



TM

YORK MILLS CENTRE

4025/4101 YONGE ST TORONTO, ON

IR | **CUBECOM**
TEAM | FULL SERVICE REALTY

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YORK MILLS CENTRE

4025/4101 YONGE ST TORONTO, ON

York Mills Centre is a multifaceted commercial complex renowned for its comprehensive range of amenities and services, which cater to both the local workforce and local residential community. Positioned strategically near Yonge Street and highway 401, the centre is a transportation hub offering convenient access to all corners of the city and Greater Toronto Area. The complex also benefits from direct access to both the TTC and GO Transit, making it a prime location for commuter traffic of every kind.



HIGHLIGHTS



DIRECT TRANSIT CONNECTIVITY

Direct access to York Mills Station, GO Bus Terminal, and TTC routes—seamless commuting for tenants and visitors.



UNMATCHED HIGHWAY ACCESS

Immediate access to Highway 401, connecting to the GTA's major corridors.



ON-SITE RETAIL & AMENITIES

Curated mix of dining, retail, fitness, and daily conveniences within the complex.



HIGH-DENSITY PROFESSIONAL HUB

Strong daily population driven by office tenants and surrounding affluent neighbourhoods.



ESTABLISHED NORTH YORK NODE

Located at Yonge & York Mills. One of Toronto's most prestigious and accessible business corridors



PREMIUM CERTIFICATIONS

LEED Gold & BOMA BEST Gold certified, with TOBY Award recognition for excellence.

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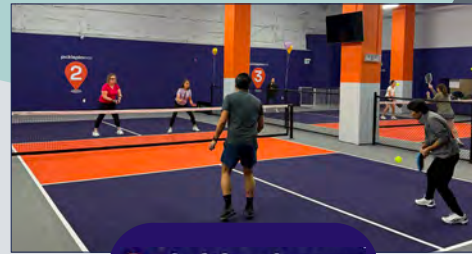
Office.
Transit.
Hospitality.
Daycare.
Health
Services.
Fitness.
Outdoor
Space.
Patio.



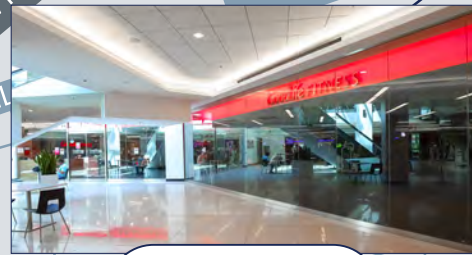
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MAP OVERVIEW



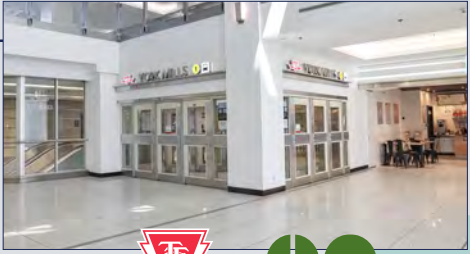
pickleplex SOCIAL CLUB



GoodLife FITNESS.



Tim Hortons



ON SITE ACCESS TO TRANSPORTATION

DEMOGRAPHICS



POPULATION
 0-2KM 52,450
 0-5KM 386,118
 0-10 KM 1,621,926



DAYTIME POPULATION
 0-2KM 54,581
 0-5KM 388,223
 0-10KM 1,618,815



AVG. HOUSEHOLD INCOME
 0-2KM \$228,691
 0-5KM \$161,490
 0-10KM \$127,410



MEDIAN AGE
 0-2KM 39.8
 0-5KM 39.6
 0-10KM 40

SOURCE: COSTAR 2023

EXISTING TENANTS



NOW OPEN PICKLEPLEX POD @ YORK MILLS CENTRE

Built for players who want more pickleball games, more flexibility, and more convenience than ever before.



This fully automated, self-serve facility offers extended hours so you can play early mornings, late nights, and everything in between – all on your schedule. At Pickleplex York Mills, it's all about playing pickleball: easy booking, great play, and a place where the game always comes first.

BOOK NOW:
www.pickleplexclub.ca/yorkmills/

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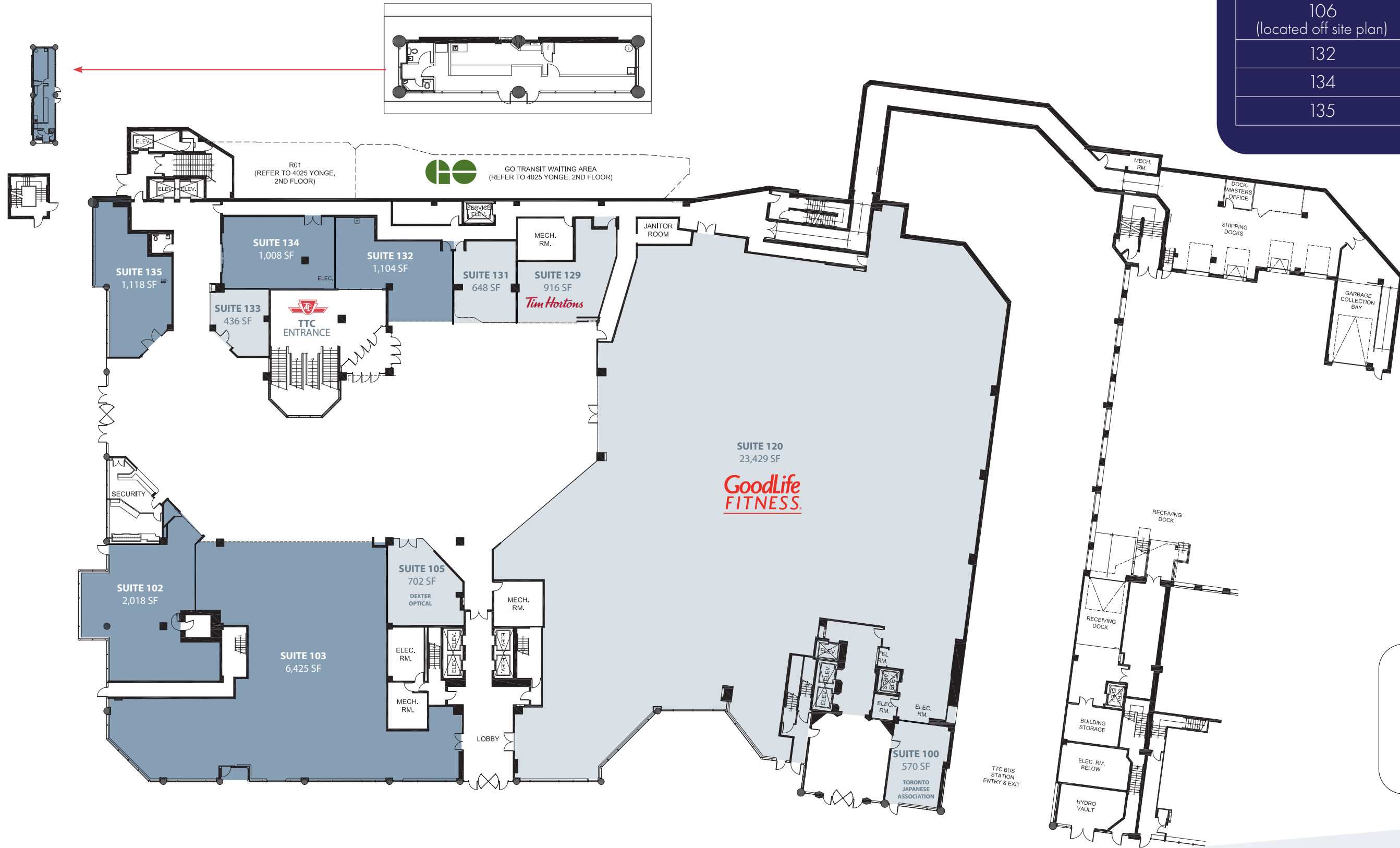
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1st FLOOR SITE PLAN

AVAILABLE SPACE

SUITES	SIZE
102	2,018 SF
103	6,425 SF
106 (located off site plan)	811 SF
132	1,104 SF
134	1,008 SF
135	1,118 SF



LEGEND

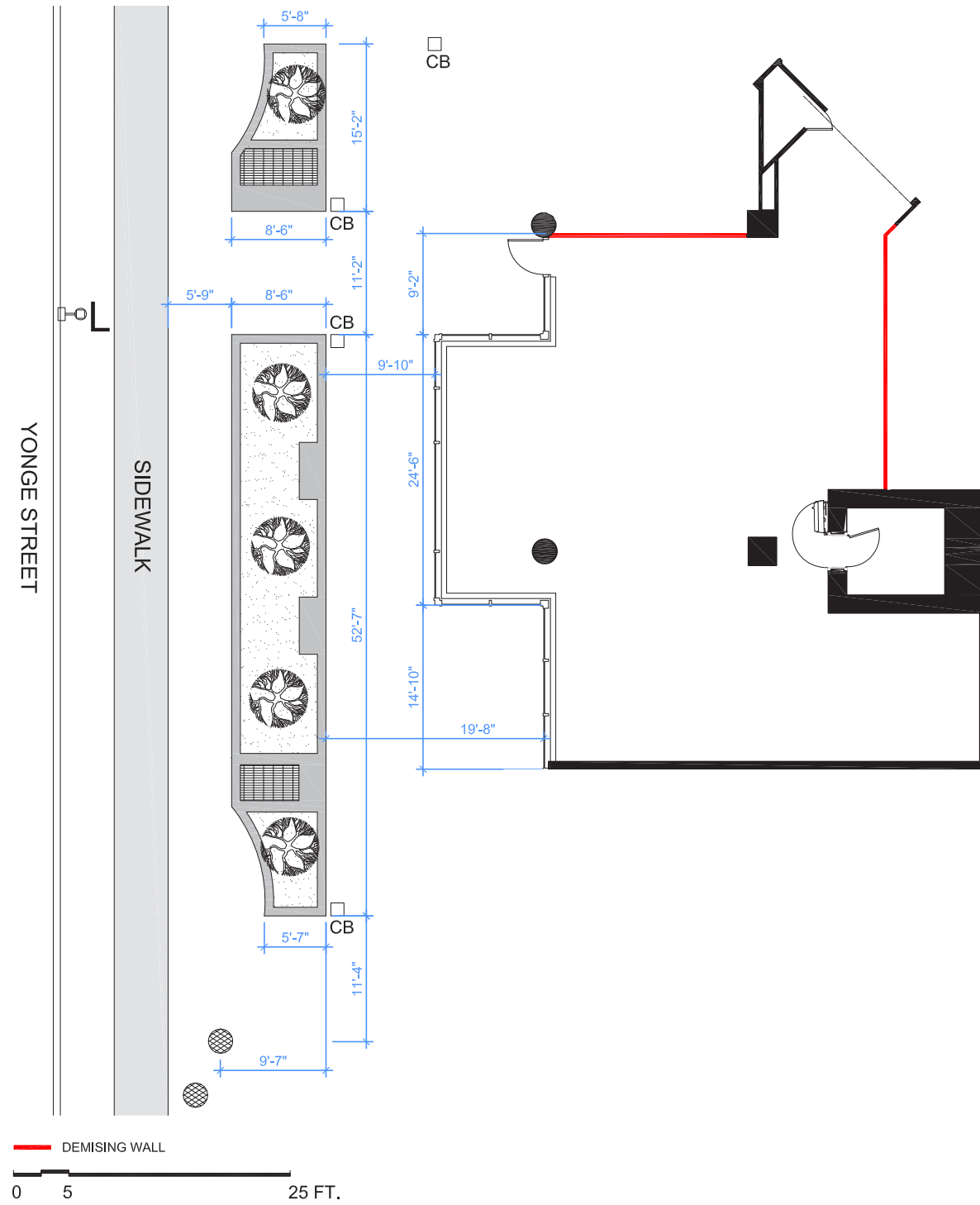
- SUITES AVAILABLE
- OCCUPIED SUITES

SUITE 102

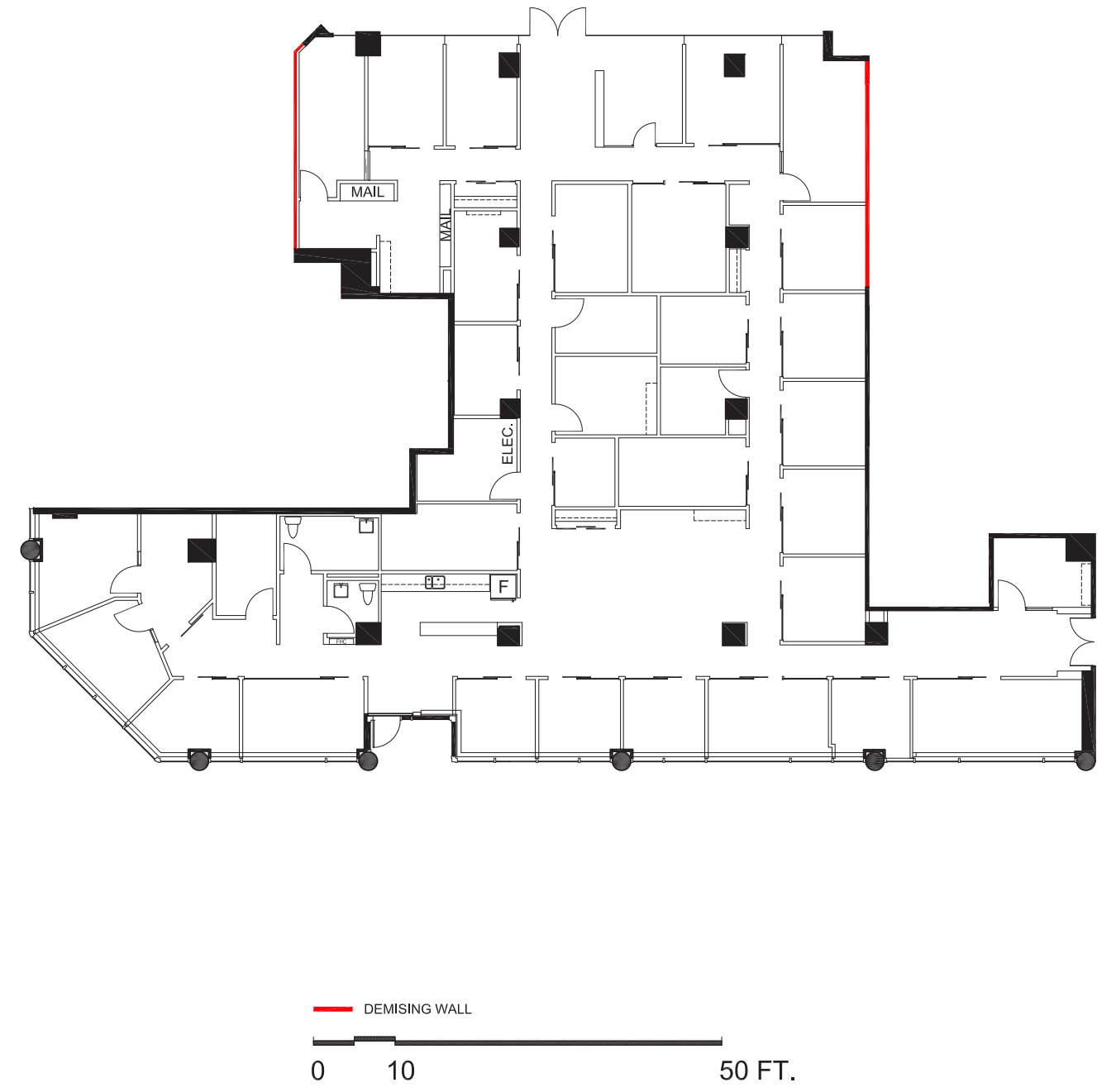
2,018 SF

SUITE 103

6,425 SF



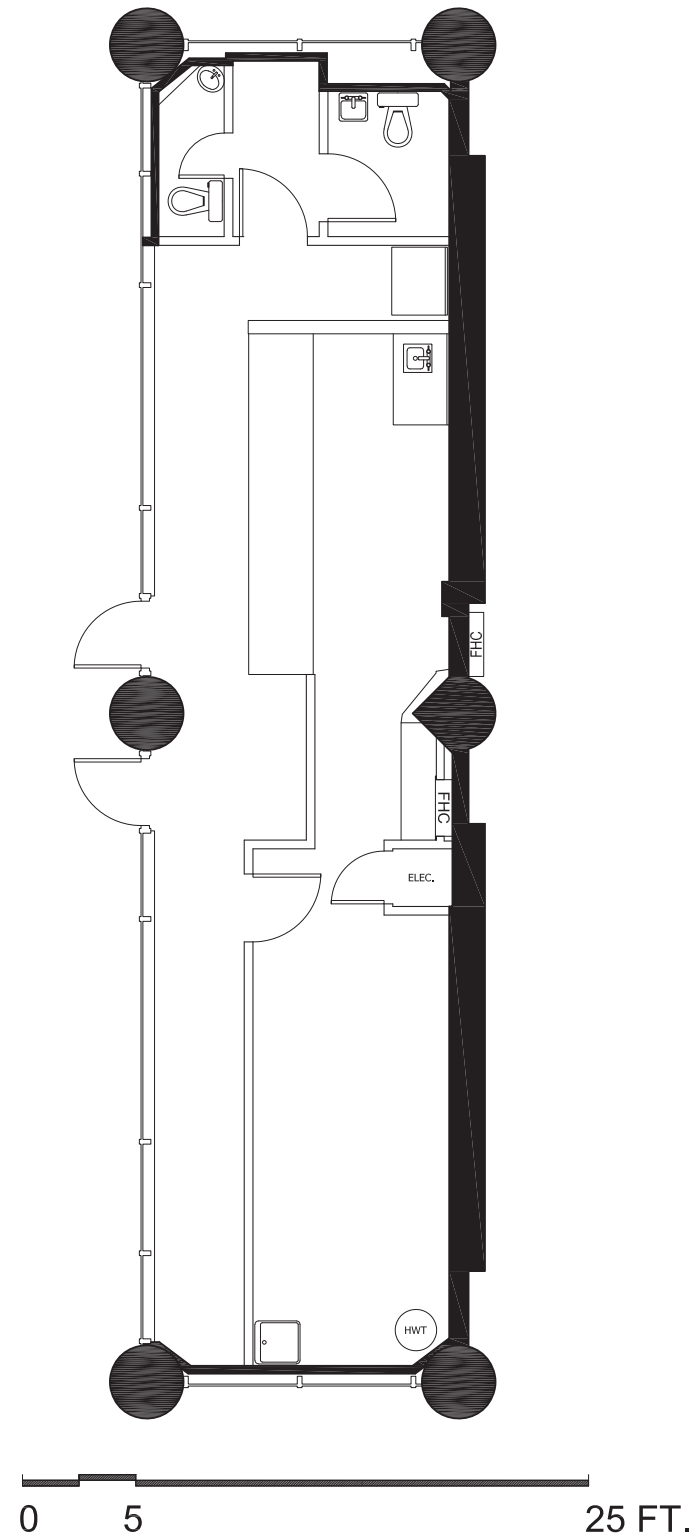
EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT



EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT

SUITE 106

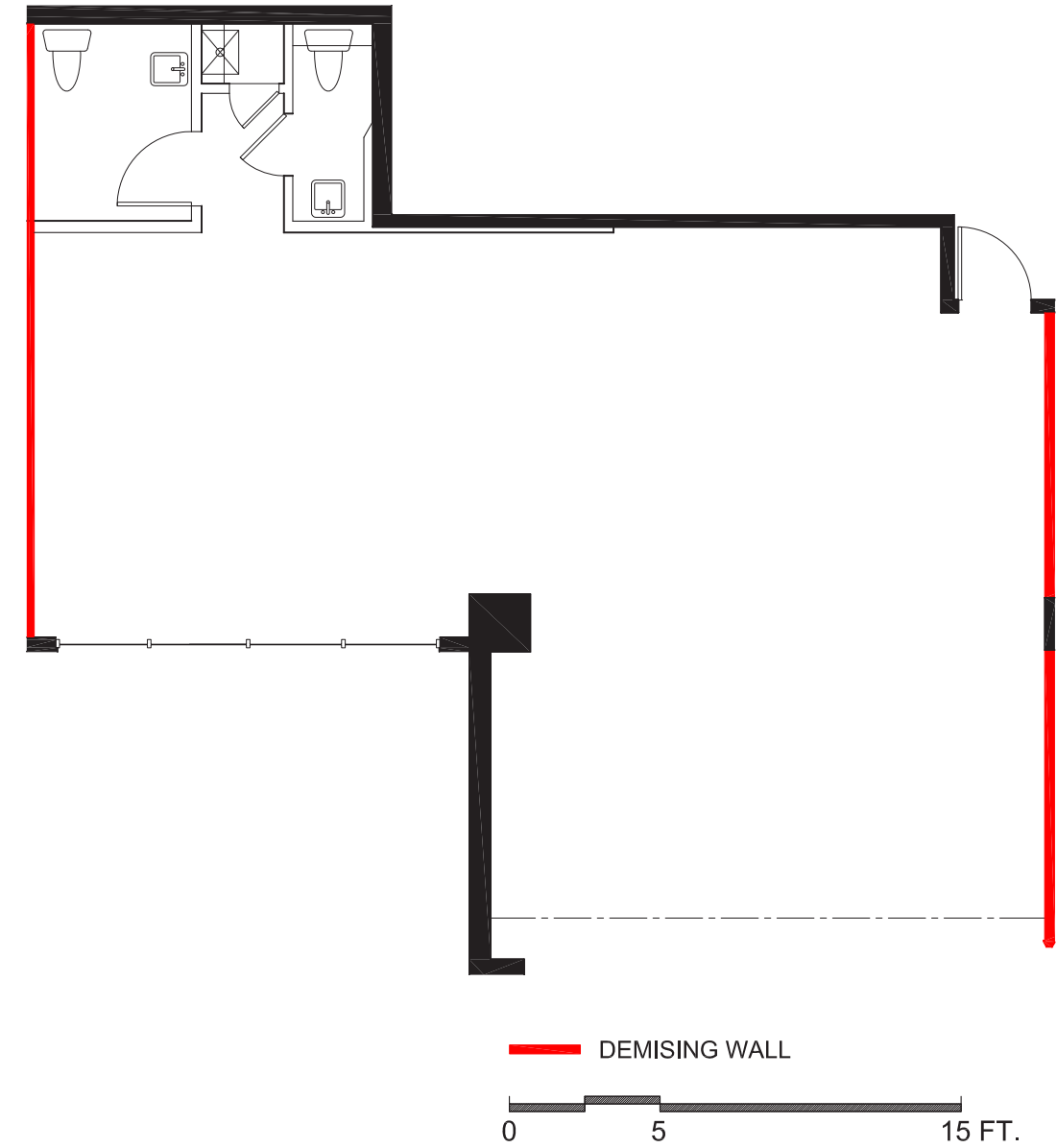
811 SF



EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT

SUITE 132

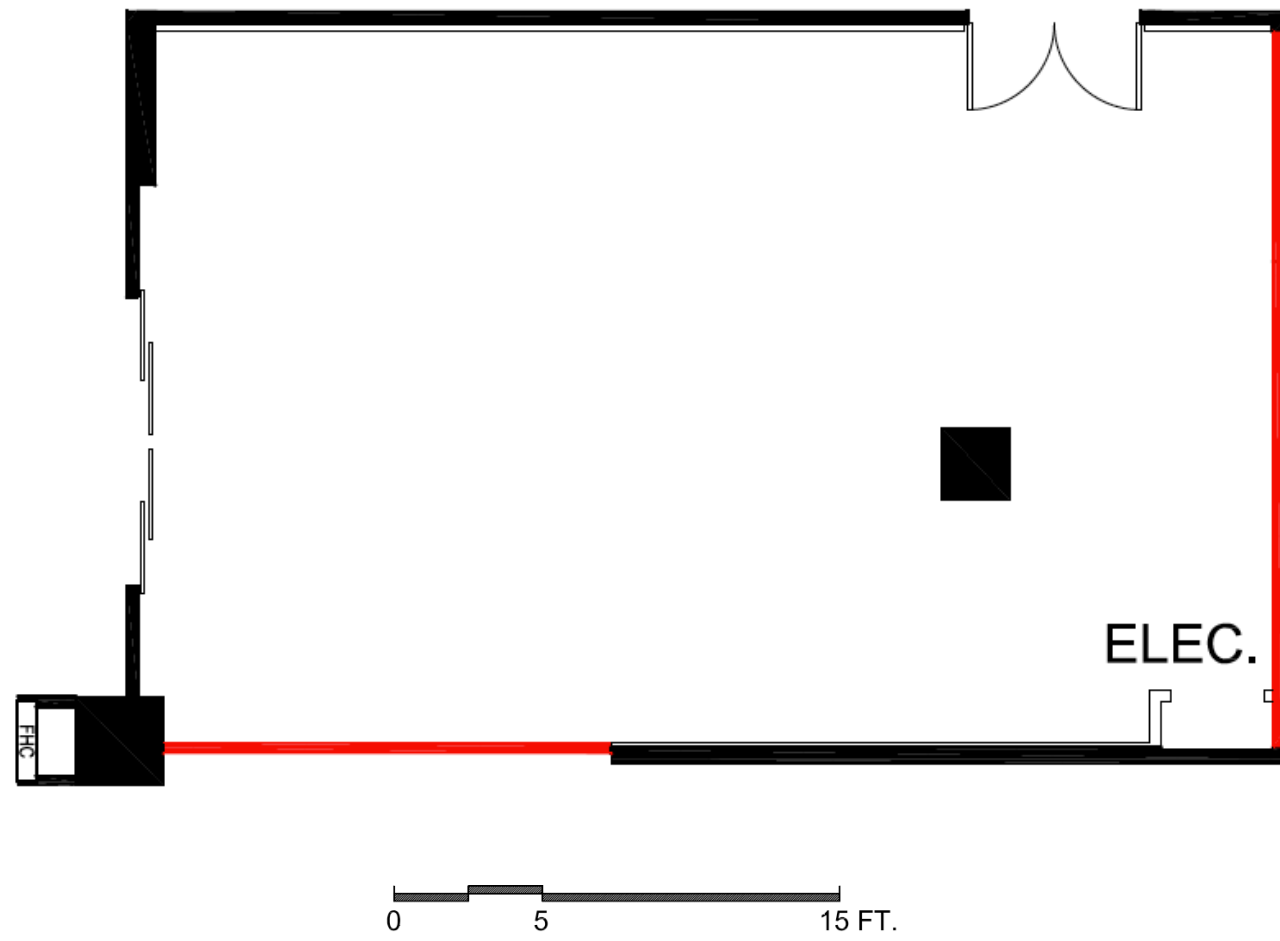
1,104 SF



EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT

SUITE 134

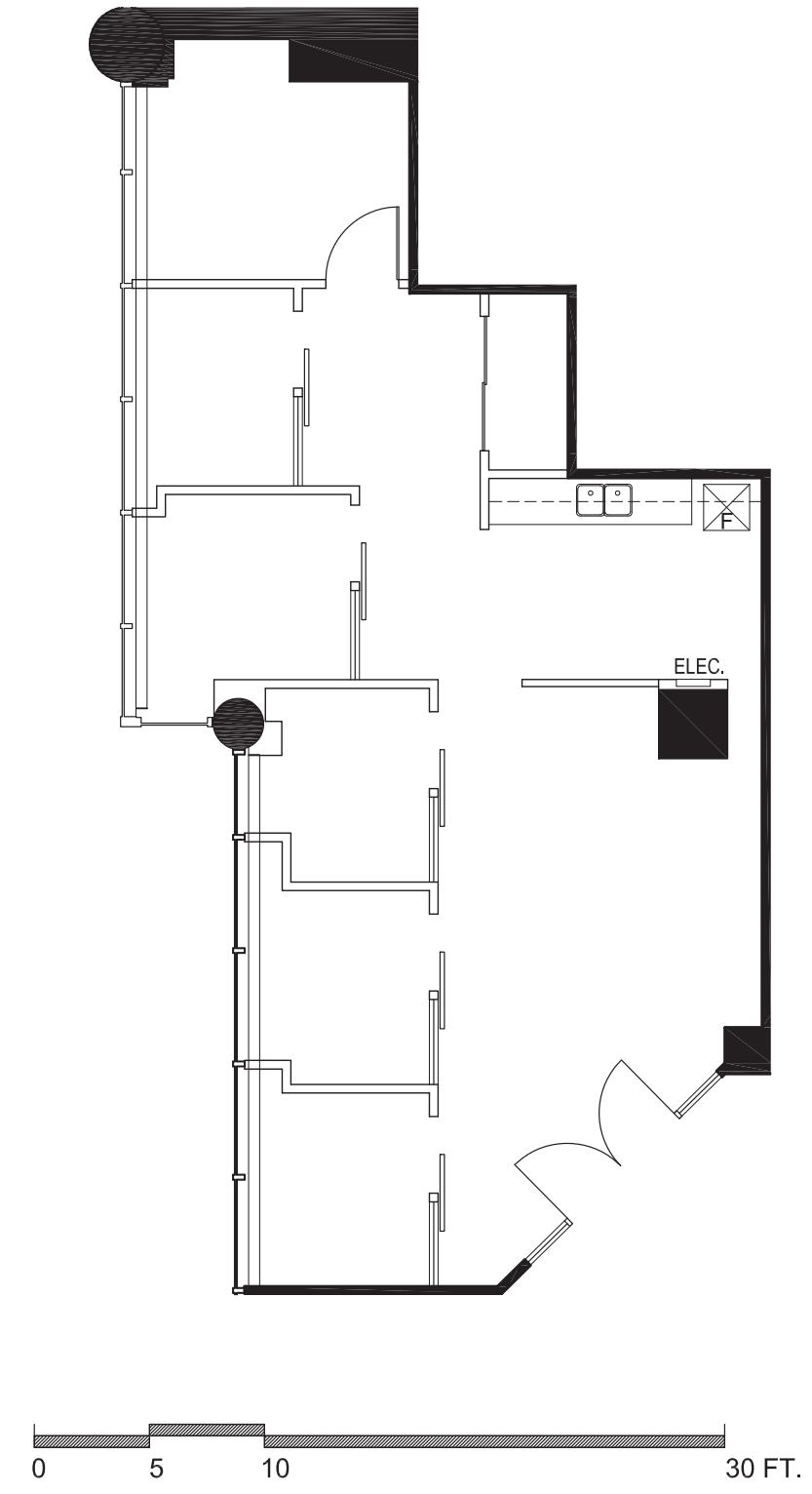
1,008 SF



EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT

SUITE 135

1,118 SF



EST TMI: \$22.72 (2025) | NET RENT: CONTACT LISTING AGENT

POSSIBLE USES

SUITE
102
2,018 SF



These renderings are for illustrative purposes only and may not accurately reflect final materials, colors, or design details.

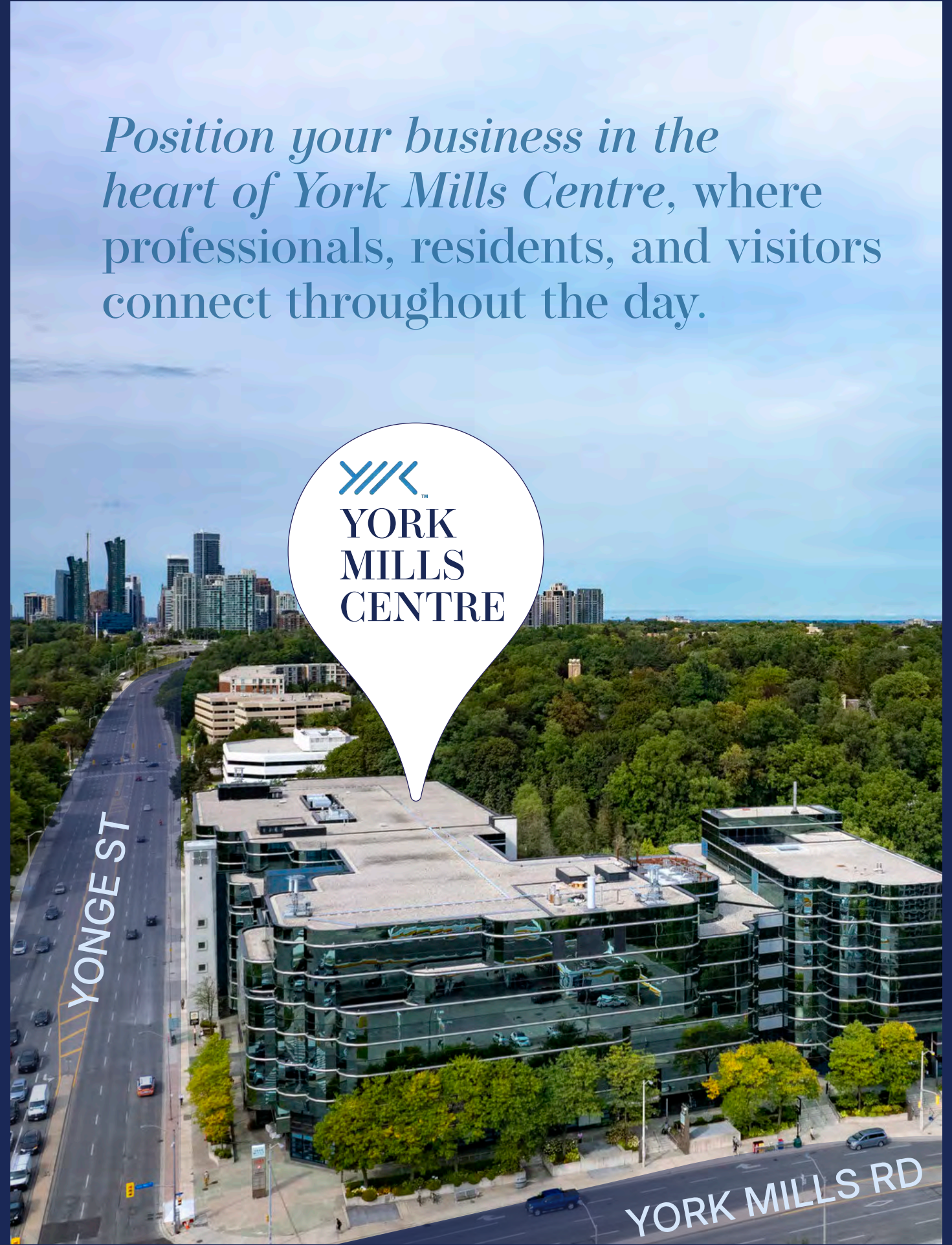
SUITE
103
6,425 SF



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Position your business in the heart of York Mills Centre, where professionals, residents, and visitors connect throughout the day.


**YORK
MILLS
CENTRE**



2nd FLOOR SITE PLAN

AVAILABLE SPACE

SUITES	SIZE
FC01	341 SF
FC02	377 SF
R01	872 SF
202	2,656 SF

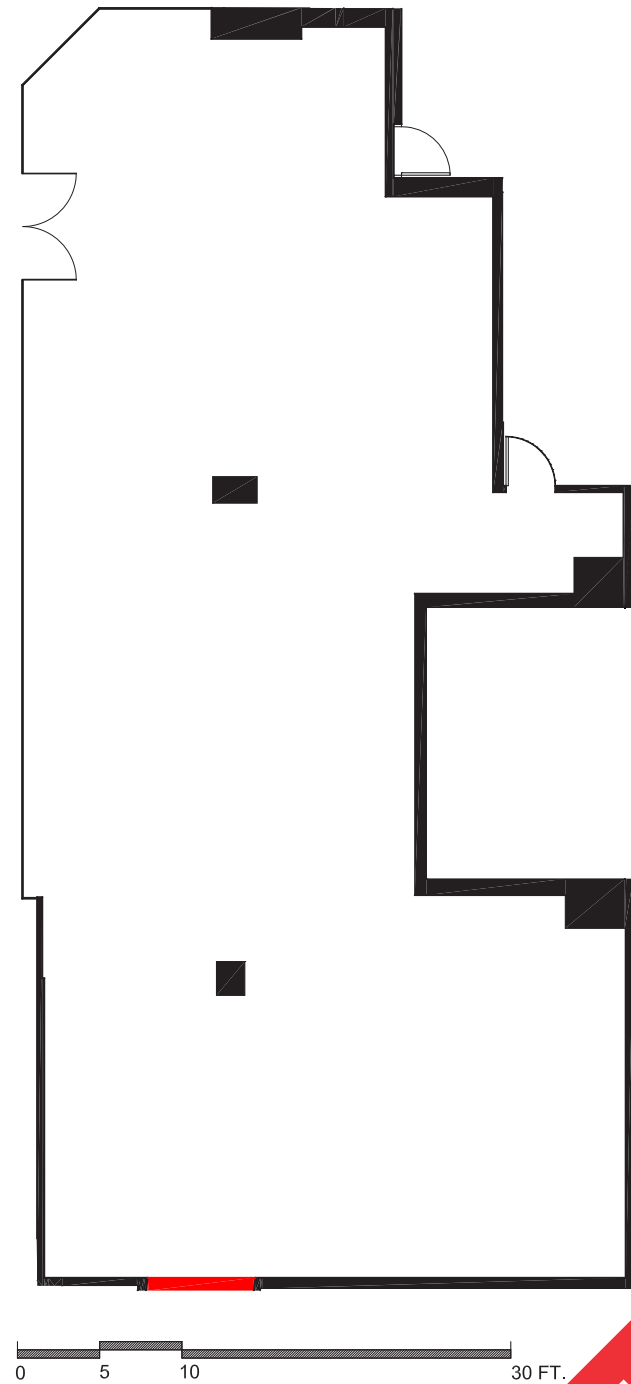


LEGEND

- SUITES AVAILABLE
- OCCUPIED SUITES

SUITE 205

2,300 SF

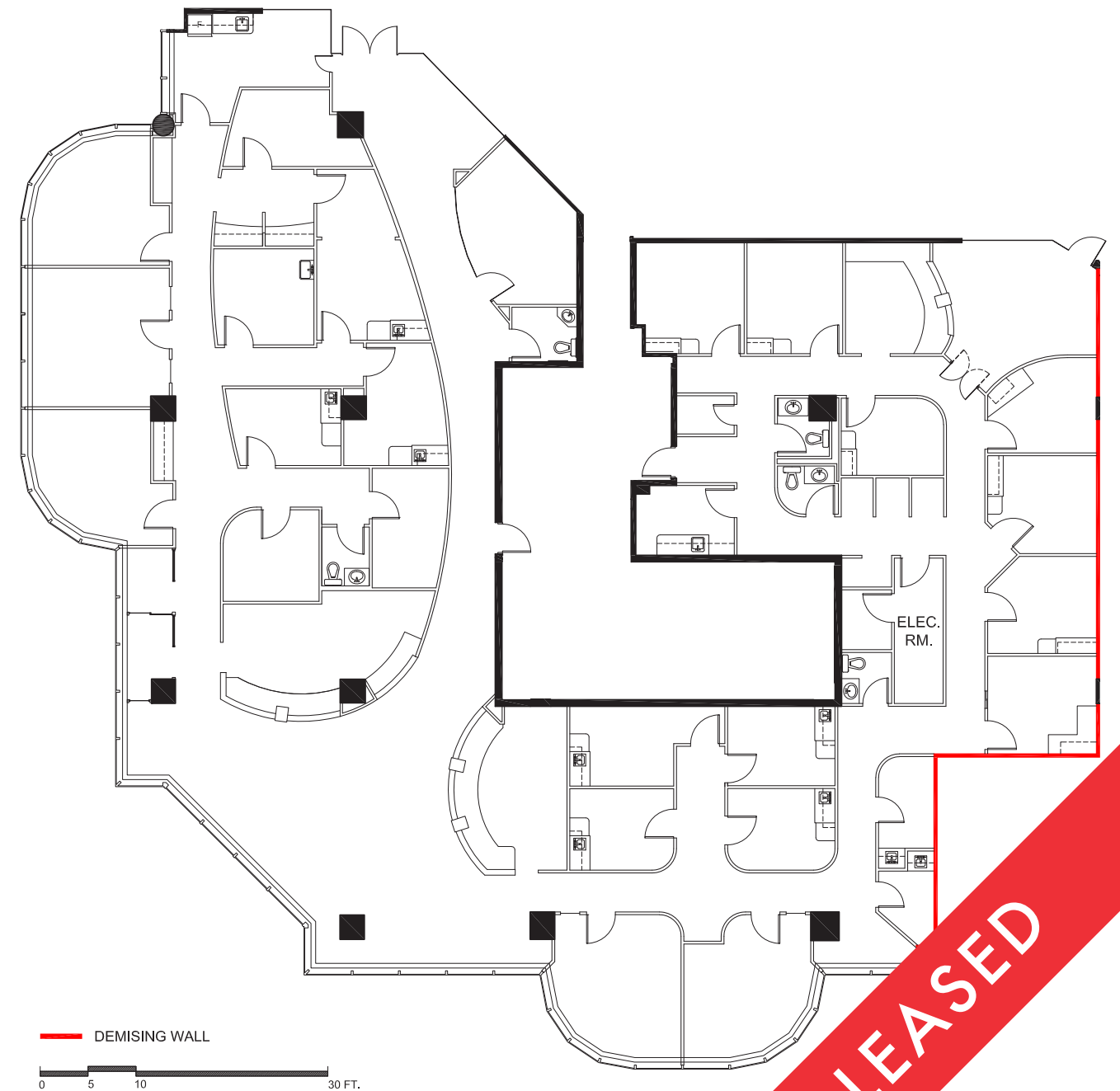


LEASED

EST TMI: \$34.12 (2025) | NET RENT: [REDACTED] LISTING AGENT

SUITE 215

7,777 SF



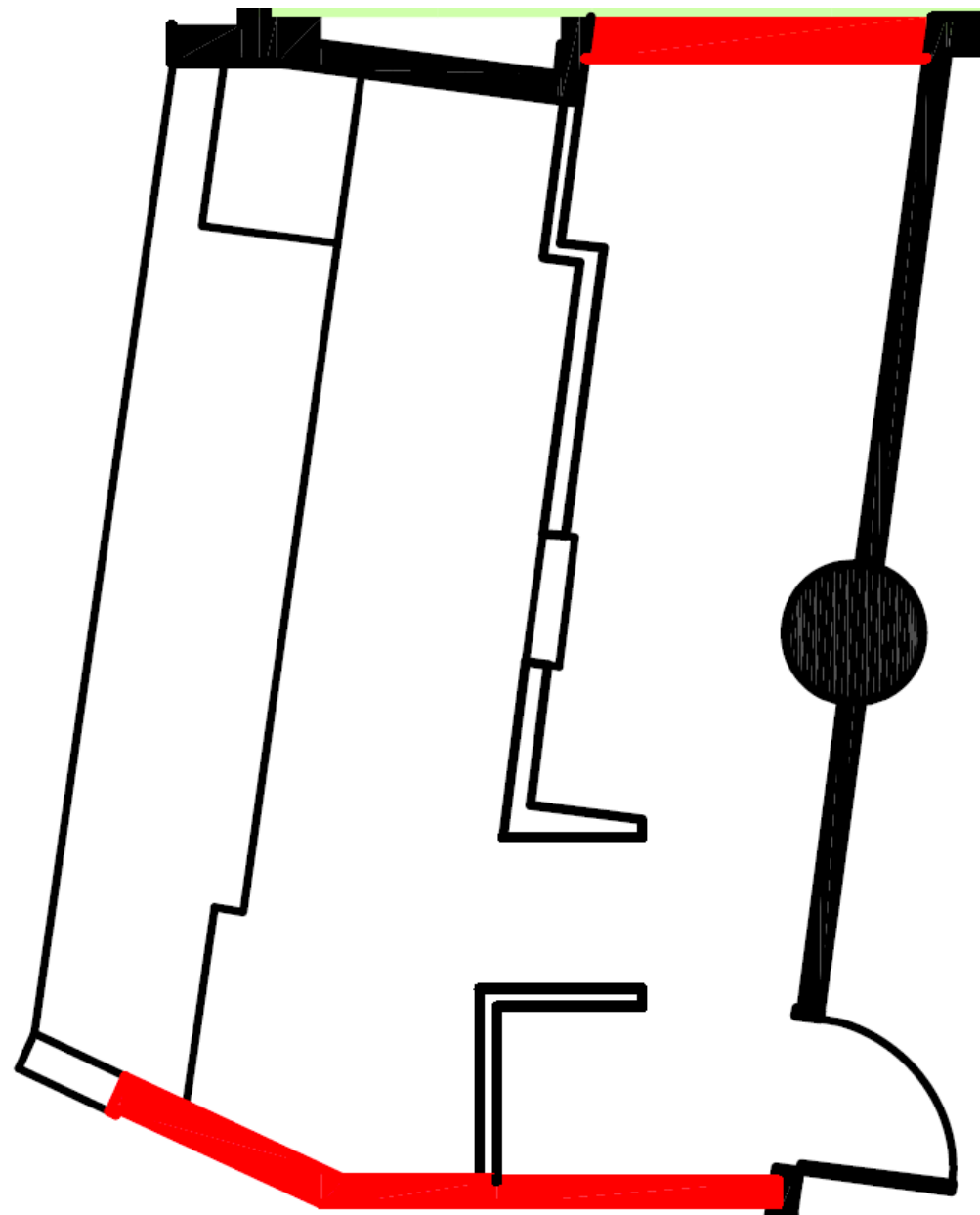
DEMISING WALL

LEASED

EST TMI: \$34.12 (2025) | NET RENT: [REDACTED] LISTING AGENT

SUITE FC01

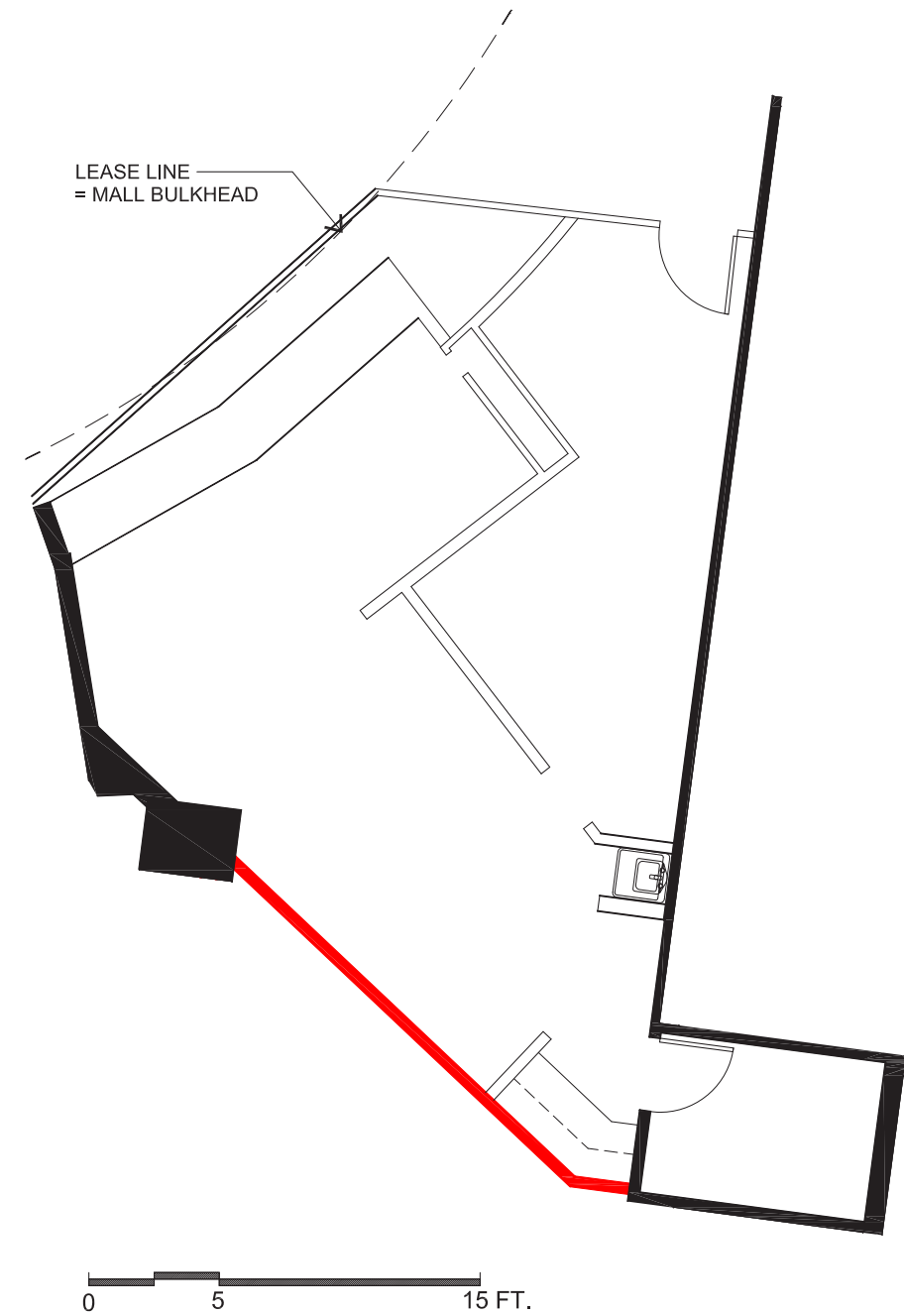
341 SF



EST TMI: \$22.17 (2024) NET RENT: CONTACT LISTING AGENT

SUITE FC05

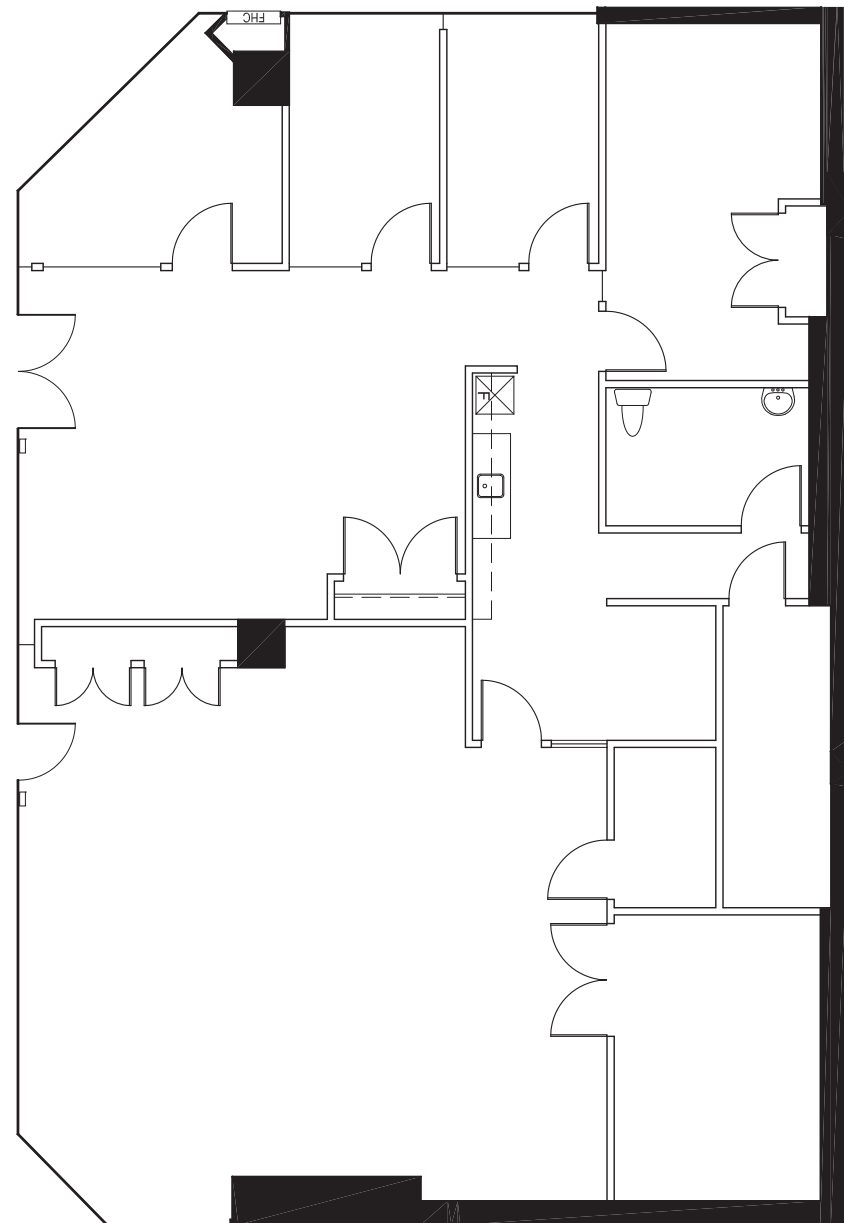
812 SF



EST TMI: \$22.17 (2024) NET RENT: CONTACT LISTING AGENT

SUITE 202

2,656 SF



Outstanding Building

OF THE YEAR WINNER, 2025



York Mills Centre proudly holds BOMA BEST Gold, LEED Gold, and the prestigious BOMA LOBBY Award certifications – a testament to its commitment to sustainability, operational excellence, and occupant well-being. These recognitions highlight best practices in reducing energy and water usage, minimizing waste, and promoting a healthier environment.



York Mills Centre is committed to environmental sustainability. Recent upgrades include energy-efficient HVAC and boiler systems, a comprehensive waste management program, and EV charging stations – all designed to support a greener future.

EST TMI: \$22.17 (2024) NET RENT: CONTACT LISTING AGENT



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