



Home Inspection Report

5418 Park Heights Ave
Park Heights, MD 21215

Prepared for: Charles Shelton

Inspected by:
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Blue Crab Inspections



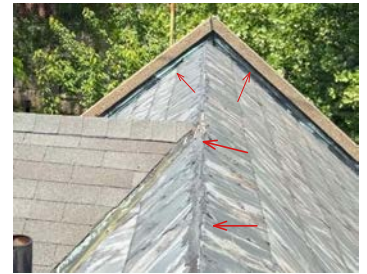


Marginal Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Roof

1. Main Roof Surface Material: Slate - Cracked sealant noted throughout. A qualified roofing contractor is recommended to evaluate and estimate repairs.



2. Downspouts: Metal - Loose sections of downspout noted, recommend securing. A qualified contractor is recommended to evaluate and estimate repairs.



3. Leader/Extension: Missing - Roof drainage system is discharging next to home. Recommend extending runoff drains to move water away from foundation. A qualified contractor is recommended to evaluate and estimate repairs.



4. Center Chimney Flue/Flue Cap: Metal - Corrosion noted around the cap and covering. A qualified contractor is recommended to evaluate and estimate repairs





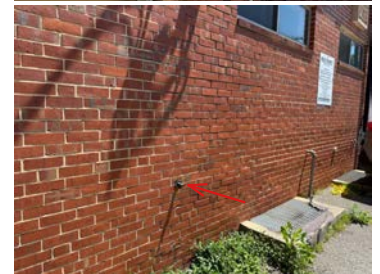
Marginal Summary (Continued)

Exterior Surface and Components

5. Fascia: Metal, Wood - Loose sections noted, recommend securing. A qualified contractor is recommended to evaluate and estimate repairs.



6. Hose Bibs: Present - Missing handle, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.



Lots and Grounds

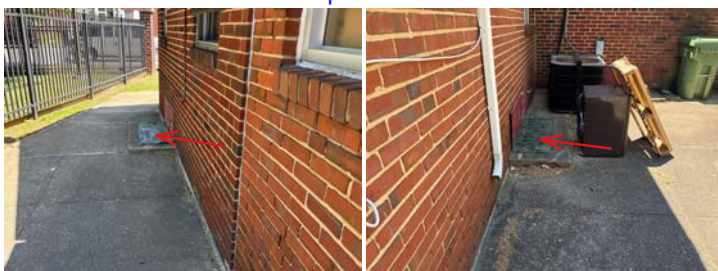
7. Grading: Negative Slope - Improper slope towards foundation, recommend improving grade to move water away from the house. A qualified contractor is recommended to evaluate and estimate repairs.



8. Vegetation: Vines - Vines are growing up the structure. Recommend removing vines from house structure. A qualified contractor is recommended to evaluate and estimate repairs.



9. Window Wells: Covered - Covers were torn, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.





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Marginal Summary (Continued)

10. Sewer Cleanout: Not Visible - No exterior sewer cleanout was visible at the time of inspection. Recommend further investigation into whether the existence of a sewer cleanout is present or missing. If no sewer cleanout is present, recommend proper access be installed.
11. Basement Stairwell: Masonry - Railings missing at the basement stairwell, recommend installing. Undersized supports noted at roof covering. A qualified contractor is recommended to evaluate and estimate repairs.

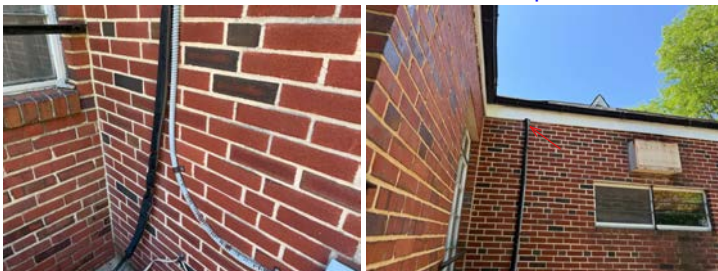


Air Conditioning

12. Right Side AC System A/C System Operation: Functional - The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.



13. Right Side AC System Refrigerant Lines: Suction/Liquid Line - Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.



14. Right Side AC System Electrical Disconnect: Pull out - Corrosion noted on conduit. Recommend evaluation by a licensed electrician.





Marginal Summary (Continued)

15. Rear Left AC System A/C System Operation: Functional - The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.



16. Rear Left AC System Condensate Removal: Plastic - Condensate line discharges next to the structure, recommend adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



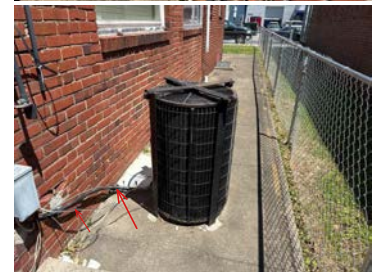
17. Rear Left AC System Refrigerant Lines: Suction/Liquid Line - Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.



18. Rear Left AC System Electrical Disconnect: Pull out - Missing cover, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.



19. Left Front AC System Refrigerant Lines: Suction/Liquid Line - Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.

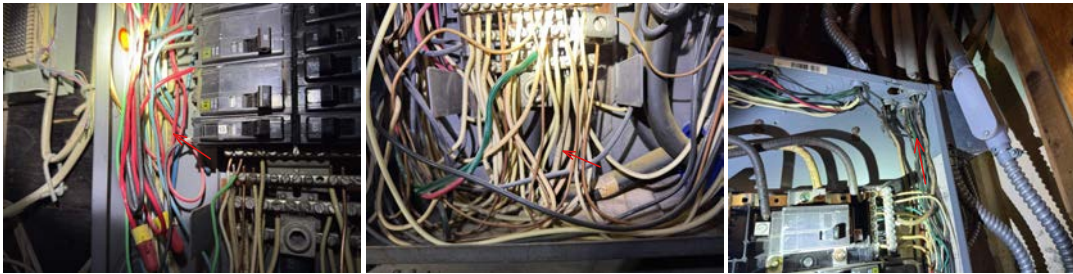




Marginal Summary (Continued)

Electrical

20. Conductor Type: Cloth, Non-Metallic Sheathed Cable - Cloth wiring noted throughout, recommend updating. Evaluation by a licensed electrician is recommended.



Heating System

21. Basement Center Heating System Distribution: Duct Work - Gaps noted in the ducts. A qualified heating system contractor is recommended to evaluate and estimate repairs.



22. Basement Rear Heating System Flue Pipe: Metal - Staining and evidence of potential past leak at connection. A qualified contractor is recommended to evaluate and estimate repairs.



Plumbing

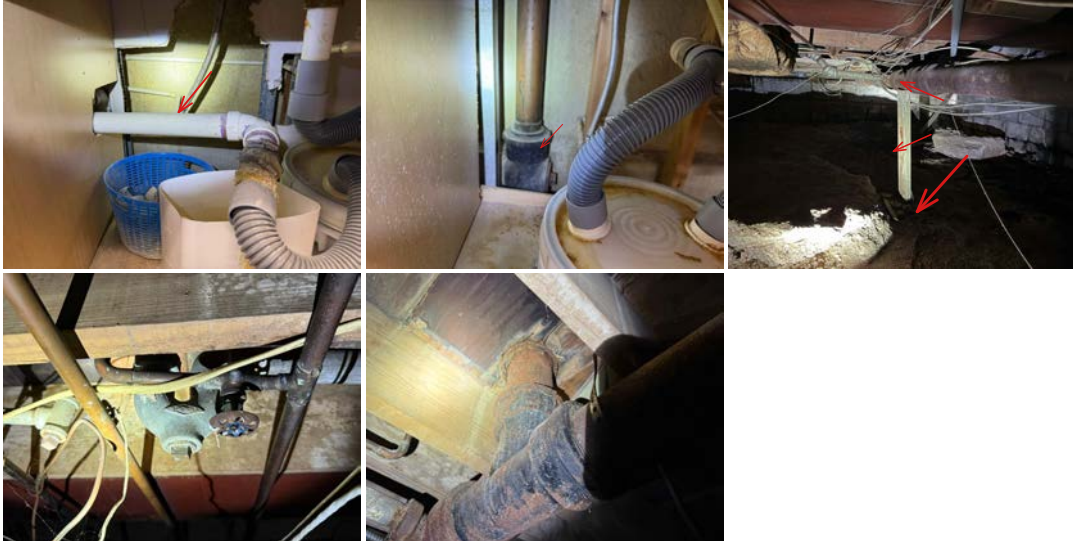
23. Drain Pipes: Plastic, Metal - Large amount of debris inside the drains, recommend cleaning. Evidence of past leaking noted. Slow drain noted, recommend repair. Due to the age and nature of metal drain piping, a sewer scope is recommended. Galvanized steel piping observed in use. Galvanized steel piping corrodes from inside causing decreased flow-rates and will eventually require updating. Improper support and support was loose. Evidence of previous leak noted. A licensed plumber is recommended to evaluate and estimate repairs.





Plumbing (Continued)

Drain Pipes: (continued)



24. Sewer Cleanout Location Rear Of Basement - Evidence of previous repair noted, recommend further investigation. A licensed plumber is recommended to evaluate and estimate repairs.



25. Exterior Hose Bib Shut Off Location: Not Visible
- Unable to locate interior hose bib shut off locations, recommend verifying. A qualified contractor is recommended to evaluate and estimate repair.
26. Sump Pump: Functional - Both sump pits were dry, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



27. Basement Rear Water Heater Water Heater Operation: Functional - Missing expansion tank, recommend installing. A licensed plumber is recommended to evaluate and estimate repairs.





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Marginal Summary (Continued)

28. Basement Rear Water Heater TPRV and Drain Tube: Plastic - PVC is typically not rated for use in this role, recommend following manufactures installation guidance. A qualified contractor is recommended to evaluate and estimate repairs.



29. Basement Front Water Heater Water Heater Operation: Functional - Missing expansion tank, recommend installing. A licensed plumber is recommended to evaluate and estimate repairs.



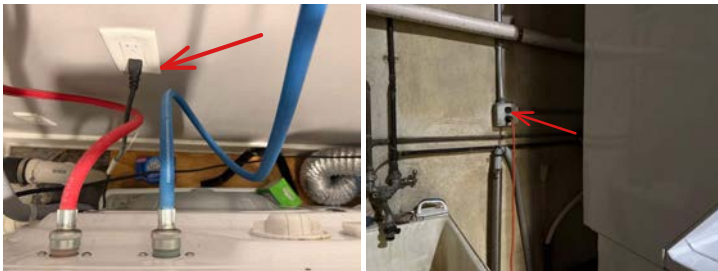
Structure

30. Structure Type: Wood Frame, Masonry - Multiple areas of the foundation and structure are not able to be fully inspected due to the installation of finished surfaces and personal belongings. A qualified contractor is recommended to evaluate and estimate repairs.



Laundry Room/Area

31. Basement Laundry Room/Area Electrical: Light(s) And Outlet(s) - Non-GFCI circuit, recommend GFCI circuit be installed. A licensed electrician is recommended to evaluate and estimate repairs.





Marginal Summary (Continued)

Bathroom

32. Front entrance Bathroom Doors: Wood - Door is striking frame, recommend trimming or adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



33. Office 4 bathroom Bathroom Walls: Paint - Crack(s) and damaged wall material noted, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.



34. Rear Left Bathroom Walls: Paint - Peeling material noted. A qualified contractor is recommended to evaluate and estimate repairs.



35. Rear Left Bathroom Counter/Cabinet: Present - Loose to the wall. A qualified contractor is recommended to evaluate and estimate repairs.



36. Rear Left Bathroom Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. Water damage around toilet. A qualified contractor is recommended to evaluate and estimate repairs.





Marginal Summary (Continued)

37. Break room Bathroom Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. A qualified contractor is recommended to evaluate and estimate repairs.



38. Basement Rear Bathroom Counter/Cabinet: Present - Countertop is loose from cabinet/wall, recommend it be secured. A qualified contractor is recommended to evaluate and estimate repairs.



39. Basement Rear Bathroom Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. Slow flush noted. A qualified contractor is recommended to evaluate and estimate repairs.



Living Space

40. Office 1 Living Space Ceiling: Paint - Crack(s) noted, recommend they be patched and or repaired. A qualified contractor is recommended to evaluate and estimate repairs.



41. Office 1 Living Space Doors: Wood - Door frame damage noted, recommend repair and replacement of damaged material. A qualified contractor is recommended to evaluate and estimate repairs.





Marginal Summary (Continued)

42. Office 4 Living Space Windows: Stationary, Metal - Window has missing components, recommend identifying and replacing/repairing. A qualified contractor is recommended to evaluate and estimate repairs.



43. Office 5 Living Space Doors: Wood - Door is sticking, recommend adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



44. Rear Hallway/Office spaces Living Space Ceiling: Paint - Evidence of previous repairs, recommend further investigation regarding why repairs were made.



Attic

45. Main Attic Roof Framing: Trusses - Multiple areas were not fully accessible to inspect and space constraints in multiple areas. A qualified contractor is recommended to evaluate and estimate repairs.



46. Main Attic Sheathing: Wood - Daylight visible. Recommend a qualified contractor to evaluate and estimate repairs.





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Marginal Summary (Continued)

47. Main Attic Insulation: Present - Insulation is compressed throughout. A qualified contractor is recommended to evaluate and estimate repairs.



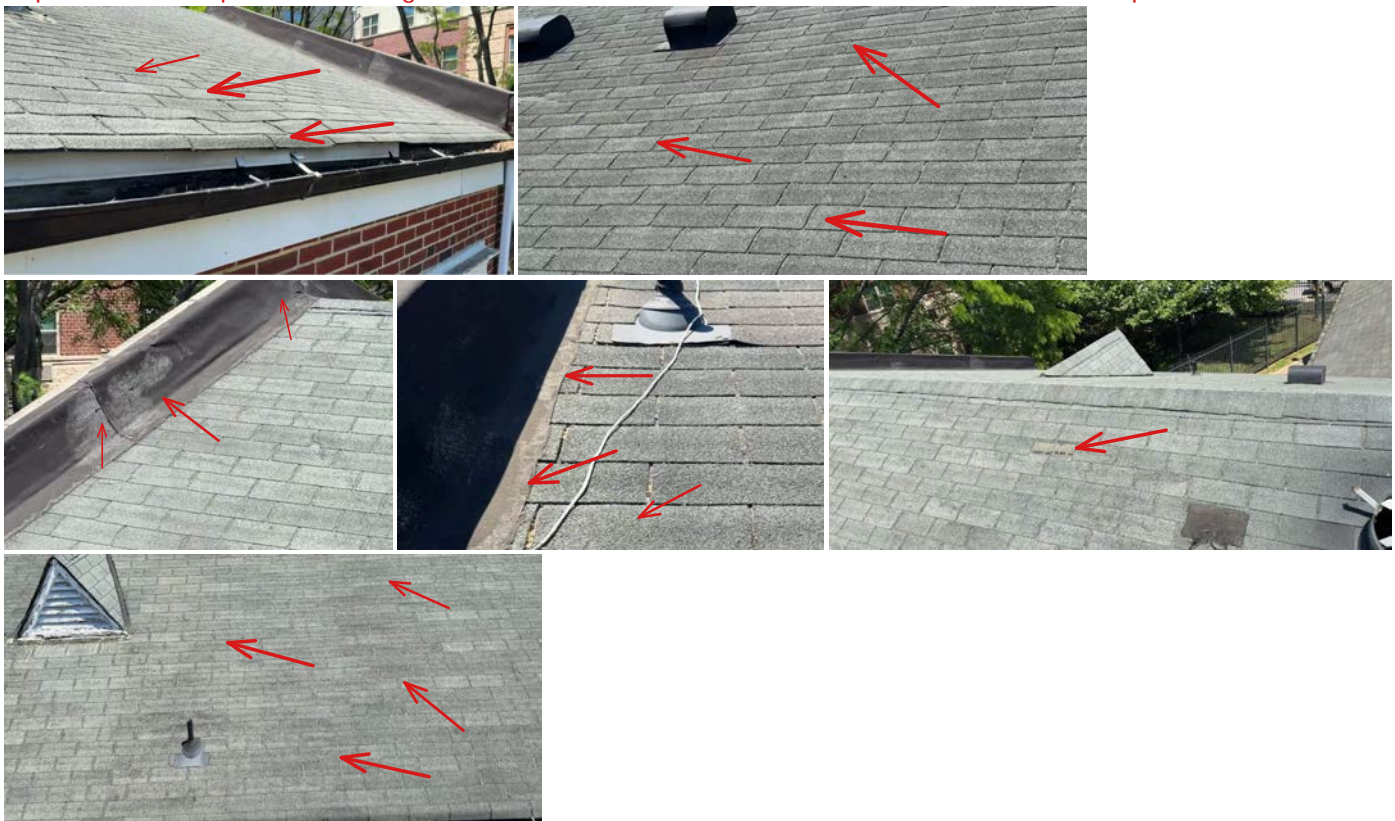


Defective Summary

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Roof

1. Rear and Left/Right Roof Surface Material: Asphalt Shingle, Rubber - **Soft and damaged area noted. Granule loss noted throughout the roofing surface, recommend further evaluation. Missing shingles and rubber material was not properly sealed on side walls. Roofing material is reaching average age expectancy, recommend budgeting for replacement. A qualified roofing contractor is recommended to evaluate and estimate repairs.**



2. Basement Cover Roof Surface Material: Rolled Roofing Material - **Cracked sealant and granule loss noted throughout. Roofing material is reaching average age expectancy, recommend budgeting for replacement. A qualified roofing contractor is recommended to evaluate and estimate repairs.**





Defective Summary (Continued)

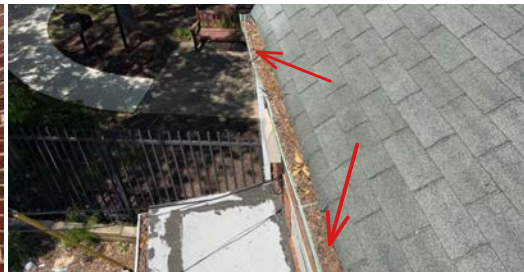
3. Flashing: Rubber, Metal, Missing - Missing drip edge flashing noted, recommend it be added. A qualified roofing contractor is recommended to evaluate and estimate repairs.



4. Vent Pipes: Plastic, Metal - Cracks in sealant around the vent penetration, recommend repair. Lifted vent boots noted, recommend repair. Evidence repairs noted around rear vent. A qualified contractor is recommended to evaluate and estimate repairs.



5. Gutters: Metal - Gutters were loose, sagging, and bent throughout. Large amount of debris present in multiple gutters. A qualified contractor is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

6. Rear Chimney Chimney: Masonry - Cracks present on the flue pipe, recommend repair. Cracks and damaged crown noted. A qualified contractor is recommended to evaluate and estimate repairs.



7. Center Chimney Chimney: Unknown/Roofing Material - Cracking noted on material throughout and the chimney was not properly flashed to the roof. A qualified contractor is recommended to evaluate and estimate repairs.



8. Center Chimney Chimney Flashing: Roofing Material - Improper flashing noted, recommend repair. A qualified contractor is recommended to evaluate and estimate repairs.



Exterior Surface and Components

9. Type: Metal - Step cracks noted in multiple areas and gaps in the mortar throughout the exterior, recommend repair. A qualified contractor is recommended to evaluate and estimate repairs.

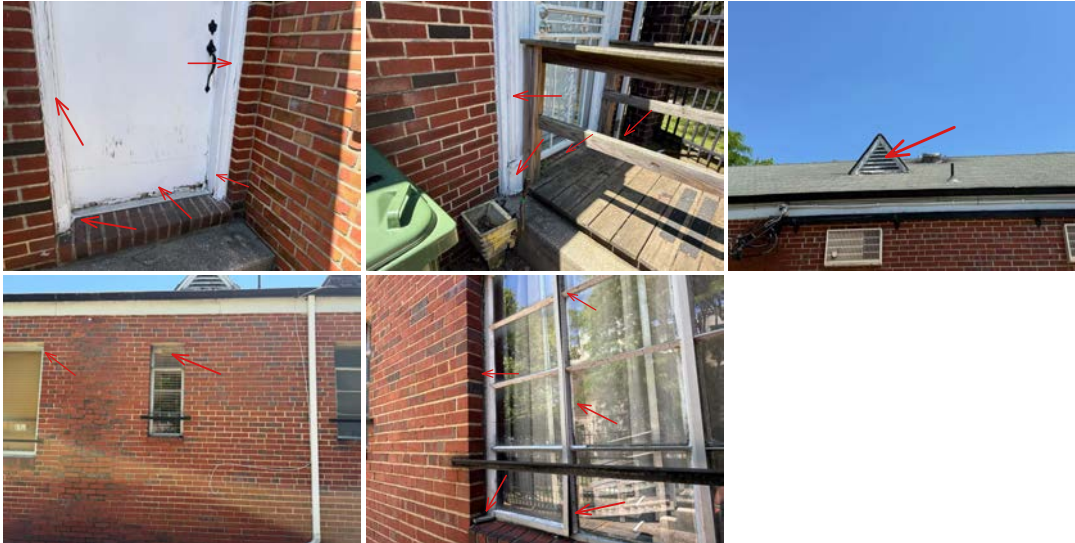


10. Trim: Metal, Wood - Wood rot present, recommend replacement of all deteriorated material. Wood rot may be present in other areas not visible. Corroded lintels present, recommend the areas be prepared and sealed. Gaps and cracks noted. Recommend filling all gaps and cracks throughout exterior of home to prevent moisture penetration. Recommend monitoring all exterior caulking. A qualified contractor is recommended to evaluate and estimate repairs.



Exterior Surface and Components (Continued)

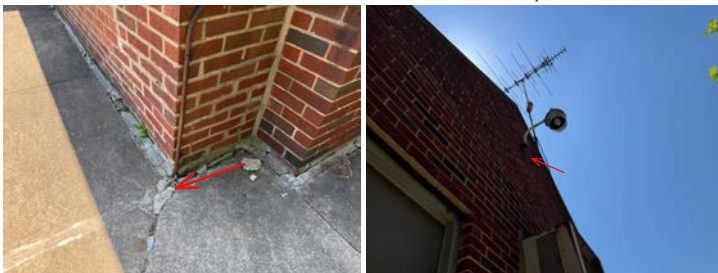
Trim: (continued)



11. Soffits: Wood - Water damage and deteriorated material present. A qualified contractor is recommended to evaluate and estimate repairs.



12. Exterior Lighting: Present - Cut in underground wiring. Exposed wiring noted. A qualified contractor is recommended to evaluate and estimate repairs.



Lots and Grounds

13. Walks: Present - Walkway is no longer level and a trip hazard is present. Cracks and gaps noted in multiple locations. A qualified contractor is recommended to evaluate and estimate repairs.





Lots and Grounds (Continued)

Walks: (continued)



14. Steps: Present - The ramp was not properly secured, loose posts/railings and deck boards, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.

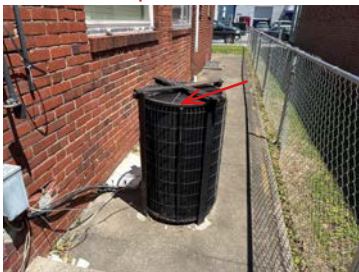


15. Porch: Present - Cracked and shifted material noted. Loose and corroded railing present. Gaps and cracks present in porch material. Recommend filling cracks and gaps to prevent moisture penetration. A qualified contractor is recommended to evaluate and estimate repairs.



Air Conditioning

16. Left Front AC System A/C System Operation: Not Functional - Unit did not function at time of inspection. Missing sections and corroded sections. The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

Electrical

17. Aluminum Wiring: Present - Aluminum wiring noted on 120v circuitry. Recommend evaluation of aluminum wiring by a licensed electrician.

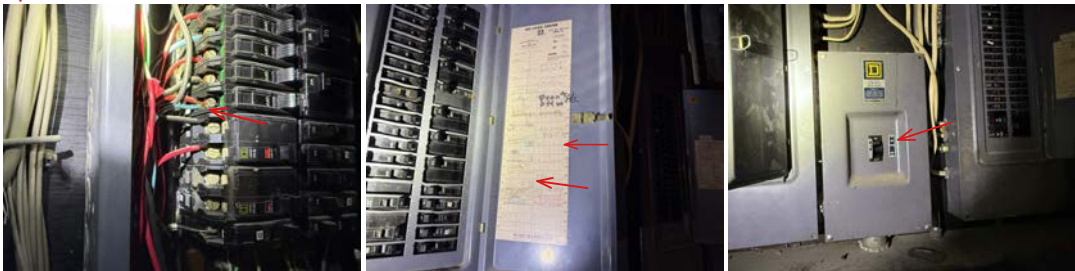


18. Smoke Detectors: Present - Missing on first floor. Smoke detectors were in use beyond their average life expectancies. Recommend having smoke detectors updated to be in compliant with State laws. A qualified contractor is recommended to evaluate and estimate repairs.



19. Carbon Monoxide Detectors: Not Present - Due to the presence of gas/oil appliances, it is recommended you install carbon monoxide detectors on all levels. A qualified contractor is recommended to evaluate and estimate repairs.

20. Basement Left Electric Panel Manufacturer: Square D - Double taps present. Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Unable to remove front panel for main shut off. Neutrals and grounds bonded together at subpanel installation. A licensed electrician is recommended to evaluate and estimate repairs.



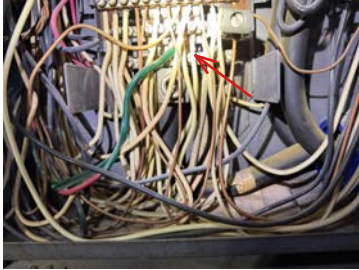
21. Basement Center Electric Panel Manufacturer: Square D - Double taps present. Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Corrosion present on and inside the panel. Neutrals and grounds bonded together at subpanel installation. A licensed electrician is recommended to evaluate and estimate repairs.



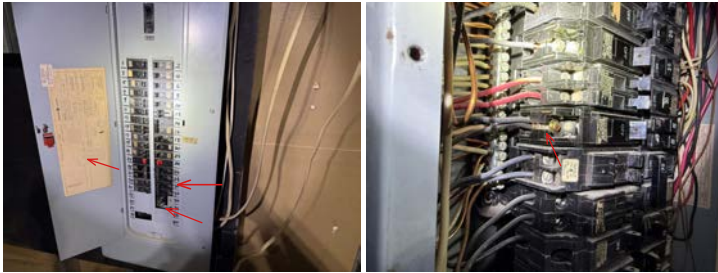


Electrical (Continued)

Manufacturer: (continued)



22. Basement Right Electric Panel Manufacturer: General Electric - Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Missing knock-out recommend replacing to cover opening. Double taps present. Multiple breakers were off at time of inspection. A licensed electrician is recommended to evaluate and estimate repairs.



23. Basement Front Electric Panel Manufacturer: Square D - Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. A licensed electrician is recommended to evaluate and estimate repairs.



Heating System

24. Basement Heating System Heating System Operation: Functional - Condensation line was leaking, recommend repair. Corrosion and debris noted throughout the interior. Flexible gas piping improperly penetrates the furnace cabinet. The unit is nearing the end of its expected average life expectancy, recommend budgeting for repair and or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.



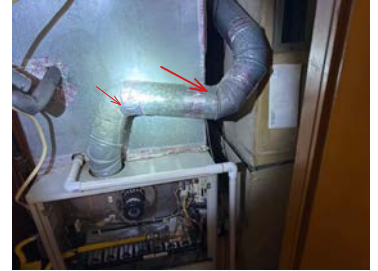


Defective Summary (Continued)

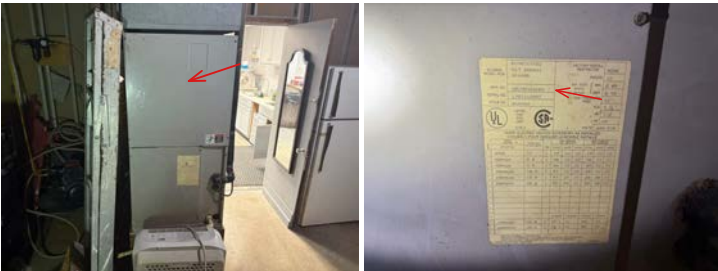
25. Basement Heating System Distribution: Duct Work - Evidence of potential biological growth noted on the ductwork, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



26. Basement Heating System Flue Pipe: Metal - The flue pipe improperly downturns, recommended adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



27. Basement Center Heating System Heating System Operation: Non-Functional - The system was off, recommend further evaluation. The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.



28. Basement Rear Heating System Heating System Operation: Non-Functional - Corrosion and evidence of potential past leak noted in multiple areas, recommend further evaluation. The system was off at time of inspection, recommend verifying function. Missing sediment drip leg on gas line. The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.





Heating System (Continued)

Heating System Operation: (continued)



29. Attic Heating System Heating System Operation: Functional - The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Corrosion and water staining noted around the furnace cabinet. A licensed HVAC contractor is recommended to evaluate and estimate repairs.



30. Attic Heating System Distribution: Duct Work - Separated and gaps in the ducts in the attic space. A qualified heating system contractor is recommended to evaluate and estimate repairs.



Plumbing

31. Service Line: Metal - Excessive condensation noted and pipes were not insulated throughout the crawl space. A licensed plumber is recommended to evaluate and estimate repairs.

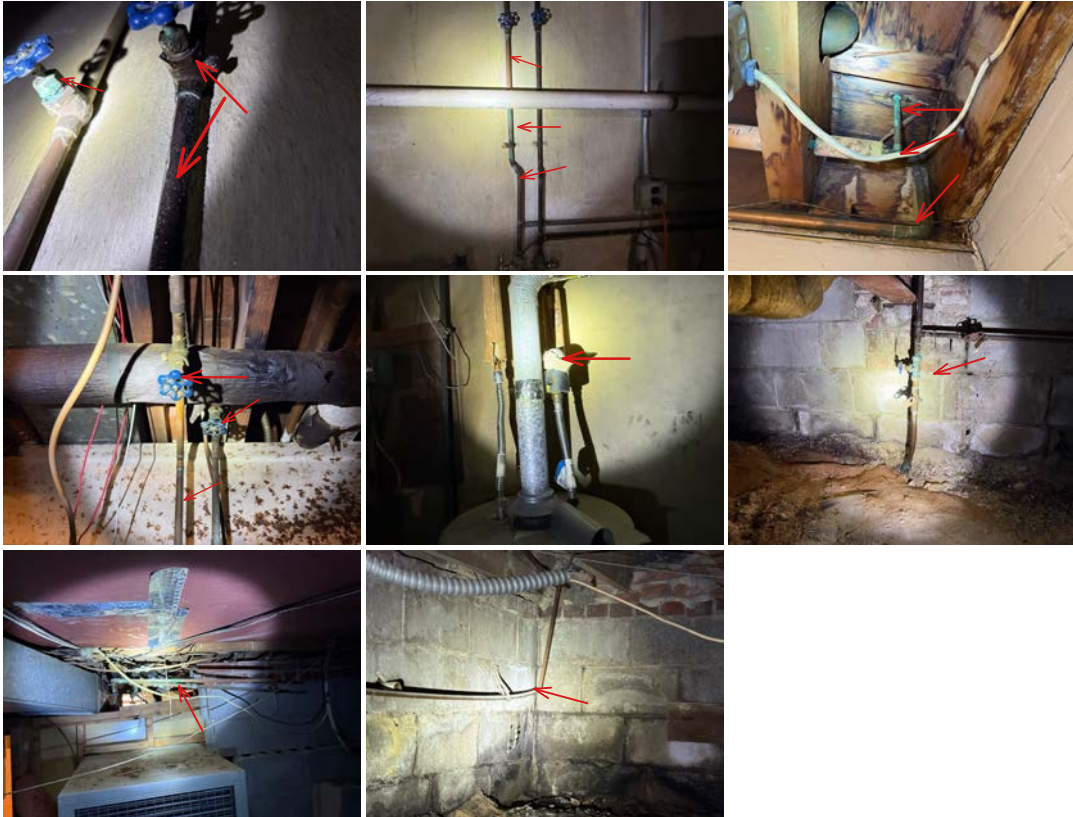


32. Water Lines: Plastic, Metal - Corrosion and evidence and past leaking noted at multiple lines and excessive amount of condensation noted. Unknown pipe wrap noted. Multiple abandoned plumbing lines throughout the crawl space, recommend further evaluation. Kinked line noted. A licensed plumber is recommended to evaluate and estimate repairs.



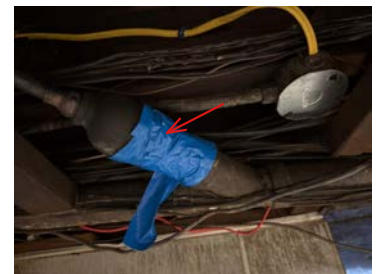
Plumbing (Continued)

Water Lines: (continued)



33. Fuel Shut Off: At Meter, Utility Room - **Unknown line making a hissing noise and improper repair noted, recommend further evaluation.**

34. Basement Rear Water Heater Flue Pipe: Present - **Flue piping was loose and improperly pitched. A qualified contractor is recommended to evaluate and estimate repairs.**





Defective Summary (Continued)

35. Basement Front Water Heater Flue Pipe: Metal - Piping was improperly taped. Gaps in flue piping chimney connection. Recommend sealing vent penetration into wall/chimney to prevent gases coming back into the home. A qualified contractor is recommended to evaluate and estimate repairs.

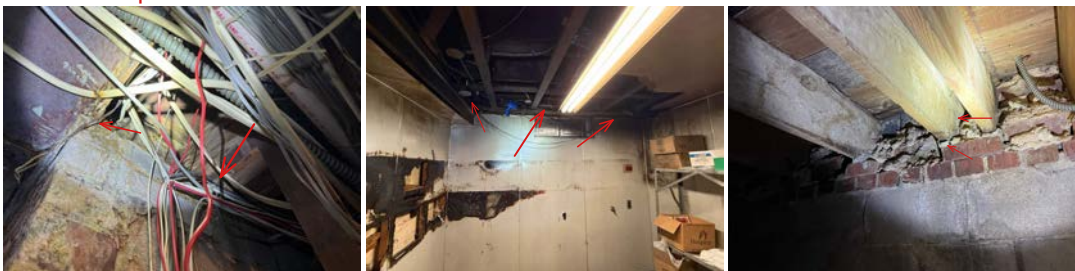


Structure

36. Foundation: Masonry - Center wall was pushed in. Excess erosion around the foundation and cracks in the block and mortar. Cracking noted at archway on sink floor. A qualified foundation contractor is recommended to evaluate and estimate repairs.



37. Joists/Trusses: Wood - Water and fire damage on multiple joists. Water damage noted on multiple joists and shims and bricks were loose throughout the crawl space. A qualified contractor is recommended to evaluate and estimate repairs.





Structure (Continued)

Joists/Trusses: (continued)



Basement

38. Main Basement Ceiling: Exposed Frame, Paneling - Moisture staining and fire damage noted in multiple areas, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



39. Main Basement Walls: Paint, Paneling, Exposed Framing - Moisture staining and fire damage noted in multiple areas, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



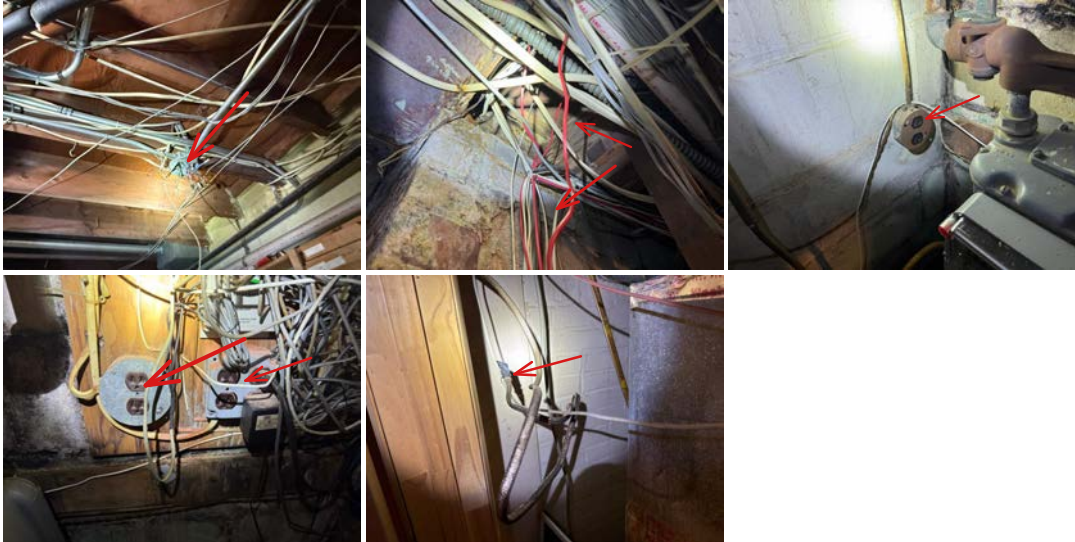
40. Main Basement Floor: Carpet, Tile - Damaged tile noted in multiple areas. Most 9x9 tile may contain asbestos fiber material. Recommend encapsulating to prevent damage to tile. A qualified contractor is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

41. Main Basement Electrical: Light(s) And Outlet(s) - Exposed and unsecured wiring noted. Two prong outlet, recommend updating. Corrosion noted on outlets. A licensed electrician is recommended to evaluate and estimate repairs.

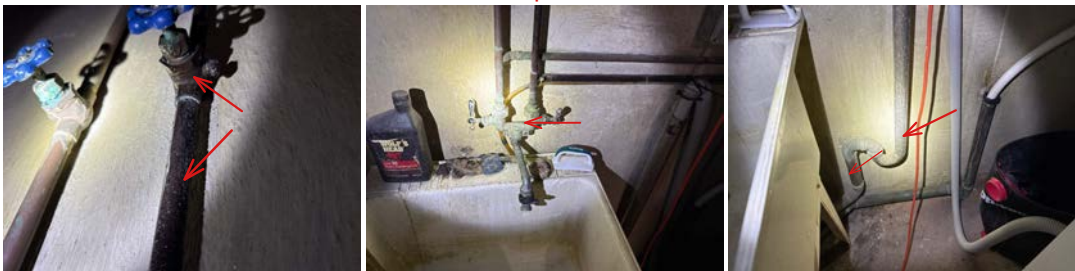


42. Main Basement Moisture Penetration: Present - Evidence of potential biological growth and moisture staining, recommend further testing and evaluation. Moisture penetration present in basement area. Recommend the source of the moisture penetration be identified and corrected. Moisture penetration may be present in other areas not visible. A qualified contractor is recommended to evaluate and estimate repairs.



Laundry Room/Area

43. Basement Laundry Room/Area Laundry Tub: present - Leaking and condensation on pipes. Corrosion noted on drain lines and improper drain piping configuration. The water was off to the bibs. A qualified contractor is recommended to evaluate and estimate repairs.





Laundry Room/Area (Continued)

Laundry Tub: (continued)

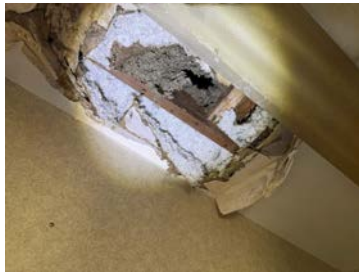
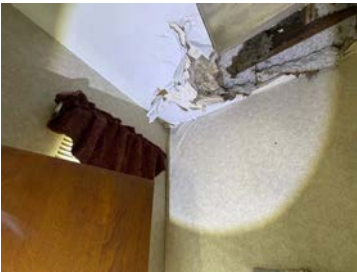


44. Basement Laundry Room/Area Dryer Vent: Metal Flex - Plastic dryer vent piping noted in use, plastic dryer vent piping is a known fire hazard. Recommend replacing plastic flex pipe. A qualified contractor is recommended to evaluate and estimate repairs.



Bathroom

45. Front entrance Bathroom Ceiling: Exposed Frame - Moisture damage identified in the restroom ceiling. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. Evidence of potential biological growth. Recommend further testing and evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



46. Front entrance Bathroom Walls: Wallpaper - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

47. Front entrance Bathroom Floor: Tile - Most 9x9 tile may contain asbestos fiber material. Recommend encapsulating to prevent damage to tile. Cracked tile(s) noted. A qualified contractor is recommended to evaluate and estimate repairs.



48. Front entrance Bathroom Windows: Metal, Stationary - Window sill has damaged material from moisture penetration, recommend repair and replacement of existing material. A qualified contractor is recommended to evaluate and estimate repairs.



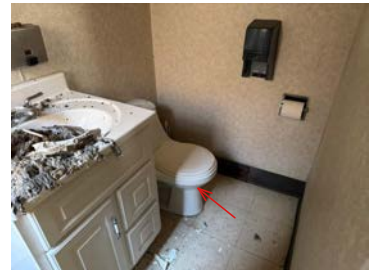
49. Front entrance Bathroom Electrical: Light(s) - Unable to operate electrical components due to current hazard. A licensed electrician is recommended to evaluate and estimate repairs.



50. Front entrance Bathroom Sink/Basin: Single Bowl - Due to insulation and damage the sink was not accessible to test. A qualified contractor is recommended to evaluate and estimate repairs.



51. Front entrance Bathroom Toilets: Present - Due to insulation and damage the toilet was not accessible to test. A qualified contractor is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

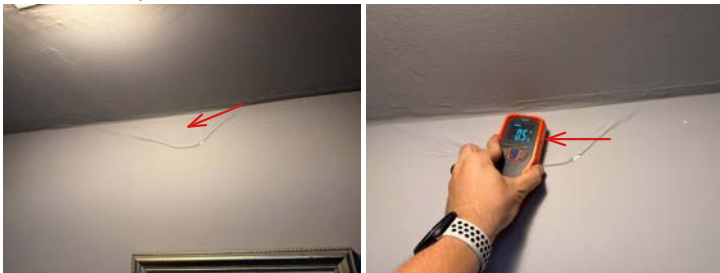
52. Rear Left Bathroom Electrical: Light(s) And Outlet(s) - **Non-GFCI circuit, recommend GFCI circuit be installed. A licensed electrician is recommended to evaluate and estimate repairs.**



53. Break room Bathroom Sink/Basin: Single Bowl - **Excessive corrosion noted under the sink. A qualified contractor is recommended to evaluate and estimate repairs.**



54. Basement Rear Bathroom Walls: Paint - **Moisture stain(s) noted, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected. Crack(s) noted, recommend they be patched during routine maintenance. A qualified contractor is recommended to evaluate and estimate repairs.**



55. Basement Rear Bathroom Sink/Basin: Single Bowl - **Leaking noted under the bathroom sink. Flexible drain piping is installed under sink. Flexible drain piping is more prone to leakage, recommend replacement with appropriate material. A qualified contractor is recommended to evaluate and estimate repairs.**



56. Basement Front Bathroom Floor: Tile, Vinyl - **Water damage on the flooring, recommend further investigation. A qualified contractor is recommended to evaluate and estimate repairs.**





Defective Summary (Continued)

57. Basement Front Bathroom Electrical: Light(s) - Light did not function, recommend change bulb and re-test. A qualified contractor is recommended to evaluate and estimate repairs.



58. Basement Front Bathroom Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. The tank is loose, recommend securing to prevent movement. A qualified contractor is recommended to evaluate and estimate repairs.



Living Space

59. Entryway Living Space Walls: Wallpaper - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.



60. Entryway Living Space Windows: Metal, Stationary - Wood rot present in wood window, recommend repair or replacement. A qualified contractor is recommended to evaluate and estimate repairs.



61. Front sitting Room Living Space Walls: Paneling - Moisture stain(s) noted, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected.





Defective Summary (Continued)

62. Front sitting Room Living Space Windows: Metal, Stationary - Cracks in windows noted, recommend replacement. A qualified contractor is recommended to evaluate and estimate repairs.



63. Front sitting Room Living Space Electrical: Light(s) And Outlet(s) - Recommend replacing two prong outlets with grounded three prong outlets. A licensed electrician is recommended to evaluate and estimate repairs.



64. Front sitting Room Living Space HVAC Source: Present - Window AC noted, area around unit has damaged material present. A qualified contractor is recommended to evaluate and estimate repairs.



65. Office 1 Living Space Walls: Wallpaper - Moisture damage present throughout the space, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.



66. Office 1 Living Space Floor: Carpet - Loose/torn carpeting noted throughout the property, recommend addressing the affected areas to prevent hazards. A qualified contractor is recommended to evaluate and estimate repairs.





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Defective Summary (Continued)

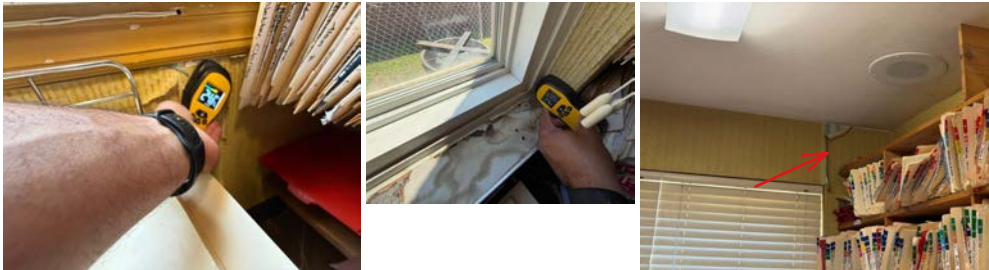
67. Office 1 Living Space Windows: Stationary, Metal - **Damaged window sill noted throughout the property, recommend addressing the cause and conducting repairs as needed. A qualified contractor is recommended to evaluate and estimate repairs.**



68. Office 1 Living Space Electrical: Light(s) And Outlet(s) - **Two prong outlets are present throughout the property Recommend replacing all two prong outlets with grounded three prong outlets to ensure safety and proper function. A licensed electrician is recommended to evaluate and estimate repairs.**



69. Office 2 Living Space Walls: Wallpaper - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**



70. Office 3 Living Space Walls: Wallpaper - **Moisture damage present throughout the space, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.**



71. Office 4 Living Space Ceiling: Paint - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**



72. Office 5 Living Space Walls: Paint - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**



Living Space (Continued)

Walls: (continued)



73. Office 5 Living Space Electrical: Light(s) And Outlet(s) - Reversed polarity noted at outlet. A licensed electrician is recommended to evaluate and estimate repairs.



74. Office 6 Living Space Ceiling: Paint - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.



75. Office 6 Living Space Electrical: Light(s) And Outlet(s) - Open grounds noted at three prong outlets in multiple areas throughout the property. A licensed electrician is recommended to evaluate and estimate repairs.



76. Office 7 Living Space Electrical: Light(s) And Outlet(s) - Open grounds noted at three prong outlets. A licensed electrician is recommended to evaluate and estimate repairs.





Defective Summary (Continued)

77. Rear Hallway/Office spaces Living Space Electrical: Light(s) And Outlet(s) - **Open grounds noted at three prong outlets. A qualified contractor is recommended to evaluate and estimate repairs.**



Attic

78. Main Attic Ventilation: Fan - **Limited ventilation, recommend adding additional venting. Fan was not functioning and attic was excessively hot. A qualified contractor is recommended to evaluate and estimate repairs.**



79. Main Attic Wiring/Lighting: Light(s) - **Exposed and unsecured wiring throughout. A qualified contractor is recommended to evaluate and estimate repairs.**



80. Main Attic Moisture Penetration: No Moisture Present At Time Of Inspection - **Moisture stain(s) noted throughout, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected. A qualified contractor is recommended to evaluate and estimate repairs.**



Crawl Space

81. Main Crawl Space Moisture Penetration: Present - **Water penetration noted. Potential biological growth noted in the crawl space. A qualified contractor is recommended to evaluate and estimate repairs.**



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Crawl Space (Continued)

Moisture Penetration: (continued)



82. Main Crawl Space Ventilation: Not Present - No ventilation present, recommend adding. A qualified contractor is recommended to evaluate and estimate repairs.

83. Main Crawl Space Insulation: Not Present - Missing insulation throughout. A qualified contractor is recommended to evaluate and estimate repairs.



84. Main Crawl Space Electrical: Wiring - Exposed, unsecured, and corrosion on wiring throughout. A licensed electrician is recommended to evaluate and estimate repairs.



85. Main Crawl Space HVAC Components: Present - Falling sections noted and missing insulation. A qualified contractor is recommended to evaluate and estimate repairs.





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Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

A	Acceptable	Functional with no obvious signs of defect.
NP	Not Present	Item not present or not found.
NI	Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
M	Marginal	Item is not fully functional and requires repair or servicing.
D	Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.

General Information

Property Information

Property Address: 5418 Park Heights Ave
City: Park Heights State: MD Zip: 21215
Contact Name: Natalie Mays

Client Information

Client Name: Charles Shelton
Phone: 410-905-3687
E-Mail: sass2324@verizon.net

Inspection Company

Inspector Name Luke Bunting
Company Name Blue Crab Inspections
Inspection Company E-Mail: Luke@bluecrabinspections.com
License Number: 34239

Conditions

Others Present: None Property Occupied: Occupied
Estimated Age: 1951 Entrance Faces: Northeast
Inspection Date: 2026-05-18
Start Time: 12:00 PM End Time: 3:30 PM
Electric On: Yes No Not Applicable
Gas/Oil On: Yes No Not Applicable
Water On: Yes No Not Applicable
Temperature: 95 Degrees F
Weather: Sunny Soil Conditions: Dry
Space Below Grade: Basement
Water Source: Public How Verified: Visual Inspection



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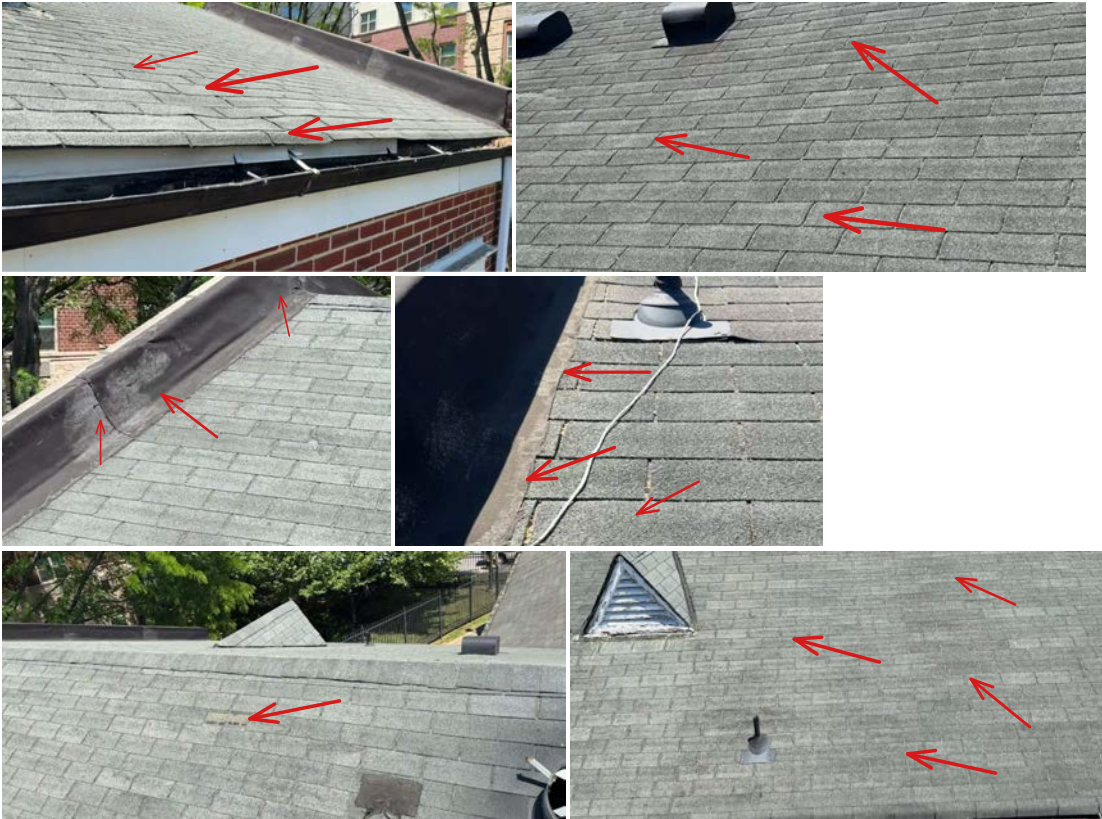
Roof

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the forgoing disclaimer. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Chimney flue inspection is limited due to height. The inspection covers only the visible portion of the flue.

A NPNI M D

Rear and Left/Right Roof Surface

1. Method of Inspection: Telescoping Pole With Camera, Ladder At Eaves
2. Material: Asphalt Shingle, Rubber - **Soft and damaged area noted. Granule loss noted throughout the roofing surface, recommend further evaluation. Missing shingles and rubber material was not properly sealed on side walls. Roofing material is reaching average age expectancy, recommend budgeting for replacement. A qualified roofing contractor is recommended to evaluate and estimate repairs.**



3. Type: Gable
4. Approximate Age: 15+ Years

Main Roof Surface

5. Method of Inspection: Telescoping Pole With Camera



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Roof (Continued)

- 6. Material: Slate - Cracked sealant noted throughout. A qualified roofing contractor is recommended to evaluate and estimate repairs.



- 7. Type: Gable
- 8. Approximate Age: Unknown

Basement Cover Roof Surface _____

- 9. Method of Inspection: Ladder At Eaves, Telescoping Pole With Camera

- 10. Material: Rolled Roofing Material - Cracked sealant and granule loss noted throughout. Roofing material is reaching average age expectancy, recommend budgeting for replacement. A qualified roofing contractor is recommended to evaluate and estimate repairs.



- 11. Type: Gable, Flat
- 12. Approximate Age: 10+ Years

- 13. Flashing: Rubber, Metal, Missing - Missing drip edge flashing noted, recommend it be added. A qualified roofing contractor is recommended to evaluate and estimate repairs.



- 14. Valleys: Closed, Open

- 15. Vent Pipes: Plastic, Metal - Cracks in sealant around the vent penetration, recommend repair. Lifted vent boots noted, recommend repair. Evidence repairs noted around rear vent. A qualified contractor is recommended to evaluate and estimate repairs.





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Roof (Continued)

Vent Pipes: (continued)



- 16. Skylights: Not Present
- 17. Electrical Mast: Surface Mount
- 18. Gutters: Metal - Gutters were loose, sagging, and bent throughout. Large amount of debris present in multiple gutters. A qualified contractor is recommended to evaluate and estimate repairs.



- 19. Downspouts: Metal - Loose sections of downspout noted, recommend securing. A qualified contractor is recommended to evaluate and estimate repairs.



- 20. Leader/Extension: Missing - Roof drainage system is discharging next to home. Recommend extending runoff drains to move water away from foundation. A qualified contractor is recommended to evaluate and estimate repairs.



Roof (Continued)

Leader/Extension: (continued)



Rear Chimney

21. Chimney: Masonry - Cracks present on the flue pipe, recommend repair. Cracks and damaged crown noted. A qualified contractor is recommended to evaluate and estimate repairs.



22. Flue/Flue Cap: Metal, Masonry
 23. Chimney Flashing: Metal, Roofing Material

Center Chimney

24. Chimney: Unknown/Roofing Material - Cracking noted on material throughout and the chimney was not properly flashed to the roof. A qualified contractor is recommended to evaluate and estimate repairs.



25. Flue/Flue Cap: Metal - Corrosion noted around the cap and covering. A qualified contractor is recommended to evaluate and estimate repairs



26. Chimney Flashing: Roofing Material - Improper flashing noted, recommend repair. A qualified contractor is recommended to evaluate and estimate repairs.





Exterior Surface and Components

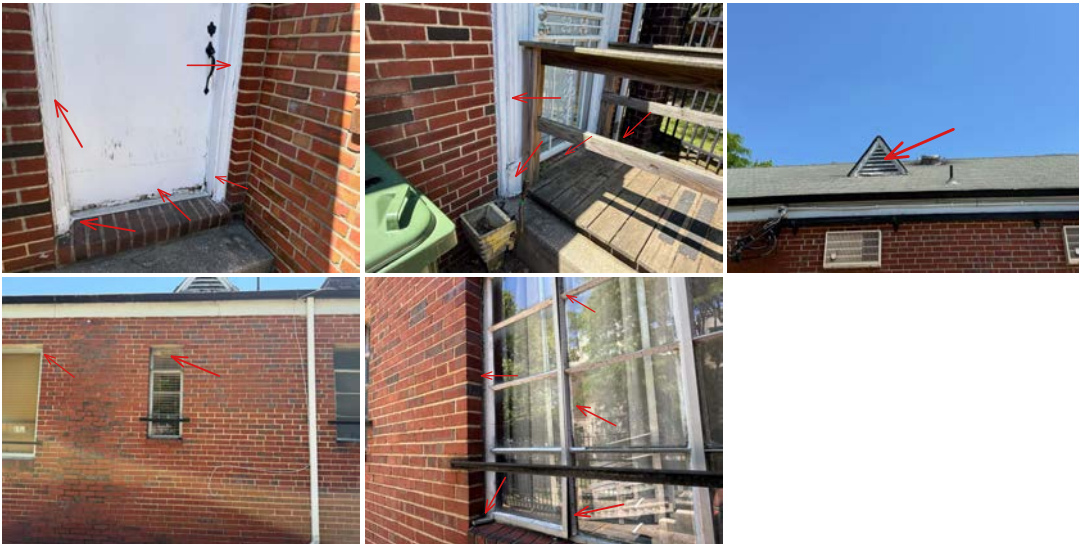
Areas hidden from view by finished walls or stored items cannot be evaluated and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process.

A NPNI M D

1. Type: Metal - **Step cracks noted in multiple areas and gaps in the mortar throughout the exterior, recommend repair. A qualified contractor is recommended to evaluate and estimate repairs.**



2. Trim: Metal, Wood - **Wood rot present, recommend replacement of all deteriorated material. Wood rot may be present in other areas not visible. Corroded lintels present, recommend the areas be prepared and sealed. Gaps and cracks noted. Recommend filling all gaps and cracks throughout exterior of home to prevent moisture penetration. Recommend monitoring all exterior caulking. A qualified contractor is recommended to evaluate and estimate repairs.**



3. Fascia: Metal, Wood - **Loose sections noted, recommend securing. A qualified contractor is recommended to evaluate and estimate repairs.**





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Exterior Surface and Components (Continued)

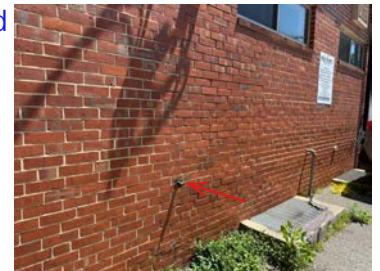
4. Soffits: Wood - **Water damage and deteriorated material present. A qualified contractor is recommended to evaluate and estimate repairs.**



5. Door Bell: Present
 6. Windows: Metal, Stationary, Vinyl
 7. Exterior Lighting: Present - **Cut in underground wiring. Exposed wiring noted. A qualified contractor is recommended to evaluate and estimate repairs.**



8. Exterior Electric: Not Visible
 9. Hose Bibs: Present - **Missing handle, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.**



Lots and Grounds

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground. Wood sidings should be a minimum of 6 above ground. Detection of the presence of concealed moisture, mold or wood decay present behind exterior finishes is beyond the scope of this inspection. Promote positive (+) drainage away from foundation and extend runoff from roofing and downspouts a minimum 6 ft from foundation.

A NPNI M D

1. Driveway: Present

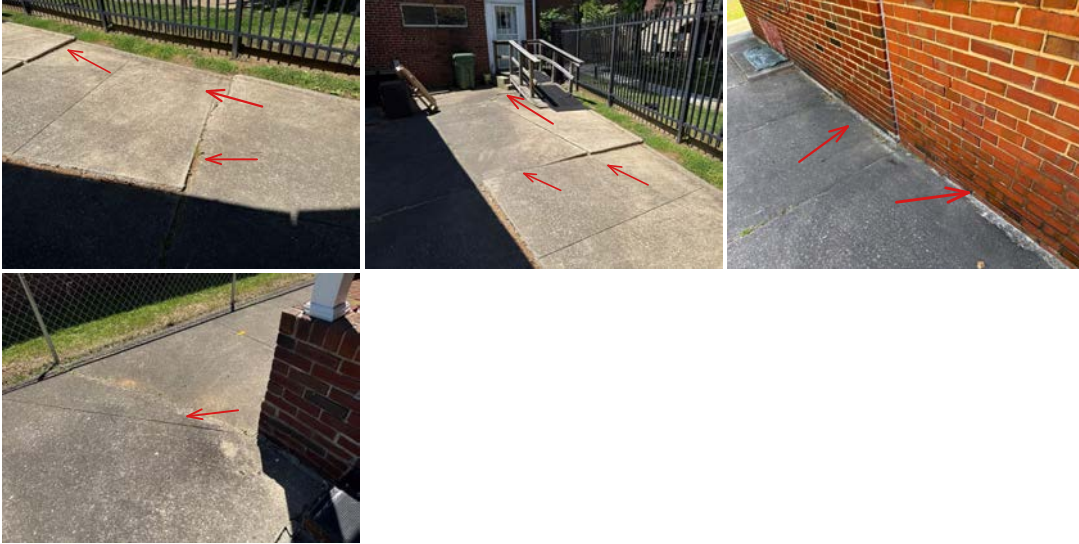


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Lots and Grounds (Continued)

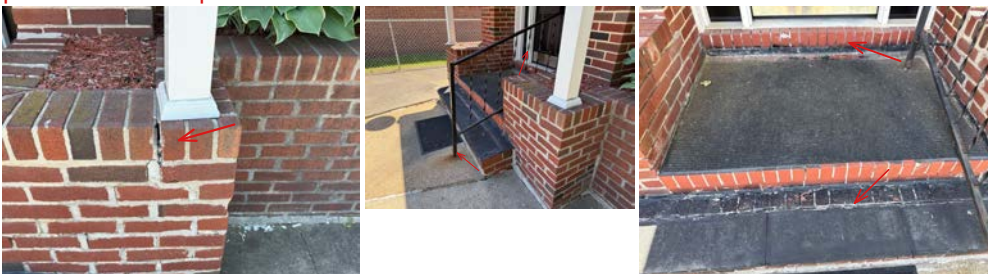
2. Walks: Present - Walkway is no longer level and a trip hazard is present. Cracks and gaps noted in multiple locations. A qualified contractor is recommended to evaluate and estimate repairs.



3. Steps: Present - The ramp was not properly secured, loose posts/railings and deck boards, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



4. Porch: Present - Cracked and shifted material noted. Loose and corroded railing present. Gaps and cracks present in porch material. Recommend filling cracks and gaps to prevent moisture penetration. A qualified contractor is recommended to evaluate and estimate repairs.



5. Patio: Not Present
 6. Deck: Not Present
 7. Balcony: Not Present



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Lots and Grounds (Continued)

8. Grading: Negative Slope - Improper slope towards foundation, recommend improving grade to move water away from the house. A qualified contractor is recommended to evaluate and estimate repairs.



9. Vegetation: Vines - Vines are growing up the structure. Recommend removing vines from house structure. A qualified contractor is recommended to evaluate and estimate repairs.



10. Window Wells: Covered - Covers were torn, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.



11. Sewer Cleanout: Not Visible - No exterior sewer cleanout was visible at the time of inspection. Recommend further investigation into whether the existence of a sewer cleanout is present or missing. If no sewer cleanout is present, recommend proper access be installed.

12. Retaining Walls: Masonry

13. Basement Stairwell: Masonry - Railings missing at the basement stairwell, recommend installing. Undersized supports noted at roof covering. A qualified contractor is recommended to evaluate and estimate repairs.



14. Basement Stairwell Drain: Not Visible

15. Fences: Present



Air Conditioning

Mechanical equipment tested for functional operation at time of inspection only. No life expectancy is expressed or implied. Inspection does not determine balancing or sizing of system. The inspection covers only the visible components of the cooling system. Hidden problems may exist that are not documented in this report. The inspector does not perform pressure tests on coolant systems; therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard, which is sometimes costly to remedy. Any appliance that is being conveyed as part of the purchase transaction of the house should be tested at the final walk through. The appliances estimated for replacement probability, based on age and condition, should be budgeted for replacement in the short term. It should be clearly understood that all appliances are mechanical systems that can fail at any time, regardless any indicated probability and age.

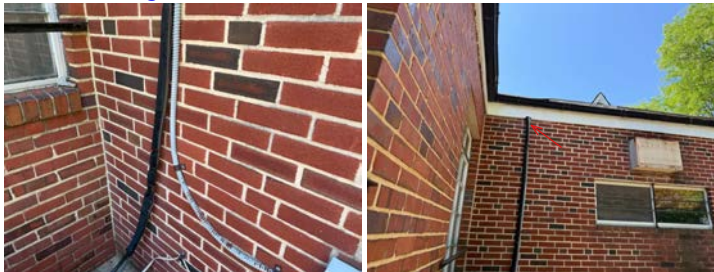
A NPNI M D

Right Side AC System

- A/C System Operation: Functional - **The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.**



- Condensate Removal: Plastic
- Exterior Unit: Pad
- Area Served: Rear Right Approximate Age: 1991
- Fuel Type: Electric Temperature Differential: 14 Degrees F
- Type: Central A/C Capacity: 2 Ton
- Visible Coil: Not Visible
- Refrigerant Lines: Suction/Liquid Line - **Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.**





Air Conditioning (Continued)

9. Electrical Disconnect: Pull out - Corrosion noted on conduit. Recommend evaluation by a licensed electrician.



Rear Left AC System

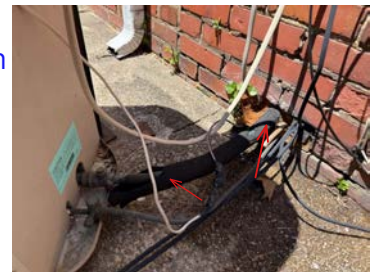
10. A/C System Operation: Functional - The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.



11. Condensate Removal: Plastic - Condensate line discharges next to the structure, recommend adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



12. Exterior Unit: Pad
 13. Area Served: First Floor Approximate Age: 2008
 14. Fuel Type: Electric Temperature Differential: 14 Degrees F
 15. Type: Central A/C Capacity: 3 Ton
 16. Visible Coil: Not Visible
 17. Refrigerant Lines: Suction/Liquid Line - Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.





Air Conditioning (Continued)

18. Electrical Disconnect: Pull out - **Missing cover, recommend replacing. A qualified contractor is recommended to evaluate and estimate repairs.**

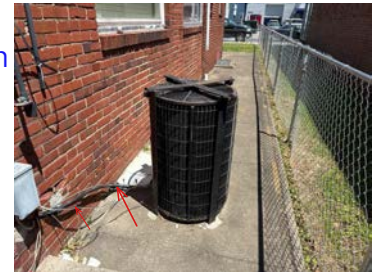


Left Front AC System

19. A/C System Operation: Not Functional - **Unit did not function at time of inspection. Missing sections and corroded sections. The unit is currently in service beyond average life expectancy, recommend budgeting for repair and or replacement. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.**



20. Condensate Removal: Plastic
 21. Exterior Unit: Pad
 22. Area Served: Unknown Approximate Age: Unknown
 23. Fuel Type: Electric Temperature Differential: Unknown
 24. Type: Central A/C Capacity: Unknown
 25. Visible Coil: Not Visible
 26. Refrigerant Lines: Suction/Liquid Line - **Insulation for refrigerant lines is torn, missing, and deteriorated. Recommend replacing the insulation to improve energy efficiency. Entry point into home is not sealed, recommend sealing to prevent moisture penetration. A qualified air conditioning contractor is recommended to evaluate and estimate repairs.**



27. Electrical Disconnect: Pull out
 28. Exposed Ductwork: Metal
 29. Filters: Disposable Filter
 30. Thermostats: Manual, Programmable



Electrical

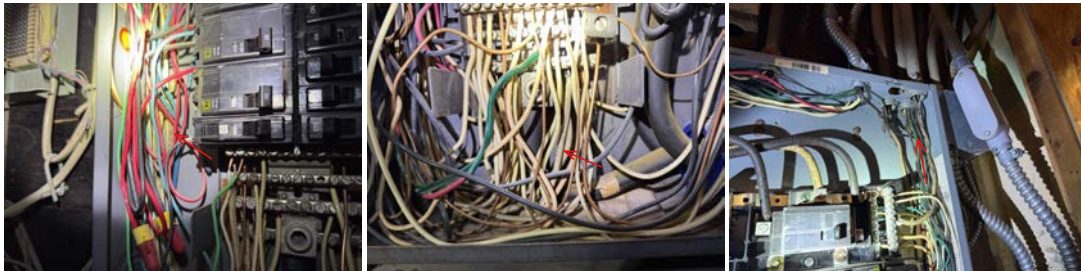
Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke detectors are recommended to be located in each Bedroom and one per floor level. They should be tested regularly and replaced every 10 years. Ground Fault Interrupter (GFI) Circuits should be installed in kitchens, bathrooms, basements, garages and outdoor locations. Testing of smoke detectors or alarms, timers, low voltage circuits such as security systems and pet containment systems are beyond the scope of this inspection. According to the International Association of Fire Fighters (IAFF) it is recommend you install a photoelectric smoke alarm versus an ionization smoke alarm.

A NPNI M D

- 1. Service Size Amps: 600 Volts: 120-240 VAC
- 2. Service: Aluminum
- 3. 120 VAC Branch Circuits: Copper, Aluminum
- 4. 240 VAC Branch Circuits: Copper, Aluminum
- 5. Aluminum Wiring: Present - **Aluminum wiring noted on 120v circuitry. Recommend evaluation of aluminum wiring by a licensed electrician.**



- 6. Conductor Type: Cloth, Non-Metallic Sheathed Cable - **Cloth wiring noted throughout, recommend updating. Evaluation by a licensed electrician is recommended.**



- 7. Ground: Not Visible
- 8. Smoke Detectors: Present - **Missing on first floor. Smoke detectors were in use beyond their average life expectancies. Recommend having smoke detectors updated to be in compliant with State laws. A qualified contractor is recommended to evaluate and estimate repairs.**



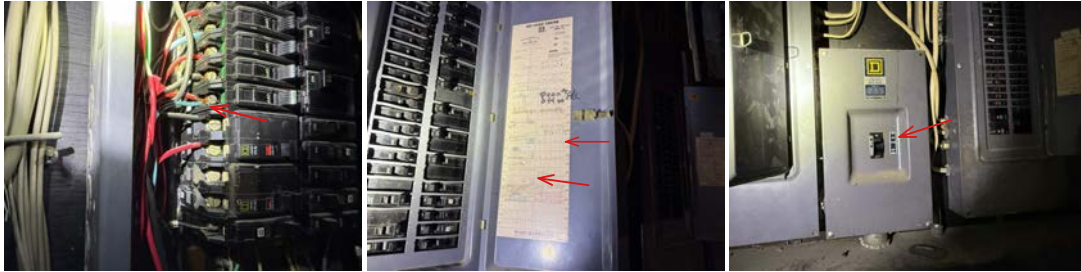
- 9. Carbon Monoxide Detectors: Not Present - **Due to the presence of gas/oil appliances, it is recommended you install carbon monoxide detectors on all levels. A qualified contractor is recommended to evaluate and estimate repairs.**

Basement Left Electric Panel



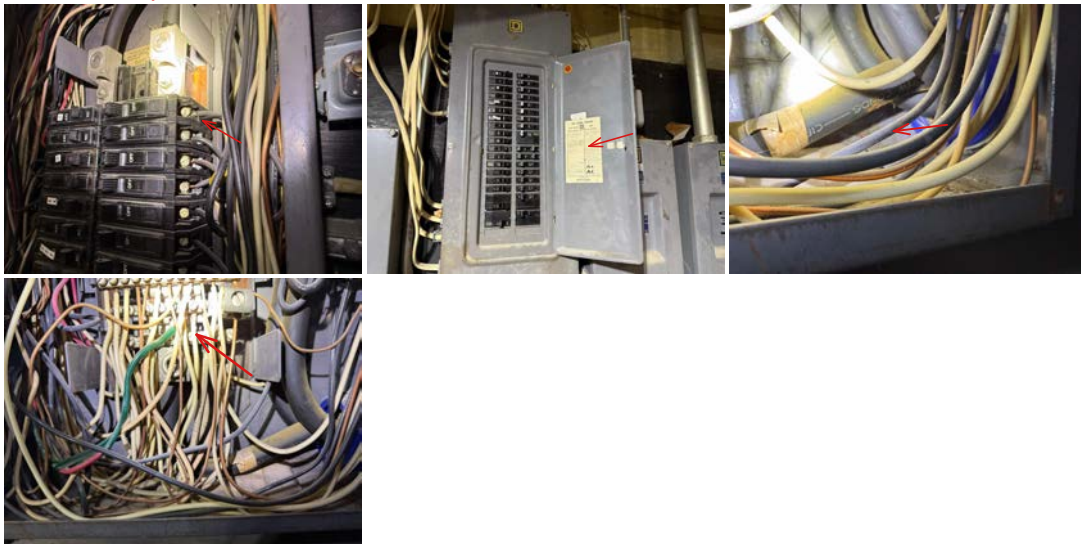
Electrical (Continued)

10. Manufacturer: Square D - Double taps present. Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Unable to remove front panel for main shut off. Neutrals and grounds bonded together at subpanel installation. A licensed electrician is recommended to evaluate and estimate repairs.



11. Maximum Capacity: 200 Amps
 12. Main Breaker Size: 200 Amps
 13. Breakers: Copper And Aluminum
 14. Fuses: Not Present
 15. AFCI: Not Present
 16. GFCI: Not Present
 Basement Center Electric Panel

17. Manufacturer: Square D - Double taps present. Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Corrosion present on and inside the panel. Neutrals and grounds bonded together at subpanel installation. A licensed electrician is recommended to evaluate and estimate repairs.



18. Maximum Capacity: 200 Amps
 19. Main Breaker Size: 200 Amps
 20. Breakers: Copper And Aluminum
 21. Fuses: Not Present
 22. AFCI: Not Present
 23. GFCI: Not Present



Electrical (Continued)

Basement Right Electric Panel

24. Manufacturer: General Electric - **Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. Missing knock-out recommend replacing to cover opening. Double taps present. Multiple breakers were off at time of inspection. A licensed electrician is recommended to evaluate and estimate repairs.**



25. Maximum Capacity: 200 Amps
 26. Main Breaker Size: 200 Amps
 27. Breakers: Copper And Aluminum
 28. Fuses: Not Present
 29. AFCI: Not Present
 30. GFCI: Not Present

Basement Front Electric Panel

31. Manufacturer: Square D - **Unlabeled circuitry present in panel, recommend all circuitry have correct labeling. A licensed electrician is recommended to evaluate and estimate repairs.**



32. Maximum Capacity: 100 Amps
 33. Main Breaker Size: 100 Amps
 34. Breakers: Copper And Aluminum
 35. Fuses: Not Present
 36. AFCI: Not Present
 37. GFCI: Not Present



Heating System

Mechanical equipment tested for functional operation at time of inspection only. No life expectancy is expressed or implied. Inspection does not determine balancing or sizing of system. The inspection covers only the visible components of the heating system. Hidden problems may exist that are not documented in this report. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector cannot light pilot lights; the inspector does not test Safety devices.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems; therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard, which is sometimes costly to remedy.

A NPNI M D

Basement Heating System

- Heating System Operation: Functional - **Condensation line was leaking, recommend repair. Corrosion and debris noted throughout the interior. Flexible gas piping improperly penetrates the furnace cabinet. The unit is nearing the end of its expected average life expectancy, recommend budgeting for repair and or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.**



- Type: Forced Air
- Area Served: First Floor, Basement Approximate Age: 2012
- Fuel Type: Gas
- Filter: Disposable Filter
- Distribution: Duct Work - **Evidence of potential biological growth noted on the ductwork, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.**





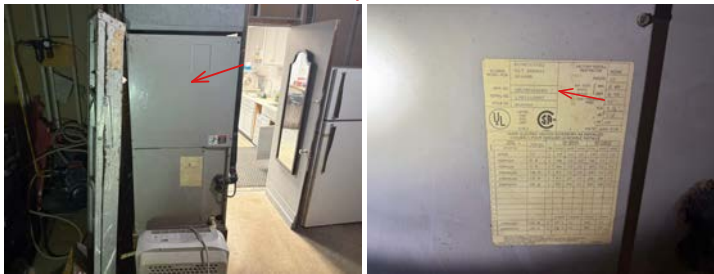
Heating System (Continued)

7. Flue Pipe: Metal - The flue pipe improperly downturns, recommended adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



Basement Center Heating System

8. Heating System Operation: Non-Functional - The system was off, recommend further evaluation. The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.



9. Type: Forced Air
 10. Area Served: Basement Approximate Age: 1990
 11. Fuel Type: Electric
 12. Distribution: Duct Work - Gaps noted in the ducts. A qualified heating system contractor is recommended to evaluate and estimate repairs.



13. Flue Pipe: Not Present

Basement Rear Heating System

14. Heating System Operation: Non-Functional - Corrosion and evidence of potential past leak noted in multiple areas, recommend further evaluation. The system was off at time of inspection, recommend verifying function. Missing sediment drip leg on gas line. The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Unable to determine the last service date for the heating/cooling system. Heating/cooling systems should be serviced annually. A licensed HVAC contractor is recommended to evaluate and estimate repairs.

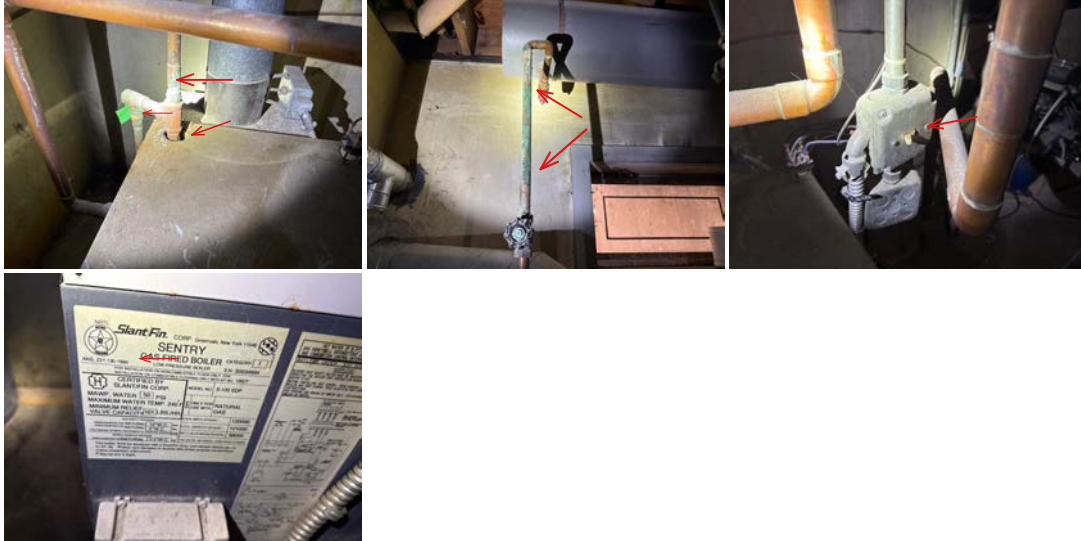


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Heating System (Continued)

Heating System Operation: (continued)



15. Area Served: First Floor Approximate Age: 1994

16. Fuel Type: Gas

17. Distribution: Radiator

18. Flue Pipe: Metal - **Staining and evidence of potential past leak at connection. A qualified contractor is recommended to evaluate and estimate repairs.**



Attic Heating System

19. Heating System Operation: Functional - **The unit is in service beyond its expected life expectancy, recommend budgeting for repair or replacement. Corrosion and water staining noted around the furnace cabinet. A licensed HVAC contractor is recommended to evaluate and estimate repairs.**



20. Area Served: First Floor Approximate Age: 1986

21. Fuel Type: Electric



Heating System (Continued)

22. Distribution: Duct Work - Separated and gaps in the ducts in the attic space. A qualified heating system contractor is recommended to evaluate and estimate repairs.



23. Flue Pipe: Not Present
 24. Thermostats: Programmable, Manual
 25. Fuel Tank: Not Present

Plumbing

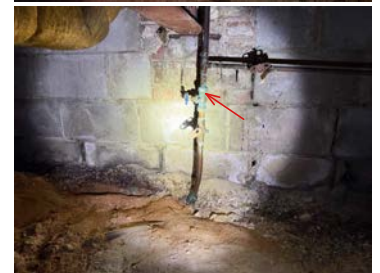
Water heater tested for functional operation at time of inspection only. No life expectancy is expressed or implied. Approx. 200 gallons of water was pushed through sewer drain lines to verify functional drainage of public sewer or septic system. Water conditioning/filtering systems are not within the scope of this inspection. Water quality or hazardous materials (i.e. lead) testing is outside of scope of a home inspection. All underground piping related to water supply, waste, or sprinkler use are outside of scope this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

A NP NI M D

1. Service Line: Metal - Excessive condensation noted and pipes were not insulated throughout the crawl space. A licensed plumber is recommended to evaluate and estimate repairs.



2. Water Shut Off: Crawl Space - Main water shut off location.



3. Water Lines: Plastic, Metal - Corrosion and evidence and past leaking noted at multiple lines and excessive amount of condensation noted. Unknown pipe wrap noted. Multiple abandoned plumbing lines throughout the crawl space, recommend further evaluation. Kinked line noted. A licensed plumber is recommended to evaluate and estimate repairs.

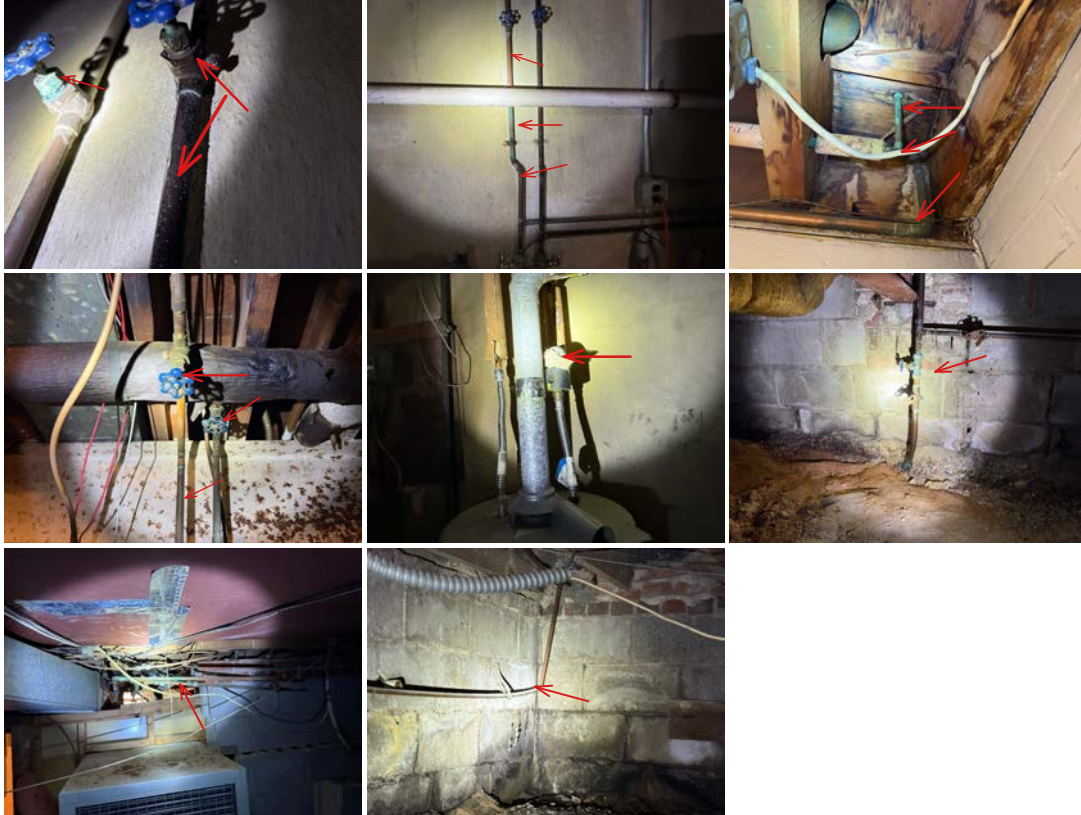


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Plumbing (Continued)

Water Lines: (continued)



4. Drain Pipes: Plastic, Metal - Large amount of debris inside the drains, recommend cleaning. Evidence of past leaking noted. Slow drain noted, recommend repair. Due to the age and nature of metal drain piping, a sewer scope is recommended. Galvanized steel piping observed in use. Galvanized steel piping corrodes from inside causing decreased flow-rates and will eventually require updating. Improper support and support was loose. Evidence of previous leak noted. A licensed plumber is recommended to evaluate and estimate repairs.





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Plumbing (Continued)

Drain Pipes: (continued)



- 5. Sewer Cleanout Location Rear Of Basement - Evidence of previous repair noted, recommend further investigation. A licensed plumber is recommended to evaluate and estimate repairs.



- 6. Exterior Hose Bib Shut Off Location: Not Visible - Unable to locate interior hose bib shut off locations, recommend verifying. A qualified contractor is recommended to evaluate and estimate repair.

- 7. Gas Meter: Interior
- 8. Fuel Shut Off: At Meter, Utility Room - Unknown line making a hissing noise and improper repair noted, recommend further evaluation.



- 9. Fuel Lines: Plastic Covered, Black Steel Pipe
- 10. Sprinklers: Not Present
- 11. Ejector Pump: Not Present
- 12. Radon Mitigation: Not Present
- 13. Sump Pump: Functional - Both sump pits were dry, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



Basement Rear Water Heater



Plumbing (Continued)

14. Water Heater Operation: Functional - **Missing expansion tank, recommend installing. A licensed plumber is recommended to evaluate and estimate repairs.**



15. Type: Electric Capacity: 50 Gal.
16. Approximate Age: 2021 Area Served: Living Space

17. Flue Pipe: Present - **Flue piping was loose and improperly pitched. A qualified contractor is recommended to evaluate and estimate repairs.**



18. TPRV and Drain Tube: Plastic - **PVC is typically not rated for use in this role, recommend following manufactures installation guidance. A qualified contractor is recommended to evaluate and estimate repairs.**



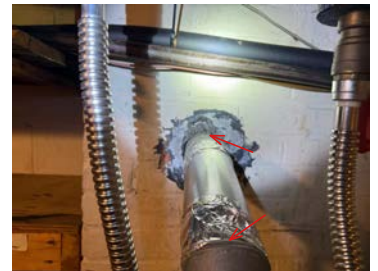
Basement Front Water Heater

19. Water Heater Operation: Functional - **Missing expansion tank, recommend installing. A licensed plumber is recommended to evaluate and estimate repairs.**



20. Type: Electric Capacity: 30 Gal.
21. Approximate Age: 2023 Area Served: Living Space

22. Flue Pipe: Metal - **Piping was improperly taped. Gaps in flue piping chimney connection. Recommend sealing vent penetration into wall/chimney to prevent gases coming back into the home. A qualified contractor is recommended to evaluate and estimate repairs.**



23. TPRV and Drain Tube: Metal



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Structure

Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

A N P N I M D

1. Structure Type: Wood Frame, Masonry - Multiple areas of the foundation and structure are not able to be fully inspected due to the installation of finished surfaces and personal belongings. A qualified contractor is recommended to evaluate and estimate repairs.



2. Foundation: Masonry - Center wall was pushed in. Excess erosion around the foundation and cracks in the block and mortar. Cracking noted at archway on sink floor. A qualified foundation contractor is recommended to evaluate and estimate repairs.



3. Sill Plate: Not visible
4. Rim Joist: Not visible
5. Differential Movement: Not Present
6. Beams: Metal

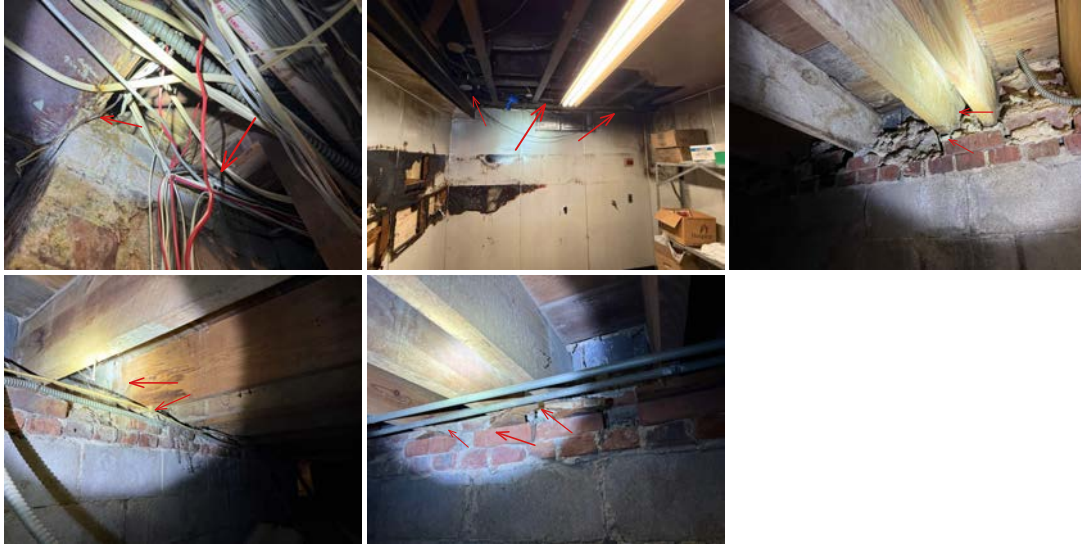


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Structure (Continued)

7. Joists/Trusses: Wood - Water and fire damage on multiple joists. Water damage noted on multiple joists and shims and bricks were loose throughout the crawl space. A qualified contractor is recommended to evaluate and estimate repairs.



8. Piers/Posts: Masonry
 9. Floor/Slab: Concrete, Earth
 10. Stairs: Wood
 11. Subfloor: Wood

Basement

Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. It is recommended that any basement with habitable rooms have an additional easement to outside of house.

A NPNI M D

Main Basement

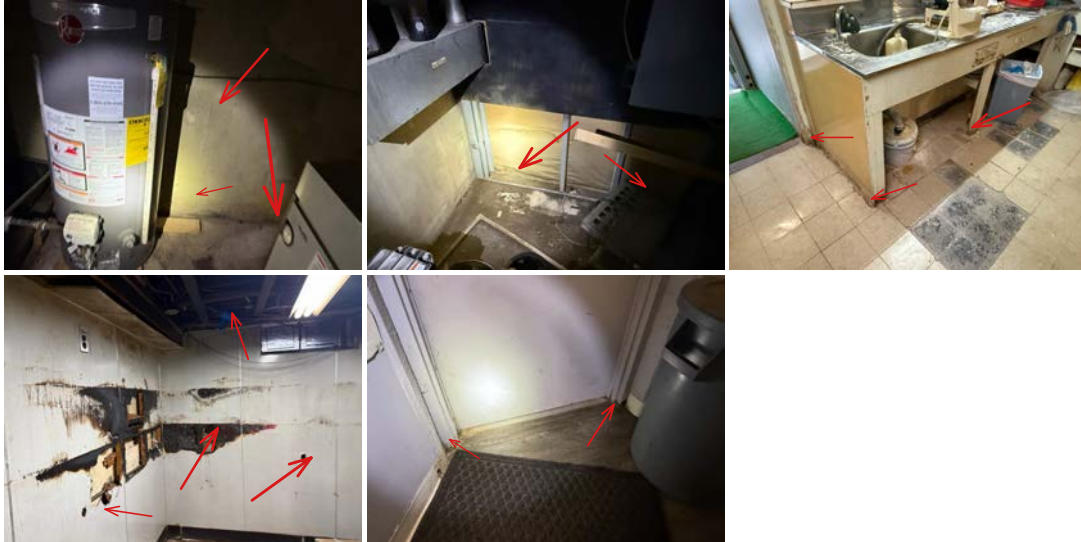
1. Ceiling: Exposed Frame, Paneling - Moisture staining and fire damage noted in multiple areas, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.





Basement (Continued)

2. Walls: Paint, Paneling, Exposed Framing - Moisture staining and fire damage noted in multiple areas, recommend further evaluation. A qualified contractor is recommended to evaluate and estimate repairs.



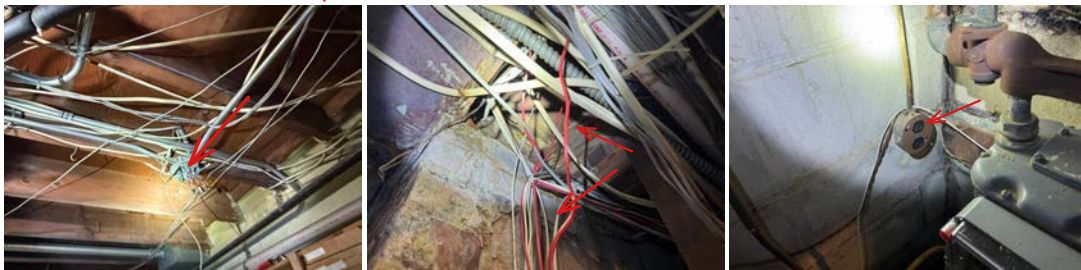
3. Floor: Carpet, Tile - Damaged tile noted in multiple areas. Most 9x9 tile may contain asbestos fiber material. Recommend encapsulating to prevent damage to tile. A qualified contractor is recommended to evaluate and estimate repairs.



4. Doors: Wood, Metal

5. Windows: Stationary

6. Electrical: Light(s) And Outlet(s) - Exposed and unsecured wiring noted. Two prong outlet, recommend updating. Corrosion noted on outlets. A licensed electrician is recommended to evaluate and estimate repairs.





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Basement (Continued)

Electrical: (continued)



- 7. Smoke Detector: Present
- 8. HVAC Source: Present
- 9. Vapor Barrier: Not Visible
- 10. Insulation: Present
- 11. Ventilation: Present
- 12. Moisture Penetration: Present - Evidence of potential biological growth and moisture staining, recommend further testing and evaluation. Moisture penetration present in basement area. Recommend the source of the moisture penetration be identified and corrected. Moisture penetration may be present in other areas not visible. A qualified contractor is recommended to evaluate and estimate repairs.





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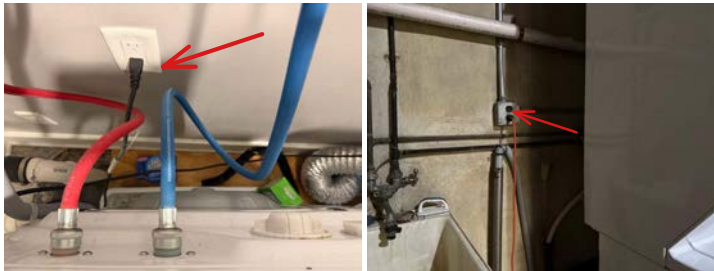
Laundry Room/Area

Inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ceiling minor cracks/touch ups are considered normal and are not listed in report. Appliances that are listed are the most common found in kitchen and laundry areas. The appliances are tested for basic operation only. Temperatures, thermostats, timers, lights, self cleaning cycle, ice maker, defrost cycle, etc--- are not tested as part of a home inspection. Any appliance that is being conveyed as part of the purchase transaction of the house should be tested at the final walk through. The appliances estimated for replacement probability, based on age and condition, should be budgeted for replacement in the short term. This is not a guarantee or warranty; it is a best guess opinion of expected life. However, it should be clearly understood that all appliances are mechanical systems that can fail at any time, regardless any indicated probability and age.

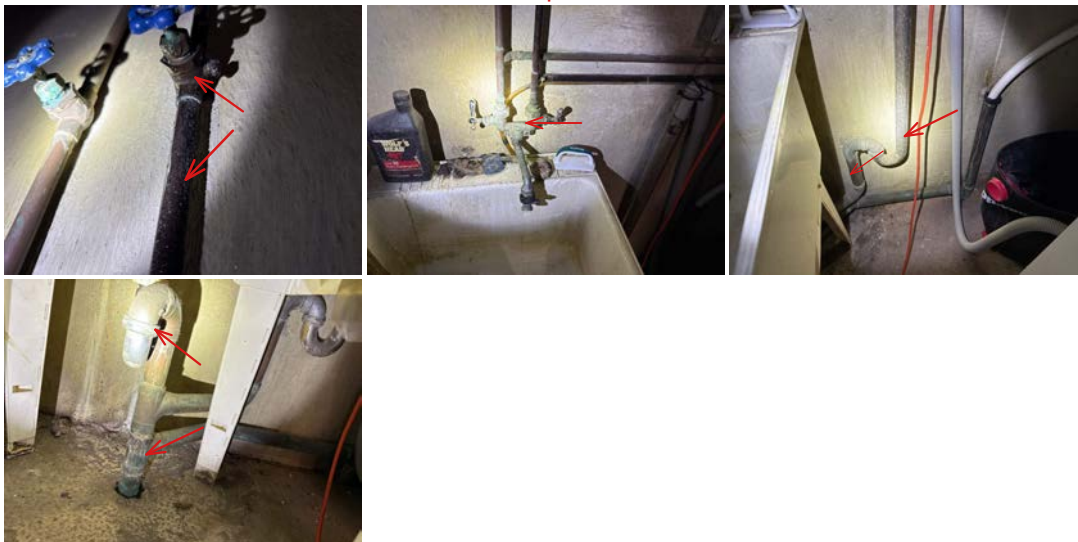
A N P N I M D

Basement Laundry Room/Area

- 1. Closet: Not Present
- 2. Ceiling: Exposed Frame
- 3. Walls: Paneling
- 4. Floor: Concrete
- 5. Doors: Wood
- 6. Windows: Stationary
- 7. Electrical: Light(s) And Outlet(s) - **Non-GFCI circuit, recommend GFCI circuit be installed. A licensed electrician is recommended to evaluate and estimate repairs.**



- 8. Smoke Detector: Not Present
- 9. HVAC Source: Present
- 10. Laundry Tub: present - **Leaking and condensation on pipes. Corrosion noted on drain lines and improper drain piping configuration. The water was off to the bibs. A qualified contractor is recommended to evaluate and estimate repairs.**



- 11. Washer Hose Bib: Present



Laundry Room/Area (Continued)

- 12. Washer and Dryer: Present
- 13. Washer and Dryer Electrical: 120-240 VAC
- 14. Dryer Vent: Metal Flex - **Plastic dryer vent piping noted in use, plastic dryer vent piping is a known fire hazard. Recommend replacing plastic flex pipe. A qualified contractor is recommended to evaluate and estimate repairs.**



- 15. Washer Drain: Wall Mounted Drain
- 16. Floor Drain: Overflow Pan

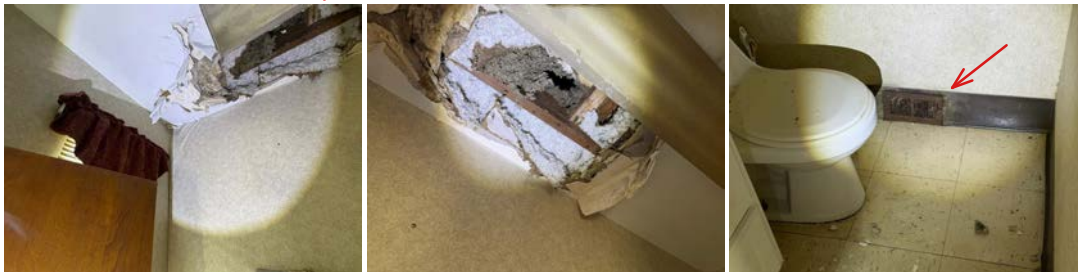
Bathroom

Inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ceiling minor cracks/touch ups are considered normal and are not listed in report. Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

A NPNI M D

Front entrance Bathroom

- 1. Closet: Not Present
- 2. Ceiling: Exposed Frame - **Moisture damage identified in the restroom ceiling. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. Evidence of potential biological growth. Recommend further testing and evaluation. A qualified contractor is recommended to evaluate and estimate repairs.**



- 3. Walls: Wallpaper - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**





Bathroom (Continued)

4. Floor: Tile - Most 9x9 tile may contain asbestos fiber material. Recommend encapsulating to prevent damage to tile. Cracked tile(s) noted. A qualified contractor is recommended to evaluate and estimate repairs.



5. Doors: Wood - Door is striking frame, recommend trimming or adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



6. Windows: Metal, Stationary - Window sill has damaged material from moisture penetration, recommend repair and replacement of existing material. A qualified contractor is recommended to evaluate and estimate repairs.



7. Electrical: Light(s) - Unable to operate electrical components due to current hazard. A licensed electrician is recommended to evaluate and estimate repairs.



8. Counter/Cabinet: Present
9. Sink/Basin: Single Bowl - Due to insulation and damage the sink was not accessible to test. A qualified contractor is recommended to evaluate and estimate repairs.



10. Tub: Not Present
11. Shower: Not Present



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Bathroom (Continued)

12. Toilets: Present - Due to insulation and damage the toilet was not accessible to test. A qualified contractor is recommended to evaluate and estimate repairs.



13. HVAC Source: Not Present
 14. Ventilation: Not Present

Office 4 bathroom Bathroom

15. Closet: Not Present
 16. Ceiling: Paint
 17. Walls: Paint - Crack(s) and damaged wall material noted, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.



18. Floor: Tile
 19. Doors: Wood
 20. Windows: Stationary, Metal
 21. Electrical: Light(s)
 22. Counter/Cabinet: Present
 23. Sink/Basin: Single Bowl
 24. Tub: Not Present
 25. Shower: Present - Not in use.



26. Toilets: Present
 27. HVAC Source: Present
 28. Ventilation: Present

Rear Left Bathroom

29. Closet: Not Present
 30. Ceiling: Paint



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Bathroom (Continued)

31. Walls: Paint - Peeling material noted. A qualified contractor is recommended to evaluate and estimate repairs.



32. Floor: Vinyl
 33. Doors: Wood
 34. Windows: Not Present
 35. Electrical: Light(s) And Outlet(s) - Non-GFCI circuit, recommend GFCI circuit be installed. A licensed electrician is recommended to evaluate and estimate repairs.



36. Counter/Cabinet: Present - Loose to the wall. A qualified contractor is recommended to evaluate and estimate repairs.



37. Sink/Basin: Single Bowl
 38. Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. Water damage around toilet. A qualified contractor is recommended to evaluate and estimate repairs.



39. HVAC Source: Present
 40. Ventilation: Present

Break room Bathroom

41. Closet: Not Present
 42. Ceiling: Paint
 43. Walls: Paint
 44. Floor: Vinyl



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Bathroom (Continued)

- 45. Doors: Wood
- 46. Windows: Not Present
- 47. Electrical: Light(s)
- 48. Counter/Cabinet: Present
- 49. Sink/Basin: Single Bowl - Excessive corrosion noted under the sink. A qualified contractor is recommended to evaluate and estimate repairs.



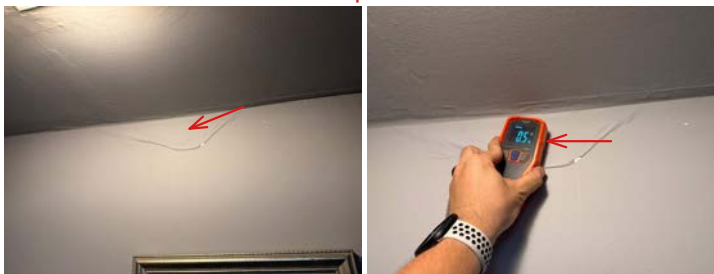
- 50. Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. A qualified contractor is recommended to evaluate and estimate repairs.



- 51. HVAC Source: Present
- 52. Ventilation: Present

Basement Rear Bathroom

- 53. Closet: Not Present
- 54. Ceiling: Paint
- 55. Walls: Paint - Moisture stain(s) noted, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected. Crack(s) noted, recommend they be patched during routine maintenance. A qualified contractor is recommended to evaluate and estimate repairs.



- 56. Floor: Vinyl
- 57. Doors: Wood
- 58. Windows: Not Present
- 59. Electrical: Light(s) And Outlet(s)



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Bathroom (Continued)

60. Counter/Cabinet: Present - Countertop is loose from cabinet/wall, recommend it be secured. A qualified contractor is recommended to evaluate and estimate repairs.



61. Sink/Basin: Single Bowl - Leaking noted under the bathroom sink. Flexible drain piping is installed under sink. Flexible drain piping is more prone to leakage, recommend replacement with appropriate material. A qualified contractor is recommended to evaluate and estimate repairs.



62. Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. Slow flush noted. A qualified contractor is recommended to evaluate and estimate repairs.



63. HVAC Source: Present

64. Ventilation: Present

Basement Front Bathroom

65. Closet: Not Present

66. Ceiling: Panel

67. Walls: Paneling

68. Floor: Tile, Vinyl - Water damage on the flooring, recommend further investigation. A qualified contractor is recommended to evaluate and estimate repairs.



69. Doors: Wood

70. Windows: Not Present



Bathroom (Continued)

71. Electrical: Light(s) - Light did not function, recommend change bulb and re-test. A qualified contractor is recommended to evaluate and estimate repairs.



72. Counter/Cabinet: Not Present

73. Toilets: Present - The toilet is loose at the floor. Loose toilets can lead to moisture penetration into the not visible sub-flooring. Recommend securing to prevent movement. The tank is loose, recommend securing to prevent movement. A qualified contractor is recommended to evaluate and estimate repairs.



74. HVAC Source: Not Present

75. Ventilation: Not Present

Living Space

Inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. Typical wall/ceiling minor cracks/touch ups are considered normal and are not listed in report. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

A NPNI M D

Entryway Living Space

1. Closet: Present
2. Ceiling: Paint
3. Walls: Wallpaper - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.



4. Floor: Carpet



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Living Space (Continued)

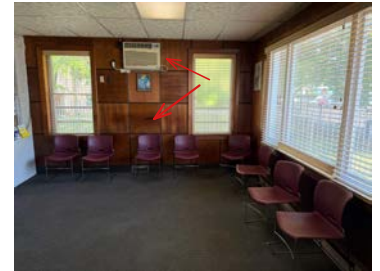
- 5. Doors: Vinyl
- 6. Windows: Metal, Stationary - **Wood rot present in wood window, recommend repair or replacement. A qualified contractor is recommended to evaluate and estimate repairs.**



- 7. Electrical: Light(s)
- 8. HVAC Source: Present
- 9. Smoke Detector: Not Present

Front sitting Room Living Space

- 10. Closet: Not Present
- 11. Ceiling: Tile
- 12. Walls: Paneling - **Moisture stain(s) noted, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected.**



- 13. Floor: Carpet
- 14. Doors: Metal
- 15. Windows: Metal, Stationary - **Cracks in windows noted, recommend replacement. A qualified contractor is recommended to evaluate and estimate repairs.**



- 16. Electrical: Light(s) And Outlet(s) - **Recommend replacing two prong outlets with grounded three prong outlets. A licensed electrician is recommended to evaluate and estimate repairs.**





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Living Space (Continued)

17. HVAC Source: Present - **Window AC noted, area around unit has damaged material present. A qualified contractor is recommended to evaluate and estimate repairs.**



18. Smoke Detector: Not Present
Office 1 Living Space

19. Closet: Not Present

20. Ceiling: Paint - **Crack(s) noted, recommend they be patched and or repaired. A qualified contractor is recommended to evaluate and estimate repairs.**



21. Walls: Wallpaper - **Moisture damage present throughout the space, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.**



22. Floor: Carpet - **Loose/torn carpeting noted throughout the property, recommend addressing the affected areas to prevent hazards. A qualified contractor is recommended to evaluate and estimate repairs.**





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Living Space (Continued)

23. Doors: Wood - Door frame damage noted, recommend repair and replacement of damaged material. A qualified contractor is recommended to evaluate and estimate repairs.



24. Windows: Stationary, Metal - Damaged window sill noted throughout the property, recommend addressing the cause and conducting repairs as needed. A qualified contractor is recommended to evaluate and estimate repairs.



25. Electrical: Light(s) And Outlet(s) - Two prong outlets are present throughout the property Recommend replacing all two prong outlets with grounded three prong outlets to ensure safety and proper function. A licensed electrician is recommended to evaluate and estimate repairs.



26. HVAC Source: Unable to inspect

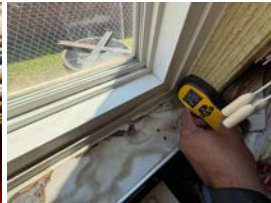
27. Smoke Detector: Not Present

Office 2 Living Space

28. Closet: Not Present

29. Ceiling: Paint

30. Walls: Wallpaper - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.



31. Floor: Carpet

32. Doors: Not Present

33. Windows: Stationary, Metal

34. Electrical: Light(s) And Outlet(s)



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Living Space (Continued)

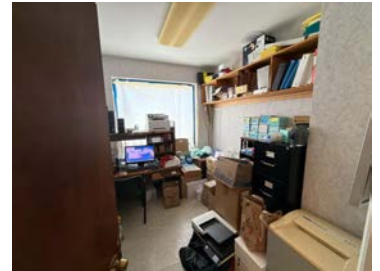
- 35. HVAC Source: Unable to inspect
- 36. Smoke Detector: Not Present

Office 3 Living Space

- 37. Closet: Not Present
- 38. Ceiling: Paint
- 39. Walls: Wallpaper - **Moisture damage present throughout the space, recommend identifying the source and conducting repairs. A qualified contractor is recommended to evaluate and estimate repairs.**



- 40. Floor: Tile
- 41. Doors: Wood
- 42. Windows: Stationary, Metal - **Unable to be inspected due to stored items**



- 43. Electrical: Light(s) And Outlet(s)
- 44. HVAC Source: Unable to identify
- 45. Smoke Detector: Not Present

Office 4 Living Space

- 46. Closet: Present
- 47. Ceiling: Paint - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**



- 48. Walls: Paneling
- 49. Floor: Carpet
- 50. Doors: Wood



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Living Space (Continued)

- 51. Windows: Stationary, Metal - Window has missing components, recommend identifying and replacing/repairing. A qualified contractor is recommended to evaluate and estimate repairs.



- 52. Electrical: Light(s) And Outlet(s)
- 53. HVAC Source: Present
- 54. Smoke Detector: Not Present

Office 5 Living Space

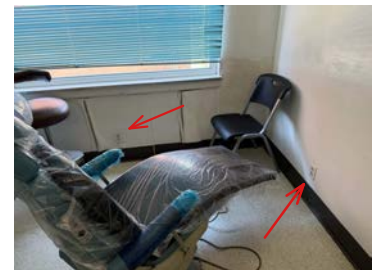
- 55. Closet: Not Present
- 56. Ceiling: Paint
- 57. Walls: Paint - Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.



- 58. Floor: Vinyl
- 59. Doors: Wood - Door is sticking, recommend adjustment. A qualified contractor is recommended to evaluate and estimate repairs.



- 60. Windows: Metal, Stationary
- 61. Electrical: Light(s) And Outlet(s) - Reversed polarity noted at outlet. A licensed electrician is recommended to evaluate and estimate repairs.



- 62. HVAC Source: Present
- 63. Smoke Detector: Not Present



Living Space (Continued)

Office 6 Living Space

64. Closet: Present

65. Ceiling: Paint - **Moisture penetration present. Recommend the source of the moisture intrusion be identified and corrected. Moisture may be present in other not visible locations. Recommend further investigation and repair. A qualified contractor is recommended to evaluate and estimate repairs.**



66. Walls: Paneling

67. Floor: Carpet

68. Doors: Wood

69. Windows: Not Present

70. Electrical: Light(s) And Outlet(s) - **Open grounds noted at three prong outlets in multiple areas throughout the property. A licensed electrician is recommended to evaluate and estimate repairs.**



71. HVAC Source: Present

72. Smoke Detector: Not Present

Office 7 Living Space

73. Closet: Not Present

74. Ceiling: Paint

75. Walls: Paint

76. Floor: Tile

77. Doors: Wood

78. Windows: Stationary, Metal

79. Electrical: Light(s) And Outlet(s) - **Open grounds noted at three prong outlets. A licensed electrician is recommended to evaluate and estimate repairs.**



80. HVAC Source: Present

81. Smoke Detector: Not Present



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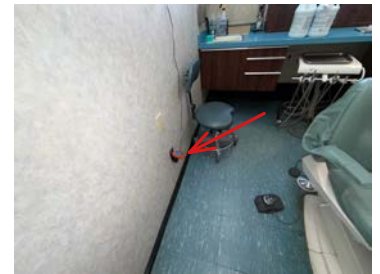
Living Space (Continued)

Rear Hallway/Office spaces Living Space _____

- 82. Closet: Present
- 83. Ceiling: Paint - Evidence of previous repairs, recommend further investigation regarding why repairs were made.



- 84. Walls: Paneling
- 85. Floor: Carpet, Vinyl
- 86. Doors: Wood
- 87. Windows: Stationary, Metal
- 88. Electrical: Light(s) And Outlet(s) - Open grounds noted at three prong outlets. A qualified contractor is recommended to evaluate and estimate repairs.



- 89. HVAC Source: Present
- 90. Smoke Detector: Not Present

Attic

Areas hidden from view by insulation or stored items cannot be judged and are not a part of this inspection.

A NPNI M D

Main Attic _____

1. Method of Inspection: In The Attic, From The Attic Access
2. Roof Framing: Trusses - Multiple areas were not fully accessible to inspect and space constraints in multiple areas. A qualified contractor is recommended to evaluate and estimate repairs.





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Attic (Continued)

3. Sheathing: Wood - Daylight visible. Recommend a qualified contractor to evaluate and estimate repairs.



4. Ventilation: Fan - Limited ventilation, recommend adding additional venting. Fan was not functioning and attic was excessively hot. A qualified contractor is recommended to evaluate and estimate repairs.



5. Insulation: Present - Insulation is compressed throughout. A qualified contractor is recommended to evaluate and estimate repairs.



6. Vapor Barrier: Not Visible

7. House Fan: Not Present

8. Wiring/Lighting: Light(s) - Exposed and unsecured wiring throughout. A qualified contractor is recommended to evaluate and estimate repairs.



9. Moisture Penetration: No Moisture Present At Time Of Inspection - Moisture stain(s) noted throughout, verified dry at time of inspection. Recommend further investigation into whether the source of the water penetration has been corrected. A qualified contractor is recommended to evaluate and estimate repairs.





Attic (Continued)

10. Bathroom Fan Venting: Not Visible

Crawl Space

Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings (i.e. vapor barrier) prevent recognition of cracks or settlement in all but the most severe cases.

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Main Crawl Space

1. Method of Inspection: In The Crawl Space

2. Access: Interior

3. Moisture Penetration: Present - **Water penetration noted. Potential biological growth noted in the crawl space. A qualified contractor is recommended to evaluate and estimate repairs.**



4. Moisture Barrier: Not Present

5. Ventilation: Not Present - **No ventilation present, recommend adding. A qualified contractor is recommended to evaluate and estimate repairs.**

6. Insulation: Not Present - **Missing insulation throughout. A qualified contractor is recommended to evaluate and estimate repairs.**



7. Vapor Barrier: Not Present

8. Sump Pump: Not Present

9. Electrical: Wiring - **Exposed, unsecured, and corrosion on wiring throughout. A licensed electrician is recommended to evaluate and estimate repairs.**



Crawl Space (Continued)

Electrical: (continued)



10. HVAC Components: Present - **Falling sections noted and missing insulation. A qualified contractor is recommended to evaluate and estimate repairs.**



State Disclaimer

- (i) An inspection is intended to assist in the evaluation of the overall condition of a building. The inspection is based on observation of the visible and apparent condition of the building and its components on the date of the inspection;
 - (ii) The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist, and no warranty or guaranty is expressed or implied;
 - (iii) If your home inspector is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to structural integrity of a building or the condition of its components or systems, you may wish to seek the professional opinion of a licensed structural engineer or other professional regarding any possible defects or other observations set forth in this report; and
 - iv) Only home inspections performed by Maryland licensed home inspectors will be recognized as a valid home inspection under a real estate contract.
- (b) The licensee shall give the person or the persons representative the report:
- (1) by the date set in a written agreement by the parties to the home inspection; or
 - (2) within 7 business days after the home inspection was performed, if no date was set in a written agreement by the parties to the home inspection.
- (c) Any limitation of the liability of the licensee for any damages resulting from the report on the home inspection shall be agreed to in writing by the parties to the home inspection prior to the performance of the home inspection.



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State Disclaimer (Continued)

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