

CONSTRUCTION DRAWINGS FOR THE

Land Development Division
Project #: LDNON-2022-29-REV1 Date: 02/10/2026



Robert Joyner

Robert Joyner, for the County Engineer

REVISION #1

COMMERCE PARK, Phase 1

COMBEE ROAD, LAKE LAND, FLORIDA 33801

REVISION	DATE	DESCRIPTION
1	11-3-25	REVISED per OWNER COMMENTS



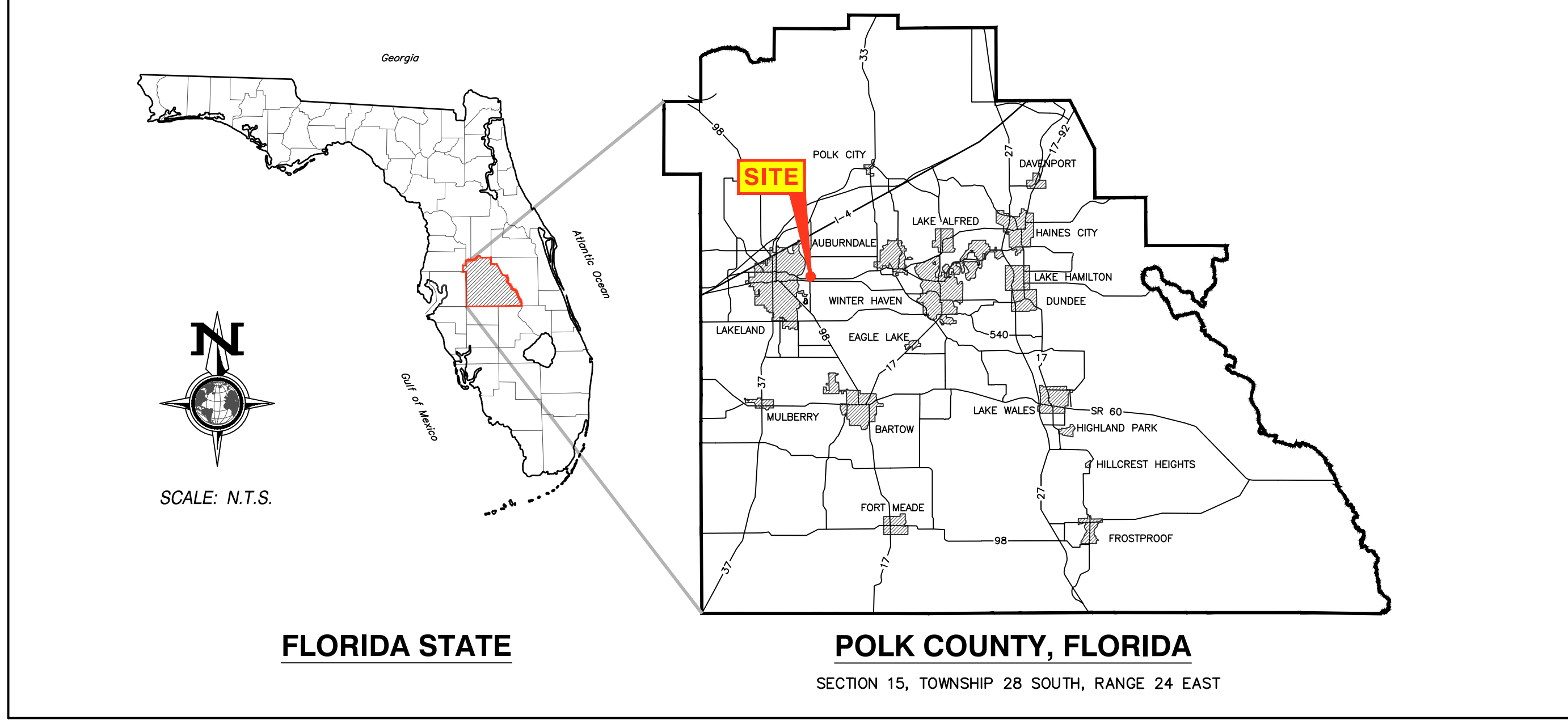
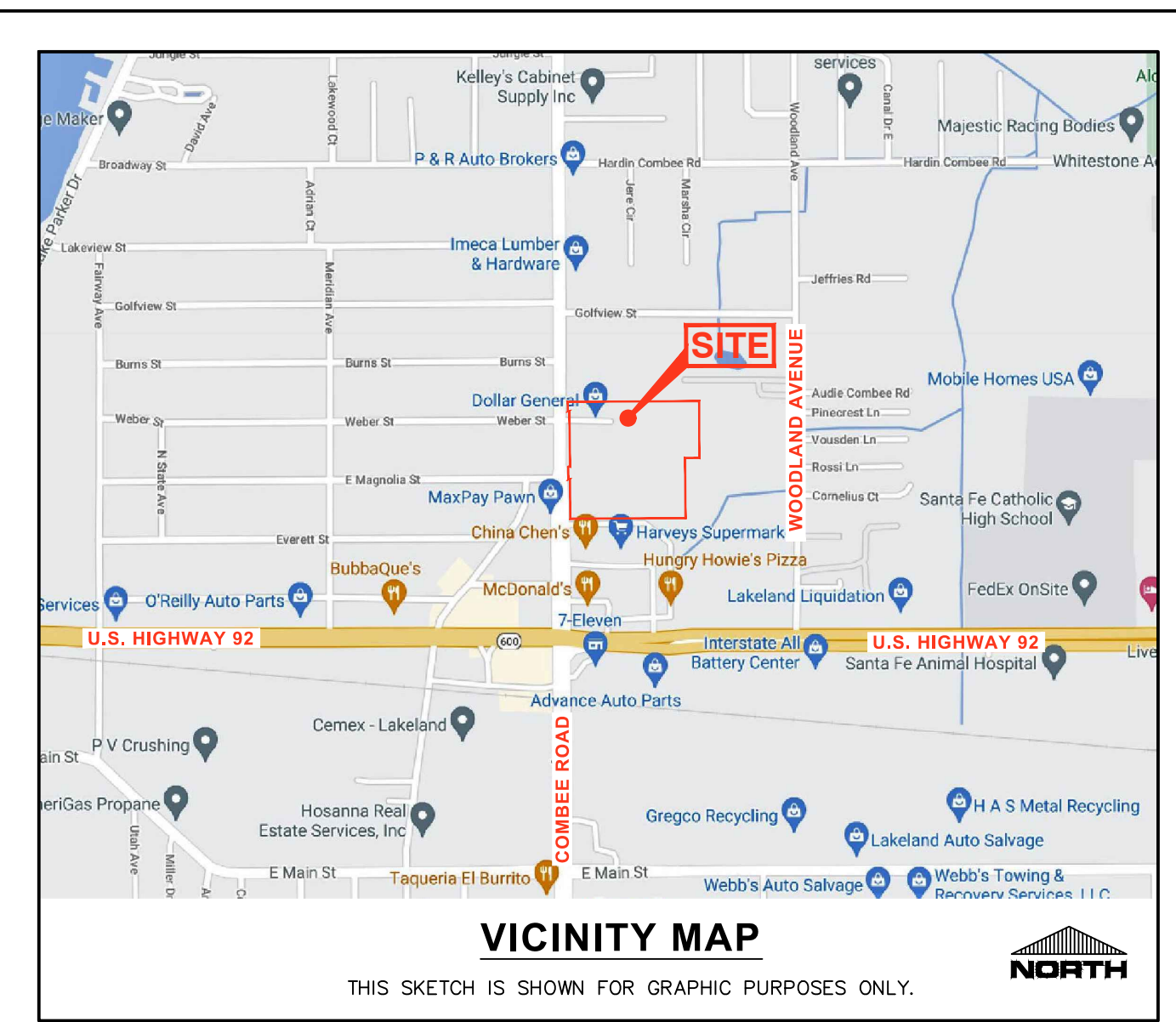
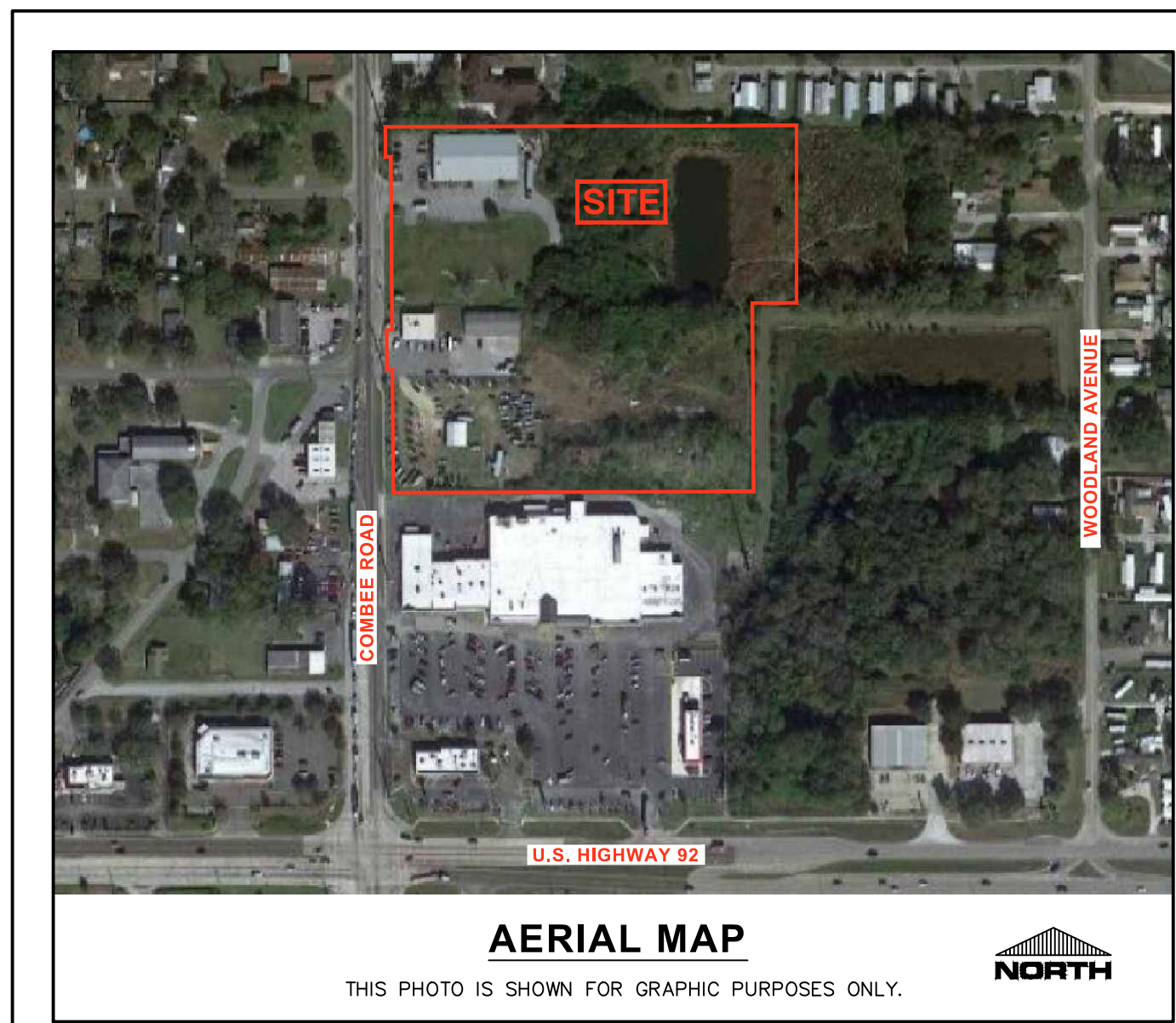
**Know what's below.
Call before you dig.**

- COUNTY NOTES:**
- POLK COUNTY LAND DEVELOPMENT DIVISION STANDARD NOTES
- Traffic signs and pavement markings shall be installed prior to opening a new or modified road.
 - All construction shall conform to the requirements of Appendix A of the Polk County Land Development Code and the Polk County Utilities Code, as applicable.
 - Changes from plans or specifications substantially affecting conformance to standards or performance of systems must be submitted in a written request by the Engineer of Record and receive written approval by the County Engineer prior to the implementation of such changes, unless otherwise provided for in the Polk County Land Development Code or the Polk County Utilities Code. Major modifications may require an approval by the Development Review Committee. In such cases, the applicant shall submit the appropriate application and fees for a new review at the Level of the original approval, or Level 2, whichever is greater.
 - The Contractor shall notify Polk County Inspections Staff (863) 534-6449, at least five (5) working days prior to commencement of construction and prior to any activity requiring inspection, including site paving.
 - To schedule the required Pre-Construction meeting, the Engineer of Record shall contact the Polk County Land Development Division, office of the County Engineer at (863) 534-6449.
 - At the completion of construction, and prior to beneficial use of any facility or system, as-built Record Drawings shall be submitted and approved in accordance with Polk County Utilities Code, Chapter 2, Part 3.01 and the Polk County Land Development Code, Appendix A, Section A406.C.
 - MOT for the project will be in accordance with the current FDOT Traffic Control Requirements Through Work Zones, Section 102-600 series, of the FDOT Standard Plans.
 - The asphalt pavement will extend ¼ inch above the road side edge for all curb and gutter constructed on public or private roads.
 - Polk County is not responsible for Design and/or Plan errors. All construction within Polk County R/W shall be in accordance with Polk County and FDOT standards and specifications. All construction shall conform to the requirements of Appendix A of the Polk County Land Development Code and the Polk County Utilities Code, as applicable.

- GENERAL NOTES:**
- ALL MATERIAL AND WORKMANSHIP USED DURING THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM WITH SWFWMD, POLK COUNTY, CITY OF LAKE LAND, FDEP AND THE FDOT STANDARDS AND SPECS.
 - ALL WATER, SANITARY AND REUSE CONSTRUCTION SHALL CONFORM TO THE CITY OF LAKE LAND DEVELOPMENT SPECIFICATIONS, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
 - A PRE-CONSTRUCTION MEETING WITH THE COUNTY ENGINEERING SERVICES DIVISION, IS REQUIRED PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES. THE PRE-CONSTRUCTION MEETING CANNOT BE SCHEDULED UNTIL ALL REQUIRED PERMITS, LOCAL, STATE AND FEDERAL ARE ISSUED. THE ENGINEER OF RECORD SHALL PROVIDE COPIES OF ALL ISSUED PERMITS TO THE COUNTY.
 - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL EXISTING TIE-IN LOCATIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND THE FIELD CONDITIONS.
 - THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS. ANY DELAY OR INCONVENIENCE CAUSED BY THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION, AND NOTIFY ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION COMMENCEMENT.
 - THE CONTRACTOR IS TO RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTING.
 - EXISTING WELLS (IF ENCOUNTERED DURING CONSTRUCTION) SHALL BE ABANDONED BY A LICENSED WATER WELL CONTRACTOR ACCORDANCE WITH RULES 40D-3 & 17-21.10(4), F.A.C.
 - CONTRACTOR TO DISPOSE OF ALL SITE DEMOLITION IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - THE CONTRACTOR (NOT THE ENGINEER) IS SOLELY AND ENTIRELY RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA, STATE AND LOCAL REGULATIONS REGARDING CONSTRUCTION SAFETY ON THIS PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY SERVICES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE AND TO THE CITY AND/OR OWNER'S SATISFACTION.
 - THE SITE SHALL BE INITIALLY GRADED SUCH THAT NO OFF-SITE AREA WILL BE ADVERSELY AFFECTED BY THE STORMWATER RUNOFF. RUNOFF TO THE ADJACENT RIGHTS-OF-WAY SHALL BE PREVENTED. THE EXISTING DRAINAGE FACILITIES WITHIN THE RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES BY THE USE OF SILT FENCING, TEMPORARY GRADING, REVEGETATION, ETC. ANY DISTURBED AREA WITHIN THE RIGHT-OF-WAY SHALL BE SODDED.

SITE UTILITIES:

Lakeland Engineering (Water and Sewer)	Janet Walker	863-834-6599
Lakeland Electric	Wilfred Alvayero	863-834-6567
Spectrum	Darin Daniels	863-956-7766
Frontier Communication	Scott Walls	863-688-4010



OWNER/DEVELOPER:
GENTILLY CORPORATION
2225 E. EDGEWOOD DRIVE, SUITE 13
LAKE LAND, FLORIDA 33803

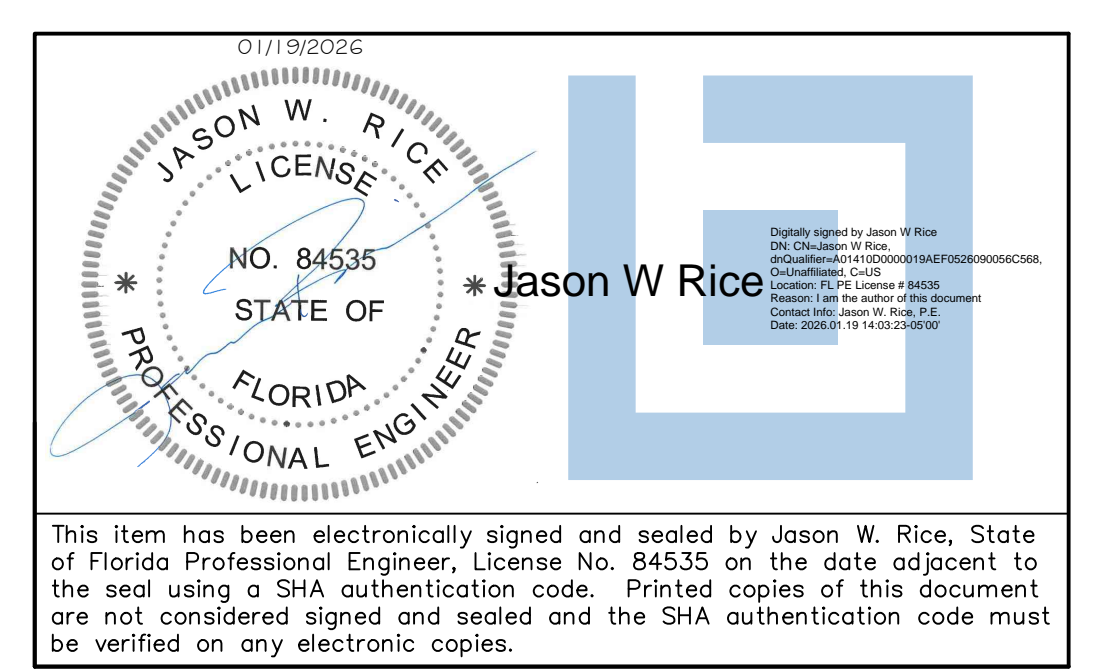
ENGINEER:
LP ENGINEERING SERVICES, LLC
205 CENTURY BOULEVARD
BARTOW, FLORIDA 33830
Phone: 863-430-7182

Contact: JASON W. RICE, P.E.

SURVEYOR:
SGIS, INC.
SURVEYING MAPPING GIS
4479 U.S. HIGHWAY 27 SOUTH
SEBRING, FLORIDA 33870
Phone: 863-402-1619
Email: pyle.will@gmail.com

LEGEND:

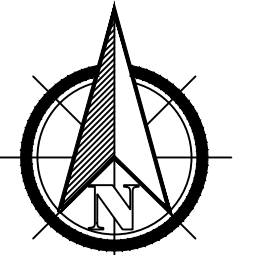
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & BEST MANAGEMENT PRACTICES PLAN
3	SITE GEOMETRY PLAN
4	MASTER SITE PLAN
5	UTILITY PLAN
6	DRAINAGE & GRADING PLAN
7	LANDSCAPE PLAN
8	UTILITY DETAILS



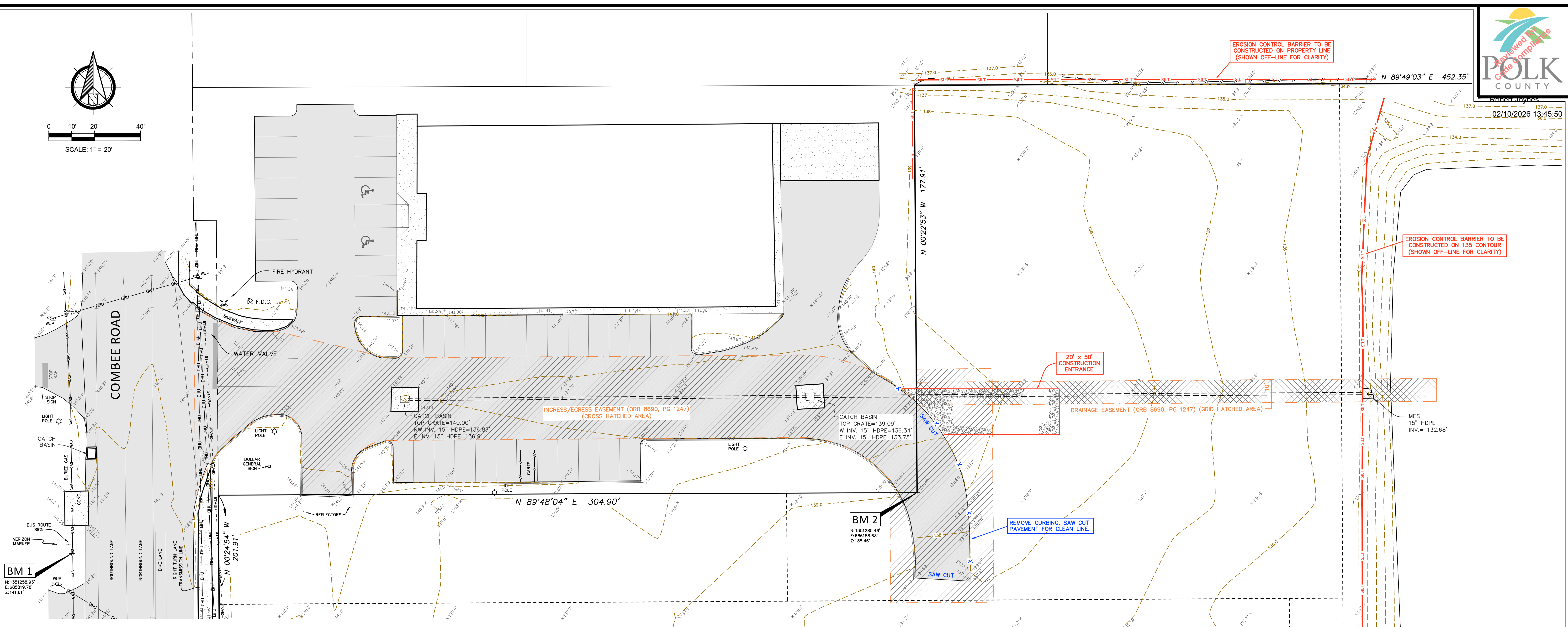
01/19/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Jason W Rice

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



0 10' 20' 40'
SCALE: 1" = 20'



FLOOD ZONE
PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", PER FLOOD INSURANCE RATE MAP NO. 12105C0320 G, DATED 12/22/2016.

THERE MAY BE MAP AMENDMENTS OR REVISIONS THAT WERE FILED AFTER THE EFFECTIVE DATE OF THE MAP THAT WERE NOT FOUND OR PROVIDED. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. LOCAL FEDERAL EMERGENCY MANAGEMENT AGENCY SHOULD BE CONTACTED FOR VERIFICATION.

NOTE:
REFER TO THE UTILITY PLAN, SHEET C4 FOR ADDITIONAL EROSION CONTROL MEASURES TO BE CONSTRUCTED ALONG THE SOUTHERN PROPERTY LINE FOR THE SANITARY SEWER CONNECTION.

SOIL CHARACTERISTICS
AS DESCRIBED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOILS CONSERVATION SERVICE FOR POLK COUNTY, FLORIDA, THIS PROJECT LIES WITHIN THE BELOW LISTED SOILS:

#17 SYMRNA & MYAKKA FINE SANDS HYDROLOGIC GROUP "A/D" HIGH WATER TABLE > 80"

BENCHMARK
ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). SITE BENCHMARKS WERE ESTABLISHED USING DIFFERENTIAL LEVELING. NATIONAL GEODETIC SURVEY BENCH MARK USED AS CONTROL:

BENCH MARK DESIGNATION: "X 743"
PERMANENT IDENTIFIER: D01954

SURVEYOR'S NOTES:

- THE BEARINGS SHOWN HEREON ARE BASED ON THE N LINE OF THE SW 1/4 OF THE NW 1/4 BEING N 89°49'03" E. GRID BEARING REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD 83/2011), PROJECTED IN THE FLORIDA STATE PLANE WEST ZONE.
- ONLY VISIBLE, ABOVE GROUND IMPROVEMENTS ARE SHOWN UPON THIS MAP. UNDERGROUND FOUNDATIONS AND OTHER SUBTERRANEAN FEATURES WERE NOT LOCATED EXCEPT AS SHOWN. BURIED UTILITIES SHOWN WERE PAINTED AND FLAGGED AT THE TIME OF SURVEY. THE UTILITY TYPES AND LOCATIONS SHOULD BE FIELD VERIFIED BY THE END USERS OF THIS MAP.
- PRINTED DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS AS THE SCALE OF THIS SURVEY CAN CHANGE WITH REPRODUCTION.
- SURVEY PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS OF RECORD NOT SHOWN HEREON.

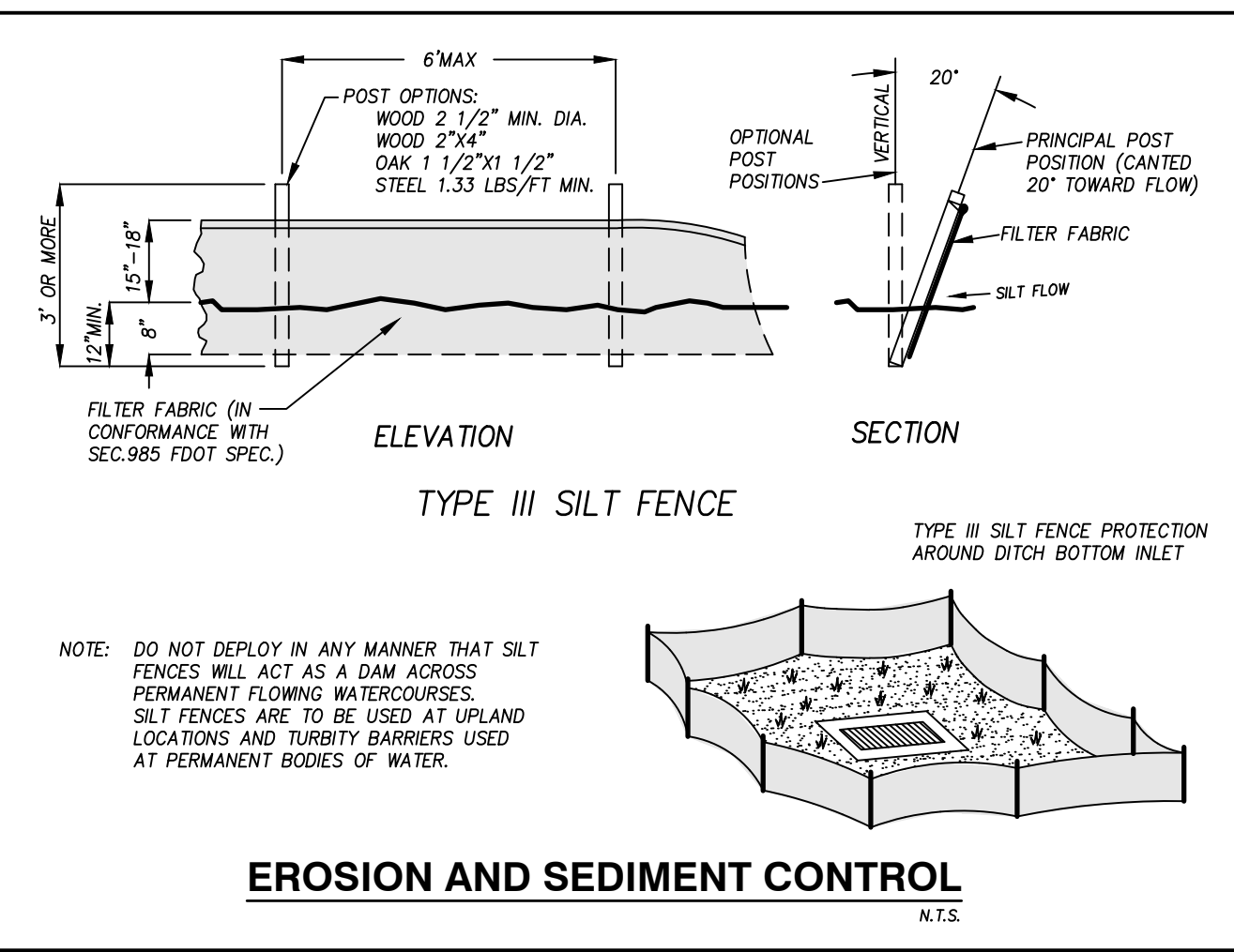
LEGAL DESCRIPTION

PARCEL 1 FROM ORB 1603, PG 1999: THE WEST 288.0 FEET OF THE NORTH 10 ACRES OF THE SW 1/4 OF THE NW 1/4 OF SECTION 15, TOWNSHIP 28 SOUTH, RANGE 24 EAST, LESS THE SOUTH 106.0 FEET THEREOF AND LESS THE WEST 30.0 FEET THEREOF FOR STATE ROAD NO. 33-A (COMBEE ROAD) R/W, CONTAINING 1.31 ACRES, MORE OR LESS.

PARCEL 2 FROM ORB 2819, PG 729: THE WEST 507 FEET OF THE SOUTH 106 FEET OF THE N 1/4 OF THE SW 1/4 OF THE NW 1/4 OF SECTION 15, TOWNSHIP 28 SOUTH, RANGE 24 EAST, LESS THE EAST 803.72 FEET THEREOF AND LESS THE SOUTH 106.0 FEET THEREOF AND LESS THE WEST 288.0 FEET THEREOF AND LESS THE NORTH 178.0 FEET OF THE WEST 57.0 FEET THEREOF.

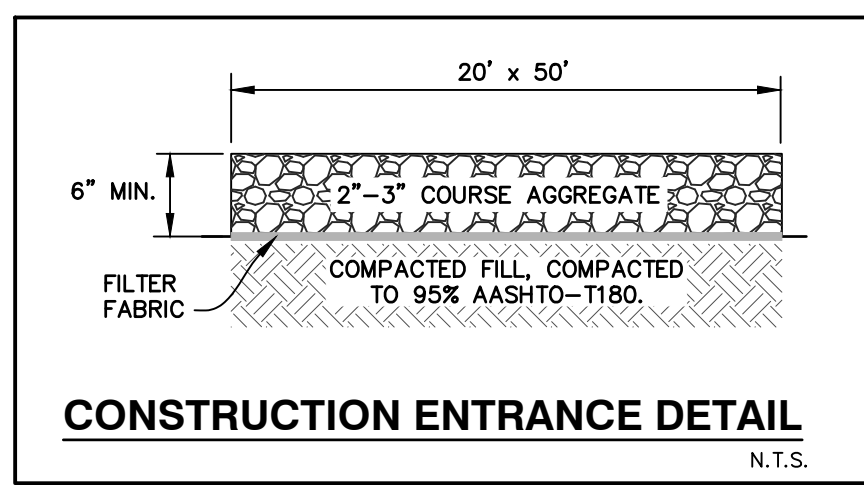
PARCEL 3 FROM ORB 1512, PG 264: THE EAST 26.0 FEET OF THE WEST 533.0 FEET OF THE SOUTH 106.0 FEET OF THE NORTH 10 ACRES OF THE SW 1/4 OF THE NW 1/4 OF SECTION 15, TOWNSHIP 28 SOUTH, RANGE 24 EAST, LESS THE EAST 803.72 FEET THEREOF AND LESS THE SOUTH 106.0 FEET THEREOF AND LESS THE WEST 288.0 FEET THEREOF AND LESS THE NORTH 178.0 FEET OF THE WEST 57.0 FEET THEREOF.

PARCEL 5 FROM ORB 8690, PG 1247: THE NORTH 10 ACRES OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 28 SOUTH, RANGE 24 EAST, LESS THE EAST 803.72 FEET THEREOF AND LESS THE SOUTH 106.0 FEET THEREOF AND LESS THE WEST 288.0 FEET THEREOF AND LESS THE NORTH 178.0 FEET OF THE WEST 57.0 FEET THEREOF.



LEGEND

[Symbol]	EXISTING PAVEMENT SURFACE	[Symbol]	INTERNAL LOT LINES
[Symbol]	EXISTING CONCRETE SURFACE	[Symbol]	EXISTING GRADE
[Symbol]	INGRESS/EGRESS EASEMENT	[Symbol]	FIRE HYDRANT
[Symbol]	DRAINAGE EASEMENT	[Symbol]	WATER VALVE
[Symbol]	EROSION CONTROL BARRIER	[Symbol]	WATER METER
[Symbol]	OVERHEAD WIRE	[Symbol]	GAS LINE DELINEATOR
[Symbol]	BURIED CABLE	[Symbol]	UTILITY POLE
[Symbol]	BURIED GAS LINE	[Symbol]	LIGHT POLE
[Symbol]	EXISTING CONTOUR	[Symbol]	UTILITY MARKER
[Symbol]	EXISTING DITCH TOP/BOTTOM	[Symbol]	SINGLE POLE TRAFFIC SIGN
[Symbol]	CHAIN LINK FENCE		
[Symbol]	EXISTING STORM PIPE		



01/19/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

No.	DATE	APPROVED	REVISION

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

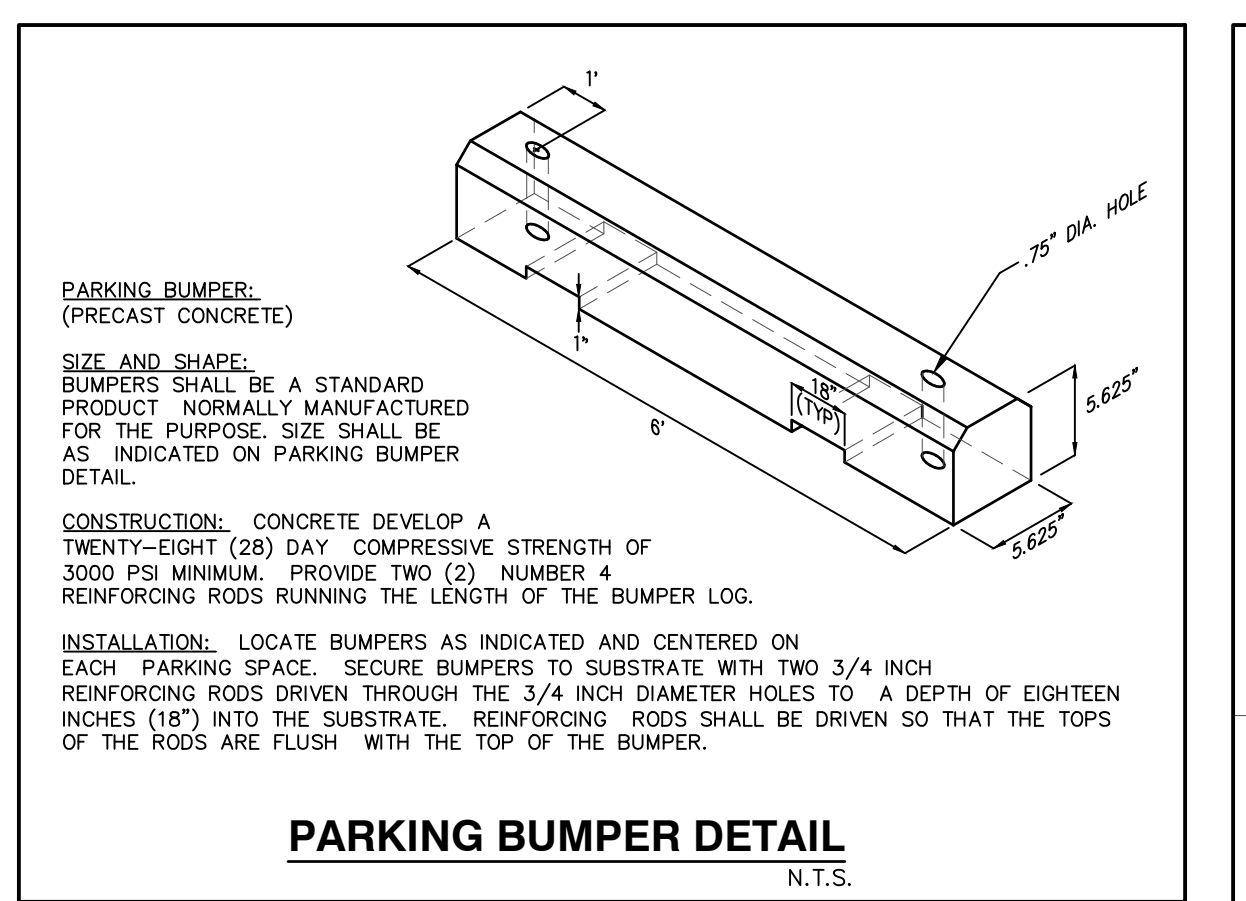
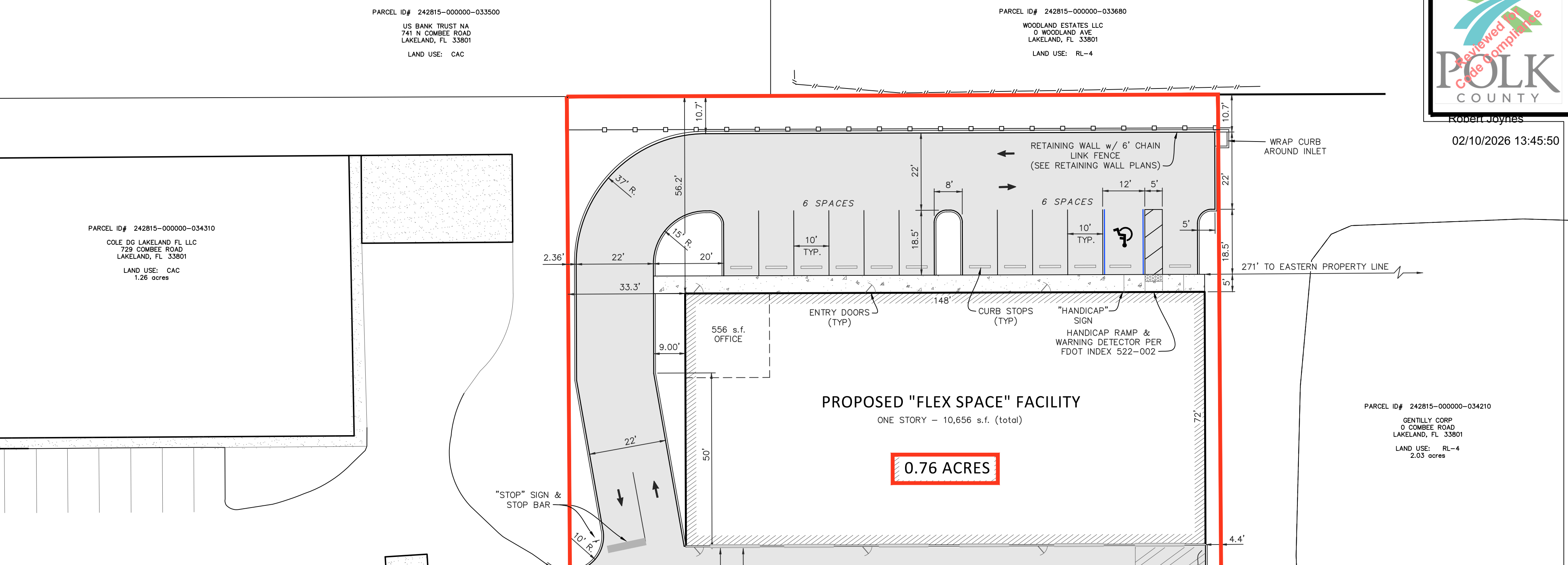
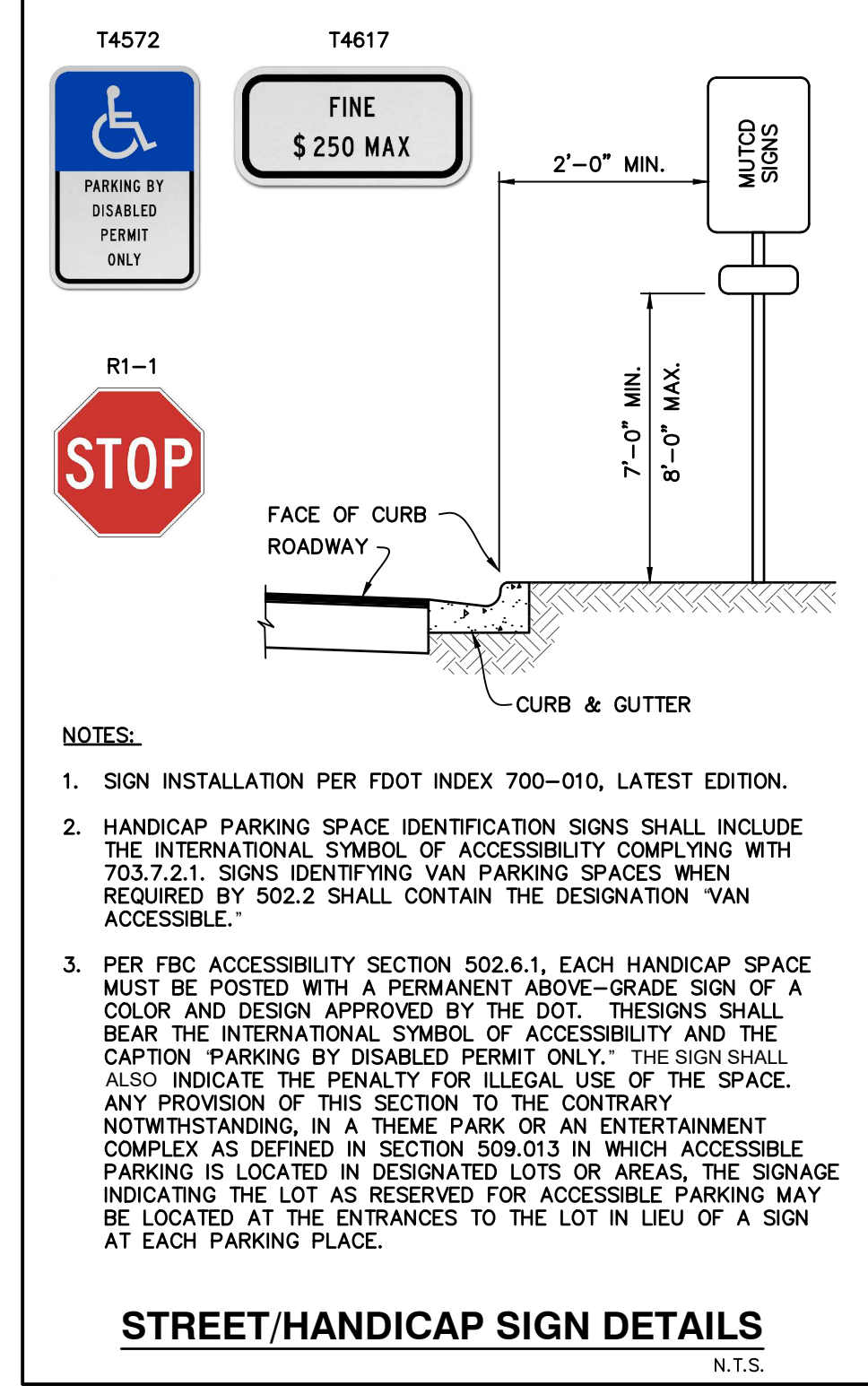
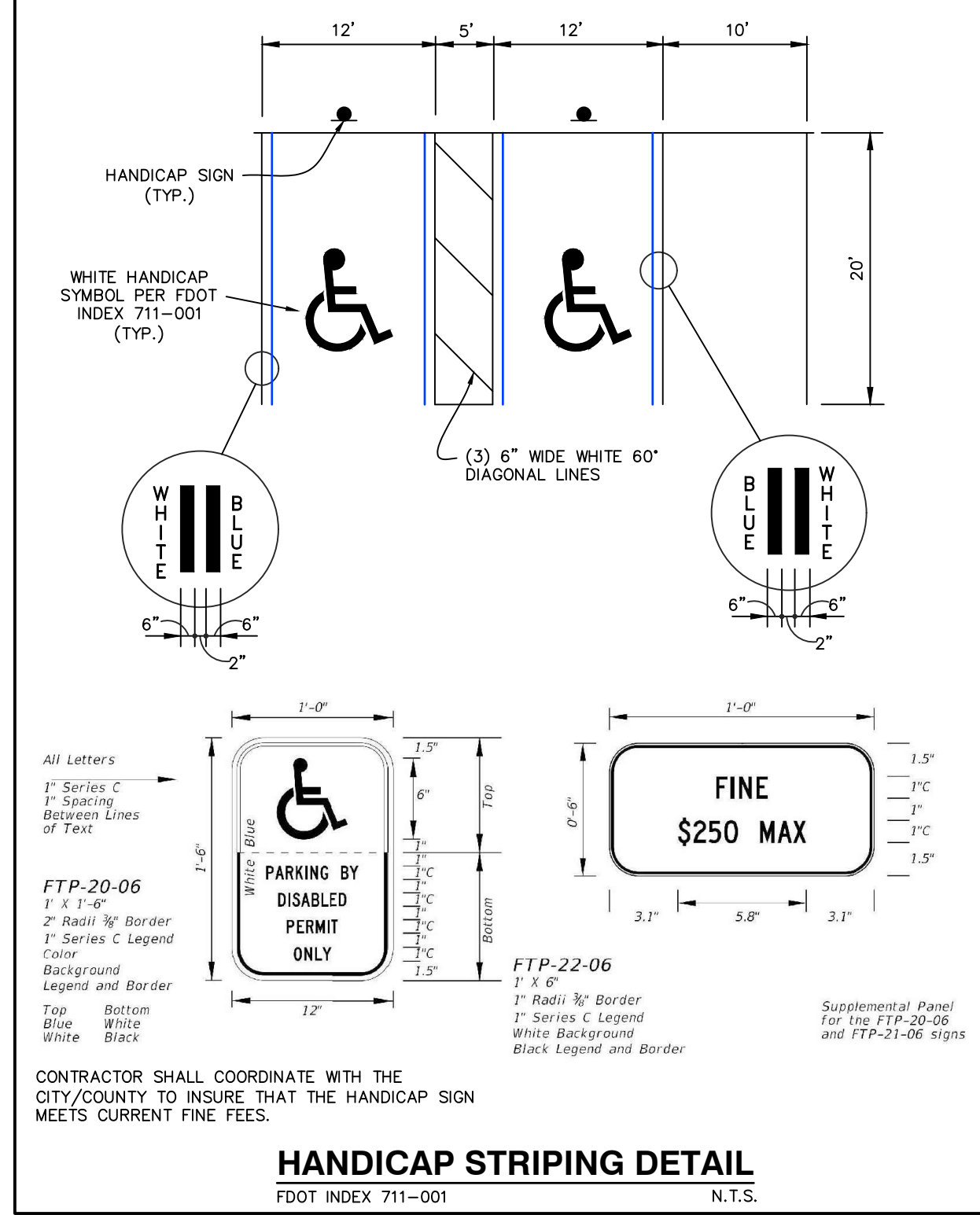
Filename:	21009 BASE	Horizontal Scale:	1" = 20'
View:	EXIST	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Existing Conditions / BMP Plan
Combee Road, Lakeland, Florida 33801

PROJECT No. 21009
SHEET No. C2
OF 8

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

COMMERCE PARK



SITE SUMMARY

OWNER: GENTILLY CORPORATION
2225 E. EDGEWOOD DRIVE, SUITE 13
LAKELAND, FL 33803

PARCEL No.:	242815-000000-034250	1.09 (PROPOSED)
	242815-000000-034060	1.14 (PROPOSED)
	242815-000000-034210	2.03 (EXIST. POND)
	242815-000000-034010	0.27
	242815-000000-034070	5.22
	TOTAL	9.80 ACRES

COUNTY: POLK
LAND USE: CAC & RL-4

SETBACKS: FRONT 35'
SIDE 15'
REAR 15'

PARKING: 1 SPACE / 300 S.F. G.F.A.
556 S.F. MANAGERS OFFICE (556 S.F./300) = 1.85
REQUIRED SPACES = 2
PROPOSED SPACES = 12

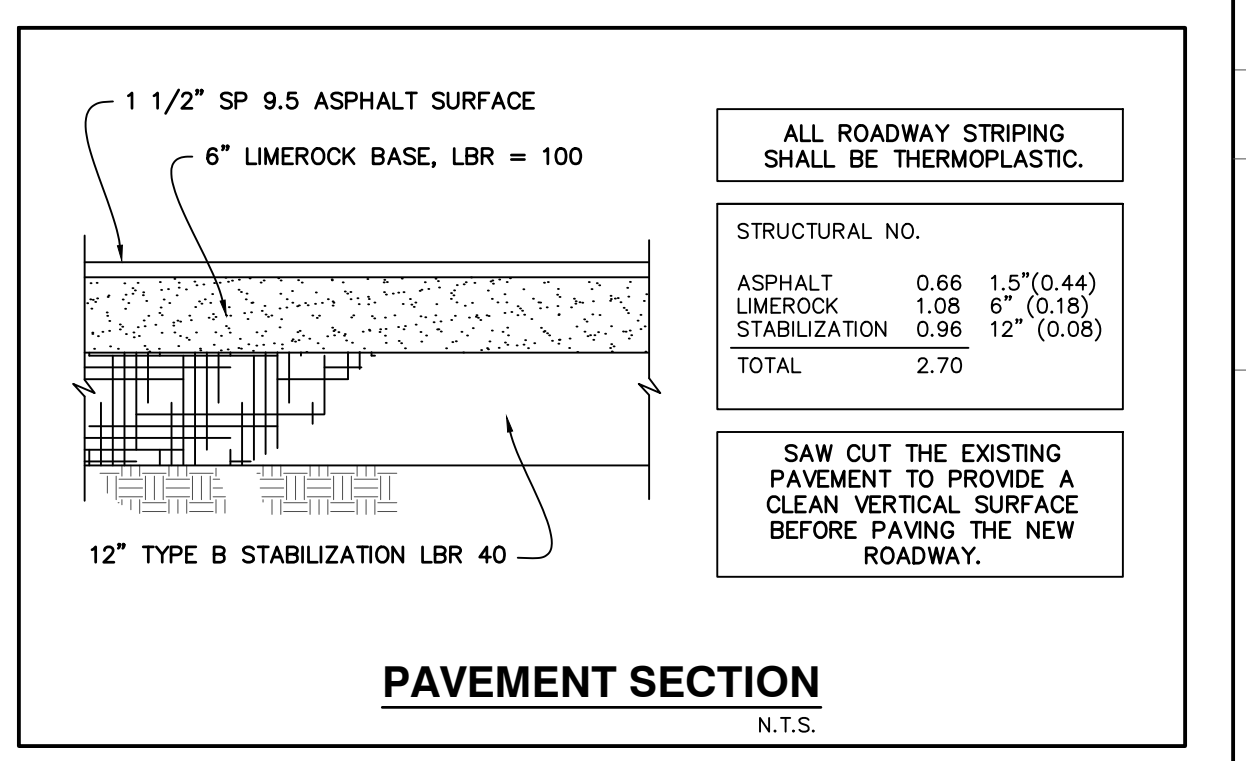
FLOOR AREA RATIO (FAR) = 0.30

IMPERVIOUS SURFACES:

PROPOSED BUILDINGS	10,656 s.f.	
ROADWAYS/CONCRETE	26,293 s.f.	
TOTAL	36,949 s.f.	0.85 acres (9.9%)

UNDER SWFWMD PERMIT #44013858.001 THE ALLOWABLE IMPERVIOUS SURFACE = 9.0 ACRES (80%)
DOLLAR GENERAL PERMIT #44013858.002 = 0.98 ACRES OF IMPERVIOUS SURFACES
PERMITTED ALLOWABLE 9.00 ACRES
LESS DOLLAR GENERAL 0.98 ACRES
LESS PROPOSED 0.85 ACRES (9.9%)
REMAINING ALLOWABLE 7.17 ACRES

FOLLOW POLK COUNTY "CAC" ISR @ 70% MAX. (SEE SHEET 3A)



LEGEND

- PROPOSED BUILDING
- PROPOSED PAVEMENT SURFACE
- EXISTING CONCRETE SURFACE
- INTERNAL LOT LINES
- EXISTING EASEMENTS
- CHAIN LINK FENCE
- SINGLE POLE TRAFFIC SIGN

CURB DETAIL
N.T.S.

8" x 6" x 10" TYPE "D" STANDARD CURB
ROADWAY
10"

CONCRETE DETAIL
N.T.S.

VARIES
SLOPE, 1/4" per FOOT MAX.
WALKWAYS - 4" thick, 2,500 psi CONC w/ EXP. JOINT EVERY 5'.
COMPACTED BASE

SCALE: 1" = 20'

- GENERAL NOTES:**
- FOR MAINTENANCE OF TRAFFIC FOR THE ROADWAY CONNECTION, FOLLOW THE MOT STANDARDS AS SET FORTH BY FDOT, INDEX 102-600 SERIES.
 - ALL SIDEWALK/HANDICAP RAMPS SHALL BE ADA COMPLIANT, PER FDOT INDEX 522-002.
 - ALL SIDEWALK RAMPS AND WARNING DETECTORS SHALL BE ADA COMPLIANT, PER FDOT INDEX 522-002.
 - SAW CUT THE EXISTING PAVEMENT TO PROVIDE A CLEAN VERTICAL SURFACE BEFORE PAVING.
 - ALL PAINT FOR THE PARKING, STOP BARS, HANDICAP STALLS, ETC. SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 971 PAINT MATERIALS. ALL ROADWAY STRIPING SHALL BE THERMOPLASTIC.
 - ALL PARKING AND LOADING AREAS DESIGNATED OR INTENDED FOR PUBLIC USE AFTER DARK SHALL HAVE LIGHTING. THE ILLUMINATION FOR, AND GLARE FROM, THESE FACILITIES SHALL BE DESIGNATED SO THAT THE LIGHTING IS SHIELDED OR AIMED AWAY FROM ADJACENT PROPERTIES AND ROADWAYS.

No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	11-3-25	JWR	REVISED per OWNER COMMENTS				

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	21009 BASE	Horizontal Scale:	1" = 20'
View:	SITE	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Site Geometry Plan
Combee Road, Lakeland, Florida 33801

PROJECT No.	21009	SHEET No.	C3
		OF	8

01/19/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

C:\PROJECTS\21009 Engineering\21009 Commerce Park\DRAWINGS\ENGINEERING\21009 base.dwg Nov 17, 2025, 10:29 am

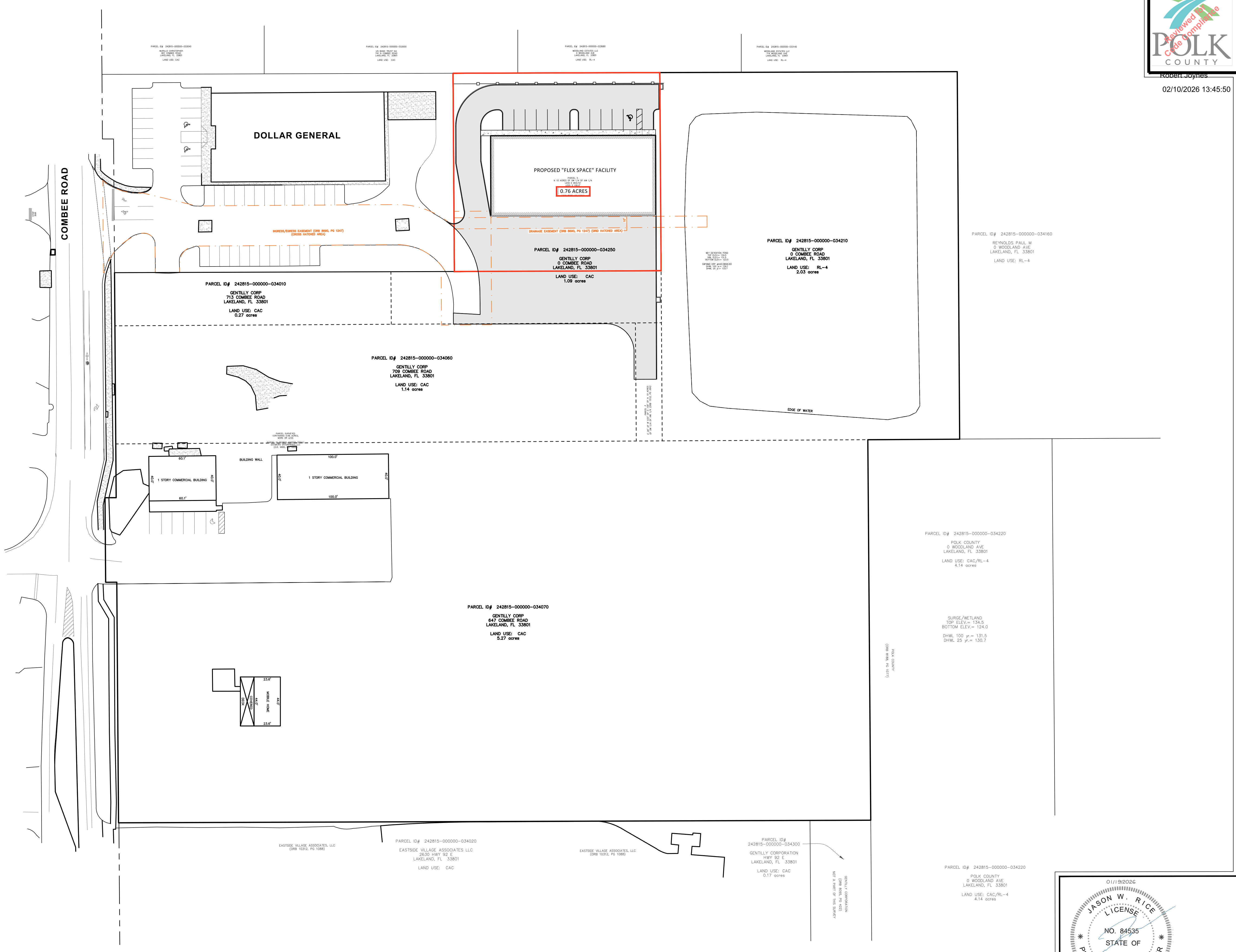
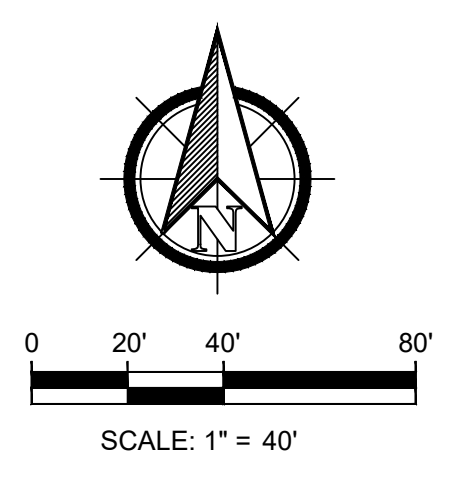
COMMERCE PARK

SITE SUMMARY

OWNER:	GENTILLY CORPORATION 2225 E. EDGEWOOD DRIVE, SUITE 13 LAKELAND, FL 33803	
PARCEL No.:	242815-000000-034250	1.09 (PROPOSED)
	242815-000000-034060	1.14 (PROPOSED)
	242815-000000-034210	2.03 (EXIST. POND)
	242815-000000-034010	0.27
	242815-000000-034070	5.27
	TOTAL	9.80 ACRES
COUNTY:	POLK	
LAND USE:	CAC & RL-4	
SETBACKS:	FRONT 35'	
	SIDE 15'	
	REAR 15'	
IMPERVIOUS SURFACES:		
PROPOSED BUILDINGS	10,656 s.f.	0.24 acres
ROADWAYS/SIDEWALK	26,293 s.f.	0.60 acres
TOTAL	36,949 s.f.	0.84 acres
FLOOR AREA RATIO (FAR) = 0.30	(ALLOWABLE = 2.94 AC.)	
(0.24 acres / 9.8 acres) = 0.024	(2.45%)	
REMAINING ALLOWABLE FAR =		
2.94 acres - 0.24 acres =	2.70 acres	
POLK COUNTY "CAC" MAX ISR IS DIFF./LOWER THAN MASTER DRAINAGE ISR.		
IMPERVIOUS SURFACE RATIO (ISR) = 0.70	(ALLOWABLE = 6.86 AC.)	
(0.84 acres / 9.8 acres) = 0.09	(8.57%)	
REMAINING ALLOWABLE ISR =		
6.86 acres - 0.84 acres =	6.02 acres	

LEGEND

	PROPOSED BUILDING
	PROPOSED PAVEMENT SURFACE
	EXISTING CONCRETE SURFACE
	INTERNAL LOT LINES
	EXISTING EASEMENTS



C:\PROJECTS\UP_Engineering\21009 Commerce Park\DRAWINGS\ENGINEERING\21009 base.dwg Nov 03, 2025, 4:58 pm

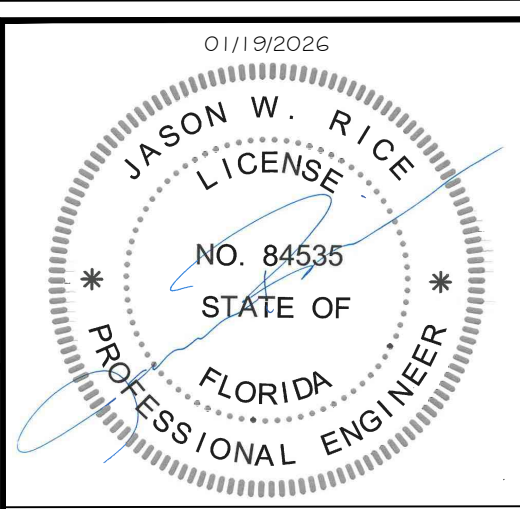
No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	11-3-25	JWR	REVISED per OWNER COMMENTS				

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	21009 BASE	Horizontal Scale:	1" = 40'
View:	MASTER	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Master Site Plan
Combee Road, Lakeland, Florida 33801

PROJECT No.	21009	SHEET No.	C4
		OF	8



This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

COMMERCE PARK

DRAINAGE NOTES

- ALL STORMWATER RUNOFF FROM THIS SITE SHALL BE VISUALLY MONITORED DURING CONSTRUCTION BY THE CONTRACTOR TO ASSURE WATER QUALITY AND QUANTITY ARE GENERALLY MAINTAINED TO THE PRE-DEVELOPMENT LEVELS. THE FOLLOWING SHALL BE USED TO ACCOMPLISH MITIGATION OF ADVERSE QUANTITY AND QUALITY IMPACTS TO OFF-SITE PROPERTIES DURING CONSTRUCTION.
 - DRAINAGE SWALES AND RETENTION SHOULD BE ROUGH CONSTRUCTED FIRST TO AVOID ANY INCREASE IN RUNOFF DUE TO THE CONSTRUCTION. (IF APPLICABLE)
 - TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED TO PROTECT EXISTING DRAINAGE SYSTEMS AND WATER QUALITY DURING CONSTRUCTION.
 - WHERE WORK IS PERFORMED IN A WATER COURSE OR WATER BODY, SILK CURTAINS AND SILT SCREENS SHALL BE USED TO CONTROL SILTATION AND TURBIDITY.
 - DISTURBED AREAS AS A MINIMUM REQUIREMENT SHALL BE SEEDED AND MULCHED.
 - IF SPECIAL CONDITIONS EXIST REQUIRING UNANTICIPATED MEASURES TO CONTROL STORMWATER RUNOFF, THESE MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.
- PIPE LENGTHS ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENTS IN THE FIELD.
- THE CONTRACTOR IS TO VERIFY LOCATIONS AND ELEVATIONS OF ALL OUTFALLS BEFORE CONSTRUCTION, AND IF FOUND TO BE INADEQUATE, SHALL NOTIFY THE ENGINEER.
- THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE DESIGN.
- ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III WITH RUBBER GASKET JOINTS.
- OPERATION AND MAINTENANCE INSTRUCTIONS:
 - THE STORMWATER MANAGEMENT SYSTEM SHALL BE PERIODICALLY INSPECTED DURING STORMS TO DETERMINE THAT IT IS OPERATING PROPERLY.
 - IF APPLICABLE, CUTTING/MOWING BELOW NORMAL WATER LEVELS AND WITHIN THE LITTORAL ZONES (WET PONDS) SHALL BE PROHIBITED. CHEMICALS OR GRASS CARP IN THE LITTORAL ZONES SHALL NOT BE USED.
 - THE DETENTION AREA SHALL BE PERIODICALLY CLEANED OF DEBRIS OR SILTATION AS NECESSARY. ORIFICES/WEIRS SHALL BE CLEARED OF DEBRIS TO PREVENT CLOGGING.
 - SWALES AND DITCHES SHALL BE CLEANED AS REQUIRED TO MAINTAIN FLOWS AND RESODED WHEN NECESSARY.

STRUCTURE SCHEDULE

- S-1 FDOT TYPE "C" INLET
GRATE ELEV.= 136.40
INV. ELEV.= 133.40 (E)
- S-2 FDOT TYPE "D" INLET
GRATE ELEV.= 135.00
INV. ELEV.= 130.50 (E)

FILL PLACEMENT

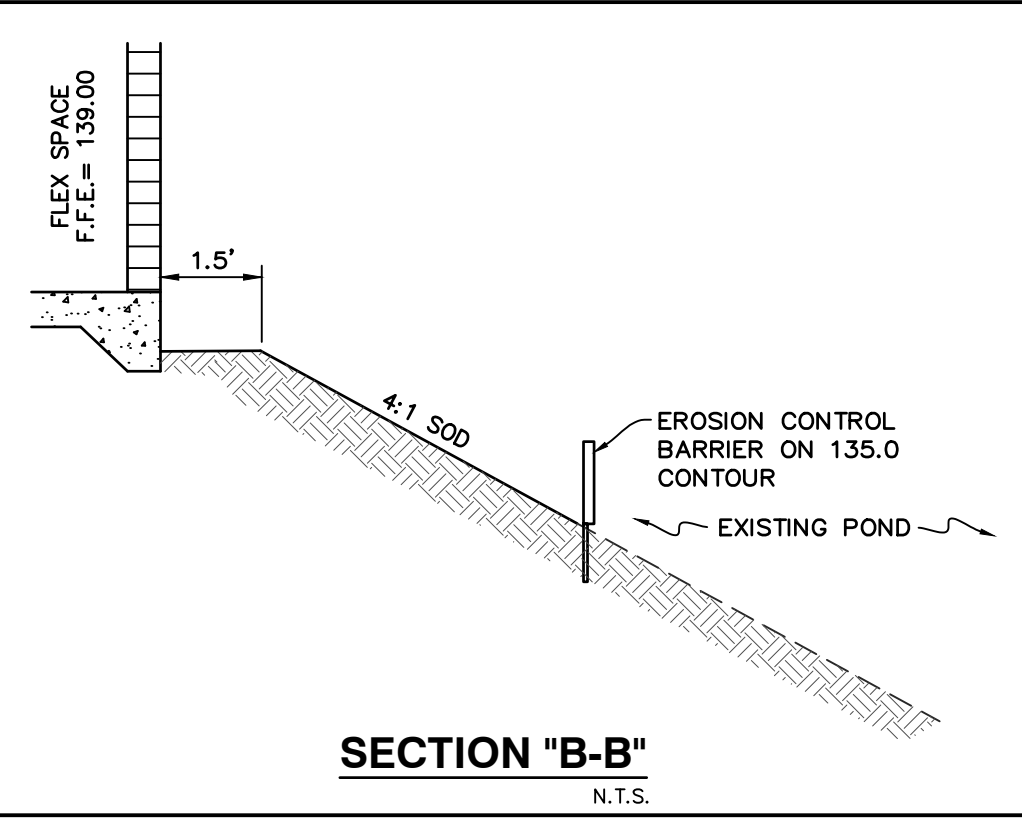
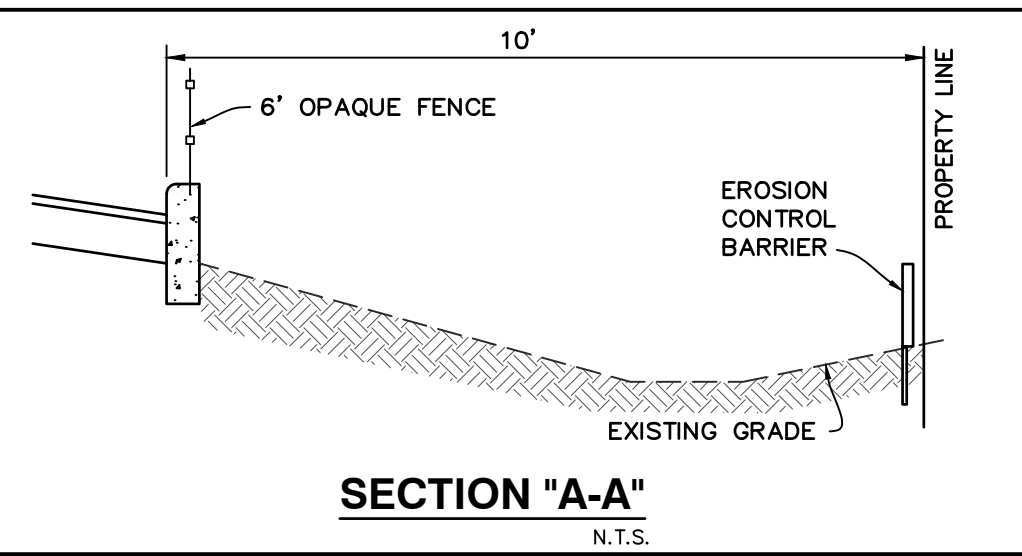
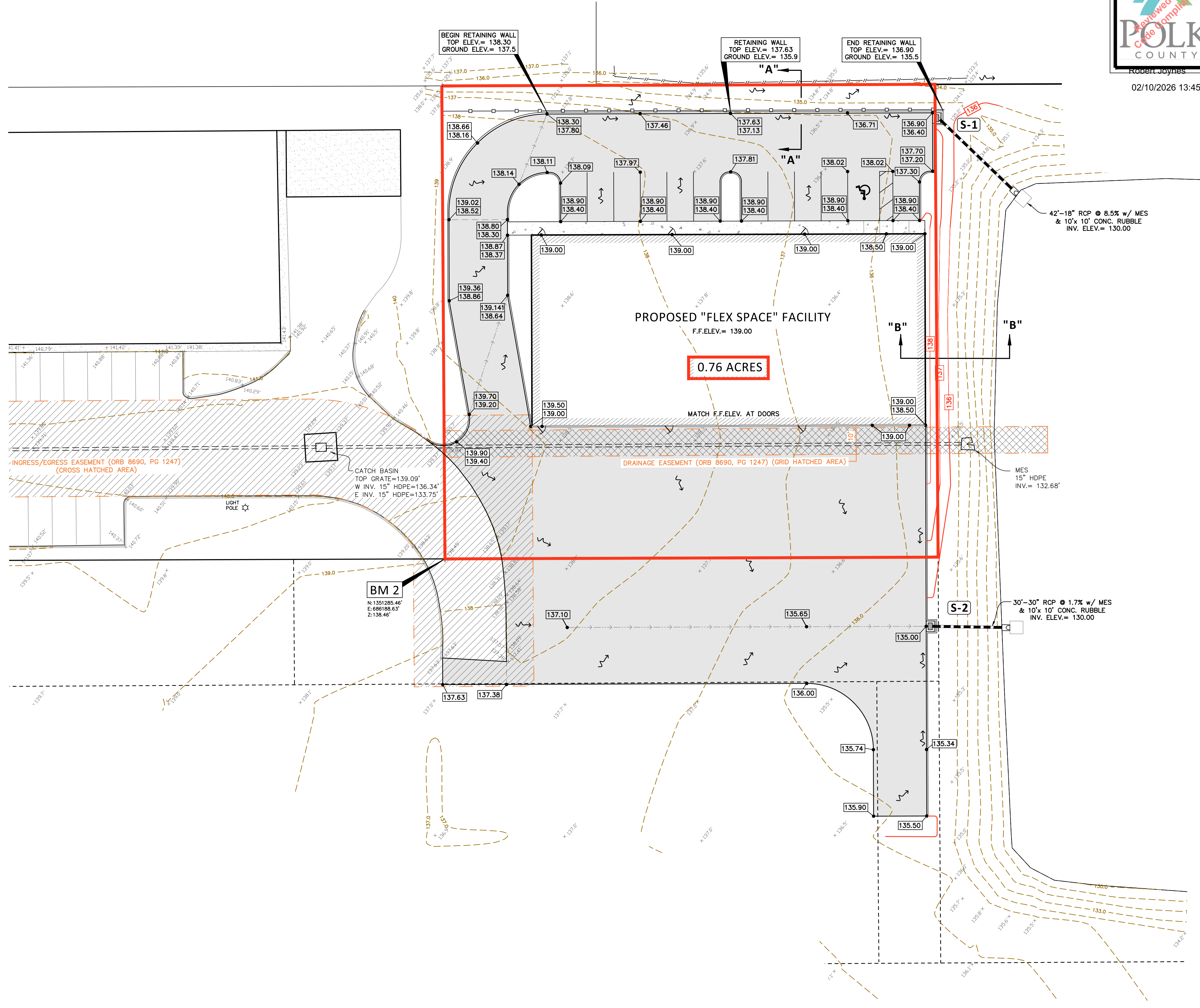
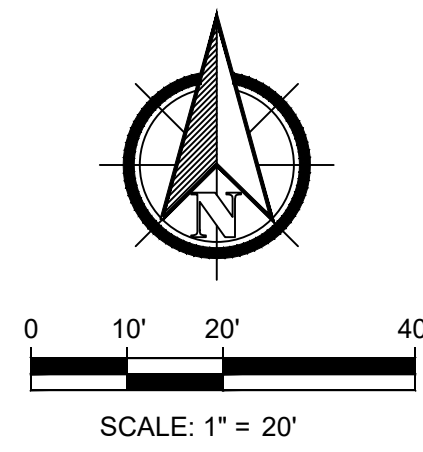
ALL FILL PLACED FOR SITE BERMING SHALL BE FREE OF ORGANICS, NON-PLASTIC GRANULAR SOIL (CLEAN SANDS). FILL SHALL BE PLACED IN MAX. OF 12" LIFTS AND COMPACTED TO A MINIMUM 95% per ASTM SPEC D-1557. TO OBTAIN BERM STABILITY, CLAY CORES MAY BE REQUIRED.

AS-BUILT NOTE

LP ENGINEERING SHALL PERFORM PERIODIC CONSTRUCTION MONITORING. "AS-BUILT" DATA SHALL BE PROVIDED BY THE CONTRACTOR, SO THAT RECORD "AS-BUILT" DRAWINGS CAN BE PREPARED FOR SUBMITTAL TO VARIOUS PERMITTING AGENCIES.

LEGEND

- | | | | |
|--|---------------------------|--|---------------------|
| | PROPOSED BUILDING | | INTERNAL LOT LINES |
| | PROPOSED PAVEMENT SURFACE | | EXISTING GRADE |
| | EXISTING CONCRETE SURFACE | | FIRE HYDRANT |
| | INGRESS/EGRESS EASEMENT | | WATER VALVE |
| | DRAINAGE EASEMENT | | WATER METER |
| | OVERHEAD WIRE | | GAS LINE DELINEATOR |
| | BURIED CABLE | | UTILITY POLE |
| | BURIED GAS LINE | | LIGHT POLE |
| | EXISTING CONTOUR | | UTILITY MARKER |
| | EXISTING DITCH TOP/BOTTOM | | STRUCTURE NUMBER |
| | CHAIN LINK FENCE | | FLOW ARROW |
| | EXISTING STORM PIPE | | PROPOSED GRADE |
| | PROPOSED STORM PIPE | | |
| | DIRECTION OF FLOW | | |
| | PROPOSED CONTOUR | | |



C:\PROJECTS\LP_Engineering\21009 Commerce Park\Drawings\ENGINEERING\21009 base.dwg Nov 03, 2025, 4:57 pm

No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	11-3-25	JWR	REVISED per OWNER COMMENTS				

LP ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	21009 BASE	Horizontal Scale:	1" = 20'
View:	DRA	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Drainage & Grading Plan
Combee Road, Lakeland, Florida 33801

PROJECT No.	21009	SHEET No.	C6
		OF	8

01/19/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

COMMERCE PARK

PLANT LEGEND

TREES AND SHRUBS TO BE PLANTED SHALL BE SELECTED FROM THIS LIST. PLANTS HAVE BEEN SELECTED FOR THIS SITE BASED ON SITE CHARACTERISTICS & LDC, APPROVED PLANT LIST.

PARKING CANOPY (SHADE) TREE - 6 TREES REQUIRED

CANOPY	SITE CLASS	HEIGHT	SPREAD	NOTES
QUERCUS VIRGINIANA, <i>Live Oak</i>	1,964	H-M	8'	4'-6' 2" DBH

BUFFER CANOPY TREE - 4 TREES REQUIRED

CANOPY	SITE CLASS	HEIGHT	SPREAD	NOTES
CORNUS FLORIDA, <i>Flowering Dogwood</i>	201	M	8'	4'-6' 2" DBH
ILEX ATTENUATAS, <i>East Palatka Holly</i>	201	H-M-Z	8'	4'-6' 2" DBH
JUNIPERUS SILICICOLA, <i>Southern Red Cedar</i>	113	M-Z	8'	4'-6' 2" DBH

BUFFER UNDERSTORY TREE - 9 TREES REQUIRED

SITE CLASS	HEIGHT	SPREAD	NOTES
LAGERSTROEMIA INDICA <i>Crape Myrtle</i>	M	8'	4'-6' 2" DBH
LIGUSTRUM JAPONICUM <i>Wax Leaf Ligustrum</i>	M	8'	4'-6' 2" DBH
PRUNUS AGUSTOFOL <i>Chickasaw Plum</i>	M-Z	8'	4'-6' 2" DBH
BACCHARIS HALIMIFOLIA, <i>Groundsel Tree</i>	H-M-Z	8'	4'-6' 2" DBH
CALLISTEMON RIGIDUS, <i>Bottlebrush, Stiff</i>	H-M	8'	4'-6' 2" DBH

BUFFER SHRUBS - 46 SHRUBS PROVIDED

SITE CLASS	HEIGHT	SPREAD	NOTES
VIBURNUM SUSPENSUM <i>Sandankwa Viburnum</i>	M	24"	X 3 gal. @ 36" O.C.
RAPHIOLEPIS INDICA <i>India Hawthorn</i>	M	24"	X 3 gal. @ 36" O.C.
PITTIOSPORUM TOBRIA <i>Pittosporum Variegata</i>	M	24"	X 3 gal. @ 36" O.C.
SCHEFFLERA ARBORICOLA <i>Schefflera Variegated</i>	M	24"	X 3 gal. @ 36" O.C.
ILEX VOMITORIA 'NANA' <i>Shillings Holly</i>	M	24"	X 3 gal. @ 36" O.C.

SITE LIGHTING:

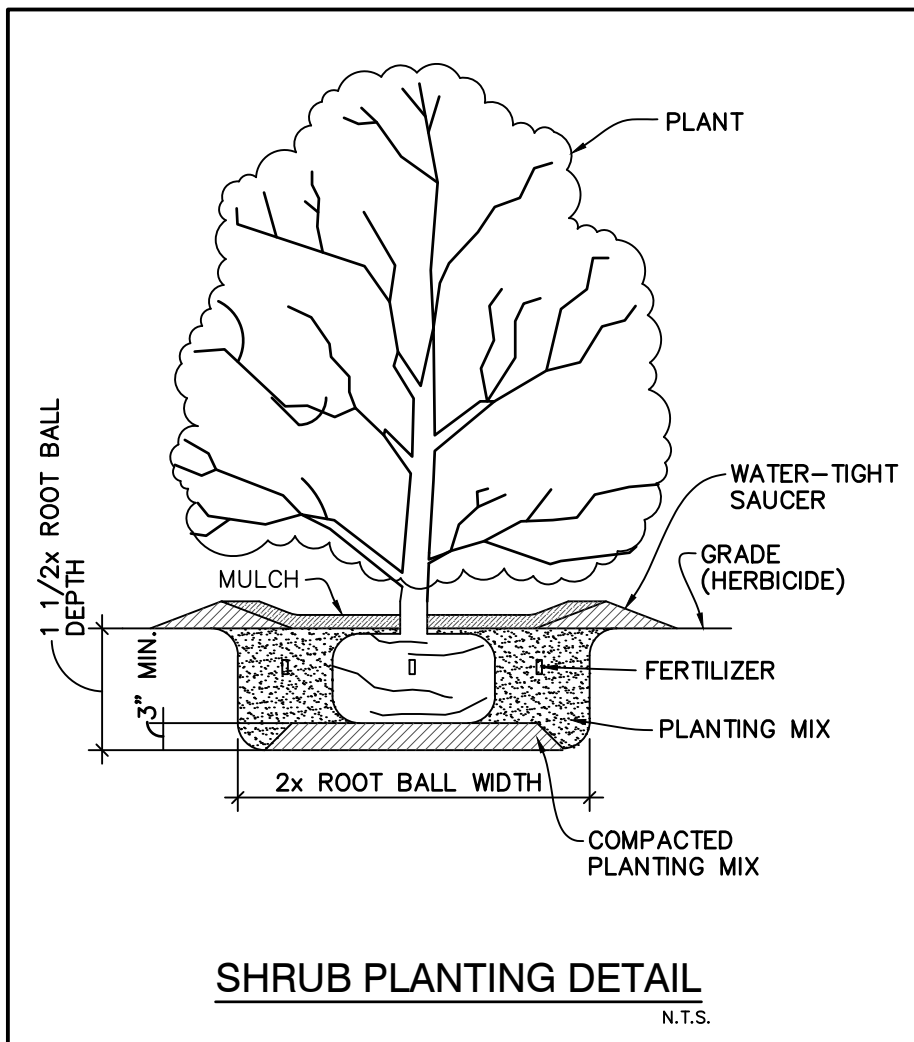
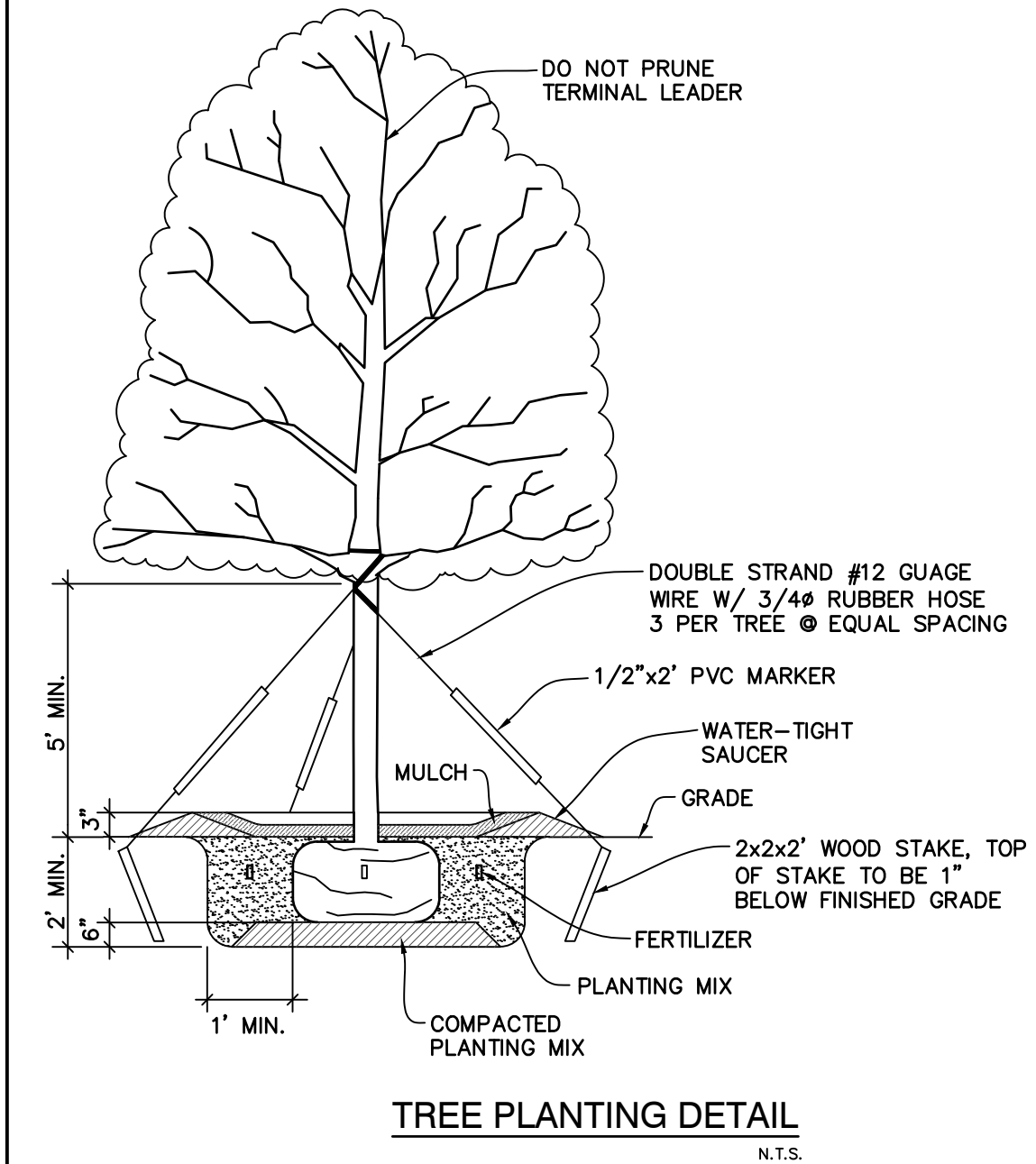
ALL PARKING AND LOADING AREAS DESIGNATED OR INTENDED FOR PUBLIC USE AFTER DARK SHALL HAVE LIGHTING. THE ILLUMINATION FOR, AND GLARE FROM, THESE FACILITIES SHALL BE DESIGNATED SO THAT THE LIGHTING IS SHIELDED OR AIMED AWAY FROM ADJACENT PROPERTIES AND ROADWAYS.

ADDITIONAL LANDSCAPING

THIS LANDSCAPE PLAN PRESENTS CANOPY AND BUFFER PLANTINGS AS REQUIRED BY POLK COUNTY. ADDITIONAL PLANTINGS AROUND THE BUILDING PERIMETERS ARE ANTICIPATED BUT NOT PROVIDED. ANY ADDITIONAL PLANTINGS SHALL BE IN ACCORDANCE WITH THE POLK COUNTY LAND DEVELOPMENT CODE, CHAPTER 7.

NOTE:

- PROPOSED TREES SHALL BE PLANTED FIVE FEET (5') FROM ANY UTILITY MAIN.
- ALL AREAS WITH NEW SHRUB PLANTINGS SHALL BE MULCHED WITH GRADE "A" CYPRESS MULCH OR APPROVED EQUIVALENT AS MANDATED BY POLK COUNTY.
- AREAS NOT PLANTED WITH TREES OR SHRUBS SHALL BE SODDED WITH BAHIA SOD. SOD ALL DISTURBED AREAS WITH BAHIA SOD.
- CONTRACTOR SHALL INSTALL AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSORS. SYSTEM SHALL BE ZONED TO WATER TREES, SHRUBS & GRASS SEPARATELY TO CONSERVE WATER.
- THE PLANTS SPECIFIED HAVE BEEN GROUPED BASED ON THEIR WATER AND LIGHTING NEEDS. THE SPECIFIED TREES ARE CLASSIFIED AS (M) MESIC TO (Z) ZERIC. ANY FUTURE OR ADDITIONAL TREES PLANTED SHOULD BE OF SIMILAR CLASS/CHARACTERISTIC.



PARKING CANOPY COVERAGE:

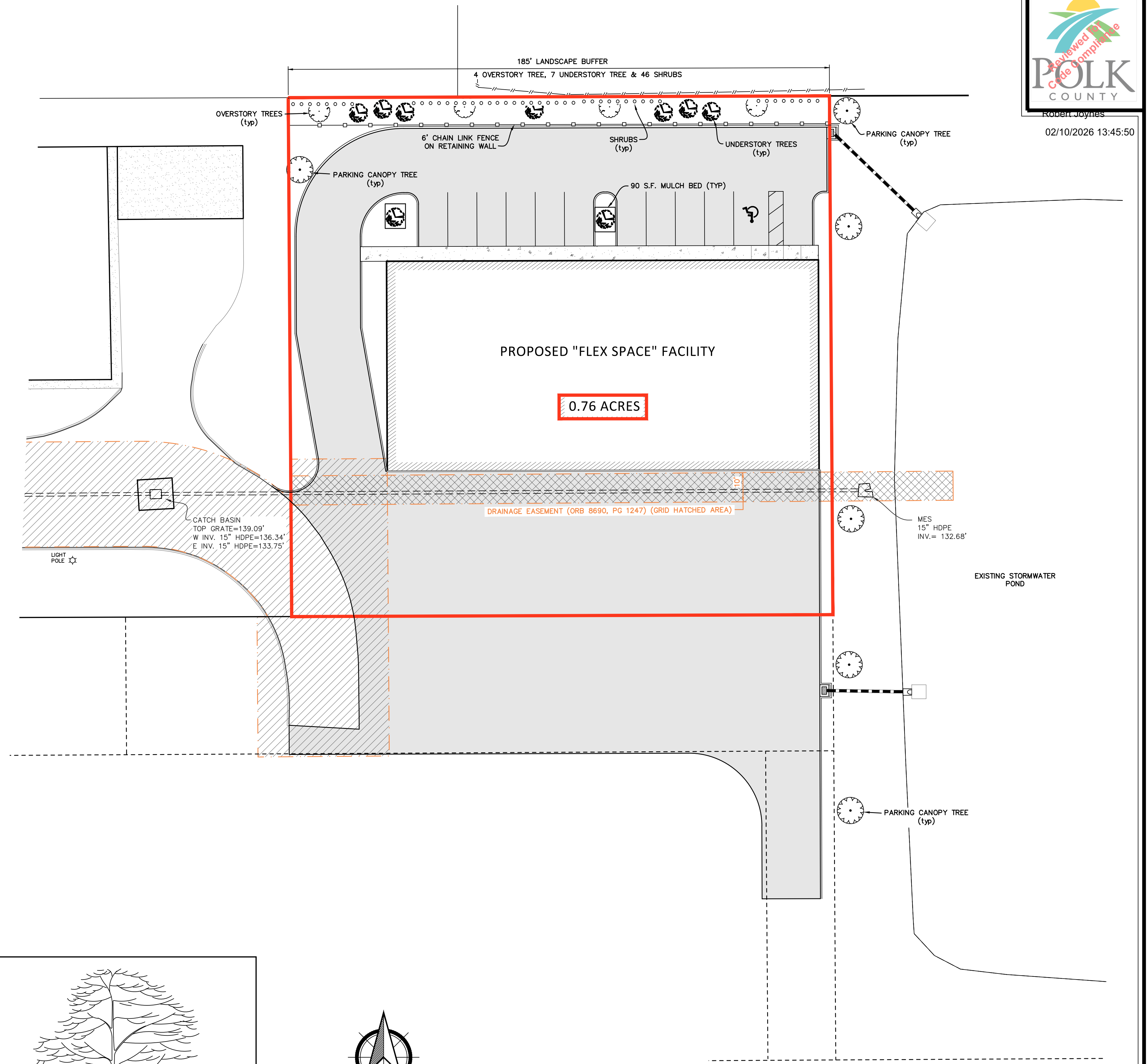
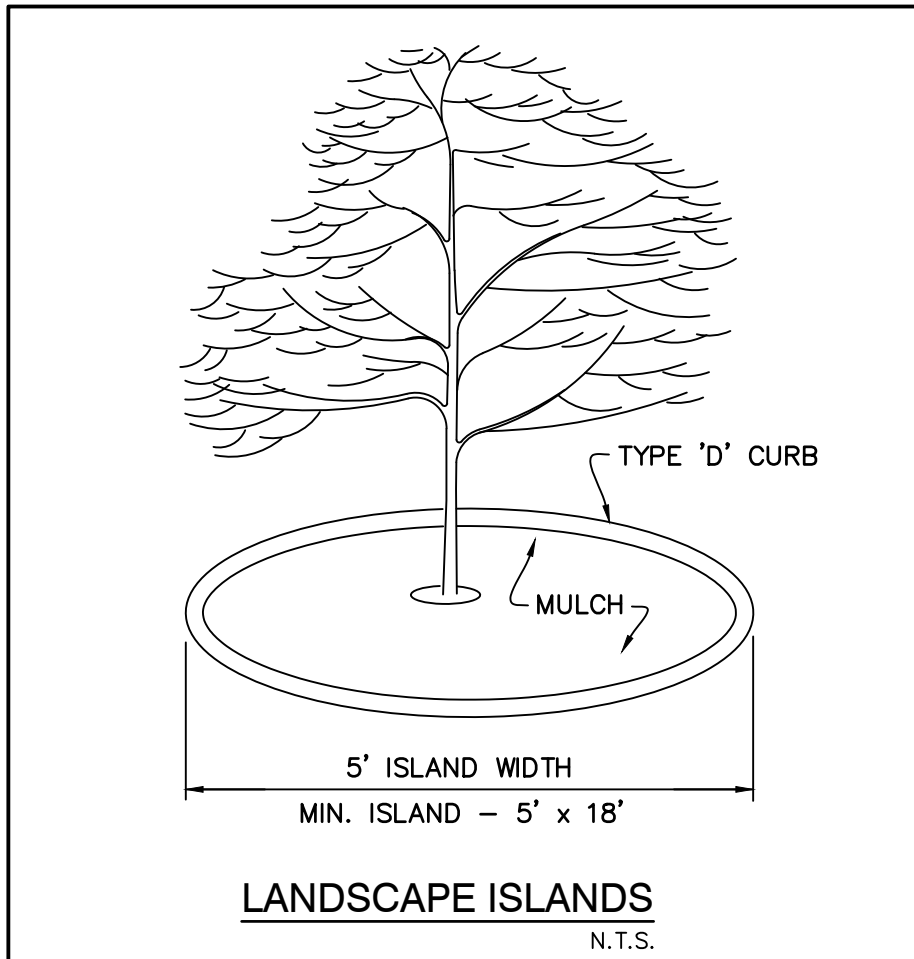
VEHICLE SURFACE AREA (VSA):
PROPOSED ROADWAY 26,107 s.f.
45% CANOPY REQUIREMENT = 26,107 X 45% = 11,748 S.F.

CANOPY AREA PROVIDED:
Live Oaks QUERCUS VIRGINIANA
6 TREES @ 1,964 S.F. CANOPY AREA = 11,784 S.F.

15 S.F. OF LANDSCAPE AREA per PARKING SPACE:
12 SPACES PROVIDED x 15 = 180 S.F. LANDSCAPE REQUIRED

LEGEND

	PROPOSED BUILDING		PARKING CANOPY TREE
	PROPOSED PAVEMENT SURFACE		BUFFER OVERSTORY TREE
	EXISTING CONCRETE SURFACE		BUFFER UNDERSTORY TREE
	INGRESS/EGRESS EASEMENT		SHRUB - HEDGE LINE
	DRAINAGE EASEMENT		
	CHAIN LINK FENCE		
	INTERNAL LOT LINES		
	EXISTING STORM PIPE		
	PROPOSED STORM PIPE		



C:\PROJECTS\UP Engineering\21009 Commerce Park\DRAWINGS\ENGINEERING\21009 base.dwg Nov 03, 2025, 4:56 pm

No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	11-3-25	JWR	REVISED per OWNER COMMENTS				

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	21009 BASE	Horizontal Scale:	1" = 20'
View:	LAND	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Landscape Plan
Combee Road, Lakeland, Florida 33801

PROJECT No.	21009	SHEET No.	C7
		OF	8

01/19/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

COMMERCE PARK

WASTEWATER STANDARDS WATER ENGINEERING DIVISION
DETAIL NO.: WWS-001
TRENCH CROSS-SECTION TERMINOLOGY
SHT. 1 OF 1

01_TRNSEC.DWG

APPROVED	DATE	PREPARED BY	GEG	DATE	REVISION
APPROVED	DATE	CHECKED BY		ISSUE DATE	NO.

WASTEWATER STANDARDS WATER ENGINEERING DIVISION
DETAIL NO.: WWS-005B
SANITARY SEWER MANHOLE RESILIENT BOOT OR PVC SLEEVE CONNECTION
SHT. 1 OF 1

RESILIENT BOOT CONNECTION

PVC SLEEVE CONNECTION

* RESILIENT BOOT SHALL BE PSX MANUFACTURED BY PRESS SEAL GASKET CORP., 6935 LINCOLN PARKWAY, FT. WAYNE, IN., OR CITY APPROVED EQUAL, MEETING ASTM C923. REF. WASTEWATER OPERATIONS MATL. SPECIFICATIONS SECTION 34.

- RESILIENT BOOT SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
- FOR USE ON PRECAST MANHOLES. ALSO APPLICABLE ON CAST-IN-PLACE MANHOLES WHEN USED WITH A HOLE FORMER.
- THE VOID BETWEEN BOOT AND PIPE SHALL BE FILLED WITH GROUT AND COATED AS SPECIFIED FOR THE MANHOLE.

APPROVED

DATE	PREPARED BY	GEG	DATE	REVISION
09/29/03			10/15/07	0

WASTEWATER STANDARDS WATER ENGINEERING DIVISION
DETAIL NO.: WWS-014
SANITARY SEWER - SINGLE WYE CONNECTION AND TYPICAL CLEAN-OUT
SHT. 1 OF 1

CLEAN-OUT PLACEMENT

SANITARY SEWER LOCATION	AT R.O.W. LINE	AT 3 FT. FROM MAIN	AT EASEMENT LINE
ROADWAY	*		
R.O.W.	*		
EASEMENT (ADD. TO R.O.W.)		*	
EASEMENT ONLY			*

GENERAL NOTES:

- CLEAN-OUTS IN UNPAVED AREAS SHALL HAVE A MIN. 24" SQUARE OR 24" DIAMETER POURED IN PLACE CONCRETE COLLAR 6" THICK CENTERED ON THE C.I. COVER.
- US FOUNDRY #7621 FOR 4" AND 6" CO'S OR, FOR 4" CO'S ONLY, AN ADJUSTABLE 6" C.I. VALVE BOX, TOP SECTION ONLY. COVERS TO BE MARKED W/S OR SEWER. NON-DOMESTIC EQUAL IS ACCEPTABLE.

APPROVED

DATE	PREPARED BY	GEG	DATE	REVISION
09/29/03			10/15/07	0

WATER STANDARDS WATER ENGINEERING DIVISION
STD. NO. WS-302
DOMESTIC METER WITH OR WITHOUT BY-PASS SINGLE SERVICE: 3/4" TO 2"
SHT. 1 OF 2

BILL OF MATERIALS

ITEM	DESCRIPTION
1	2" BACKFLOW PREVENTER ASSEMBLY (DEFINED AS UNIT INCLUDING VALVES) W/ IN-OUT BALL VALVES W/ TEST COCK
2	2"x4" NIPPLES, GALVANIZED SCH 40
3	2" X 90 DEG ELBOW, GALVANIZED SCH 40
4	2"x2" NIPPLES, GALVANIZED SCH 40
5	GALVANIZED RISER PIPE - CONTINUOUS, NO JOINTS
6	2" TEE, GALVANIZED SCH 40 (IF BY-PASS INSTALLED)
7	4" CONCRETE 90 DEG W/ POST-RI CORNERS
8	2" UNIONS, GALVANIZED SCH 40
9	BATON FR-45 FREEZE PROTECTION DEVICE, OR APPROVED EQUAL
10	2" GALVANIZED PORTS GALVANIZED BY CITY - CONCRETE FILLED AND CAPPED
11	LANDSCAPING PER WATER ENGINEERING STANDARD WS-501
12	PIPE, GALVANIZED
13	LOCKABLE BALL VALVE FOR ABOVE GRADE INSTALL OR 1" MIN. GATE VALVE FOR BELOW GROUND INSTALL

APPROVED

DATE	PREPARED BY	XRH	DATE	REVISION
08/09/2016			08/16/2016	0

WATER STANDARDS WATER ENGINEERING DIVISION
STD. NO. WS-102
SINGLE WATER METER ASSEMBLY 3/4" TO 2"
SHT. 1 OF 2

BILL OF MATERIALS

ITEM	QUAN.	DESCRIPTION
1	1	BALL VALVE W/ LOCKING RING (SIZE = METER SIZE)
2	1	METER COUPLING W/ GASKETS (SIZE = METER SIZE)
3	1	WATER METER (BY CITY OF LAKELAND)
4	1	PRECAST CONCRETE, PLASTIC, OR CAST IRON METER BOX W/ LID
5	-	SOLID CORE INSULATED COPPER TRACER WIRE, REF. WS-501

APPROVED

DATE	PREPARED BY	XRH	DATE	REVISION
11/14/01			08/16/16	9

WATER STANDARDS WATER ENGINEERING DIVISION
STD. NO. WS-201
SERVICE DETAIL FOR USE W/ POLYETHYLENE TUBING
SHT. 2 OF 2

BILL OF MATERIALS

ITEM NO.	QUAN.	SS	DESCRIPTION
1	1	1	TAPPING SADDLE
2	-	1	GATE VALVE (RISING STEM) 2"
3	2	4	PIPE STIFFENER INSERT, FORD OR MUELLER
4	2	3	POLYETHYLENE PIPE ADAPTER, MUELLER H-15428 (3/4" & 1"), P-15428 (2")
5	-	1	90 DEG ELBOW, GALVANIZED
6	CUT TO FIT		PIPE, POLYETHYLENE, CTS-OD, PE 3408, ASTM D-2737, 200 PSI
7	1	1	GATE VALVE (RISING STEM) OR LOCKING BALL VALVE
8	2	1	VALVE BOX, SEE NOTES 1 AND 5
9	1	-	4" LONG NIPPLE, GALVANIZED SCH 40
10	-	1	GALVANIZED NIPPLE, <= 2" X 3" MIN.

APPROVED

DATE	PREPARED BY	XRH	DATE	REVISION
07/15/16			08/16/16	2

WATER STANDARDS WATER ENGINEERING DIVISION
STD. NO. WS-403
WATER MAIN INSTALLATION ELEVATION AND SECTION
SHT. 1 OF 2

BILL OF MATERIALS

ITEM	QUAN.	DESCRIPTION
1	CUT TO FIT	PIPE, D.I. (CLASS 50) OR PVC (200 DR-18)
2	CUT TO FIT	SOLID CORE INSULATED COPPER TRACER WIRE, REF. WS-501

APPROVED

DATE	PREPARED BY	DW	DATE	REVISION
02/04/99			08/16/16	4

WATER STANDARDS WATER ENGINEERING DIVISION
STD. NO. WS-403
WATER MAIN INSTALLATION HORIZONTAL CLEARANCES
SHT. 2 OF 2

WATER MAIN / STORM SEWER STRUCTURE CLEARANCE

WATER MAIN / SANITARY SEWER STRUCTURE CLEARANCE

APPROVED

DATE	PREPARED BY	GEG	DATE	REVISION
04/22/05			08/16/16	1

No.	DATE	APPROVED	REVISION
1	1-15-26	JWR	ADDED WS-302 per CITY COMMENTS

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-430-7182 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	21009 BASE	Horizontal Scale:	N.A.
View:	UDET	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	10-31-25	Checked by:	JWR

COMMERCE PARK, Phase 1
Utility Details
Combee Road, Lakeland, Florida 33801

PROJECT No.	21009	SHEET No.	C8
		OF	8

01/28/2026
JASON W. RICE
LICENSE
NO. 84535
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This item has been electronically signed and sealed by Jason W. Rice, State of Florida Professional Engineer, License No. 84535 on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.