

FOR LEASE

NEW RETAIL DEVELOPMENT - 1.4 ACRES
PERRY PKWY - HOUSTON COUNTY GA

LEASE RATE: \$32 PSF



PATRICK BARRY
ASSOCIATE BROKER
pbarry@cbcgeorgia.com
Cell: (478) 718-1806
Office: (478) 746-8171
990 Riverside Drive
Macon GA 31201



**COLDWELL BANKER
COMMERCIAL**
EBERHARDT & BARRY

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SALE

PERRY PKWY / HOUSTON LAKE RD
PERRY GA

OFFERING SUMMARY

Lot Size: 1.4 acres of New Retail Development

Available: Min. suite size 1,450 SF

Lease Rate: \$32 PSF

Traffic Count: ~16,000 VPD - Perry Pkwy
~ 30,000 VPD - Houston Lake Rd

Zoning: C2

Utilities: All public utilities service the site and seller
will provide access points on each side.

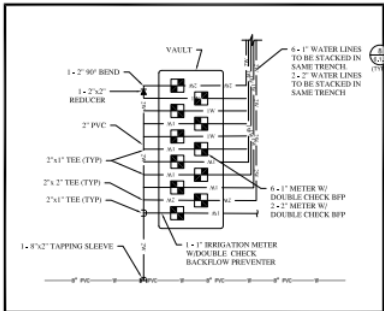
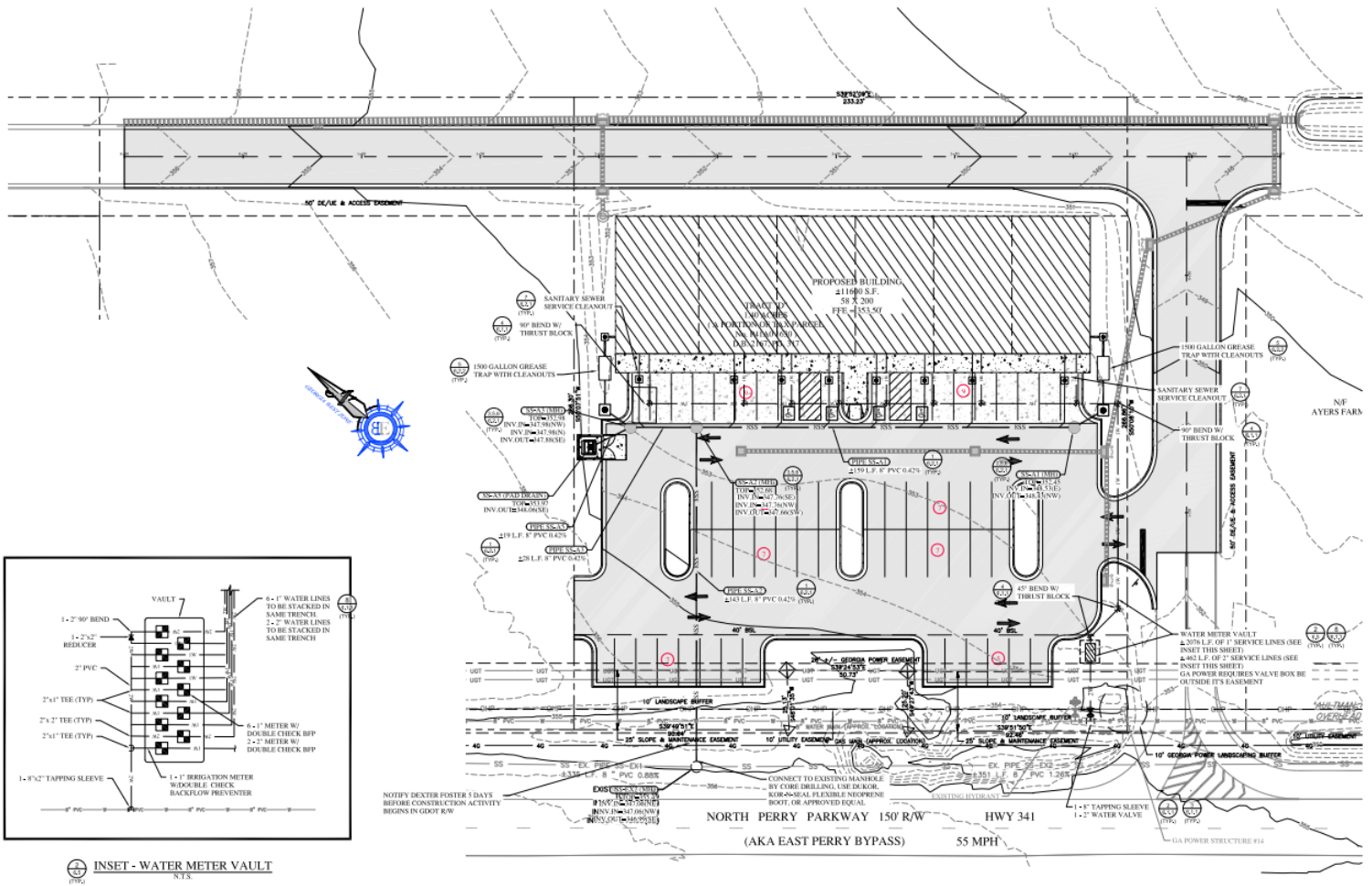
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ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PERRY'S WATER AND SANITARY SEWER SPECIFICATIONS.
THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM



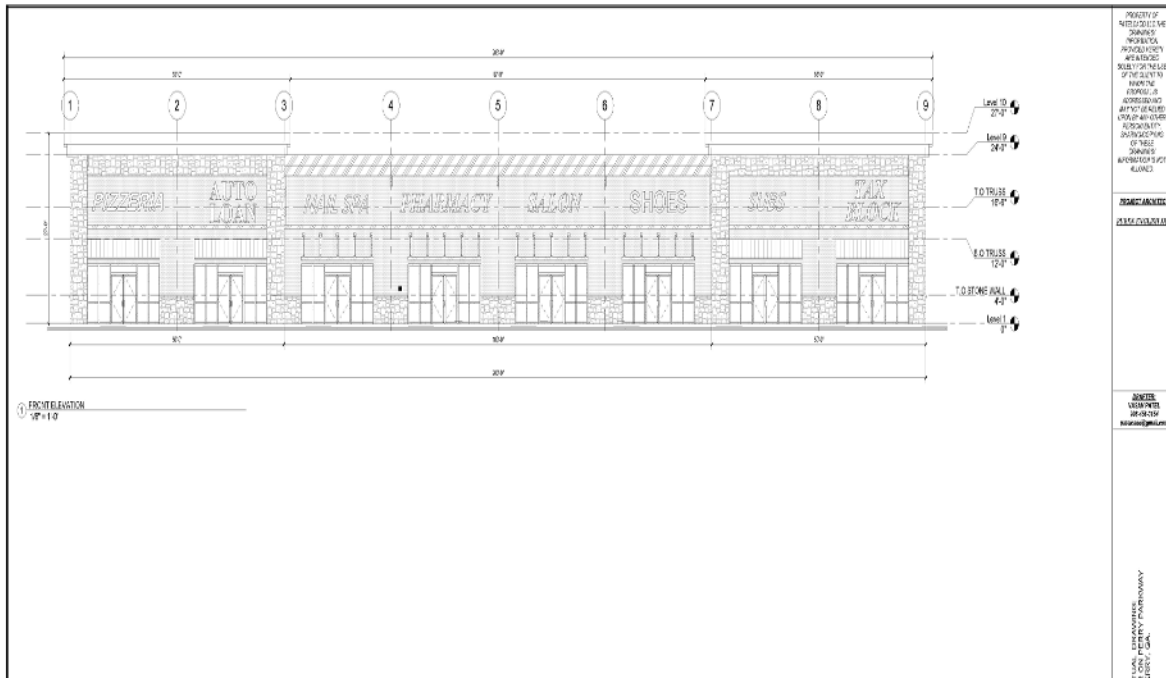
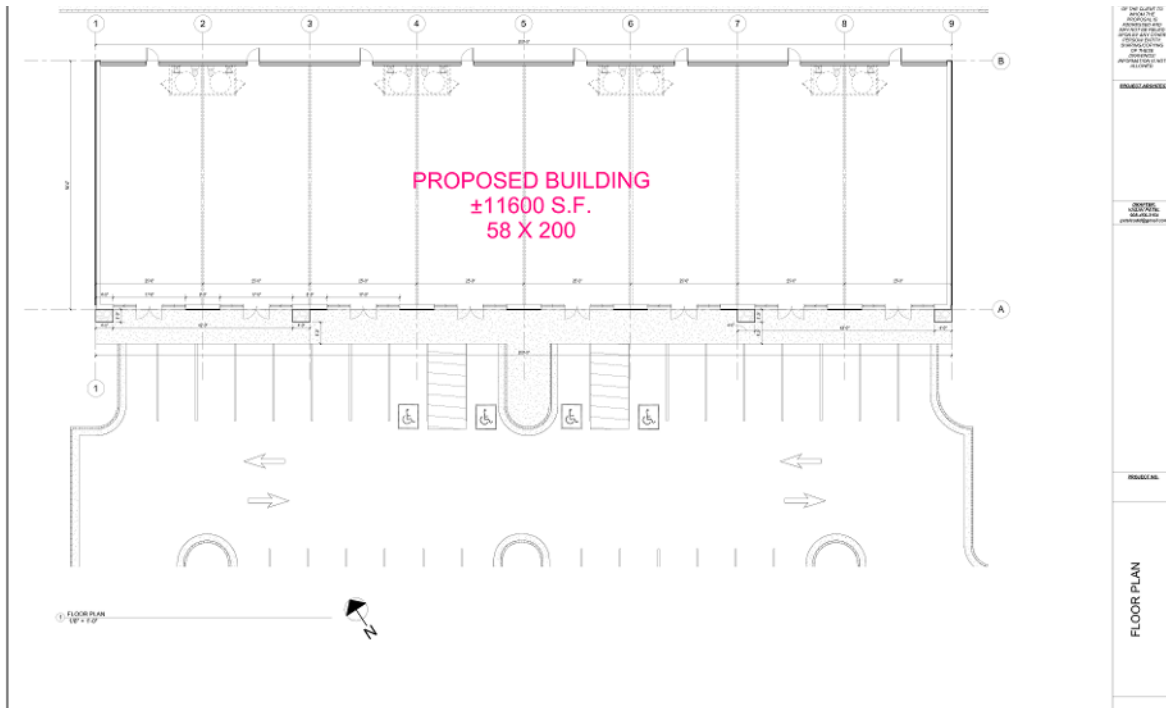
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PERRY, GA

OFFERING SUMMARY

PROPERTY OVERVIEW:

- 1.4 acres

- Directly across from The Shops at Perry Crossing - Over 1.5M Visits Annually

-Excellent Full Access and Cross Access to Houston Lake Road

- Approximately 16,000 vehicles per day and growing

Tyson Foods, FedEx, Tractor Supply, QuikTrip, Yancey Brothers, YKK, and Amazon.

- 35,581 residents within 10 min drive time and growing at 17% over next 5 years

-New residential development directly behind property

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PLAT

Book 85 Page 253 Page 1 of 1

LEGEND

- 1/2 REBAR SET
- OPEN TOP PIPE FOUND
- △ CALCULATED CORNER
- CONCRETE MONUMENT FOUND
- RIGHT OF WAY
- BOUNDARY LINE
- PROPERTY LINE
- DRAINAGE EASEMENT
- UTILITY EASEMENT
- SANITARY SEWER EASEMENT
- MANHOLE
- CURB/BISSON
- EJECTION BOX
- DROPPED
- HEADWALL
- AC
- POINT
- CRK
- CREEK
- LAND OFFLINE
- FIRE HYDRANT
- FENCE LINE
- FINISH FLOOR ELEVATION
- POWER LINE
- POWER POLE
- CENTERLINE
- TEST HOLE
- SITE PLAN ENG. DEPT.
- SITE PLAN HEALTH DEPT.
- R-1
- ELEVATION
- RESIDENTIAL DRAINAGE PLAN
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- LIGHT POLE
- WATER VALVE
- WATER METER
- P.O.B.
- NOW OR HEREBY

SURVEYOR'S CERTIFICATION

IT IS CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION. THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, AND THAT ALL SURVEYING AND PLATTING REQUIREMENTS OF THE LAND SURVEYING REGULATIONS OF THE CITY OF GEORGIA HAVE BEEN FULLY COMPLIED WITH. I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING IN GEORGIA AS SET FORTH IN CHAPTER 186-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 19-6-67 AUTHORITY O.C.G.A. SECS. 19-6-67, 41-15-4, 41-15-15, 41-15-19, 41-15-22

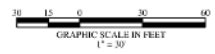
BY: **McLeod**
REGISTERED GEORGIA LAND SURVEYOR NUMBER: 2091

TOTAL AREA: 1.40 ACRES

NOTES:
THIS PROPERTY IS SUBJECT TO ANY RESTRICTIONS OR EASEMENTS THAT MAY NOT BE SHOWN HEREOF.

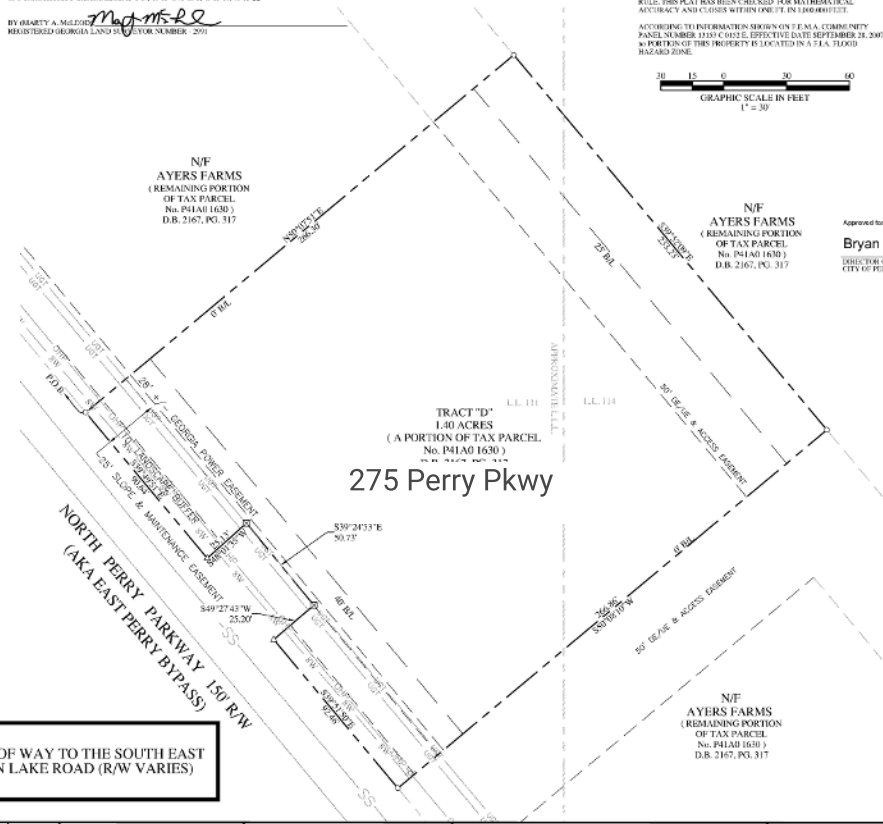
THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS OBTAINED USING A TOTAL STATION AND HAS A LINEAR PRECISION RATIO OF ONE FT. TO 2.100 FEET AND AN ANGULAR ERROR OF 60 SECONDS OF ANGLE. AND WAS CORRECTED UNDER THE COMPOUND RULE. THIS PLAT HAS BEEN CHECKED FOR MATHEMATICAL ACCURACY AND CLOSE WITHIN ONE FT. IN DIMENSION.

ACCORDING TO INFORMATION SHOWN ON FEMA COMMUNITY PANEL NUMBER 1313 C 0422 E, EFFECTIVE DATE SEPTEMBER 24, 2007, A PORTION OF THIS PROPERTY IS LOCATED IN A F.I.A. FLOOD HAZARD ZONE.



Type: GEORGIA STANDARD PLATS
Recorded: 5/16/2025 1:30:00 PM
File Name: 21010 Page 1 of 1
Houston County Georgia
Tami L. Childers Clerk of Superior Court
BK 85 PG 253

FOR THE CLERK OF SUPERIOR COURT USE ONLY



Approved for Recording
Bryan Wood
Director of Community Development
CITY OF PERRY, GEORGIA

P.O.B.
1,464.58' ALONG THE RIGHT OF WAY TO THE SOUTH EAST
RIGHT OF WAY OF HOUSTON LAKE ROAD (RW VARIES)
(PER P.B. 83, PG. 259)



| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
| | | |
| | | |

COUNTY: HOUSTON
DISTRICT: 10TH
LAND LOT: 111 / 114
DATE: 5/14/2025
SCALE: 1" = 30'
JOB NO. 0565-016

SURVEY FOR:
FARCORP



P.O. BOX 1821
Perry, Georgia 31800
office (478) 234-7070
fax (478) 234-7072
WWW.MCLEODSURVEYING.COM

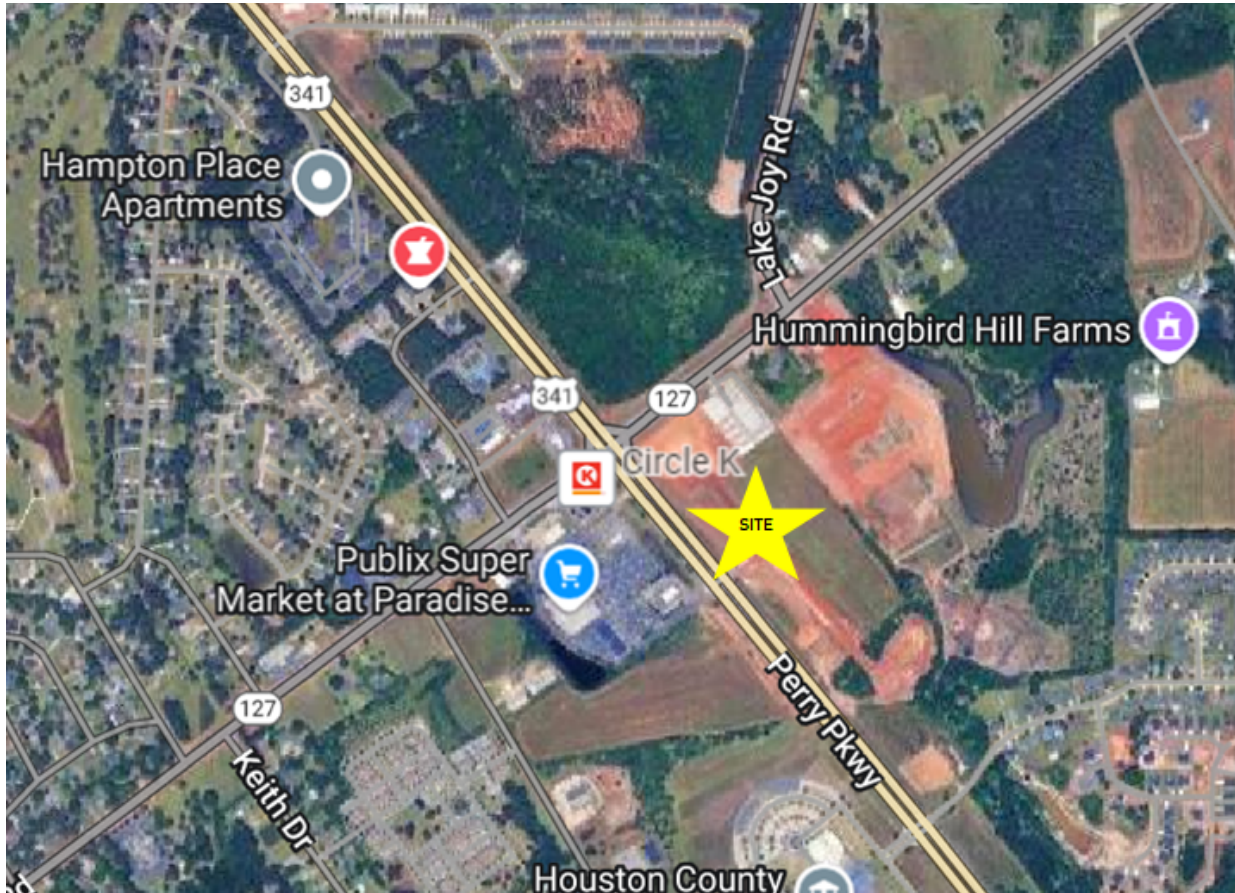
3/2023 AND FUTURE YEARS - CONTRACTOR0 - CONTRACTOR051 - MCWRIGHT LLC 2565-016-14 ACRES ON PERRY PARKWAY 01 SURVEY CALG065-016 SURVEY.DWG

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5 MILE RADIUS

KEY FACTS

37,868

Population



Average Household Size



Median Age

\$84,032

Median Household Income

EDUCATION



No High School Diploma



25%

High School Graduate



34%

Some College



36%

Bachelor's/Grad/Prof Degree

BUSINESS



816

Total Businesses



15,687

Total Employees

EMPLOYMENT



White Collar



Blue Collar



Services



Unemployment Rate

INCOME



\$84,032

Median Household Income



\$39,865

Per Capita Income



\$280,774

Median Net Worth

2024 Households By Income (Esri)

The largest group: \$100,000 - \$149,999 (19.7%)

The smallest group: <\$15,000 (6.6%)

| Indicator ▲ | Value | Diff | |
|-----------------------|-------|-------|--|
| <\$15,000 | 6.6% | +0.5% | |
| \$15,000 - \$24,999 | 6.9% | +0.7% | |
| \$25,000 - \$34,999 | 7.6% | -1.8% | |
| \$35,000 - \$49,999 | 8.2% | -2.2% | |
| \$50,000 - \$74,999 | 14.1% | -1.4% | |
| \$75,000 - \$99,999 | 15.4% | +1.2% | |
| \$100,000 - \$149,999 | 19.7% | -0.4% | |
| \$150,000 - \$199,999 | 12.0% | +2.4% | |

Bars show deviation from Houston County ▾