. Renovations to facades shall retain recessed door areas or recreate recessed door areas, if historically appropriate, to the extent practicable.
- d. Renovations which require new doors or replacement of doors on the primary or secondary facades shall meet the standards set forth in UDO Subsection 14.19.06(H)(3)(e).

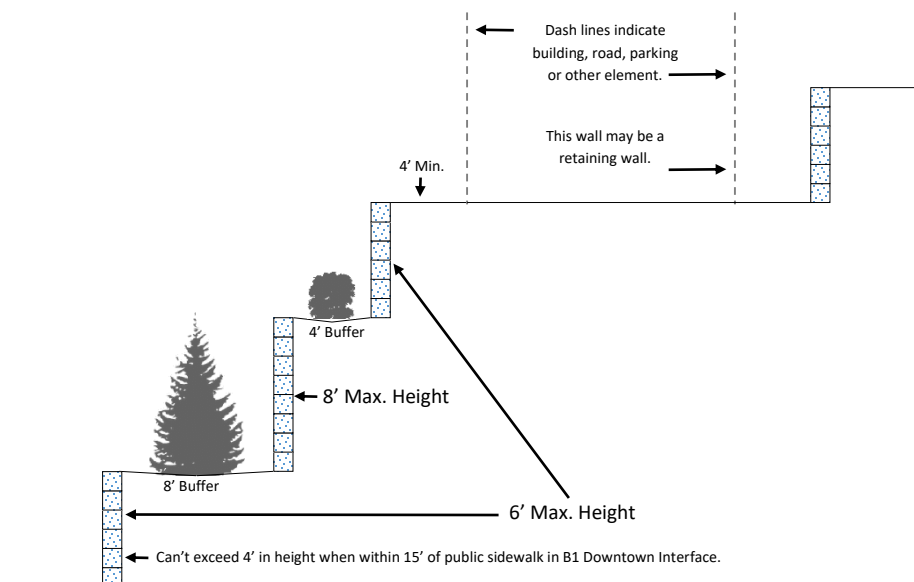
J. Fencing

- 1. Decorative fencing is permissible within the B1 downtown districts. Decorative fencing does not refer to the screening elements required for solid waste and recycling enclosures, HVAC units or similar items.
- 2. Materials:
 - a. Chain link, solid, barbed, razor wire, plastic, cloth, or electrified fences are prohibited in the B1 zoning districts.
 - b. Materials may be of coated aluminum, wrought iron, or welded steel.
 - c. Solid masonry pillars are allowed if made of the same brick or rock used on the principal structure.
 - d. The fence must be installed with a decorative side facing away from the façade.
- 3. Height:
 - a. Fences placed fifteen feet (15') or less from any public way including streets, sidewalks, alleys, and greenways shall not exceed forty-two inches (42") in height and shall be screened with evergreen planting materials so that no more than ½ of the surface area will be visible from the public way.
 - b. Fences over fifteen feet (15') from any public way including streets, sidewalks, alleys, and greenway may not exceed six feet (6') in height and shall be screened with evergreen planting materials so that no more than ½ of the surface area will be visible from the public way.

K. Retaining Walls

1. All publicly visible retaining walls within a B1 zoning district shall be faced with brick or rock material that is compatible with material on the principal structure. Retaining walls may not be faced with any kind of simulated brick, stone, or rock, or with concrete.
2. Retaining walls within fifteen feet (15') of the public sidewalk are prohibited in the B1 Downtown Core zoning district.
3. Retaining walls within fifteen feet (15') of the public sidewalk in the B1 Downtown Interface zoning district shall not exceed four feet (4') in height.
4. All other retaining walls shall not exceed six feet (6') in height except for retaining walls in series where an eight-foot (8') landscape buffer has been installed in front of the wall. In those cases, the wall may increase to a maximum height of eight feet (8').
5. Buildings located near the top of site retaining walls shall be set back a minimum of four feet (4') horizontally from the top of the retaining wall.
6. Landscape buffer required:
 - a. A series of two (2) or more retaining walls must have a minimum four foot (4') landscaped buffer between each wall. See Graphic below.
 - b. Retaining walls in series which collectively exceed twelve feet (12') in height shall have a minimum of one (1), eight foot (8') wide landscape buffer, between the first two (2). Retaining walls which are separated by a building, a road, or a parking area shall be exempt from this requirement. See Graphic below.

Graphic 14.19.06-16 Retaining Wall Buffers



- c. The landscape buffer as described above shall contain at a minimum the number of plantings as described in Graphic 14.19.06-17 Retaining Wall Landscape Buffer Standards. Number of plantings are based upon the linear measurement of the retaining wall. These buffers shall be maintained in accordance with the provisions of Section 31.12.

Graphic 14.19.06-17 Retaining Wall Landscape Buffer Standards

	4' Landscape Buffer	8' Landscape Buffer
Total Number of Plants per 100 linear feet (Minimum)	30	10
Number of shrubs (at least 75% shall be evergreen)	25	-
Number of evergreen trees	-	7
Number of small deciduous trees	5	3

L. Landscaping: Development within the B1 zoning districts is exempt from the landscape standards set forth in UDO Article 31 except all development must comply with UDO Section 31.02 General Screening Standard, the requirements as set forth in UDO Sections 31.12 Compliance and Maintenance and 31.13 Preservation of Existing Trees and Vegetation and Appendix B in its entirety.

1. **B1 Downtown Core:** The following landscape requirements apply within the B1 Downtown Core:
 - a. Each development is required to provide street trees in accordance with the approved Downtown Streetscape Plan.
 - b. Full landscape buffers are required where a lot in the B1 Downtown Core abuts a lot in another zoning district (except for B1 Interface and U1). These landscape buffers shall meet the requirements set forth in UDO Sections 31.04, 31.05 and 31.06 and Appendix B.
 - c. No portion of any vehicular surface area shall be further than sixty feet (60') from the trunk of a large deciduous tree.
2. **B1 Downtown Interface:** The following landscape requirements apply within the B1 Downtown Interface:
 - a. Applicants are required to provide large deciduous trees within the area set aside for the street setback and for any space dedicated to plaza space or landscaped greenspace at a rate of one (1) tree per every twenty-five (25') linear feet with a minimum of two (2) trees per street frontage in accordance with the approved Downtown Streetscape Plan. Trees must be placed in areas which contribute to the overall health of the trees.

- b. Full landscape buffers are required where a lot in the B1 Downtown Interface abuts a lot in another zoning district (except for B1 Historic Core and U1). These landscape buffers shall meet the requirements set forth in UDO Sections 31.04, 31.05 and 31.06 and Appendix B.
- c. No portion of any vehicular surface area shall be further than sixty feet (60') from the trunk of large deciduous tree.

M. Utilities

- 1. All utilities are required to meet the standards set forth in UDO Article 22 Utilities in addition to the standards set forth herein.
- 2. Utility meters and vents should be located where they are not visible or the least publicly visible. Locations in order of acceptability are as follows:
 - a. Any façade that is not considered a primary- or secondary-façade.
 - b. Secondary-facades.
 - c. Primary-facades for renovated buildings only.
 - d. Utility meters and vents are only allowed on the primary façade of renovated buildings when it is impossible to place the utility meters and vents on any other façade.
- 3. Unless prohibited by NC Building Code, utility meters and vents should be painted to match or blend with the color of the building or surroundings.
- 4. Exterior mechanical and/or HVAC equipment:
 - a. Preferred location shall be the roof.
 - b. For those not located on the roof the equipment shall follow the location guidelines set forth in Subsection 14.09.06(M)(2) above and shall be screened in accordance with UDO Subsection 31.06.05.
- 5. Installation of any utility shall not obscure or cover windows or any other distinguishing architectural features.

(Ord. PL04727-, Ord. PL05168-100621, 12-08-2021; Ord. PL050721, 07-01-2021; Ord. PL03370-112019, 10-21-2021; Ord. PL05188-100821, 11-18-2021; Ord. PL05272-110121, 12-08-2021; Ord. PL05688-050322, 06-08-2022; Ord. A24-0070, 05-22-2024; 05-22-2024; Ord. A24-0640, 11-13-2024; Ord. A24-0917, 12-11-2024)

14.20 B2 Neighborhood Business District

14.20.01 The B2 Neighborhood Business District is intended to accommodate low intensity office, retail, and personal service and upper story residential uses within or abutting residential areas. The district is established to provide convenient locations for businesses on small to mid-sized sites which serve the needs of surrounding residents without disrupting the

character of the neighborhood. The regulations for this district are intended to create a comfortable, healthy, safe, aesthetically pleasing, and pleasant environment for all appropriate uses.

14.20.02 B2 Permissible Uses

Use #	Use	B2	Reference
1.0 Household Living			
1.14	Multi-Family Dwelling in Mixed Use (up to 30 bedrooms)	L	15.04
2.0 Group Living			
2.03	Residential Reentry, Category 1	CD	15.07
2.04	Residential Reentry, Category 2	CD	15.07
3.0 Transient Living			
3.01	Home for Survivors of Domestic Violence	L	15.11
3.04	Bed and Breakfast, Category 1	L	15.13
3.06	Vacation Rental	L	15.14
3.07	Homestay Rental	L	15.05
3.09	Hotel, Small	CD	
4.0 Institutional			
4.03	Funeral Home Establishment	P	
4.04	Crematorium	CD	
4.05	Cemetery	P	
4.06	Post Office	P	
5.0 Government Uses			
5.02	Government Neighborhood Cultural Facility, Indoor Activity Only	P	
5.04	Recreation Facility, Category 1	P	
5.05	Recreation Facility, Category 2	P	
5.06	Recreation Facility, Category 3	CD	
5.07	Event Venue, Category 1	P	
5.08	Event Venue, Category 2	P	
5.09	Event Venue, Category 3	CD	
5.12	Police Substation	P	
5.13	Utility Facility, Town	L	15.16
5.14	Utility Facility, Government, Neighborhood	L	15.16
5.16	Government Facility	P	
6.0 Non-Government Utility Facility			
6.01	Utility Facility, Neighborhood	L	15.16
7.0 Wireless Communication			
7.01	Small Wireless Collocation	L	15.18
7.02	Wireless Facility Collocation on Existing Wireless Support Structure or Utility Pole	L	15.17
7.03	Stealth Wireless Facility Attached to Existing Building or Structure	L	15.17
7.05	Non-stealth Wireless Facility Collocation on Electrical Transmission Towers	L	15.17
7.06	Stealth Wireless Support Structure	L	15.17
7.08	Emergency Response Communication Antenna	P	
8.0 Assembly			
8.01	Religious Assembly, Category 1	P	
10.0 Daycare			
10.01	Child Daycare, Large	L	15.19
10.03	Adult Daycare, Large	L	15.19
11.0 General Sales and Service			
11.03	Veterinary Office/Hospital without Outdoor Kennels	P	
11.04	Financial Institution ≤ 5,000 ft ²	P	
11.06	Restaurants ≤ 3,500 ft ²	P	
11.10	Personal Service Establishments	P	
11.11	Retail Store up to 5,000 ft ²	P	