

FLEX SPACE WITH AMAZING HWY 401 EXPOSURE

50 Ronson Drive

Etobicoke



For More Information:

Blake Fleet*

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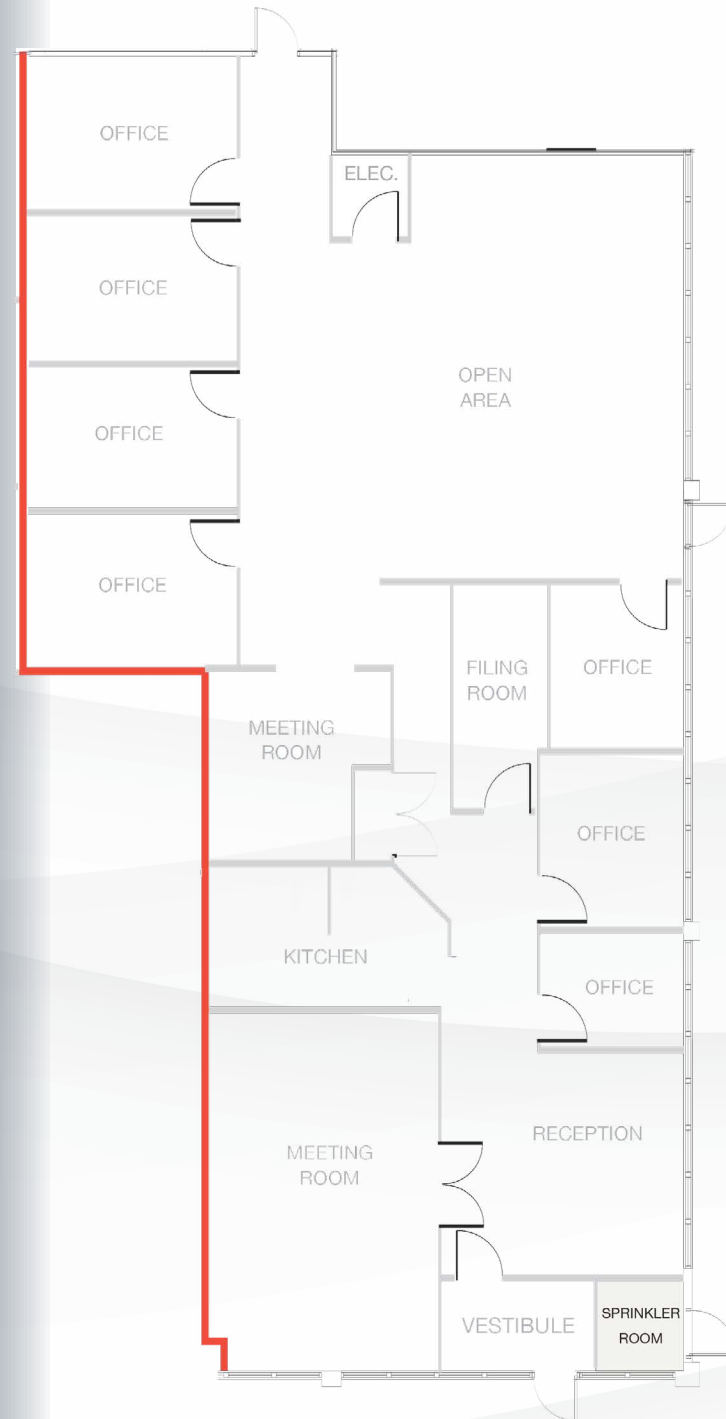
Corey Duncan*

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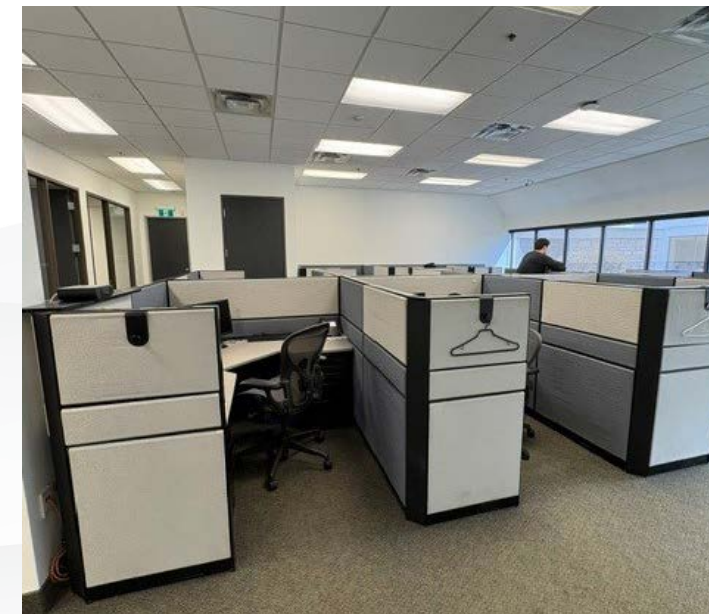
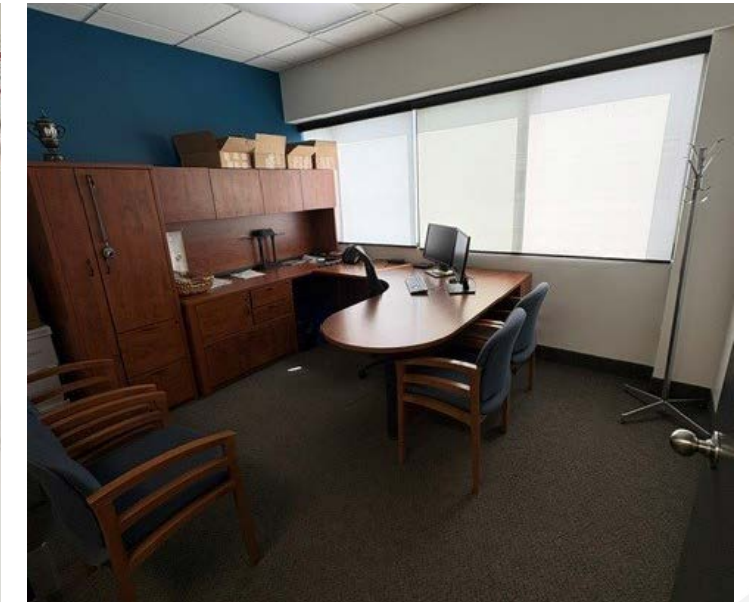
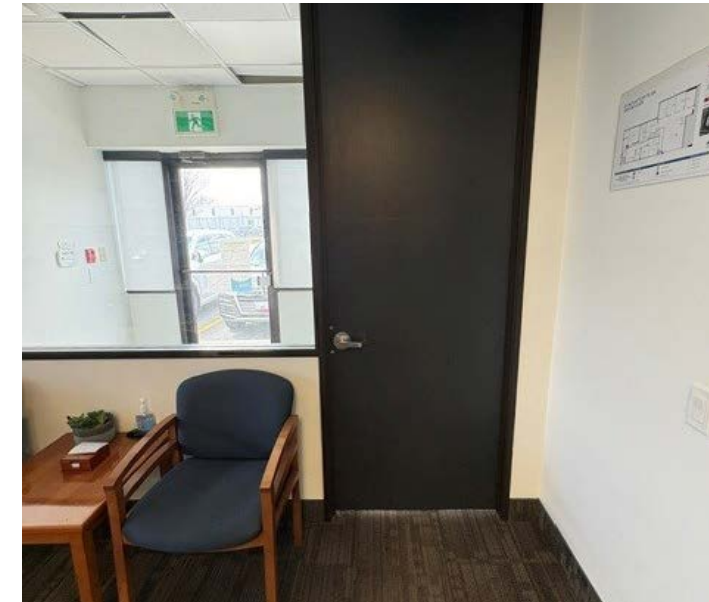
*Sales Representative

CBRE

Suite 155



Built out, move-in ready office includes private offices, cubicles, boardroom, IT room and large kitchen. Easy building access and ample surface parking is available. Paid building signage is also available with excellent exposure directly onto Hwy 401.



3,595 Sq. Ft.



\$11.45 net per Sq. Ft.

Annual Escalations to Apply



\$13.98 per Sq. Ft.

Additional Rent excludes In-Suite Janitorial



September 1, 2026



4:1,000 Sq. Ft.

*2026 Estimate

Suite 165



5,504 Sq. Ft.



\$11.45 net per Sq. Ft.

Annual Escalations to Apply



\$13.98 per Sq. Ft.

Additional Rent excludes In-Suite Janitorial

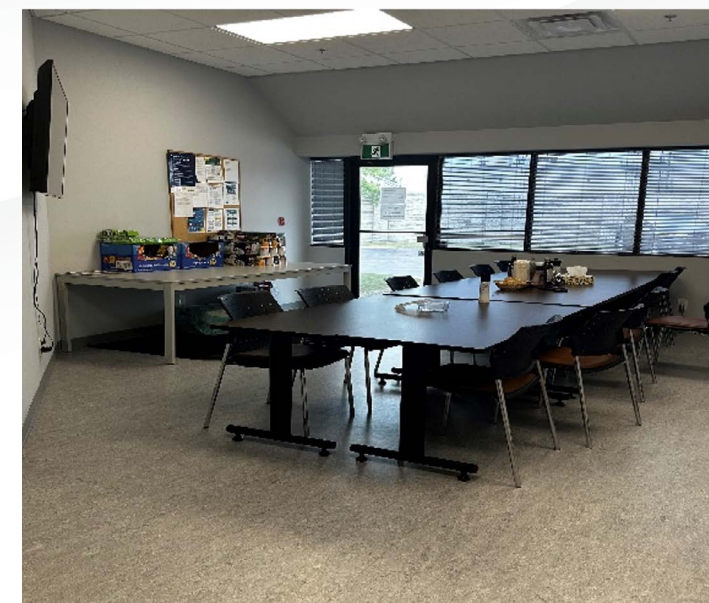
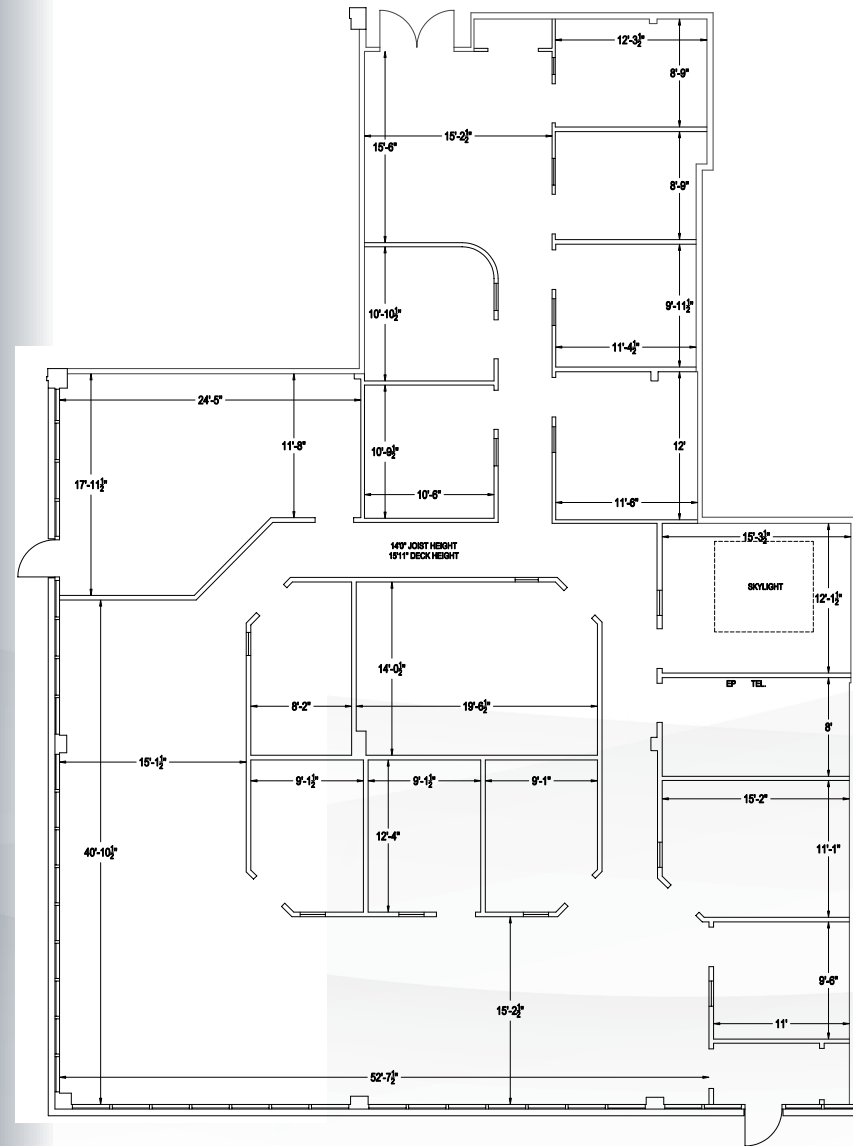


Immediate Possession



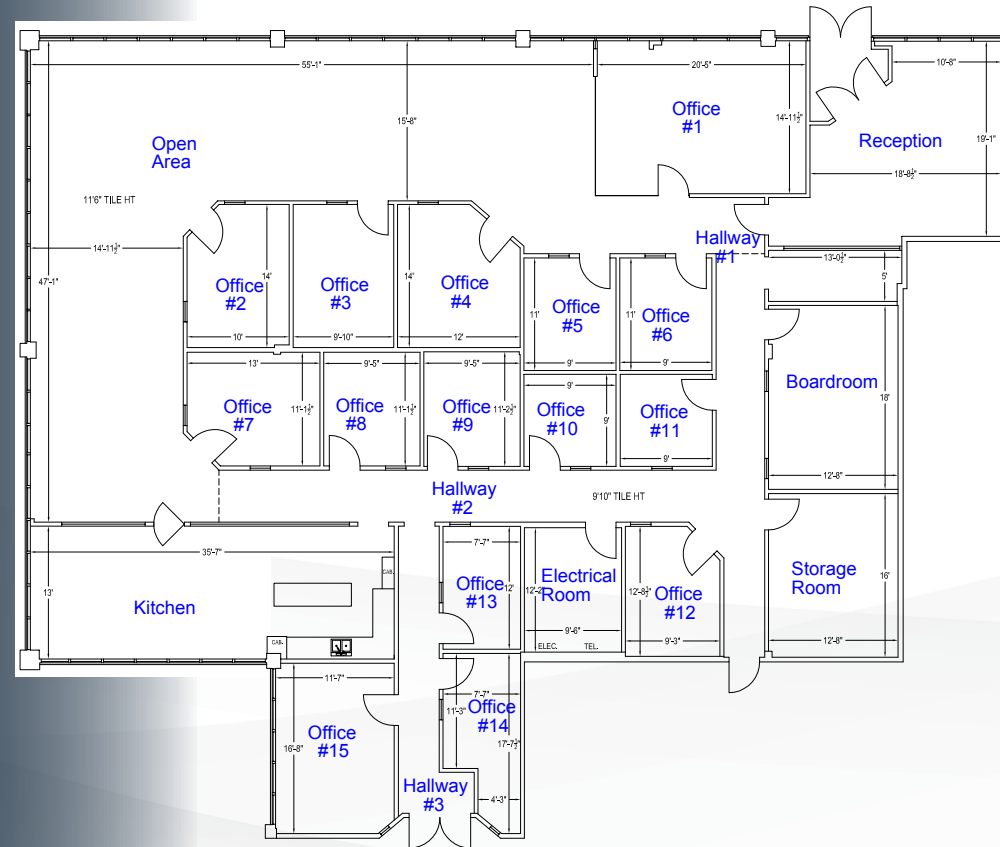
4:1,000 Sq. Ft.

*2026 Estimate



Built out, move-in ready office includes private offices, cubicles, boardroom, IT room and large kitchen. Easy building access and ample surface parking is available. Paid building signage is also available with excellent exposure directly onto Hwy 401.

Suite 190



6,843 Sq. Ft.



\$11.45 net per Sq. Ft.

Annual Escalations to Apply



\$13.98 per Sq. Ft.

Additional Rent excludes In-Suite Janitorial



Immediate Possession

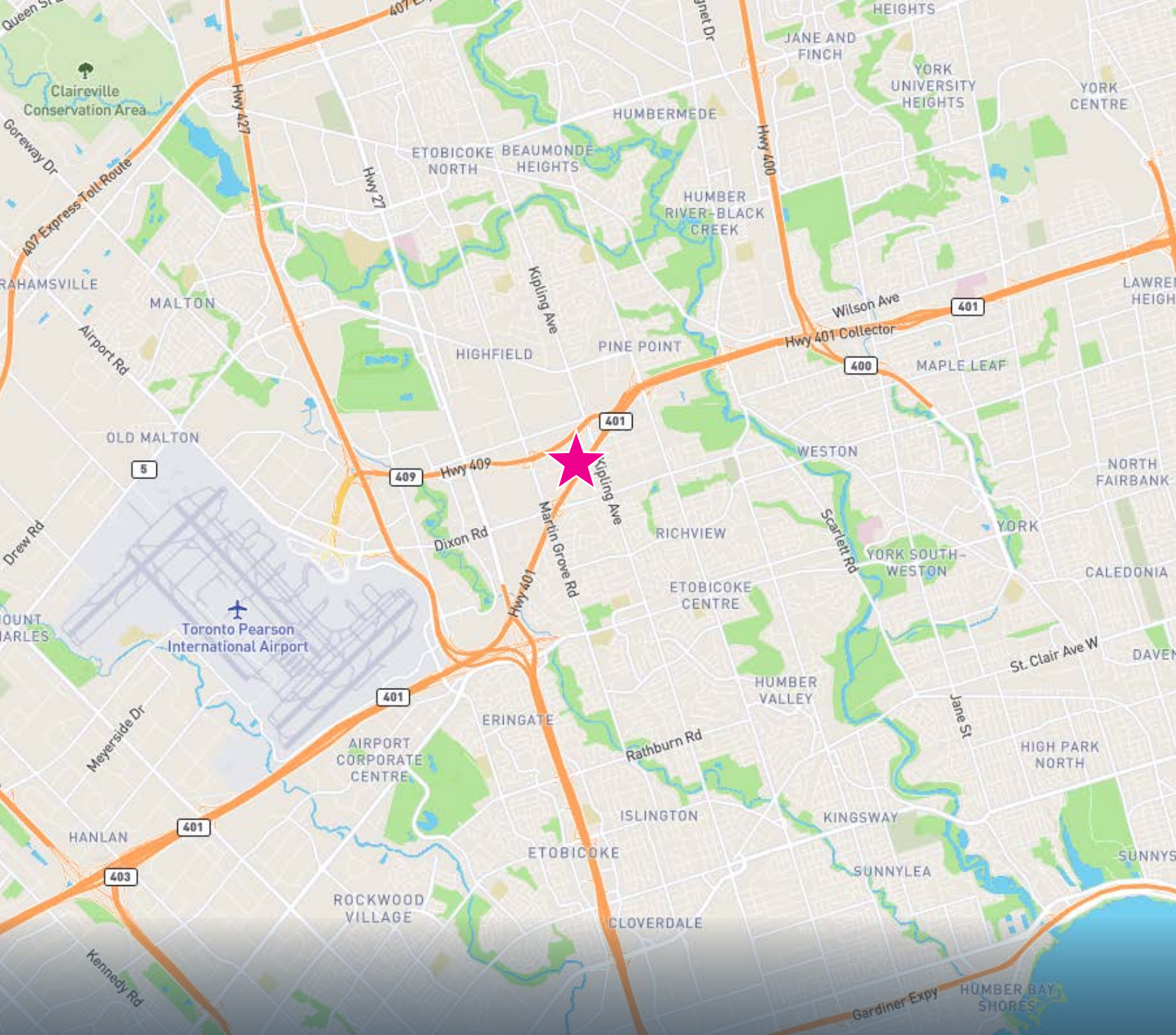


4:1,000 Sq. Ft.

*2026 Estimate

Built-out, move in ready space. Includes 15 offices, large open space, reception area, large boardroom, kitchen, storage room and an IT/electrical room. Ample parking available minutes from Toronto Pearson Airport. Paid podium signage available with excellent exposure onto Hwy 401.





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