

# LEIGH VILLAGE CENTER

Durham, NC  
±90 Acres

Largest Single Planned Mixed-Use Development  
Opportunity in Durham-Chapel Hill





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## OFFERING DETAILS /

### TERMS

Property is offered on an all-cash basis.

### DATA ACCESS

Property Information available at <https://multifamily.cushwake.com>

### PROCESS

Send offers to [alex.phillips@cushwake.com](mailto:alex.phillips@cushwake.com)

Offers should be in the form of a Letter of Intent (LOI) and at minimum include: Price, Earnest Money, Due Diligence Time Period, and Closing Period.



# INVESTMENT SUMMARY





# INVESTMENT OFFERING & HIGHLIGHTS

The Cushman & Wakefield Sunbelt Multifamily Advisory Group is pleased to present the exclusive listing of the ±90-acre Leigh Village Center, a mixed-use development opportunity in Durham, NC. Leigh Village Center represents one of the largest entitled mixed-use development opportunities in the Triangle, with approvals supporting a walkable urban village consisting of 4,000+ residential units and hundreds of thousands of square feet of commercial space. The property was recently rezoned to Compact Suburban Design districts with an approved development plan establishing a framework for high-density residential integrated with neighborhood retail, office, and public open space. Positioned less than 10 minutes from UNC Chapel Hill and Southpoint Mall, and near Research Triangle Park, Duke University, and Downtown Durham, the site offers direct access to the Triangle's major employment centers. With strong population growth, exceptional employment drivers, and limited large-scale development sites remaining in the Durham-Chapel Hill corridor, Leigh Village Center represents a rare opportunity to develop a transformative mixed-use community.



**±90**  
ACRES 

**4,000+**  
RESIDENTIAL UNITS PLANNED 

**Durham**  
COUNTY 

**Fully Approved**  
DEVELOPMENT PLAN 

**Zoning**  
CSD-CORE, CSD-SUPPORT 1, CSD-SUPPORT 2 

**Durham, NC**  
5901 GEORGE KING RD, 27707 

1

**UNRIVALED SCALE IN TRIANGLE**

Leigh Village Center’s ±90-acre master plan supports more than 4,000 residential units alongside significant commercial development, creating a rare large-scale urban village opportunity.

2

**FULLY APPROVED DEVELOPMENT PLAN**

The property was rezoned to Compact Suburban Design districts with a detailed development plan establishing a framework for dense residential and mixed-use development.

3

**ACCESS TO LIFESTYLE AMENITIES**

The Leigh Village Center is ideally positioned within minutes of some of the Triangle’s most sought-after lifestyle destinations along the Durham–Chapel Hill corridor.

4

**IDEAL CENTRAL TRIANGLE LOCATION**

Positioned directly off I-40 at NC-54, the site offers immediate access to UNC, Duke University, Southpoint Mall, and Research Triangle Park.

5

**AMONG FASTEST GROWING ECONOMIES**

The Research Triangle continues to experience rapid population and employment growth driven by the innovation sectors of technology, life sciences, and research. It is ranked the 3rd fastest growing economy in the US.



# 1 UNRIVALED SCALE IN TRIANGLE

Leigh Village Center's ±90-acre master plan supports more than 4,000 residential units alongside significant commercial development, creating a rare large-scale urban village opportunity.

## DISTRICT-SCALE MIXED-USE OPPORTUNITY

Leigh Village Center represents one of the largest planned mixed-use developments in the Durham-Chapel Hill corridor. The ±90-acre master plan supports more than 4,000 residential units alongside a central village center programmed for hundreds of thousands of square feet of commercial, office, and retail space, creating a true walkable district rather than a traditional single-phase apartment project.

## LARGE RESIDENTIAL BASE

The scale of the planned residential program provides the critical mass required to support a neighborhood retail environment. With thousands of residents ultimately living within the development, the project creates a built-in customer base for restaurants, services, and everyday retail uses within the village center.

## MULTI-PHASED DEVELOPMENT POTENTIAL

Given the size of the site and the scale of the development program, Leigh Village Center offers flexibility for phased implementation, land sales to multiple developers, or vertical mixed-use development strategies. This flexibility significantly broadens the buyer universe, attracting both institutional multifamily developers and large-scale master developers seeking long-term value creation.



**±90** Acres  
**4,000+** Residential Units  
**100K+** SF Commercial Potential

# 1 UNRIVALED SCALE IN TRIANGLE



NE Aerial Rendering

# 2 FULLY APPROVED DEVELOPMENT PLAN

The property was rezoned to Compact Suburban Design districts with a detailed development plan establishing a framework for dense residential and mixed-use development.

## ESTABLISHED ZONING FRAMEWORK

The rezoning placed the property within CSD-Core, CSD-Support 1, and CSD-Support 2 districts, which collectively guide the location of higher-density residential uses, village center commercial space, and supporting residential neighborhoods throughout the development.

ZONING FRAMEWORK		
DISTRICT	APPROX ACREAGE	INTENDED USE
CSD-Core	~65.8 Acres	Primary mixed-use village center
CSD-Support 1	~6.3 Acres	Residential & supporting uses
CSD-Support 2	~9.6 Acres	Residential and neighborhood services

## CLEAR ENTITLEMENT PATH

Because the rezoning includes a detailed development plan, future site plan approvals will follow the established framework for streets, blocks, and infrastructure. This significantly reduces entitlement risk compared to typical development sites where zoning approvals are still required.

The development plan establishes a coordinated framework for:

- High-density residential neighborhoods
- Village center retail and commercial uses
- Internal street grid and pedestrian connectivity
- Multi-use greenway network

## AFFORDABILITY REQUIREMENT

The development plan includes a modest affordability requirement consisting of 9% income-restricted multifamily units (60-100% AMI for 30 years) and 3% affordable townhomes (≤80% AMI for 20 years).



# 2 FULLY APPROVED DEVELOPMENT PLAN /



# 3 ACCESS TO LIFESTYLE AMENITIES

The Leigh Village Center is ideally positioned within minutes of some of the Triangle's most sought-after lifestyle destinations along the Durham-Chapel Hill corridor.

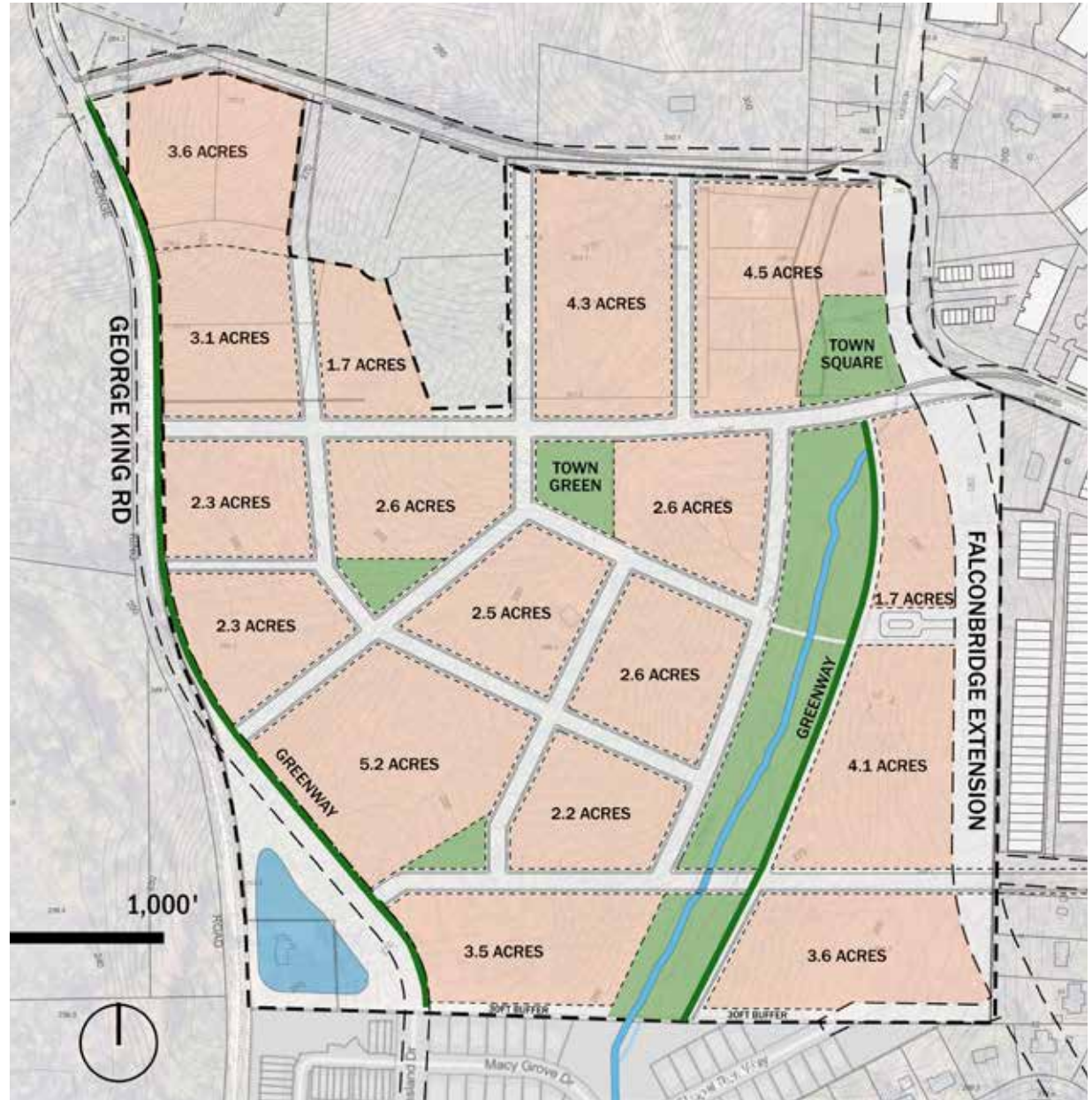
## SHOPPING, DINING & ENTERTAINMENT

Residents will enjoy convenient access to The Streets at Southpoint, one of the region's premier shopping environments featuring more than 150 retailers, restaurants, and entertainment venues anchored by national brands and chef-driven dining. The site also benefits from proximity to the vibrant culinary and nightlife scenes in Durham and Chapel Hill, including the celebrated dining and entertainment district at American Tobacco Campus, widely regarded as one of the Triangle's premier lifestyle destinations.

## EDUCATION, RECREATION & QUALITY OF LIFE

The property is also surrounded by some of the region's most desirable lifestyle and recreational amenities. Leigh Village Center is located within close proximity to UNC Chapel Hill and Duke University, two globally recognized universities that contribute to the area's highly educated population and vibrant cultural environment. The K-12 public schools designated for the site can all be reached in less than a 10-min drive.

Outdoor recreation is easily accessible via the nearby American Tobacco Trail, a 22-mile regional trail system popular for cycling, running, and walking. Together with access to top regional healthcare providers, parks, and cultural venues, these amenities reinforce the Durham-Chapel Hill corridor as one of the most desirable lifestyle locations in the Triangle.



# 3 ACCESS TO LIFESTYLE AMENITIES



# 4 IDEAL CENTRAL TRIANGLE LOCATION

Positioned directly off I-40 at NC-54, the site offers immediate access to UNC, Duke University, Southpoint Mall, and Research Triangle Park.

## ACCESSIBILITY IN THE TRIANGLE

The site's proximity to I-40 provides a streamlined route to all major job and entertainment centers in the Triangle MSA, including Durham, Chapel Hill, Raleigh, and greater North Carolina spanning from Asheville to Wilmington.

RDU is home to some of the most prominent universities and healthcare systems in the country, including NC State, Duke University, Duke Hospitals, and UNC Chapel Hill.



## EMPHASIS ON HIGHER EDUCATION & HEALTHCARE

**NC State University** is the largest university in the UNC System, with more than 36,000 students and 9,000 faculty and staff members. NC State has a \$6.5B annual economic impact on the North Carolina economy. With more than 100 undergraduate, 100 master's, and 60 doctoral programs, NCSU is one of the premier institutions in the country.



**Duke University** is one of the most prestigious private universities in the country. Enrolled at Duke are 6,789 undergraduate students and 9,991 graduate and professional students. Duke employs a faculty of 3,827 professors and a total of 43,108 employees (hospital/university).



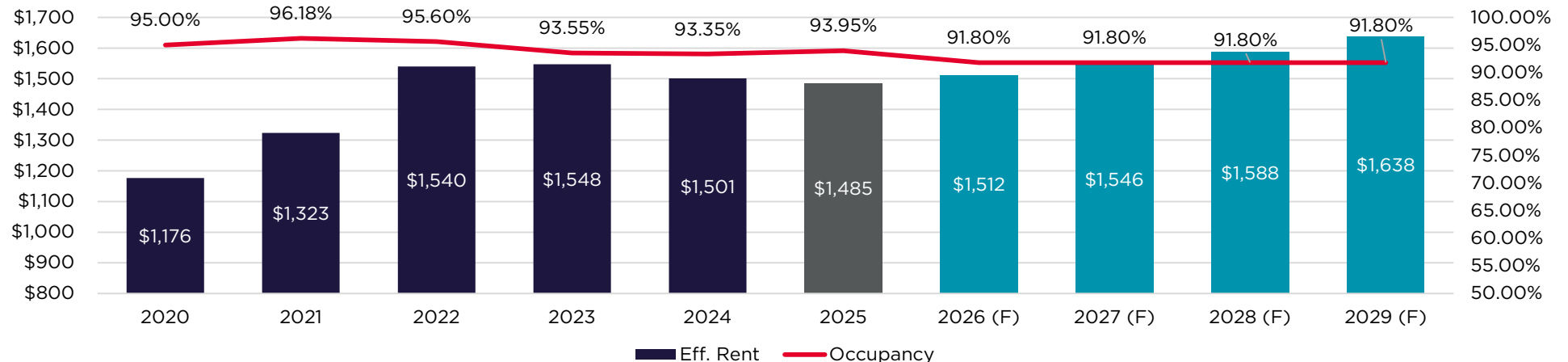
DukeHealth

**Duke Health** has a combined 1,808 inpatient beds. The three hospitals, Duke University Hospital and Duke Regional Hospital in Durham, and Duke Raleigh Hospital are huge economic drivers, employing over 16,500 people.



**UNC-Chapel Hill** is one of the top public universities in the nation and the 3rd largest institution in NC. Sitting on a 729-acre campus, UNC-CH has 31,539 students annually, and employs 4,035 faculty and 9,023 staff. The university earns \$14.4B in annual revenue by UNC startups in the state and over \$3.23B in operating revenue (fiscal year 2025). UNC-CH is ranked the 6th most innovative university in the world by Reuters.

## OVERALL TRIANGLE MARKET RENT GROWTH



# 4 IDEAL CENTRAL TRIANGLE LOCATION /

## NOTABLE TRIANGLE ACCOLADES

#1

Best Place to Live (Bankrate 2024)

#1

Best City to Start A Tech Career (GoBankingRates.com)

#1

Metro with Graduate or Professional Degree Holders (WalletHub 2024)

#2

Fastest Growing Metro in the U.S. (Inspection Support Network 2023)

## RECENT TRIANGLE JOB ANNOUNCEMENTS

**Apple** has received construction permit approval for its new RTP campus. They are expected to add over 3,000 jobs to the 281-acre campus and invest more than \$1 billion.

**Google** opened its "Cloud Hub" office in Durham in 2022. The location will eventually support over 1,000 jobs with additional additions underway.

**Amazon** plans to bring 500 jobs to a \$100 million Johnston County Facility.

**Bandwidth** announced new \$100 million Global HQ in Raleigh. The new location will provide 2,500 jobs.

**United Therapeutics** announced plans for a \$500 million manufacturing facility in RTP.

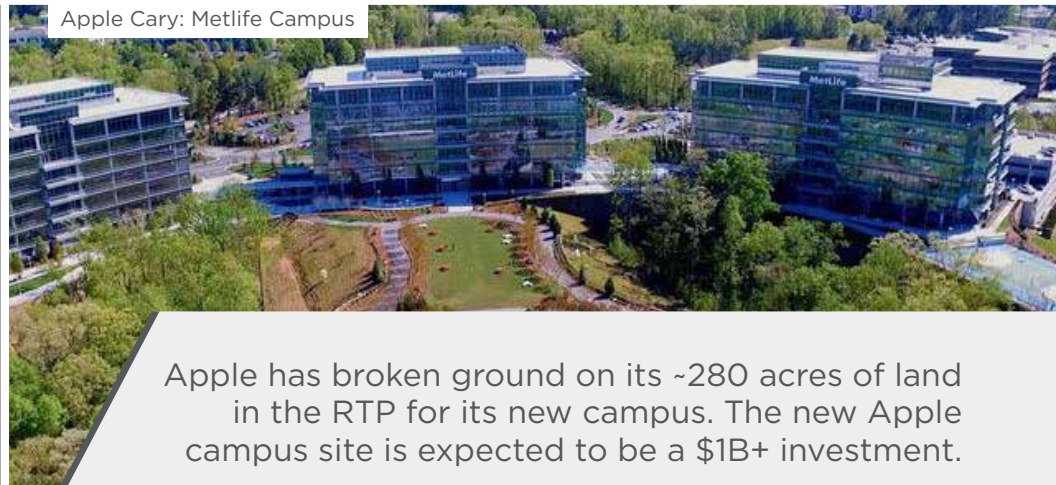
**Wolfspeed** announced in Sept 2022 that it will build a new, state-of-the-art, multi-billion dollar manufacturing facility in Chatham county. It's strategically located to increase production 10x its current capacity in the existing Durham campus.

**VinFast** announced it will invest \$2 billion in phase 1 of its first North American manufacturing plant, located in Chatham county. The plant will have capacity to build 150,000 vehicles per year and create 7,500 jobs over 5 years.

Research Triangle Park



Apple Cary: Metlife Campus



Apple has broken ground on its ~280 acres of land in the RTP for its new campus. The new Apple campus site is expected to be a \$1B+ investment.

# 5 AMONG FASTEST GROWING ECONOMIES

The Research Triangle continues to experience rapid population and high-paying employment growth driven by the innovation sectors of technology, life sciences, and research.

## UNC HEALTH CARE

UNC Medical Center is comprised of N.C. Memorial Hospital, N.C. Children's Hospital, N.C. Neurosciences Hospital, and N.C. Women's Hospital. The 950-bed medical center has more than 7,100 employees and serves over 37,000 patients each year.

The major employer attracts doctors and patients from all over the country, and is less than 5 miles from Leigh Village Center.



# 5 AMONG FASTEST GROWING ECONOMIES /

## UNIVERSITY OF NORTH CAROLINA CHAPEL HILL (UNC-CH)



UNC-CH is one of the top public universities in the nation and the third largest institution in North Carolina. Sitting on a 729-acre campus, the University enrolls 31,539 students annually, and employs 4,035 faculty and 9,023 staff. It is located less than 4 miles from Leigh Village Center.

With 95 bachelor's degree programs, 104 master's degree programs, and 65 doctoral degree programs, UNC-CH attracts students and professionals from around the world. Its prominence has been reflected in its economic impact. Some of the staggering figures include:

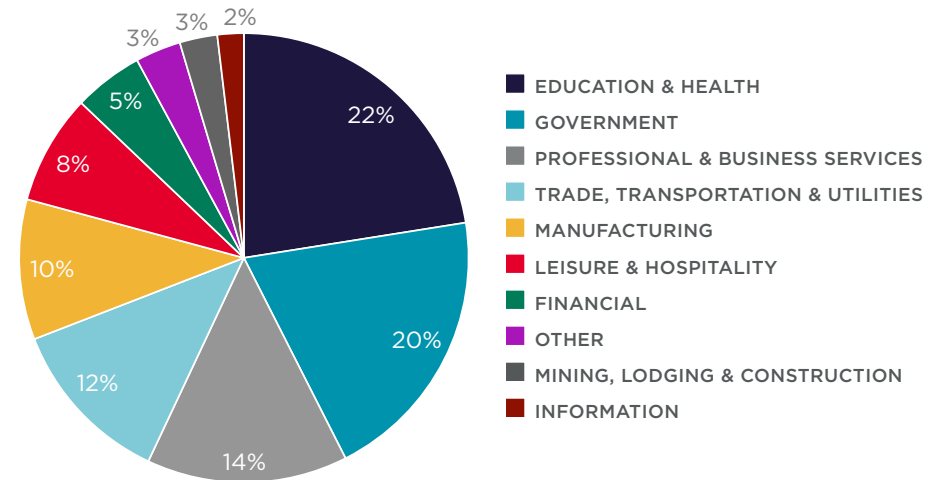
- \$14.4B in annual revenue earned by UNC startups in North Carolina
- 13,516 North Carolinians employed by UNC-affiliated startups.
- Ranked 6th most innovative university in the world (Reuters).
- Over \$3.23B in operating revenue in fiscal year 2025.

**6th** Most Innovative Univ. in the World

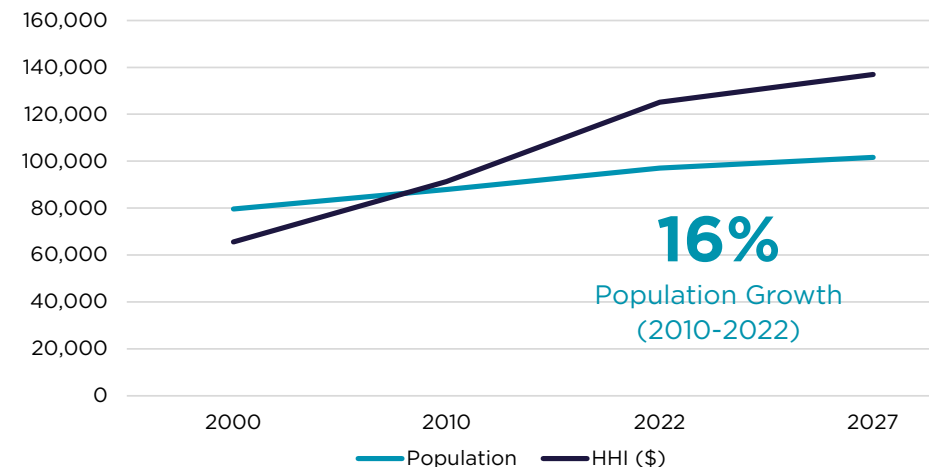


## DURHAM-CHAPEL HILL INDUSTRY EMPLOYMENT

Chapel Hill/Durham is diversified with an abundance of industries, including technology, healthcare, education, and manufacturing. Some of the largest employers include IBM, Walmart, Cisco, Duke, and Amazon.



## CHAPEL HILL POPULATION & HHI GROWTH



# LOCATION OVERVIEW



## TRIANGLE BY THE NUMBERS

Triangle MSA Population (2025)	2,368,000
Unemployment Rate (Dec '25)	3.0%
Cost of Living Index	103%
Cost of Business Index	91%

**KEY INDUSTRIES:** Research technology, education, biotechnology, health care, manufacturing

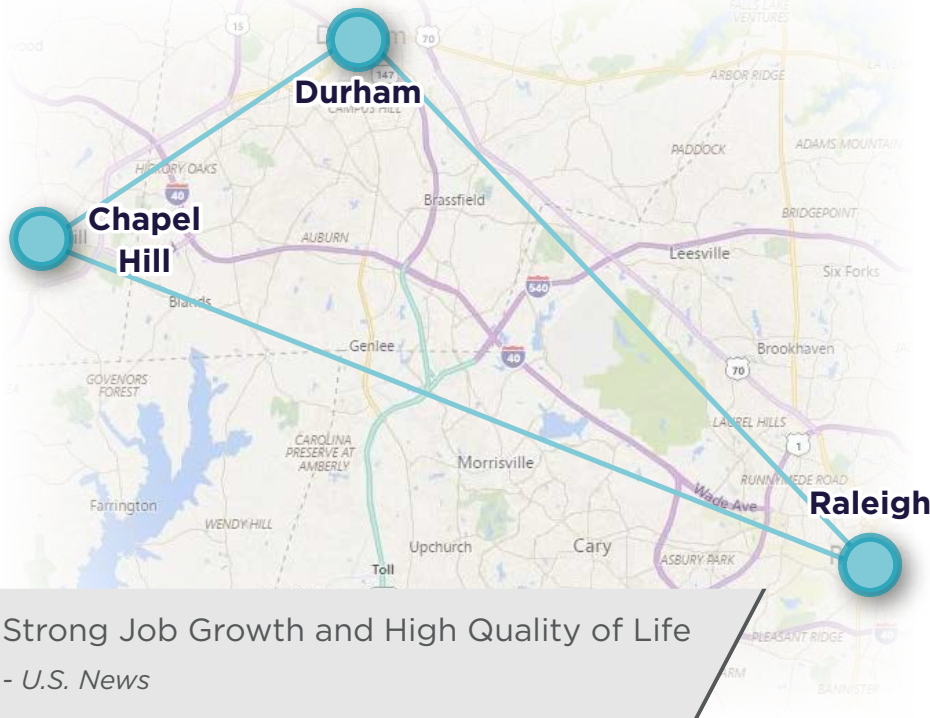
**PRIMARY GROWTH SECTORS:** High-tech, biomedical research, life sciences, service

# DURHAM, CHAPEL HILL & RALEIGH

The Triangle — the 12-county region anchored by Durham, Chapel Hill, and state capital Raleigh (Wake, Durham, Orange counties) — consistently ranks nationally as a best place to live, work, and obtain a world-class education.

Home of the Research Triangle Park, this region boasts one of the most dynamic and competitive economies in the world. Raleigh is among the fastest growing metro areas in North Carolina with 3.2% job growth over the past year. Projected job growth in Raleigh over the next 10 years is 44.2%, outpacing the national average of 33.5%. Rising investment in tech is supporting well-above-average job creation in professional and business services, and population growth of three times the national pace is fueling job gains in consumer industries.

Education is a consistently strong economic driver, and UNC Chapel Hill, North Carolina State University, and Duke University (including healthcare) together employ around 65,000, or 1 in 6 workers locally. Strategic public investment in STEM fields will support research and innovation and also help universities expand.



## PROLIFIC ECONOMY ENSURES POSITIVE OUTLOOK

With a mix of world-renowned universities, medical centers, government stability, and technology firms, The Triangle has weathered the nation's economic valleys smoother than other major metro areas.

Professional, scientific, and technical services employment in the Triangle is projected to grow approximately 1.5%+ annually through 2028, supporting continued white-collar job expansion. Over the past decade, unemployment has remained consistently below state and national averages and well below peer metros. The Triangle is one of the fastest-growing regions in North Carolina, adding approximately 35,000-40,000 residents annually in recent years, driven by sustained in-migration and job creation. This growth is fueled by a highly diversified economy and an exceptional quality of life. Recent years have seen \$4B+ in annual corporate investment and tens of thousands of new jobs added, reinforcing the region's economic momentum. Income growth continues to outpace the state, with the Raleigh-Durham MSA median household income now approaching ~\$85,000, reflecting a highly educated and affluent population base.



Alexandria Innovation Center

# #2

Best Performing Large Metro (Milken Institute)

# 3

Tier-1 Research Universities

# #1 & 3

Best Places to Start a Business (Raleigh & Durham, LendingTree)

# 550+

Life Science Companies  
*Source: CrowdStreet*



Research Triangle Park - Rendering

## AMERICA'S INNOVATION CENTER

Research Triangle Park (RTP) generates bold ideas that change the course of history and win Nobel Prizes and Pulitzers. Astroturf, Taxol for breast cancer, AZT the breakthrough drug for AIDS, and UPC codes are just a few of the innovations generated by RTP.

RTP, one of the largest and longest continuously operating advanced science parks in North America, is home to more than 300 companies and 60,000+ jobs. Situated at the epicentre of Raleigh-Durham, the 7,000-acre site is a globally prominent high-tech R&D campus and a significant economic driver for the region. Working in harmony with the three huge local regional universities, RTP is a magnet for innovators, investors, entrepreneurs, and multinational companies alike, including Apple, who in April 2021 announced plans for a new \$1B campus in RTP, slated to create 20K jobs through 2026.

## TOP TRIANGLE EMPLOYERS

EMPLOYER	JOBS	EMPLOYER	JOBS	EMPLOYER	JOBS
Duke University and Duke Health Systems	43,108	Food Lion	8,600	IQVIA	4,570
State of North Carolina	27,000	Target Stores	8,000	Wake County Government	4,389
Wake County Public School System	20,096	IBM (International Business Machines)	8,000	Blue Cross and Blue Shield North Carolina	4,200
Wal-Mart	18,548	UNC Rex Healthcare System	6,900	City of Raleigh	3,974
University of North Carolina At Chapel Hill	13,000	SAS Institute, Inc.	5,567	Sensus (a Xylem Brand)	3,691
WakeMed Health & Hospitals	9,900	Harris Teeter	5,346	Pfizer	3,610
North Carolina State University	9,069	Cisco Systems	5,000		

Source: Wake County Economic Development

## #1 HOT SPOT FOR TECH STARTUPS OUTSIDE OF SILICON VALLEY

Hundreds of companies have relocated to the region and many Triangle-based mainstays have expanded local operations. The following is just a sample of recent headlines.

- **2024: Kyowa Kirin** has selected Sanford for a new pharmaceutical manufacturing complex, a \$200M investment, calling for 102 full-time jobs over 3 years with average wages of at least \$90K.
- **2024: Siemens** announced they will be adding 559 new jobs in Mecklenburg and Wake County with a \$149.8M expansion with the company's first manufacturing site in the U.S. to build Large Power Transformers (LPTs), a critical component of the nation's power grid.
- **2023: Pendo**, a fast-growing cloud technology startup, will add 590 new jobs in downtown Raleigh on the heels of a \$50 million venture capital investment.
- **2023: Arch Capital Services** announced it has chosen Raleigh for its divisional headquarters, bringing 365 new jobs and a \$12.9 million investment to Raleigh
- **2023: Eli Lilly**, the national drug manufacturer, announced it will invest \$490 million to expand its manufacturing facility in RTP.
- **2022: Vietnamese electric auto-maker VinFast** will make a \$4B investment a new factory

### INCOMING TRIANGLE JOBS

EMPLOYER	JOBS
VinFast	7,500
Apple	3,000
Bandwidth	2,500
Google	1,000
Fujifilm	725
Pendo	590
Amazon	500
Eili Lilly	500
Arch Capital Services	365

(2023.08)

at Chatham County's Triangle Innovation Point, a 2,150-acre advanced manufacturing site, creating 7,500 jobs.

- **2022: Amazon** plans to bring 500 jobs to a \$100M facility in Johnson County with \$2.7M in federal funding
- **2022: Fujifilm** announced a new manufacturing facility, 725 high-paying jobs, with a \$1.5B investment with another \$500K coming later at RTP.

- **2022: Meta**, the parent company of Facebook, announced it will soon open an office in Durham.
- **2022: Epic Games** plans to convert the 980,000 square-foot Cary Towne Center into its global headquarters. The project is expected to be completed in 2024.
- **2021: Apple** announced plans for a new \$1B campus in Research Triangle Park, expected to create 20,000 jobs through 2026 and continue RTP's international growth.
- **2021: Google** is bringing new engineering hub to Durham and up to 1,000 jobs as part of US expansion.
- **2021: Bandwidth** announces \$100M global HQ in Raleigh which will bring 2,500+ new jobs.



## THREE TIER I EDUCATIONAL INSTITUTIONS

The Triangle's 12 regional colleges and universities coupled with RTP's numerous R&D and technology companies have created an intellectual capital with one of the highest per capita concentrations of Ph.D.s in the country. Three major Tier 1 doctoral research universities, ranked among the nation's best, anchor the Triangle region.

**North Carolina State** (1887; 36,512 enrolled) in Raleigh is NC's largest university, with 70% of the 2,068-member faculty engaged in sponsored research and 9,500 graduate students supported by research grants. NC State ranks third nationally in industry-sponsored research expenditures.

**Duke University** (1839; 17,966 enrolled) in Durham is renowned as a prestigious institution (one of the nation's top ranking medical schools) and international medical research center. Duke Medicine integrates with Duke University Health System, Duke University School of Medicine, and Duke University School of Nursing.

**UNC Chapel Hill** (1795; 31,539 enrolled) was the nation's first public university. Among numerous national accolades, in 2025 the university ranked fourth best among the top public colleges and universities in the nation by US News.



NC State's Carter-Finley Stadium, Raleigh

# 51

Wake County Public Schools  
Won National Merit Award  
(2024-2025)

## SOUGHT-AFTER PUBLIC SCHOOL SYSTEMS

Public schools in each of the Triangle's nine school districts outperform schools across the nation in SAT results and other performance measures.

Operating NC's largest public school system, Wake County is ranked 1st nationally for certified teachers and the county's standard proficiency test scores exceed national averages. North Carolina schools overall account for nearly 20% of all nationally certified teachers. In the 2024-2025 year, 51 Wake County public schools won national merit award. The school system has over 161K students.

## NORTH CAROLINA STATE'S CENTENNIAL CAMPUS

NC State's Centennial Campus, a 1,334-acre research park adjacent to the university's main campus in Raleigh, is one of the Triangle's fastest growing developments.

This "technopolis" of corporate, government, academic R&D facilities, and business incubators also provides space for 75 university research centers, institutes, laboratories, and departmental units.

The Campus's unique master plan is built on R&D "neighborhoods" with multidisciplinary themes: Biotechnology, Advanced Communications Technologies, Environmental Technologies, Advanced Materials, International Technology Transfer and Trade, and Pre-College Education.

The current 2.7M SF of developed space is projected to expand to 9M SF at total build out. In addition to office and lab buildings, Centennial Campus encompasses Lonnie Poole Golf Course, Lake Raleigh, The Shores residential complex, and a public fishing pier, greenway and disc golf course.



NC State's Centennial Campus (South Of Downtown Raleigh)



Duke University Hospital, Durham

## TRIANGLE PHYSICIAN RATIO IS 5 TIMES NATIONAL AVERAGE

With three major health systems, two renowned medical schools, and 3,700 hospital beds, the Research Triangle ranks 6th in the nation in physicians per capita.

Durham, home to Duke University Medical Center and School of Medicine, is nicknamed the "City of Medicine, USA," where 30% of the workforce is employed in healthcare and the physician ratio is five times the national average. U.S. News & World Report consistently ranks Duke's School of Medicine among the top in the nation. The 210-acre campus employs 1,500 physicians and researchers.

The flagship of the broader Health System, 1,312-bed Duke University Hospital includes two community medical centers (Durham Regional Hospital and Duke Raleigh Hospital) and 200+ ambulatory care clinics.

Other major Triangle medical facilities include WakeMed Health & Hospitals in Wake County (870 beds), UNC Healthcare in Orange County (804 beds), and UNC Rex Healthcare in Wake County (665 beds).

## TRANSPORTATION PROVIDES REGIONAL CONNECTIVITY

Three interstates traverse the Triangle region and provide excellent connectivity: I-40 intersects Durham, Raleigh, and RTP; I-440 and I-540 encircle Raleigh; and I-85 bisects Durham. Interstate 95 is accessible 30 miles east of Raleigh.

Strategically situated between RTP and Raleigh, Raleigh-Durham International Airport (RDU) is served by 9 major airlines and 7 regional carriers, and accommodated over 15.6 million passengers in 2025. RDU finished major construction in 2014 with the completion of the Terminal-1, providing the airport with modern standard infrastructure and technology through 2040.



Raleigh-Durham International Airport

<b>9</b>	<b>7</b>	<b>15.6M+</b>
Major Airlines	Regional Carriers	Passengers in 2025

More than 275 trucking companies employ more than 2,400 regionally. Rail lines run along both the east and west sides of RTP between Raleigh and Durham with regional services provided by Norfolk-Southern Railway and CSX Transportation. Amtrak recently remodeled and expanded Union Station in downtown Raleigh, which will allow for high speed rail connections to New York, Florida, and Charlotte.



## STREETS AT SOUTHPOINT

The Streets at Southpoint (opened in 2002), located roughly five miles from Chapel Hill, is a super-regional shopping mall encompassing over 1.3M square feet of retail space and features more than 140 shops and restaurants. The mall is anchored by Belk, JCPenney, Sears, Macy’s, and North Carolina’s first Nordstrom’s department store.

The mall features an open-air component, and was the first open-air shopping mall in North Carolina. The open-air section, dubbed “Main Street,” features a variety of specialty retail and restaurants. In addition, the mall contains a 16-screen movie theater. Streets at Southpoint was recently featured as one of the “10 Great Places to Spend It All in One Place” by USA Today.

Located directly off I-40, the mall is a popular destination for the entire Triangle Region as it is the closest major mall to UNC-Chapel Hill, Duke University, and North Carolina Central University. As a result of the regional appeal to Streets at Southpoint, the surrounding area has blossomed with development, creating a big-box power center and new residential communities.



## DOWNTOWN RALEIGH: HUB OF BUSINESS & CULTURE

Downtown Raleigh is realizing a boom in historic growth. Since 2005, downtown has seen over \$3 billion in development completed or under construction, by adding multifamily, retail, office, entertainment venues, convention space, and hotels in the area. The revitalization is showing no signs of slowing, with \$2.3 billion currently in the development pipeline.

**Downtown Raleigh** is the densest office market in the Triangle, holding a healthy 96.2% occupancy while an additional 2.2 million square feet of Class A space is planned or under construction.

**Fayetteville Street** offers the vast majority of the office space, mixed in with award-winning restaurants, a major performing arts center, large outdoor event space & amphitheater, independent retailers, galleries, convention center, and electrifying night-life.

**Glenwood South** is one of Raleigh's most famous streets, with a reputable night-life mixed with restaurants, art galleries, retail, and multifamily. This area is filled with young professionals seeking a walkable active bar scene with over 1,000 multifamily units recently delivered or under construction.



Trophy Tap & Table Rooftop

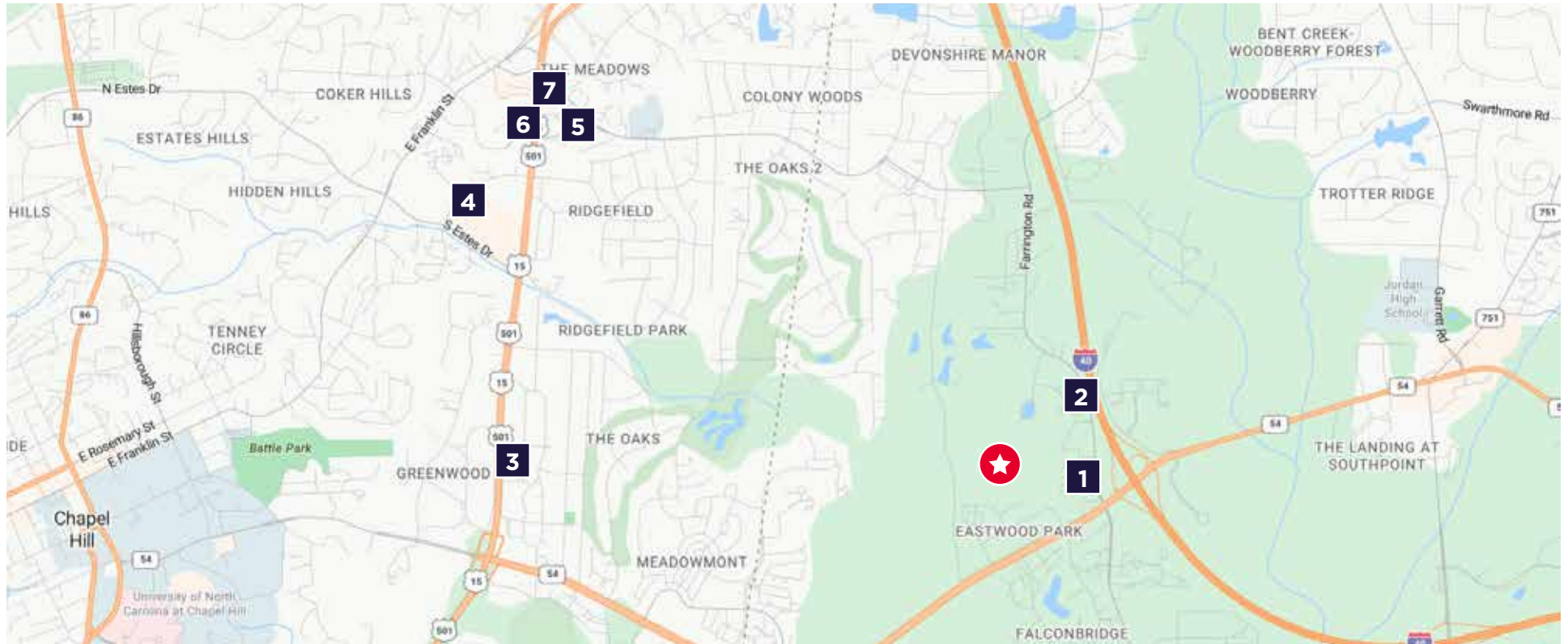


Contemporary Art Museum

# APARTMENT MARKET



# RENT COMPARABLES / SUMMARY



## RENT COMPARABLES

PROPERTY	# UNITS	YEAR BUILT	OCCUPANCY	AVG. SF	MKT. RENT	MKT. RENT/SF
1 Overture Chapel Hill (55+)	184	2020	91%	907	\$2,281	\$2.51
2 Aura Fifty4	250	2024	76%	878	\$1,792	\$2.04
3 Link Apartments Linden	215	2020	93%	779	\$1,700	\$2.18
4 900 Willow	253	2024	83%	770	\$1,866	\$2.42
5 The Hartley at Blue Hill	415	2022	91%	938	\$1,924	\$2.05
6 Bell Chapel Hill	272	2020	88%	818	\$1,726	\$2.11
7 Atlas Blue Hill	285	2026	UC	1,323	\$2,773	\$2.10
TOTAL / AVG	268	2022	91%*	916	\$2,009	\$2.19

\* Properties in initial lease-up excluded from avg. occupancy calculation

**1 OVERTURE CHAPEL HILL (55+)**



5901 Farington Rd  
Chapel Hill, NC 27517  
Durham County

Total Units: 184  
Year Built: 2020  
Rentable Area (SF): 166,936  
Occupancy: 91%

Managed by Greystar Real Estate Partners

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
1BR-1BA	5	604	\$1,779	\$2.95
1BR-1BA	4	636	\$1,704	\$2.68
1BR-1BA	5	661	\$1,990	\$3.01
1BR-1BA	11	681	\$1,875	\$2.75
1BR-1BA	5	696	\$1,764	\$2.53
1BR-1BA	9	717	\$1,976	\$2.76
1BR-1BA	6	729	\$1,684	\$2.31
1BR-1BA	7	753	\$2,049	\$2.72
1BR-1BA	18	758	\$1,989	\$2.62
1BR-1BA	6	768	\$2,285	\$2.98
1BR-1BA	6	772	\$2,084	\$2.70
1BR-1BA	32	836	\$2,025	\$2.42
2BR-2BA	6	1,016	\$2,517	\$2.48
2BR-2BA	11	1,036	\$2,700	\$2.61
2BR-2BA	2	1,051	\$2,548	\$2.42
2BR-2BA	5	1,061	\$2,432	\$2.29
2BR-2BA	5	1,141	\$2,826	\$2.48
2BR-2BA	12	1,178	\$2,382	\$2.02
2BR-2BA	5	1,205	\$2,834	\$2.35
2BR-2BA	3	1,215	\$2,495	\$2.05
2BR-2BA	7	1,233	\$3,025	\$2.45
2BR-2BA	9	1,288	\$3,381	\$2.63
2BR-2BA	4	1,341	\$3,468	\$2.59
2BR-2BA	1	1,365	\$3,628	\$2.66
<b>TOTAL / AVG</b>	<b>184</b>	<b>907</b>	<b>\$2,281</b>	<b>\$2.51</b>

Age-restricted (55+ community)

2 AURA FIFTY4



5580 Farrington Road  
Chapel Hill, NC 27517  
Durham County

Total Units: 250  
Year Built: 2024  
Rentable Area (SF): 219,553  
Occupancy: 76%

Managed by The Bozzuto Group

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
1BR-1BA	8	673	\$1,498	\$2.23
1BR-1BA	8	692	\$1,490	\$2.15
1BR-1BA	9	693	\$1,577	\$2.28
1BR-1BA	8	694	\$1,529	\$2.20
1BR-1BA	29	702	\$1,575	\$2.24
1BR-1BA	25	705	\$1,565	\$2.22
1BR-1BA	27	709	\$1,629	\$2.30
1BR-1BA	4	717	\$1,561	\$2.18
1BR-1BA	11	719	\$1,670	\$2.32
1BR-1BA	24	734	\$1,625	\$2.21
1BR-1BA	3	754	\$1,550	\$2.06
1BR-1BA	2	756	\$1,439	\$1.90
1BR-1BA	11	764	\$1,650	\$2.16
1BR-1BA	3	771	\$1,775	\$2.30
1BR-1BA	3	1,033	\$1,891	\$1.83
1BR-1BA	2	1,050	\$2,175	\$2.07
1BR-1BA	1	1,065	\$1,957	\$1.84
1BR-1BA	1	1,293	\$2,228	\$1.72
2BR-2BA	3	1,125	\$1,903	\$1.69
2BR-2BA	1	1,132	\$1,997	\$1.76
2BR-2BA	23	1,154	\$2,225	\$1.93
2BR-2BA	3	1,155	\$1,800	\$1.56
2BR-2BA	3	1,187	\$1,919	\$1.62
2BR-2BA	2	1,209	\$2,078	\$1.72
2BR-2BA	14	1,257	\$2,100	\$1.67
2BR-2BA	4	1,291	\$2,366	\$1.83
2BR-2BA	4	1,396	\$2,228	\$1.60
2BR-2BA	2	1,408	\$2,427	\$1.72
2BR-2BA	10	1,450	\$2,716	\$1.87
2BR-2BA	1	1,507	\$3,091	\$2.05
2BR-2BA	1	1,615	\$3,004	\$1.86
<b>TOTAL / AVG</b>	<b>250</b>	<b>878</b>	<b>\$1,792</b>	<b>\$2.04</b>

Property in initial lease-up

**3 LINK APARTMENTS LINDEN**



411 Flemington Rd  
Chapel Hill, NC 27514  
Orange County

Total Units: 215  
Year Built: 2020  
Rentable Area (SF): 167,522  
Occupancy: 93%

Managed by Grubb Properties

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
1BR-1BA	21	494	\$1,536	\$3.11
1BR-1BA	30	584	\$1,362	\$2.33
1BR-1BA	4	608	\$1,457	\$2.40
1BR-1BA	80	653	\$1,530	\$2.34
2BR-2BA	19	1,036	\$1,904	\$1.84
2BR-2BA	41	1,052	\$2,057	\$1.96
2BR-2BA	20	1,107	\$2,180	\$1.97
TOTAL / AVG	215	779	\$1,700	\$2.18



**4** 900 WILLOW



900 Willow Drive  
Chapel Hill, NC 27514  
Durham County

Total Units: 253  
Year Built: 2024  
Rentable Area (SF): 194,834  
Occupancy: 83%

Managed by The Bozzuto Group

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
0BR-1BA	8	503	\$1,395	\$2.77
0BR-1BA	76	585	\$1,478	\$2.53
1BR-1BA	5	528	\$1,540	\$2.92
1BR-1BA	29	644	\$1,582	\$2.46
1BR-1BA	33	697	\$1,688	\$2.42
1BR-1BA	4	735	\$1,514	\$2.06
1BR-1BA	5	791	\$1,820	\$2.30
1BR-1BA	10	798	\$1,830	\$2.29
1BR-1BA	10	803	\$2,012	\$2.51
1BR-1BA	5	931	\$2,150	\$2.31
2BR-2BA	14	1,003	\$2,240	\$2.23
2BR-2BA	15	1,039	\$2,473	\$2.38
2BR-2BA	5	1,103	\$2,855	\$2.59
2BR-2BA	14	1,129	\$2,330	\$2.06
2BR-2BA	5	1,163	\$3,149	\$2.71
2BR-2BA	5	1,170	\$2,952	\$2.52
2BR-2BA	5	1,177	\$2,870	\$2.44
2BR-2BA	5	1,195	\$2,970	\$2.49
<b>TOTAL / AVG</b>	<b>253</b>	<b>770</b>	<b>\$1,866</b>	<b>\$2.42</b>

*Property in initial lease-up*

**5** THE HARTLEY AT BLUE HILL



625 S Elliot Rd  
Chapel Hill, NC 27514  
Orange County

Total Units: 415  
Year Built: 2022  
Rentable Area (SF): 389,227  
Occupancy: 91%

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
0BR-1BA	60	654	\$1,513	\$2.31
1BR-1BA	170	813	\$1,676	\$2.06
2BR-2BA	179	1,133	\$2,266	\$2.00
3BR-2BA	6	1,495	\$2,833	\$1.89
<b>TOTAL / AVG</b>	<b>415</b>	<b>938</b>	<b>\$1,924</b>	<b>\$2.05</b>

*Showing condensed unit mix*

**6 BELL CHAPEL HILL**



13000 Fordham Blvd  
 Chapel Hill, NC 27514  
 Orange County

Total Units: 272  
 Year Built: 2020  
 Rentable Area (SF): 222,399  
 Occupancy: 88%

Managed by Bell Partners, Inc.

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
0BR-1BA	35	551	\$1,320	\$2.40
0BR-1BA	32	608	\$1,360	\$2.24
0BR-1BA	4	631	\$1,455	\$2.31
1BR-1BA	38	662	\$1,620	\$2.45
1BR-1BA	67	724	\$1,660	\$2.29
1BR-1BA	1	806	\$1,739	\$2.16
1BR-1BA	11	924	\$1,797	\$1.94
1BR-1BA	1	925	\$1,939	\$2.10
2BR-2BA	12	1,073	\$1,962	\$1.83
2BR-2BA	18	1,076	\$2,098	\$1.95
2BR-2BA	7	1,086	\$2,070	\$1.91
2BR-2BA	9	1,092	\$2,002	\$1.83
2BR-2BA	6	1,095	\$1,992	\$1.82
2BR-2BA	6	1,104	\$2,447	\$2.22
2BR-2BA	11	1,147	\$2,152	\$1.88
2BR-2BA	14	1,435	\$2,405	\$1.68
TOTAL / AVG	272	818	\$1,726	\$2.11



**7 ATLAS BLUE HILL**



1301 Fordham Blvd  
Chapel Hill, NC 27514  
Orange County

Total Units: 285  
Year Built: 2026  
Rentable Area (SF): 377,156

Managed by The Dinerstein Companies (TDC)

UNIT MIX				
UNIT TYPE	# UNITS	SIZE (SF)	MKT. RENT	MKT. RENT/SF
0BR-1BA	10	603	\$1,548	\$2.57
0BR-1BA	10	625	\$1,589	\$2.54
0BR-1BA	10	658	\$1,638	\$2.49
0BR-1BA	10	815	\$1,949	\$2.39
0BR-1BA	10	1,223	\$2,077	\$1.70
1BR-1BA	5	731	\$1,655	\$2.26
1BR-1BA	6	762	\$1,715	\$2.25
1BR-1BA	10	809	\$1,761	\$2.18
1BR-1BA	5	829	\$1,908	\$2.30
1BR-1BA	5	831	\$1,745	\$2.10
1BR-1BA	4	875	\$1,808	\$2.07
1BR-1BA	3	972	\$2,187	\$2.25
1BR-1BA	3	1,223	\$2,397	\$1.96
1BR-1BA, TH	3	1,396	\$2,340	\$1.68
1BR-1BA, TH	3	1,643	\$2,639	\$1.61
1BR-2BA, TH	3	1,449	\$2,906	\$2.01
2BR-2BA	17	1,132	\$2,178	\$1.92
2BR-2BA	17	1,173	\$2,322	\$1.98
2BR-2BA	17	1,176	\$2,280	\$1.94
2BR-2BA	17	1,179	\$2,218	\$1.88
2BR-2BA	18	1,264	\$2,203	\$1.74
2BR-2BA	17	1,505	\$3,106	\$2.06
2BR-3BA, TH	17	2,139	\$3,800	\$1.78
3BR-2BA	17	1,462	\$2,962	\$2.03
3BR-2BA	16	1,716	\$3,532	\$2.06
3BR-2BA	16	2,331	\$6,693	\$2.87
3BR-3BA, TH	16	2,264	\$4,952	\$2.19
<b>TOTAL / AVG</b>	<b>285</b>	<b>1,323</b>	<b>\$2,773</b>	<b>\$2.10</b>

Property under construction  
TH - Townhome

# STUDIO

## RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	0BR-1BA	1,223	\$2,077	\$1.70
Atlas Blue Hill	0BR-1BA	815	\$1,949	\$2.39
Atlas Blue Hill	0BR-1BA	658	\$1,638	\$2.49
Atlas Blue Hill	0BR-1BA	625	\$1,589	\$2.54
Atlas Blue Hill	0BR-1BA	603	\$1,548	\$2.57
The Hartley at Blue Hill	0BR-1BA	654	\$1,513	\$2.31
900 Willow	0BR-1BA	585	\$1,478	\$2.53
Bell Chapel Hill	0BR-1BA	631	\$1,455	\$2.31
900 Willow	0BR-1BA	503	\$1,395	\$2.77
Bell Chapel Hill	0BR-1BA	608	\$1,360	\$2.24
Bell Chapel Hill	0BR-1BA	551	\$1,320	\$2.40
TOTAL / AVG		678	\$1,575	\$2.39

## RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
900 Willow	0BR-1BA	503	\$1,395	\$2.77
Atlas Blue Hill	0BR-1BA	603	\$1,548	\$2.57
Atlas Blue Hill	0BR-1BA	625	\$1,589	\$2.54
900 Willow	0BR-1BA	585	\$1,478	\$2.53
Atlas Blue Hill	0BR-1BA	658	\$1,638	\$2.49
Bell Chapel Hill	0BR-1BA	551	\$1,320	\$2.40
Atlas Blue Hill	0BR-1BA	815	\$1,949	\$2.39
The Hartley at Blue Hill	0BR-1BA	654	\$1,513	\$2.31
Bell Chapel Hill	0BR-1BA	631	\$1,455	\$2.31
Bell Chapel Hill	0BR-1BA	608	\$1,360	\$2.24
Atlas Blue Hill	0BR-1BA	1,223	\$2,077	\$1.70
TOTAL / AVG		678	\$1,575	\$2.39



# ONE BEDROOM

## RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	1BR-2BA, TH	1,449	\$2,906	\$2.01
Atlas Blue Hill	1BR-1BA, TH	1,643	\$2,639	\$1.61
Atlas Blue Hill	1BR-1BA	1,223	\$2,397	\$1.96
Atlas Blue Hill	1BR-1BA, TH	1,396	\$2,340	\$1.68
Overture Chapel Hill (55+)	1BR-1BA	768	\$2,285	\$2.98
Aura Fifty4	1BR-1BA	1,293	\$2,228	\$1.72
Atlas Blue Hill	1BR-1BA	972	\$2,187	\$2.25
Aura Fifty4	1BR-1BA	1,050	\$2,175	\$2.07
900 Willow	1BR-1BA	931	\$2,150	\$2.31
Overture Chapel Hill (55+)	1BR-1BA	772	\$2,084	\$2.70
Overture Chapel Hill (55+)	1BR-1BA	753	\$2,049	\$2.72
Overture Chapel Hill (55+)	1BR-1BA	836	\$2,025	\$2.42
900 Willow	1BR-1BA	803	\$2,012	\$2.51
Overture Chapel Hill (55+)	1BR-1BA	661	\$1,990	\$3.01
Overture Chapel Hill (55+)	1BR-1BA	758	\$1,989	\$2.62
Overture Chapel Hill (55+)	1BR-1BA	717	\$1,976	\$2.76
Aura Fifty4	1BR-1BA	1,065	\$1,957	\$1.84
Bell Chapel Hill	1BR-1BA	925	\$1,939	\$2.10
Atlas Blue Hill	1BR-1BA	829	\$1,908	\$2.30
Aura Fifty4	1BR-1BA	1,033	\$1,891	\$1.83
Overture Chapel Hill (55+)	1BR-1BA	681	\$1,875	\$2.75
900 Willow	1BR-1BA	798	\$1,830	\$2.29
900 Willow	1BR-1BA	791	\$1,820	\$2.30
Atlas Blue Hill	1BR-1BA	875	\$1,808	\$2.07
Bell Chapel Hill	1BR-1BA	924	\$1,797	\$1.94
Overture Chapel Hill (55+)	1BR-1BA	604	\$1,779	\$2.95
Aura Fifty4	1BR-1BA	771	\$1,775	\$2.30
Overture Chapel Hill (55+)	1BR-1BA	696	\$1,764	\$2.53
Atlas Blue Hill	1BR-1BA	809	\$1,761	\$2.18
Atlas Blue Hill	1BR-1BA	831	\$1,745	\$2.10
Bell Chapel Hill	1BR-1BA	806	\$1,739	\$2.16
Atlas Blue Hill	1BR-1BA	762	\$1,715	\$2.25

## RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Link Apartments Linden	1BR-1BA	494	\$1,536	\$3.11
Overture Chapel Hill (55+)	1BR-1BA	661	\$1,990	\$3.01
Overture Chapel Hill (55+)	1BR-1BA	768	\$2,285	\$2.98
Overture Chapel Hill (55+)	1BR-1BA	604	\$1,779	\$2.95
900 Willow	1BR-1BA	528	\$1,540	\$2.92
Overture Chapel Hill (55+)	1BR-1BA	717	\$1,976	\$2.76
Overture Chapel Hill (55+)	1BR-1BA	681	\$1,875	\$2.75
Overture Chapel Hill (55+)	1BR-1BA	753	\$2,049	\$2.72
Overture Chapel Hill (55+)	1BR-1BA	772	\$2,084	\$2.70
Overture Chapel Hill (55+)	1BR-1BA	636	\$1,704	\$2.68
Overture Chapel Hill (55+)	1BR-1BA	758	\$1,989	\$2.62
Overture Chapel Hill (55+)	1BR-1BA	696	\$1,764	\$2.53
900 Willow	1BR-1BA	803	\$2,012	\$2.51
900 Willow	1BR-1BA	644	\$1,582	\$2.46
Bell Chapel Hill	1BR-1BA	662	\$1,620	\$2.45
Overture Chapel Hill (55+)	1BR-1BA	836	\$2,025	\$2.42
900 Willow	1BR-1BA	697	\$1,688	\$2.42
Link Apartments Linden	1BR-1BA	608	\$1,457	\$2.40
Link Apartments Linden	1BR-1BA	653	\$1,530	\$2.34
Link Apartments Linden	1BR-1BA	584	\$1,362	\$2.33
Aura Fifty4	1BR-1BA	719	\$1,670	\$2.32
Overture Chapel Hill (55+)	1BR-1BA	729	\$1,684	\$2.31
900 Willow	1BR-1BA	931	\$2,150	\$2.31
Aura Fifty4	1BR-1BA	771	\$1,775	\$2.30
Atlas Blue Hill	1BR-1BA	829	\$1,908	\$2.30
900 Willow	1BR-1BA	791	\$1,820	\$2.30
Aura Fifty4	1BR-1BA	709	\$1,629	\$2.30
900 Willow	1BR-1BA	798	\$1,830	\$2.29
Bell Chapel Hill	1BR-1BA	724	\$1,660	\$2.29
Aura Fifty4	1BR-1BA	693	\$1,577	\$2.28
Atlas Blue Hill	1BR-1BA	731	\$1,655	\$2.26
Atlas Blue Hill	1BR-1BA	762	\$1,715	\$2.25

## ONE BEDROOM (CONTINUED)

### RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Overture Chapel Hill (55+)	1BR-1BA	636	\$1,704	\$2.68
900 Willow	1BR-1BA	697	\$1,688	\$2.42
Overture Chapel Hill (55+)	1BR-1BA	729	\$1,684	\$2.31
The Hartley at Blue Hill	1BR-1BA	813	\$1,676	\$2.06
Aura Fifty4	1BR-1BA	719	\$1,670	\$2.32
Bell Chapel Hill	1BR-1BA	724	\$1,660	\$2.29
Atlas Blue Hill	1BR-1BA	731	\$1,655	\$2.26
Aura Fifty4	1BR-1BA	764	\$1,650	\$2.16
Aura Fifty4	1BR-1BA	709	\$1,629	\$2.30
Aura Fifty4	1BR-1BA	734	\$1,625	\$2.21
Bell Chapel Hill	1BR-1BA	662	\$1,620	\$2.45
900 Willow	1BR-1BA	644	\$1,582	\$2.46
Aura Fifty4	1BR-1BA	693	\$1,577	\$2.28
Aura Fifty4	1BR-1BA	702	\$1,575	\$2.24
Aura Fifty4	1BR-1BA	705	\$1,565	\$2.22
Aura Fifty4	1BR-1BA	717	\$1,561	\$2.18
Aura Fifty4	1BR-1BA	754	\$1,550	\$2.06
900 Willow	1BR-1BA	528	\$1,540	\$2.92
Link Apartments Linden	1BR-1BA	494	\$1,536	\$3.11
Link Apartments Linden	1BR-1BA	653	\$1,530	\$2.34
Aura Fifty4	1BR-1BA	694	\$1,529	\$2.20
900 Willow	1BR-1BA	735	\$1,514	\$2.06
Aura Fifty4	1BR-1BA	673	\$1,498	\$2.23
Aura Fifty4	1BR-1BA	692	\$1,490	\$2.15
Link Apartments Linden	1BR-1BA	608	\$1,457	\$2.40
Aura Fifty4	1BR-1BA	756	\$1,439	\$1.90
Link Apartments Linden	1BR-1BA	584	\$1,362	\$2.33
TOTAL / AVG		810	\$1,815	\$2.30

### RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	1BR-1BA	972	\$2,187	\$2.25
Aura Fifty4	1BR-1BA	702	\$1,575	\$2.24
Aura Fifty4	1BR-1BA	673	\$1,498	\$2.23
Aura Fifty4	1BR-1BA	705	\$1,565	\$2.22
Aura Fifty4	1BR-1BA	734	\$1,625	\$2.21
Aura Fifty4	1BR-1BA	694	\$1,529	\$2.20
Aura Fifty4	1BR-1BA	717	\$1,561	\$2.18
Atlas Blue Hill	1BR-1BA	809	\$1,761	\$2.18
Aura Fifty4	1BR-1BA	764	\$1,650	\$2.16
Bell Chapel Hill	1BR-1BA	806	\$1,739	\$2.16
Aura Fifty4	1BR-1BA	692	\$1,490	\$2.15
Atlas Blue Hill	1BR-1BA	831	\$1,745	\$2.10
Bell Chapel Hill	1BR-1BA	925	\$1,939	\$2.10
Aura Fifty4	1BR-1BA	1,050	\$2,175	\$2.07
Atlas Blue Hill	1BR-1BA	875	\$1,808	\$2.07
The Hartley at Blue Hill	1BR-1BA	813	\$1,676	\$2.06
900 Willow	1BR-1BA	735	\$1,514	\$2.06
Aura Fifty4	1BR-1BA	754	\$1,550	\$2.06
Atlas Blue Hill	1BR-2BA, TH	1,449	\$2,906	\$2.01
Atlas Blue Hill	1BR-1BA	1,223	\$2,397	\$1.96
Bell Chapel Hill	1BR-1BA	924	\$1,797	\$1.94
Aura Fifty4	1BR-1BA	756	\$1,439	\$1.90
Aura Fifty4	1BR-1BA	1,065	\$1,957	\$1.84
Aura Fifty4	1BR-1BA	1,033	\$1,891	\$1.83
Aura Fifty4	1BR-1BA	1,293	\$2,228	\$1.72
Atlas Blue Hill	1BR-1BA, TH	1,396	\$2,340	\$1.68
Atlas Blue Hill	1BR-1BA, TH	1,643	\$2,639	\$1.61
TOTAL / AVG		810	\$1,815	\$2.30

## TWO BEDROOM

### RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	2BR-3BA, TH	2,139	\$3,800	\$1.78
Overture Chapel Hill (55+)	2BR-2BA	1,365	\$3,628	\$2.66
Overture Chapel Hill (55+)	2BR-2BA	1,341	\$3,468	\$2.59
Overture Chapel Hill (55+)	2BR-2BA	1,288	\$3,381	\$2.63
Overture Chapel Hill (55+)	2BR-2BA	1,288	\$3,381	\$2.63
900 Willow	2BR-2BA	1,163	\$3,149	\$2.71
Atlas Blue Hill	2BR-2BA	1,505	\$3,106	\$2.06
Aura Fifty4	2BR-2BA	1,507	\$3,091	\$2.05
Overture Chapel Hill (55+)	2BR-2BA	1,233	\$3,025	\$2.45
Aura Fifty4	2BR-2BA	1,615	\$3,004	\$1.86
900 Willow	2BR-2BA	1,195	\$2,970	\$2.49
900 Willow	2BR-2BA	1,170	\$2,952	\$2.52
900 Willow	2BR-2BA	1,177	\$2,870	\$2.44
900 Willow	2BR-2BA	1,103	\$2,855	\$2.59
Overture Chapel Hill (55+)	2BR-2BA	1,205	\$2,834	\$2.35
Overture Chapel Hill (55+)	2BR-2BA	1,141	\$2,826	\$2.48
Aura Fifty4	2BR-2BA	1,450	\$2,716	\$1.87
Overture Chapel Hill (55+)	2BR-2BA	1,036	\$2,700	\$2.61
Overture Chapel Hill (55+)	2BR-2BA	1,051	\$2,548	\$2.42
Overture Chapel Hill (55+)	2BR-2BA	1,016	\$2,517	\$2.48
Overture Chapel Hill (55+)	2BR-2BA	1,215	\$2,495	\$2.05
900 Willow	2BR-2BA	1,039	\$2,473	\$2.38
Bell Chapel Hill	2BR-2BA	1,104	\$2,447	\$2.22
Overture Chapel Hill (55+)	2BR-2BA	1,061	\$2,432	\$2.29
Aura Fifty4	2BR-2BA	1,408	\$2,427	\$1.72
Bell Chapel Hill	2BR-2BA	1,435	\$2,405	\$1.68
Overture Chapel Hill (55+)	2BR-2BA	1,178	\$2,382	\$2.02
Aura Fifty4	2BR-2BA	1,291	\$2,366	\$1.83
900 Willow	2BR-2BA	1,129	\$2,330	\$2.06
Atlas Blue Hill	2BR-2BA	1,173	\$2,322	\$1.98
Atlas Blue Hill	2BR-2BA	1,176	\$2,280	\$1.94
The Hartley at Blue Hill	2BR-2BA	1,133	\$2,266	\$2.00
900 Willow	2BR-2BA	1,003	\$2,240	\$2.23

### RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
900 Willow	2BR-2BA	1,163	\$3,149	\$2.71
Overture Chapel Hill (55+)	2BR-2BA	1,365	\$3,628	\$2.66
Overture Chapel Hill (55+)	2BR-2BA	1,288	\$3,381	\$2.63
Overture Chapel Hill (55+)	2BR-2BA	1,036	\$2,700	\$2.61
900 Willow	2BR-2BA	1,103	\$2,855	\$2.59
Overture Chapel Hill (55+)	2BR-2BA	1,341	\$3,468	\$2.59
900 Willow	2BR-2BA	1,170	\$2,952	\$2.52
900 Willow	2BR-2BA	1,195	\$2,970	\$2.49
Overture Chapel Hill (55+)	2BR-2BA	1,016	\$2,517	\$2.48
Overture Chapel Hill (55+)	2BR-2BA	1,141	\$2,826	\$2.48
Overture Chapel Hill (55+)	2BR-2BA	1,233	\$3,025	\$2.45
900 Willow	2BR-2BA	1,177	\$2,870	\$2.44
Overture Chapel Hill (55+)	2BR-2BA	1,051	\$2,548	\$2.42
900 Willow	2BR-2BA	1,039	\$2,473	\$2.38
Overture Chapel Hill (55+)	2BR-2BA	1,205	\$2,834	\$2.35
Overture Chapel Hill (55+)	2BR-2BA	1,061	\$2,432	\$2.29
900 Willow	2BR-2BA	1,003	\$2,240	\$2.23
Bell Chapel Hill	2BR-2BA	1,104	\$2,447	\$2.22
Atlas Blue Hill	2BR-2BA	1,505	\$3,106	\$2.06
900 Willow	2BR-2BA	1,129	\$2,330	\$2.06
Overture Chapel Hill (55+)	2BR-2BA	1,215	\$2,495	\$2.05
Aura Fifty4	2BR-2BA	1,507	\$3,091	\$2.05
Overture Chapel Hill (55+)	2BR-2BA	1,178	\$2,382	\$2.02
The Hartley at Blue Hill	2BR-2BA	1,133	\$2,266	\$2.00
Atlas Blue Hill	2BR-2BA	1,173	\$2,322	\$1.98
Link Apartments Linden	2BR-2BA	1,107	\$2,180	\$1.97
Link Apartments Linden	2BR-2BA	1,052	\$2,057	\$1.96
Bell Chapel Hill	2BR-2BA	1,076	\$2,098	\$1.95
Atlas Blue Hill	2BR-2BA	1,176	\$2,280	\$1.94
Aura Fifty4	2BR-2BA	1,154	\$2,225	\$1.93
Atlas Blue Hill	2BR-2BA	1,132	\$2,178	\$1.92
Bell Chapel Hill	2BR-2BA	1,086	\$2,070	\$1.91

## TWO BEDROOM (CONTINUED)

### RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Aura Fifty4	2BR-2BA	1,396	\$2,228	\$1.60
Aura Fifty4	2BR-2BA	1,154	\$2,225	\$1.93
Atlas Blue Hill	2BR-2BA	1,179	\$2,218	\$1.88
Atlas Blue Hill	2BR-2BA	1,264	\$2,203	\$1.74
Link Apartments Linden	2BR-2BA	1,107	\$2,180	\$1.97
Atlas Blue Hill	2BR-2BA	1,132	\$2,178	\$1.92
Bell Chapel Hill	2BR-2BA	1,147	\$2,152	\$1.88
Aura Fifty4	2BR-2BA	1,257	\$2,100	\$1.67
Bell Chapel Hill	2BR-2BA	1,076	\$2,098	\$1.95
Aura Fifty4	2BR-2BA	1,209	\$2,078	\$1.72
Bell Chapel Hill	2BR-2BA	1,086	\$2,070	\$1.91
Link Apartments Linden	2BR-2BA	1,052	\$2,057	\$1.96
Bell Chapel Hill	2BR-2BA	1,092	\$2,002	\$1.83
Aura Fifty4	2BR-2BA	1,132	\$1,997	\$1.76
Bell Chapel Hill	2BR-2BA	1,095	\$1,992	\$1.82
Bell Chapel Hill	2BR-2BA	1,073	\$1,962	\$1.83
Aura Fifty4	2BR-2BA	1,187	\$1,919	\$1.62
Link Apartments Linden	2BR-2BA	1,036	\$1,904	\$1.84
Aura Fifty4	2BR-2BA	1,125	\$1,903	\$1.69
Aura Fifty4	2BR-2BA	1,155	\$1,800	\$1.56
TOTAL / AVG		1,212	\$2,492	\$2.07

### RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	2BR-2BA	1,179	\$2,218	\$1.88
Bell Chapel Hill	2BR-2BA	1,147	\$2,152	\$1.88
Aura Fifty4	2BR-2BA	1,450	\$2,716	\$1.87
Aura Fifty4	2BR-2BA	1,615	\$3,004	\$1.86
Link Apartments Linden	2BR-2BA	1,036	\$1,904	\$1.84
Bell Chapel Hill	2BR-2BA	1,092	\$2,002	\$1.83
Aura Fifty4	2BR-2BA	1,291	\$2,366	\$1.83
Bell Chapel Hill	2BR-2BA	1,073	\$1,962	\$1.83
Bell Chapel Hill	2BR-2BA	1,095	\$1,992	\$1.82
Atlas Blue Hill	2BR-3BA, TH	2,139	\$3,800	\$1.78
Aura Fifty4	2BR-2BA	1,132	\$1,997	\$1.76
Atlas Blue Hill	2BR-2BA	1,264	\$2,203	\$1.74
Aura Fifty4	2BR-2BA	1,408	\$2,427	\$1.72
Aura Fifty4	2BR-2BA	1,209	\$2,078	\$1.72
Aura Fifty4	2BR-2BA	1,125	\$1,903	\$1.69
Bell Chapel Hill	2BR-2BA	1,435	\$2,405	\$1.68
Aura Fifty4	2BR-2BA	1,257	\$2,100	\$1.67
Aura Fifty4	2BR-2BA	1,187	\$1,919	\$1.62
Aura Fifty4	2BR-2BA	1,396	\$2,228	\$1.60
Aura Fifty4	2BR-2BA	1,155	\$1,800	\$1.56
TOTAL / AVG		1,212	\$2,492	\$2.07

## THREE BEDROOM

### RANKED BY RENT PER UNIT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	3BR-2BA	2,331	\$6,693	\$2.87
Atlas Blue Hill	3BR-3BA, TH	2,264	\$4,952	\$2.19
Atlas Blue Hill	3BR-2BA	1,716	\$3,532	\$2.06
Atlas Blue Hill	3BR-2BA	1,462	\$2,962	\$2.03
The Hartley at Blue Hill	3BR-2BA	1,495	\$2,833	\$1.89
TOTAL / AVG		1,854	\$4,194	\$2.21

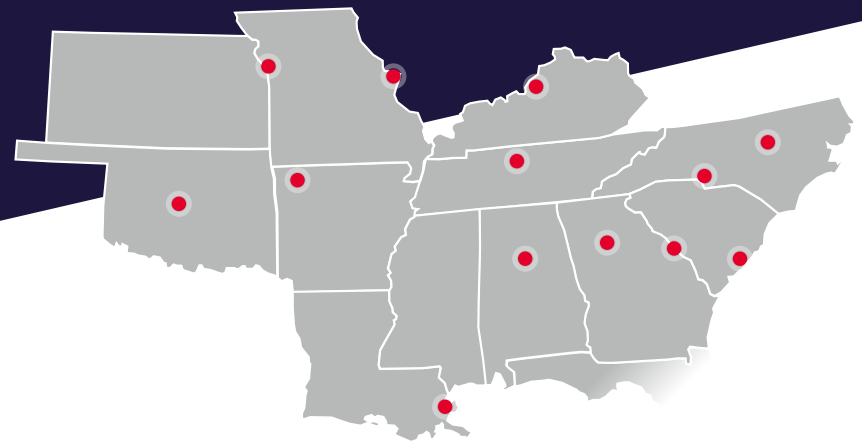
### RANKED BY RENT PER SQUARE FOOT

PROPERTY	UNIT TYPE	SIZE (SF)	MKT. RENT	RENT /SF
Atlas Blue Hill	3BR-2BA	2,331	\$6,693	\$2.87
Atlas Blue Hill	3BR-3BA, TH	2,264	\$4,952	\$2.19
Atlas Blue Hill	3BR-2BA	1,716	\$3,532	\$2.06
Atlas Blue Hill	3BR-2BA	1,462	\$2,962	\$2.03
The Hartley at Blue Hill	3BR-2BA	1,495	\$2,833	\$1.89
TOTAL / AVG		1,854	\$4,194	\$2.21



# SUNBELT MULTIFAMILY ADVISORY GROUP

80 TEAM MEMBERS  
38 ADVISORS  
13 STATES



**#1**  
Sunbelt  
Market Share\*



**\$6B**  
2025 Total  
Sales Volume



**175**  
Deals Closed  
in 2025



**32K**  
Units Sold  
in 2025

## / SUNBELT INSTITUTIONAL

**ROBERT STICKEL**  
Executive Vice Chair

**ALEX BROWN**  
Vice Chair

**ASHLYN WARREN**  
Senior Director

**MICHAEL KAY**  
Director

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**PARKER CALDWELL**  
Senior Director

**ALEX BROWN**  
Vice Chair

**ROBERT YATES**  
Director

**TYLER MAYO**  
Executive Director

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Executive Vice Chair

**TRAVIS PRESNELL**  
Exec. Managing Director

**NATHAN SWENSON**  
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**WESLEY KENNEY**  
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Senior Director  
Commercial Kentucky Inc.

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Executive Vice Chair

**LARRY SCHEDLER**  
Principal, Larry G.  
Schedler & Associates

**CHRISTIAN SCHEDLER**  
Principal, Larry G.  
Schedler & Associates



\* CoStar broker-attributed 2025 sales in AL, AR, FL, GA, KS, KY, LA, MO, MS, NC, OK, SC & TN



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# CUSHMAN & WAKEFIELD NATIONAL MULTIFAMILY ADVISORY GROUP

## INVESTMENT SALES

### / SUNBELT

Atlanta  
Augusta  
Birmingham  
Charleston  
Charlotte  
Louisville  
Nashville  
New Orleans  
Oklahoma City  
Raleigh  
Rogers

### / WEST

Albuquerque  
Boise  
Colorado Springs  
Denver  
Las Vegas  
Los Angeles  
Phoenix  
Portland  
Reno  
Sacramento  
Salt Lake City  
San Diego  
San Francisco  
Seattle

### / MIDWEST

Chicago  
Cincinnati  
Columbus  
Detroit  
Indianapolis  
Kansas City  
Minneapolis  
St. Louis

### / TEXAS

Austin  
Dallas  
Houston  
San Antonio

### / NORTHEAST

Baltimore  
Boston  
Newark  
New York  
Philadelphia  
Pittsburgh  
Stamford  
Washington, DC

### / FLORIDA

Fort Lauderdale  
Jacksonville  
Miami  
Orlando  
Tampa

## EQUITY, DEBT & STRUCTURED FINANCE

- Sunbelt
- Florida
- Midwest
- Northeast
- Texas
- West

Agency Financing Made Possible Through  
Greystone Servicing, LLC

## ALTERNATIVE ASSET TYPES

- Affordable Housing
- Land
- Manufactured Housing
- Seniors Housing
- Single-Family Rentals / Build to Rent
- Student Housing



For more information about Leigh Village Center, visit [multifamily.cushwake.com](https://multifamily.cushwake.com)

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