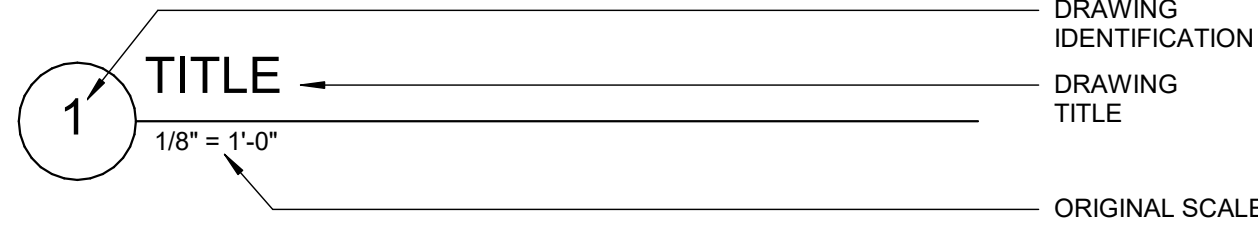


MIO BY AMORE - REMODEL/BAR ADDITION

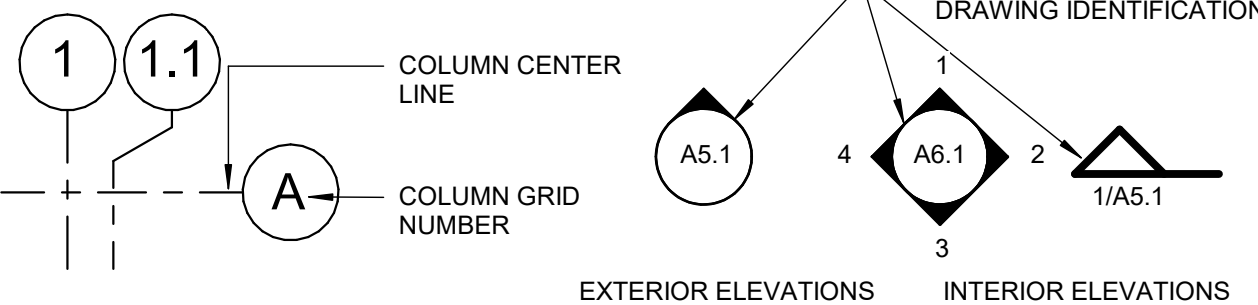
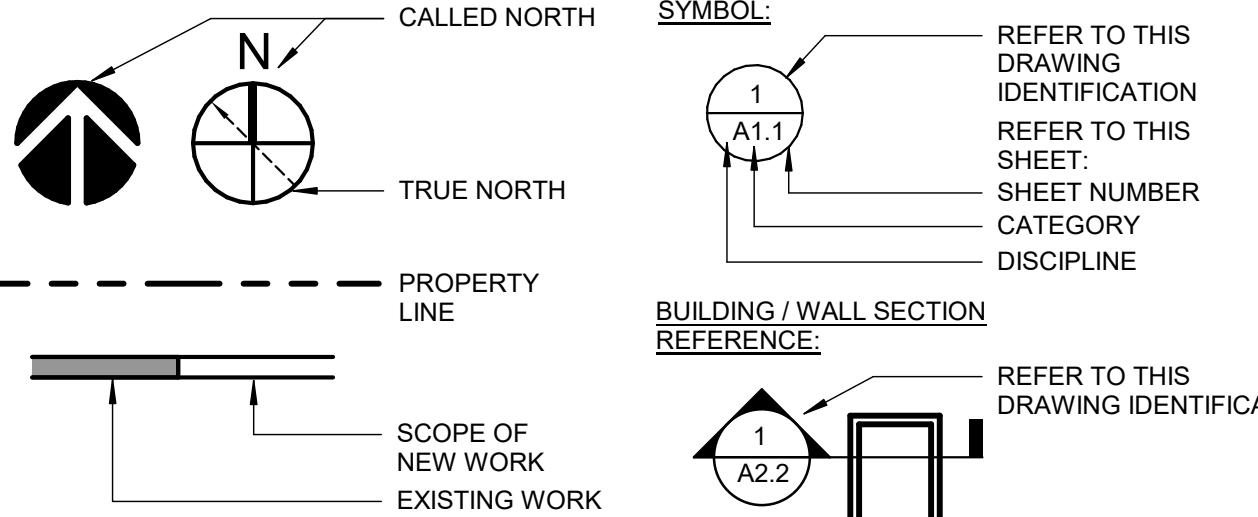
6505 W PARK BLVD #320, PLANO, TX 75093

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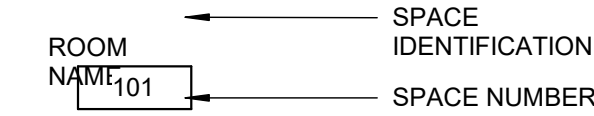
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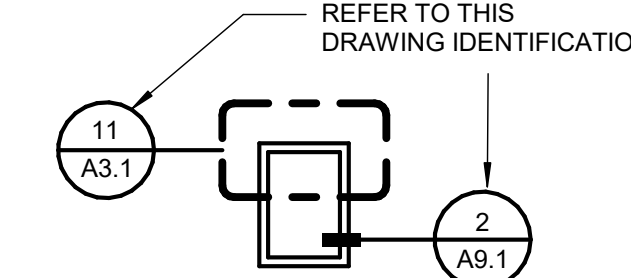
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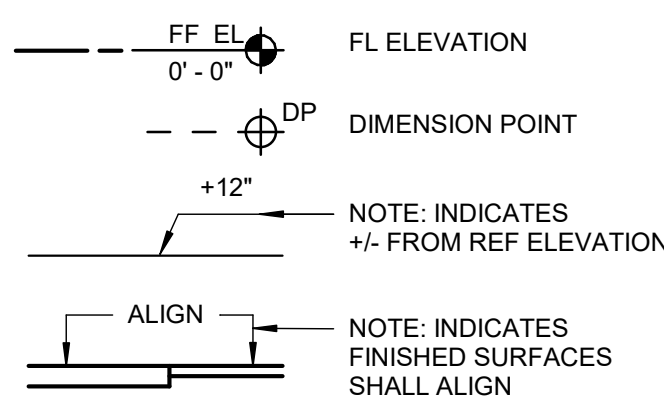
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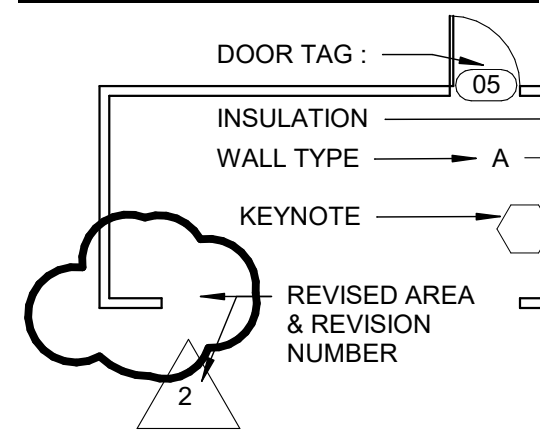
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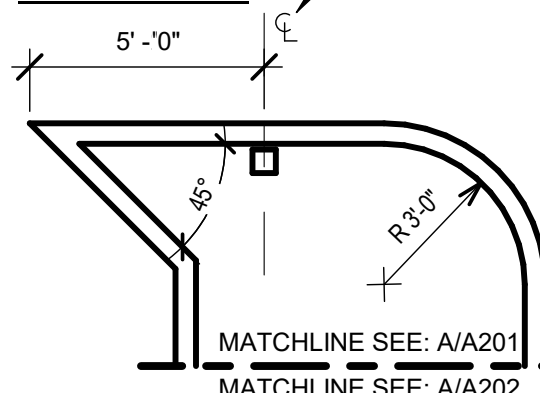
GRAPHIC ARROWS:



PARTITION TYPE, DOOR, MISC. SYMBOLS:



DIMENSION LINES:



GENERAL NOTES

A. GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.
2. WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS, AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
3. VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.
4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
5. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.
6. DRAWINGS OF BASE BUILDING CONDITIONS ARE BASED ON EXISTING BUILDING DRAWINGS, AND ON LIMITED FIELD OBSERVATION. ACTUAL CONDITIONS MAY DIFFER FROM THOSE SHOWN. EACH BIDDER IS TO ARRANGE FOR A FIELD INSPECTION OF ALL AREAS OF WORK PRIOR TO THE SUBMISSION OF THEIR BID. SUBMISSION OF A BID REPRESENTS THE CONTRACTOR UNDERSTANDS ALL EXISTING CONDITIONS AND HAS INCLUDED ALL COSTS NECESSARY TO COMPLETE THEIR SCOPE OF WORK.
7. THE CONTRACTOR SHALL APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY HIS SUBCONTRACTORS.
9. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OTHERS, INCLUDING BUT NOT LIMITED TO TELEPHONE, DATA AND FURNISHED-AND/OR-INSTALLED-OWNER-PROVIDED ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND PATCHING THAT MAY BE REQUIRED TO MAKE THE PARTS OF THE WORK, WHICH WILL RECEIVE THE WORK OF OTHERS, AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS.
10. WOOD MATERIALS SHALL MEET APPLICABLE CODES. THEY SHALL BE FIRE RETARDANT-TREATED WOOD IN ACCORDANCE WITH LOCAL BUILDING CODES.
11. ALL BUILDING PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.

B. DEFINITIONS:

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
2. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED.
4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

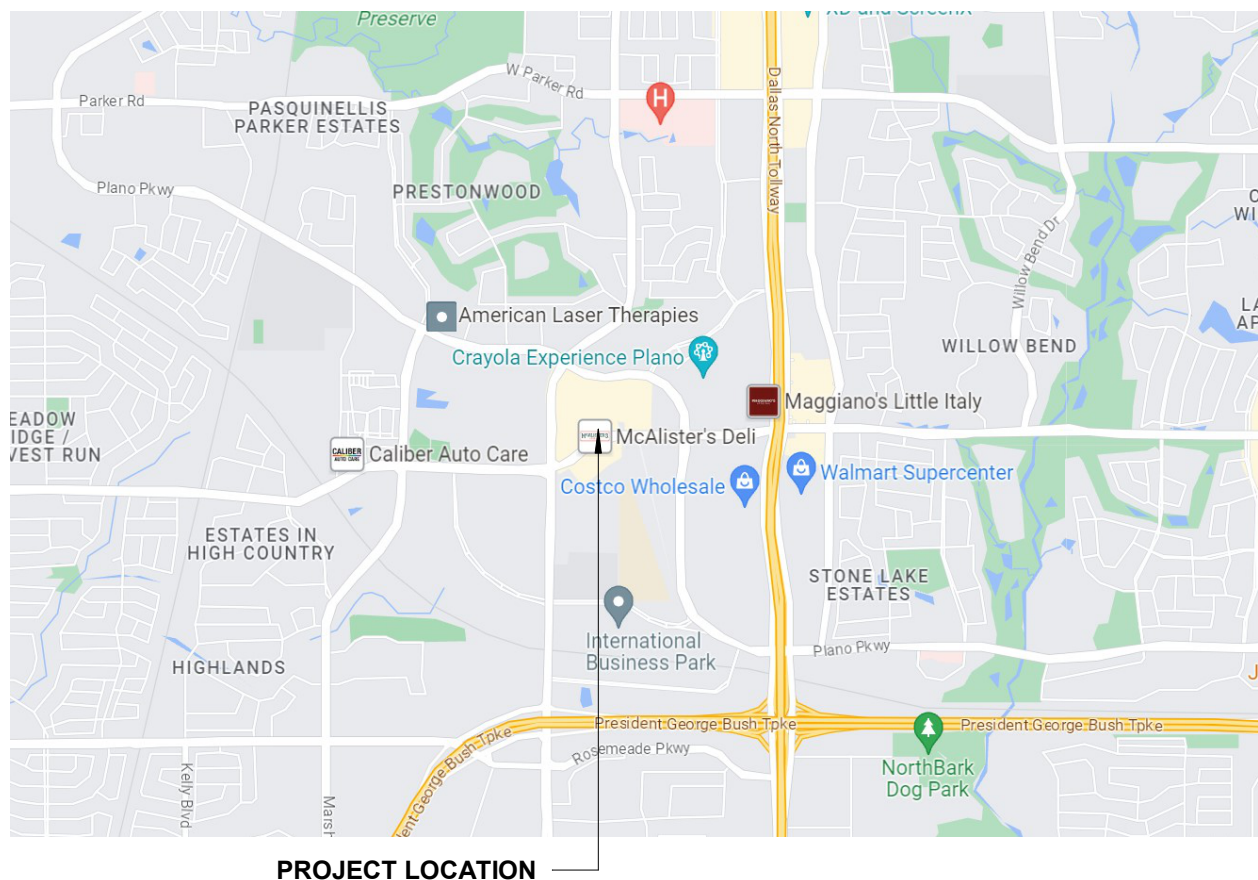
C. DIMENSIONS:

1. DIMENSIONS ARE INDICATED TO THE FACE OF PARTITION TYPE AS SCHEDULED, UNLESS NOTED OTHERWISE.
2. ALIGNMENT OF PARTITIONS, EQUIPMENT, LIGHT FIXTURES AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:
A. MIN DIMEN FOR ACCESSIBILITY CLEARANCE & BUILDING CODE REQMT
B. LARGE SCALE DETAILS
C. SMALL SCALE DETAILS
D. ENLARGED VIEWS
E. FLOOR PLANS AND ELEVATIONS
3. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL AT THE DIMEN POINT, UNLESS NOTED ABOVE FINISH FLOOR - "AFF".
4. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED.
5. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.

SITE LOCATION

ADDRESS: 6505 W PARK BLVD #320,
PLANO, TX 75093

SITE MAP:



PROJECT INFORMATION

OVERALL BUILDING SIZE: 3,579 SF (APPROX.)
TENANT SPACE: 24,000 SF (APPROX. TO FIRE WALL)
NUMBER OF STORIES: 1 + MEZZANINE
CONSTRUCTION TYPE: II-B
OCCUPANCY: A-2
OCCUPANCY LOAD: 115
FIRE PROTECTION: FULLY SPRINKLERED BUILDING (EXISTING)

PROJECT SUMMARY: ALTERATION OF EXISTING RESTAURANT TO ADD BAR, COSMETIC ALTERATION INCLUDING DEMOLITION OF EXISTING DECORATIVE WALLS, FINISHES, CEILING, TILE FLOOR, TILE WALLS, AND INSTALLATION OF NEW FINISHES, EQUIPMENT AND FURNITURE.

ADOPTED BUILDING AND CONSTRUCTION CODES:
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL EXISTING BUILDING CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL FUEL AND GAS CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
2021 INTERNATIONAL RESIDENTIAL CODE
2021 INTERNATIONAL SWIMMING POOL AND SPA CODE
TEXAS ACCESSIBILITY STANDARDS
AND ALL APPLICABLE LOCAL AMENDMENTS

PROJECT TEAM

CLIENT:
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MEP ENGINEER:
TECHNO SYSTEMS INC.
FARHAD GOLESTAN
texasmep2@gmail.com
214.415.0551

OCCUPANT LOAD CALCULATION

ROOM NAME	OCCUPANCY CLASSIFICATION	AREA (SQ. FT)	SQ FT PER OCCUPANT	OCCUPANT LOAD
WAITING	ASSEMBLY	180	15	12.0
DINING (MAIN)	ASSEMBLY	1014	15	67.6
DINING (MEZZ.)	ASSEMBLY	435	15	29.0
BAR SEATING	ASSEMBLY			12.0
BAR (STAFF)	ASSEMBLY/ACCESSORY	195	200	1.0
KITCHEN	ASSEMBLY/ACCESSORY	1067	200	5.3
HOST	ASSEMBLY/ACCESSORY	70	200	0.4
DEAD WALL SPACE + RESTROOMS+CORRIDOR		618	0	0.0
TOTAL OCCUPANT LOAD				115

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANTS: 115 (58 MALE & 58 FEMALE)

PER IBC CHAPTER 29 - 1 WATER CLOSETS REQUIRED FOR EVERY 75 OCCUPANTS FOR BOTH MALE AND FEMALE.

1 MALE AND 2 FEMALE WATER CLOSETS AND LAVATORIES PROVIDED (3 TOTAL)

RESPONSIBILITY MATRIX

LL=LANDLORD, T=TENANT, G.C.=TENANT'S GENERAL CONTRACTOR, V=VENDOR		SUPPLY/ FURNISH	INSTALL
BAR EQUIPMENT	BAR EQUIPMENT	T	G.C.
	BAR EQUIPMENT POWER, AND WATER CONNECTIONS	G.C.	G.C.
FLOOR WORK & DEMO	SMOOTH, LEVEL CONCRETE FLOOR WITH ADA TRANSITION REQUIREMENTS	G.C.	G.C.
	SAW CUT SLAB FOR NEW IN-FLOOR PLUMBING FIXTURES	G.C.	G.C.
FLOOR COVERING	REPAIR, LEVEL AND SLOPE FINISHES AND TRANSITIONS	G.C.	G.C.
	QUARRY TILE, BASE AND GROUT	G.C.	G.C.
DEMISING WALLS	TILE, BASE AND GROUT	G.C.	G.C.
	INSULATION: GYP. BD., TAPED, SANDED AND READY-TO RECEIVE TENANT FINISHES (FIRE-RATING IF APPLICABLE)	G.C.	G.C.
INTERIOR PARTITIONS	FRAMING, PLYWOOD BLOCKING AND GYP. BD.	G.C.	G.C.
	F.R.P. PANELS AND TILE WALL	G.C.	G.C.
	LOW WALLS	G.C.	G.C.
	STAINLESS STEEL WALL FINISH AT COOKING AREA	G.C.	G.C.
	PAINTING OR STAINING	G.C.	G.C.
	GYPSUM BOARD CEILING AND SOFFIT	G.C.	G.C.
	LAY-IN CEILING WITH SUSPENSION SYSTEM	G.C.	G.C.
	DOORS, FRAMES AND HARDWARE	G.C.	G.C.
FURNISHINGS	COUNTERS / STAINLESS STEEL TABLES	T	G.C.
	FURNITURE	T	G.C.
SIGNAGE	EXTERIOR SIGN (SEPARATE PERMIT)	V	V
	WINDOW STENCIL LETTERING	V	G.C.
	EMPLOYEE WASH HANDS (LAVATORY)	G.C.	G.C.
	RESTROOM SIGNAGE	G.C.	G.C.
HVAC	EMBLEM & HOURS ON FRONT DOOR	V	G.C.
	HVAC ROOF TOP UNIT(S), CURBS AND DROPS	G.C.	G.C.
	ROOF SPACE AND SUPPORT FOR HVAC EQUIPMENT	G.C.	G.C.
	ROOF REPAIRS AND FLASHING (USE LANDLORDS WARRANTY ROOFING CONTRACTOR)	G.C.	G.C.
	WIRING AND CONNECTIONS	G.C.	G.C.
	DUCTWORK, DAMPERS AND GRILLES	G.C.	G.C.
	THERMOSTATS AND CONTROLS	G.C.	G.C.
	TOILET EXHAUST FAN (ENSURE IN WORKING ORDER)	G.C.	G.C.
PLUMBING	CODE COMPLIANT AREA FOR EXHAUST FANS, MUA, ETC.	G.C.	G.C.
	WATER METER BY TENANT AND CITY TO INSTALL	G.C.	G.C.
	GAS METER AND SERVICE TO SPACE	G.C.	G.C.
	FINAL CONNECTIONS	G.C.	G.C.
	HVAC CONNECTIONS	G.C.	G.C.
	GAS PIPING A/C	G.C.	G.C.
ELECTRICAL	WATER HEATER(S)	G.C.	G.C.
	PLUMBING FIXTURES	G.C.	G.C.
	SEPARATELY METERED ELECTRICAL SERVICE	G.C.	G.C.
	PHONE PANEL, EQUIPMENT AND CABLE PULLS	G.C.	G.C.
	PHONE DEMARC BOX AND 2" CONDUIT WITH PULL STRINGS FROM DEMARC TO TENANT SPACE	G.C.	G.C.
	LIGHT FIXTURES, MOUNTING ACCESSORIES, AND LAMPS	G.C.	G.C.
	DECORATIVE LIGHT FIXTURES (CHANDELIER, PENDANT, VANITY, SCONCE)	T	G.C.
	EXIT/EMERGENCY LIGHT SYSTEM	G.C.	G.C.
	P.O.S. CONDUIT, CABLES & JACKS	G.C.	G.C.
	P.O.S. EQUIPMENT INSTALLATION	T	T

UNLESS NOTED OTHERWISE, ALL WORK AND MATERIALS SHOWN IN THESE DRAWINGS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.

SHEET INDEX

SHEET #	DRAWING TITLE
A0.0	COVER SHEET
A0.1	TAS RESTROOM ACCESSIBILITY DIAGRAMS
A1.1	SITE & EGRESS PLANS
A1.2	DEMO AND EXISTING PLAN
A2.1	FLOOR PLAN
A9.1	DETAILS
FS1.0	FOOD SERVICE EQUIPMENT
E-1	ELECTRICAL POWER PLAN
P-1	PLUMBING PLAN
P-2	PLUMBING RISERS & DETAILS
Grand total: 10	

Studio HMA

Studio HMA LLC

Dardan Hoxha
dardan.hoxha.ra@gmail.com
469-463-4845



MIO BY AMORE
BAR ADDITION

6505 W Park Blvd #320,
Plano, TX 75093

Prepared for:



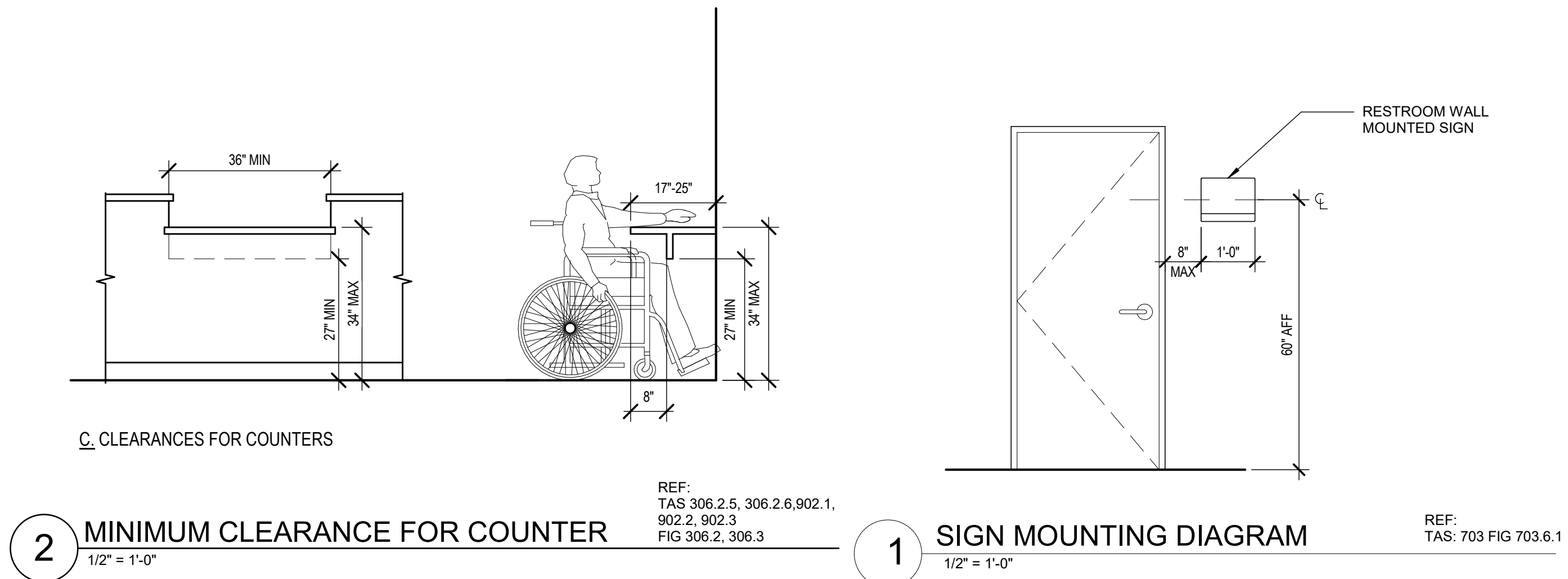
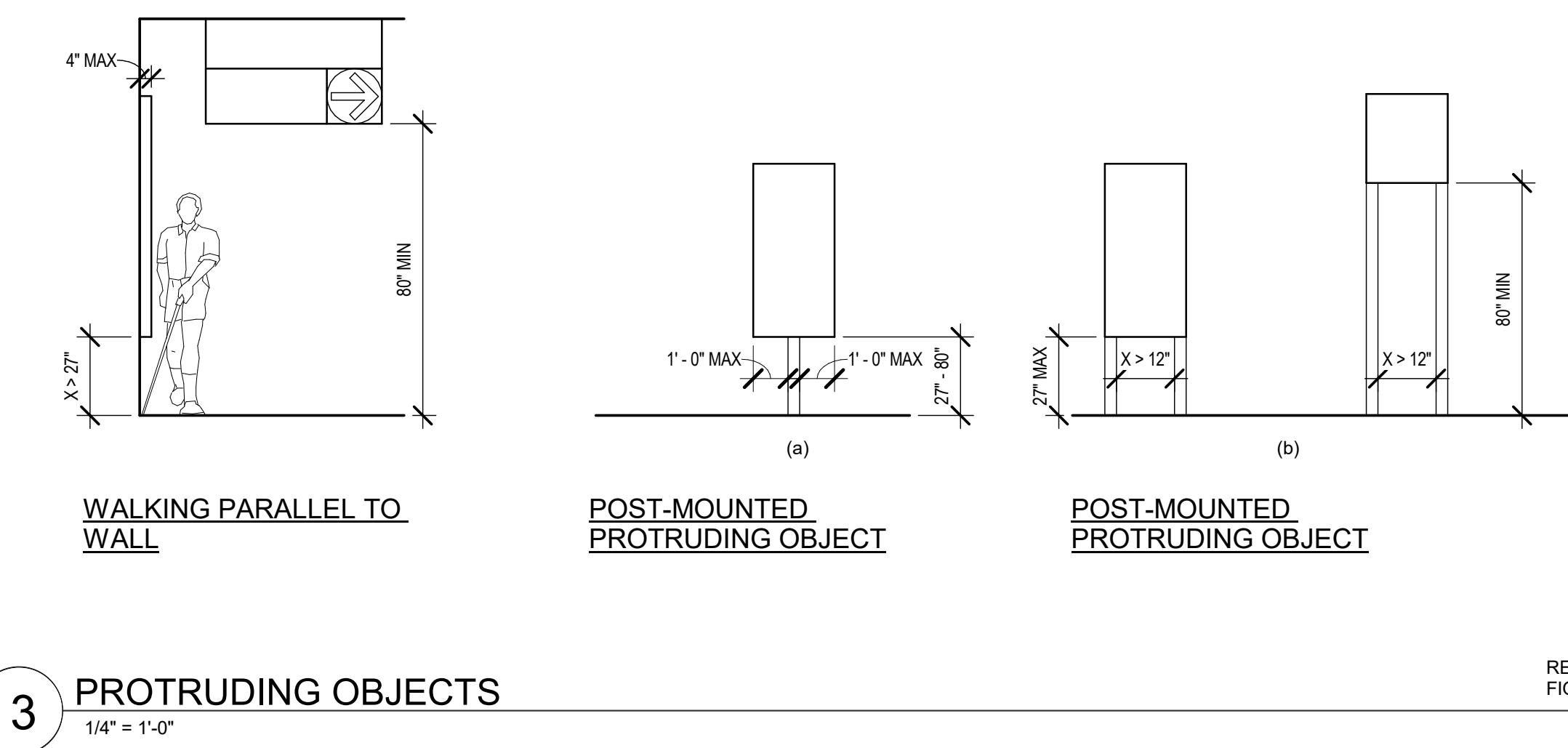
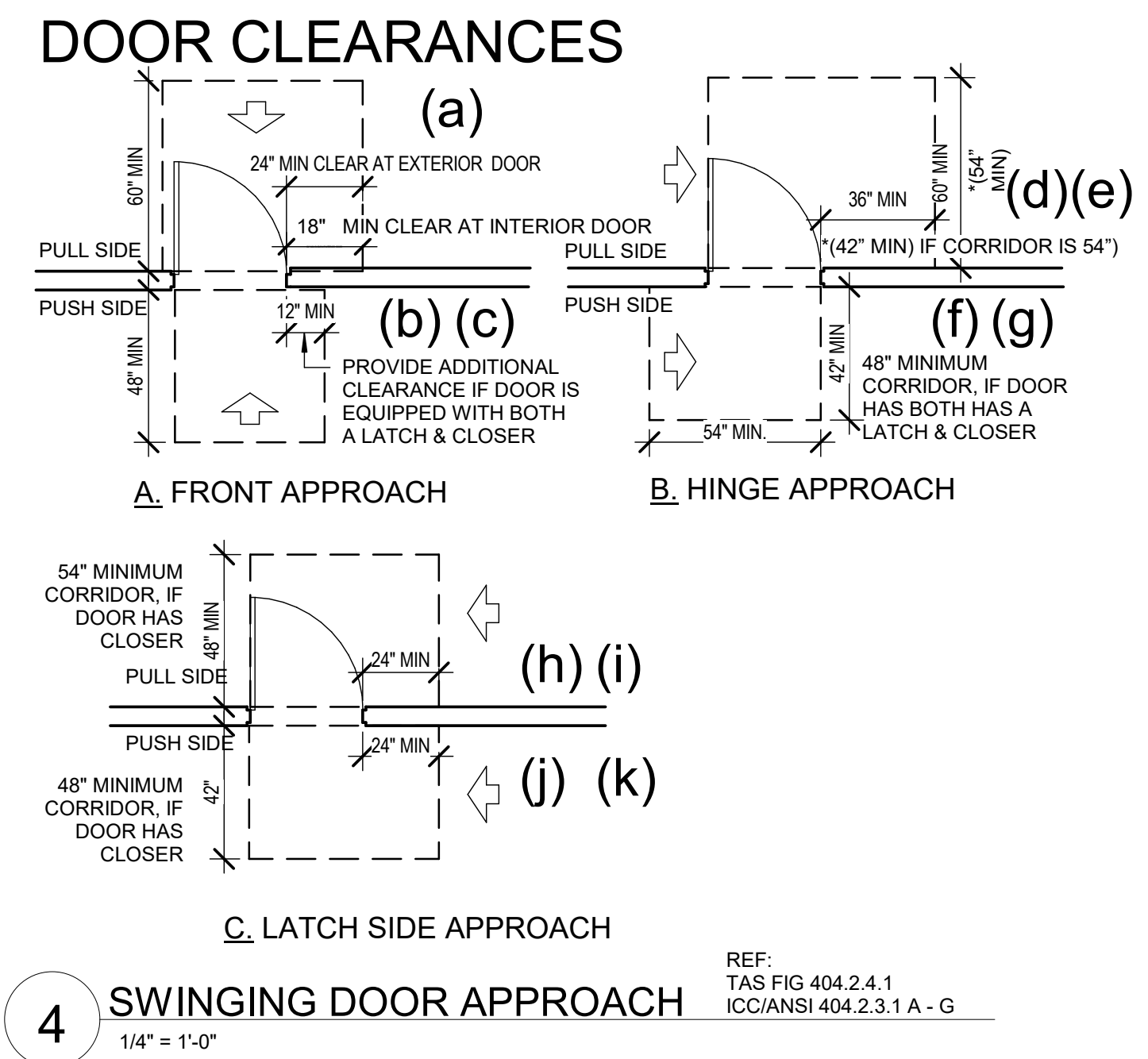
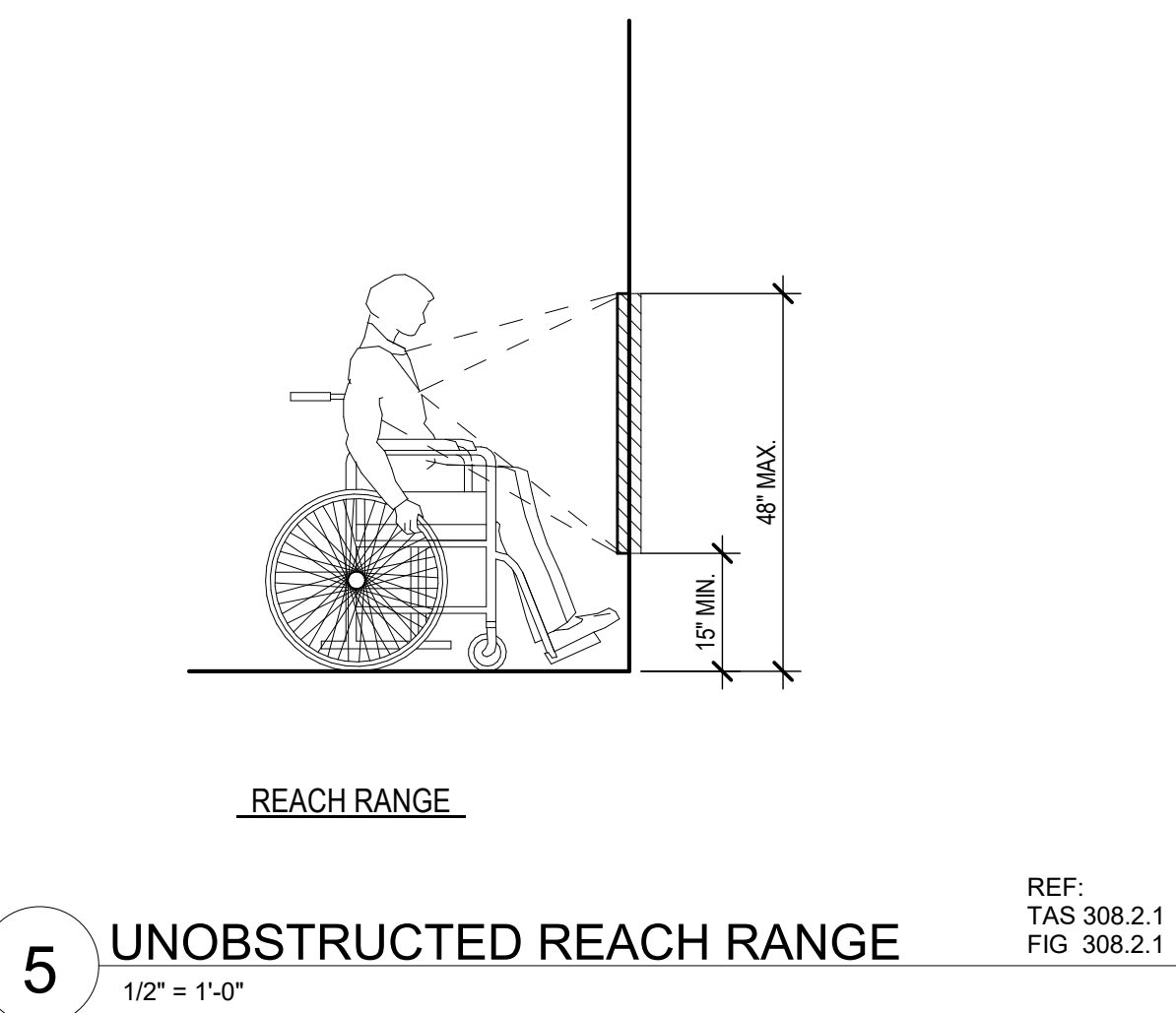
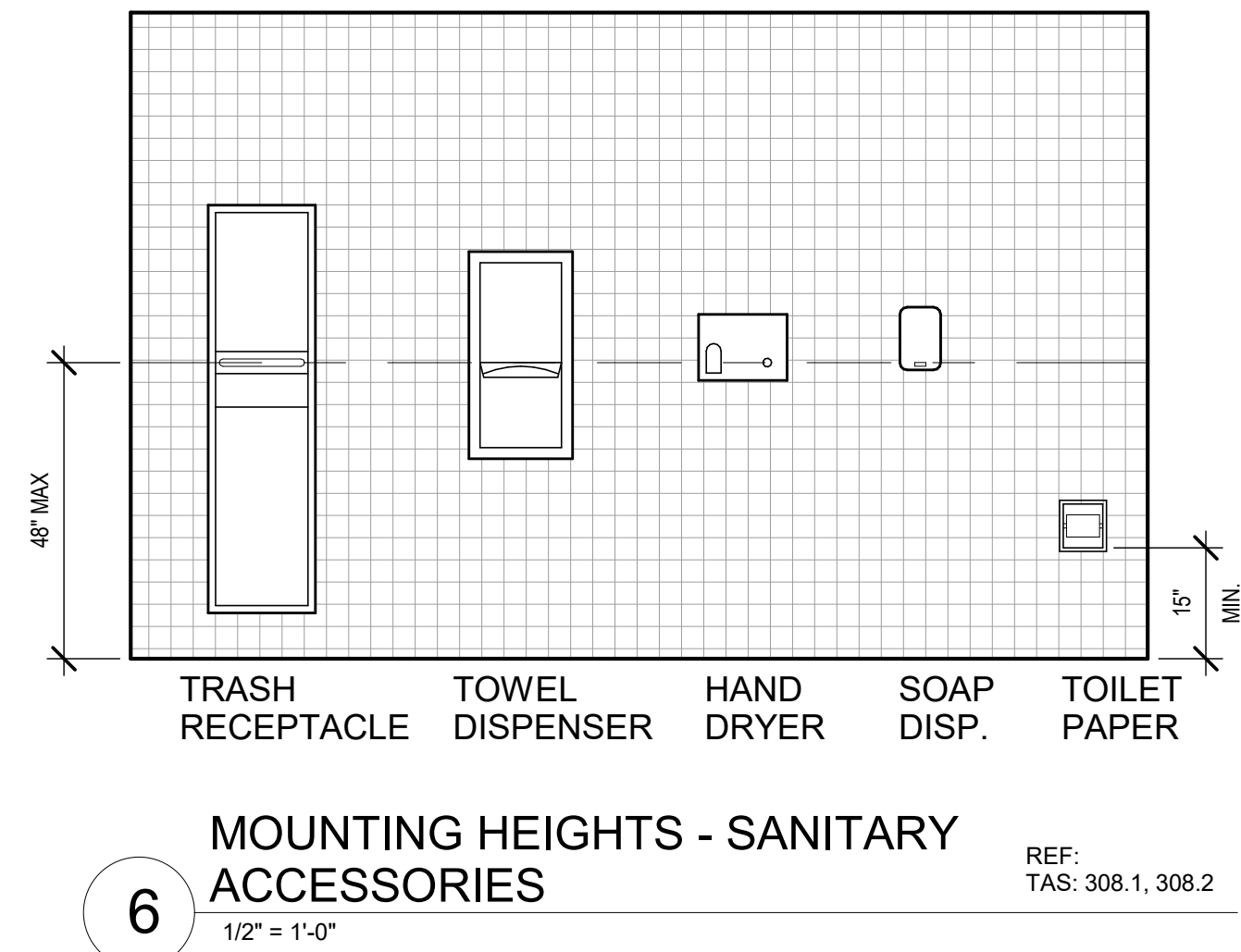
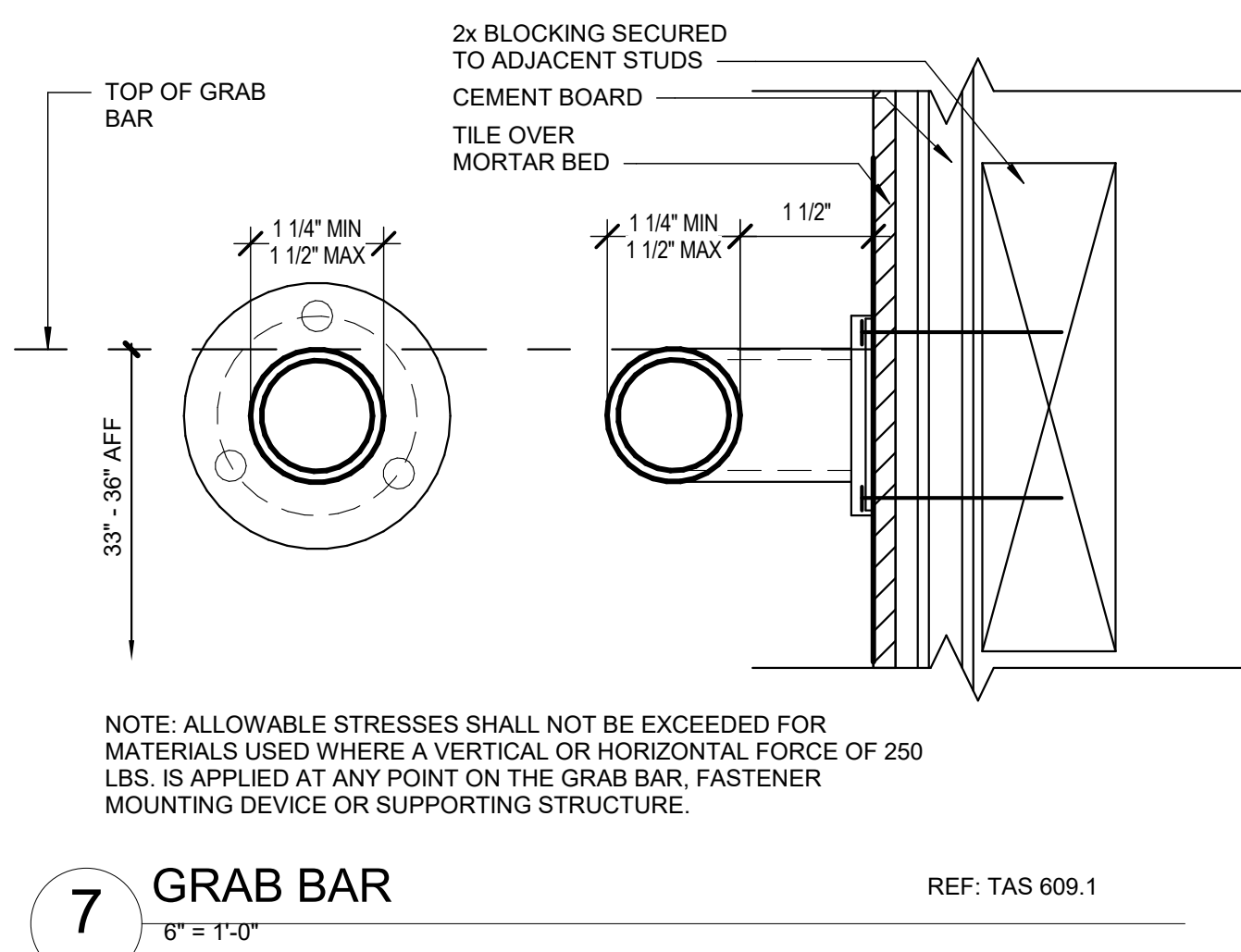
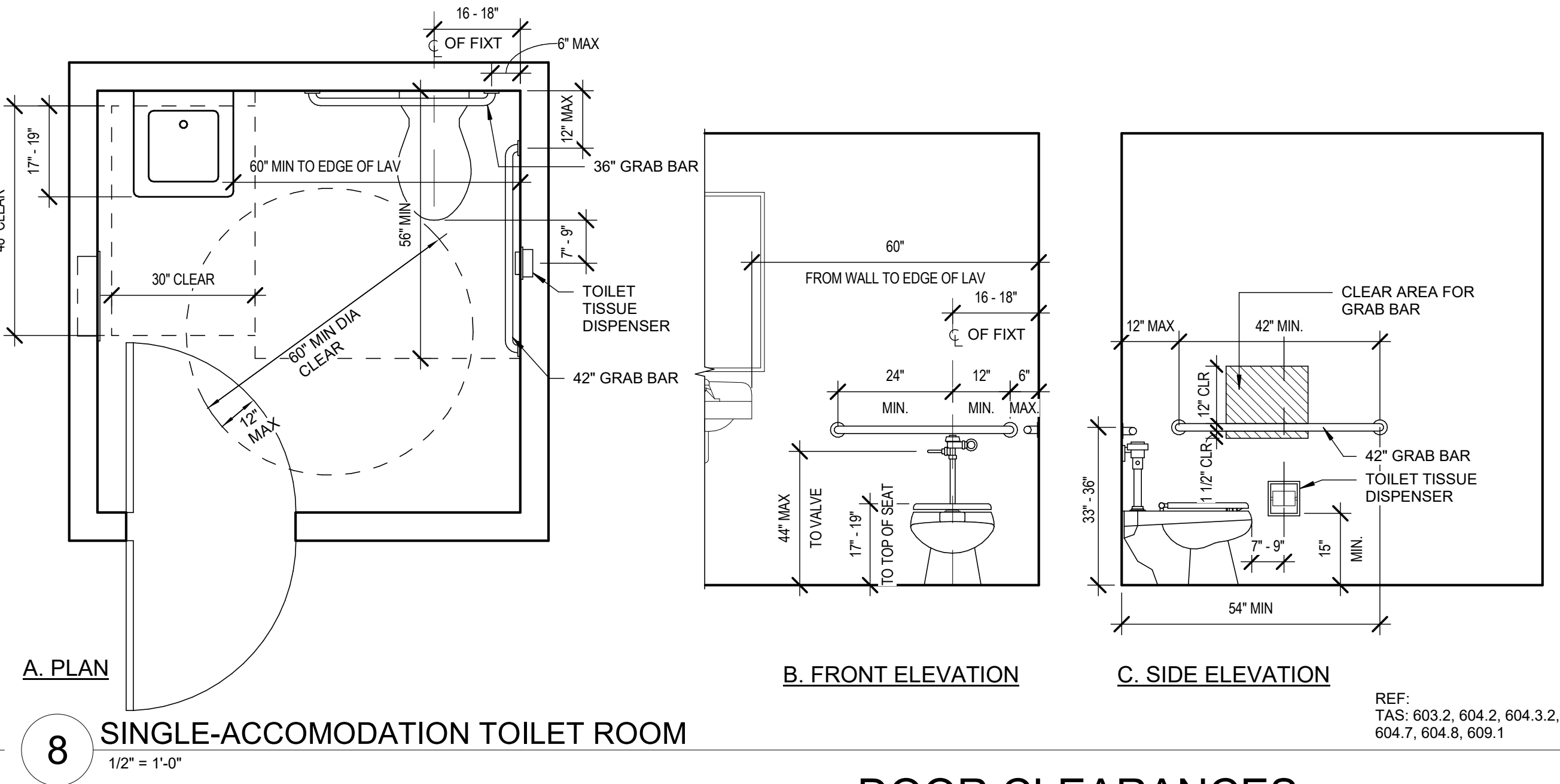
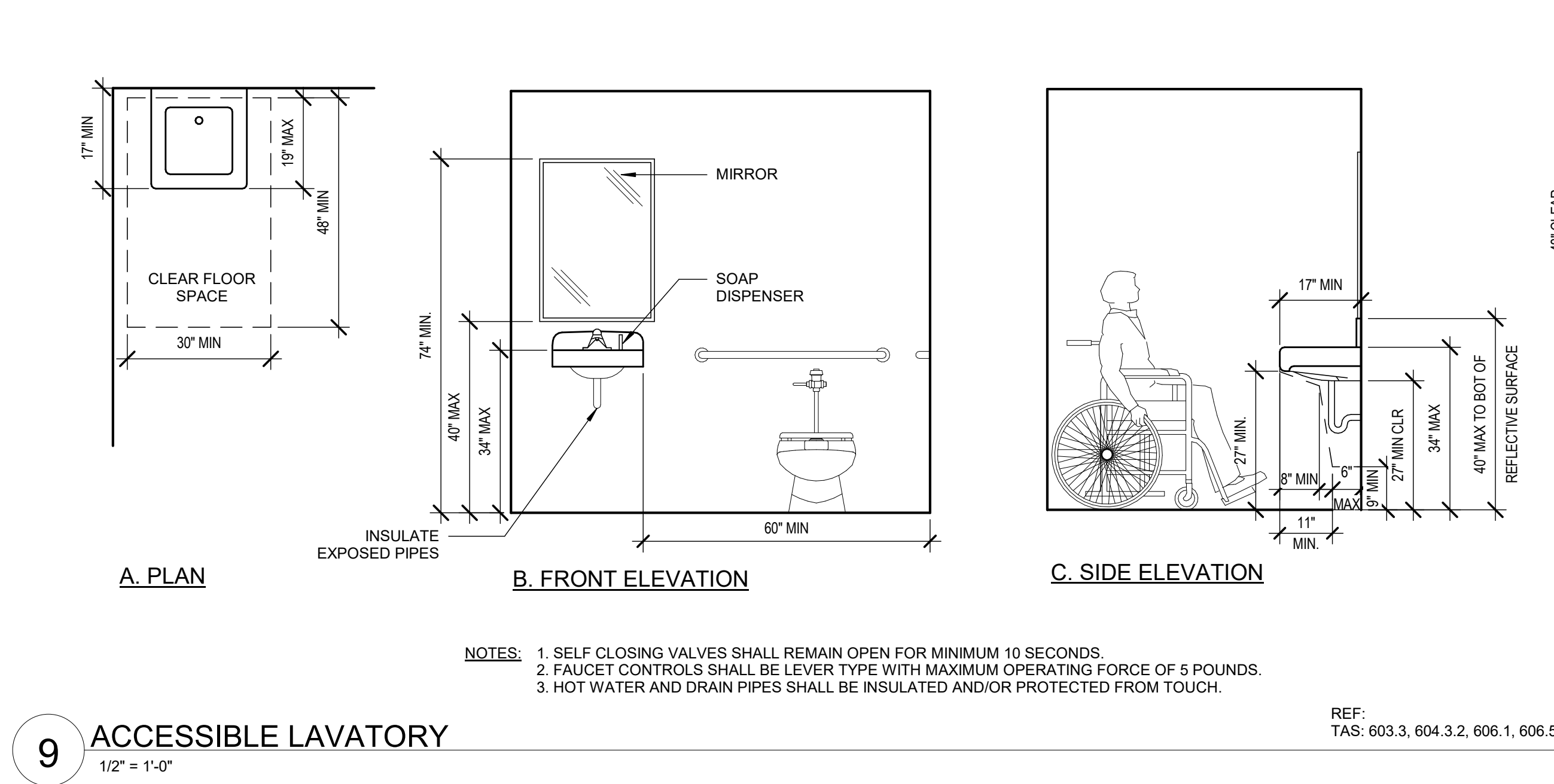
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	SUBMITTAL SET	07.26.2023

Sheet Title:

COVER SHEET

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Sheet Number

A0.0



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7/26/2023

Project
**MIO BY AMORE
BAR ADDITION**
6505 W Park Blvd #320,
Plano, TX 75093

Prepared for:



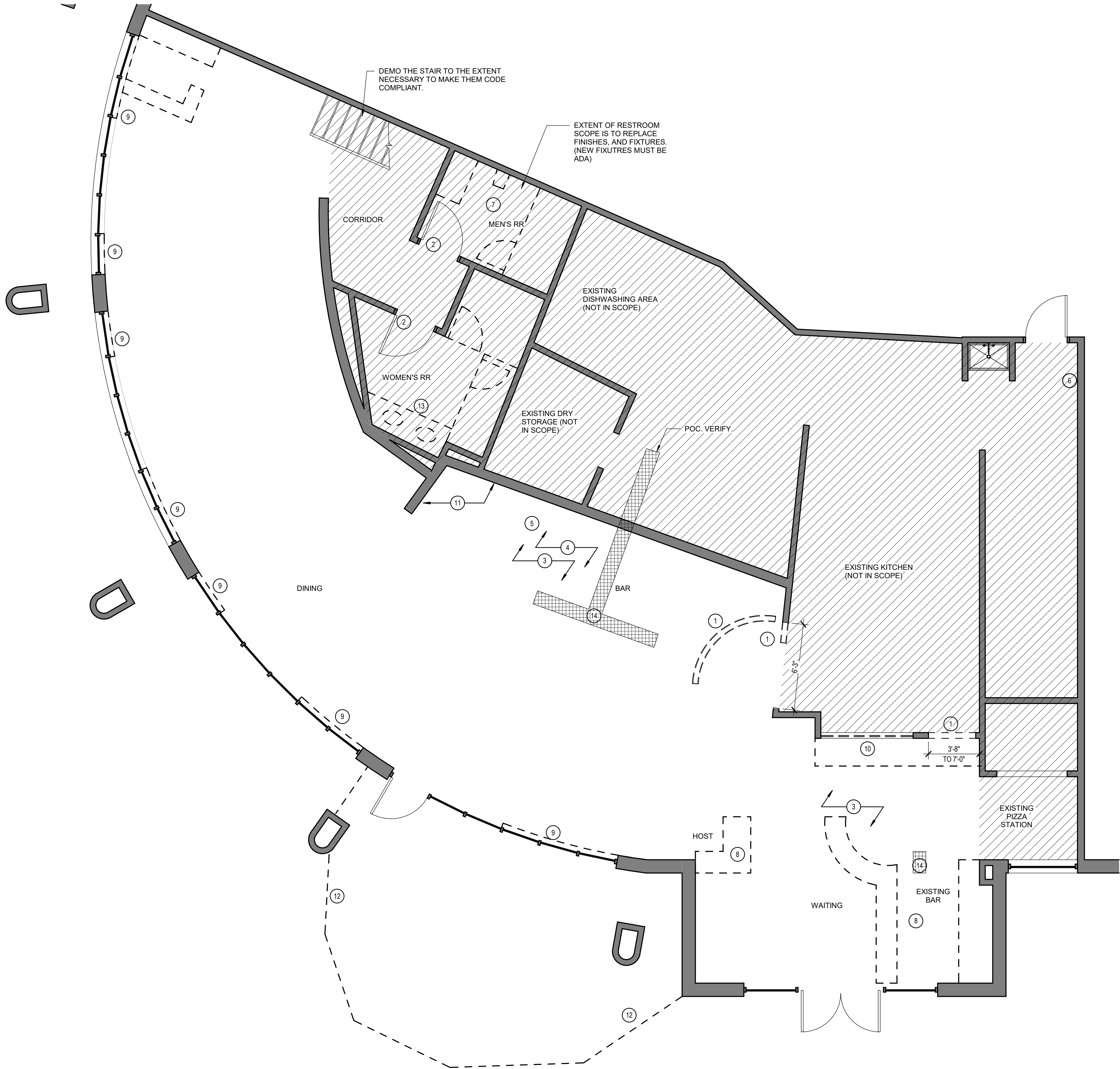
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No.	Description	Date
1	SUBMITTAL SET	07.26.2023

Sheet Title:

**TAS RESTROOM
ACCESSIBILITY
DIAGRAMS**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

A0.1



1 DEMO PLAN
1/4" = 1'-0"

DEMOLITION NOTES

1. THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON THE DRAWINGS FOR CONTRACTORS INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED.
2. FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION, REMOVAL AND/ OR SALVAGE OF ALL ITEMS. ONLY WORKMEN SKILLED AND KNOWLEDGEABLE IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION OF ANY WORK.
3. TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION, CONTRACTORS DESTROY OR DISTURB ANY WORK WHICH IS TO REMAIN, THEN HE SHALL AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY.
4. ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT WORK TO REMAIN.
5. ALL DEMOLITION WORK TO BE DONE DURING HOURS DESIGNATED BY OWNER.
6. DO NOT SCALE DRAWING.
7. VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND REPORT TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK.
8. REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A MANNER FULLY APPROVED BY LOCAL CODES AND ANY GOVERNING AUTHORITY.
9. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE SALVAGED OR AS OTHERWISE DIRECTED.
10. ALL BUILDING PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK

DEMOLITION LEGEND

- EXISTING CONSTRUCTION PARTITION, DOOR, GLAZING AND FRAMES TO REMAIN
- EXISTING CONSTRUCTION PARTITION, DOOR, GLAZING AND FRAMES TO BE REMOVED
- REFERS TO SPECIFIC DEMOLITION NOTES. BUBBLE NOTE WITHOUT ARROW APPLIES TO ENTIRE ROOM WHICH IT IS LOCATED UNLESS OTHERWISE NOTED.
- REFERS TO SPECIFIC DEMOLITION NOTES. BUBBLE NOTE WITH ARROW APPLIES ONLY TO OBJECT INDICATED.

SPECIFIC DEMOLITION NOTES

1. REMOVE PARTITION AND RELATED COMPONENTS. ALL DASHED LINES, UNLESS OTHERWISE NOTED.
2. REMOVE DOOR AND FRAME, ALL ASSOCIATED HARDWARE.
3. REMOVE FLOORING AND COVE BASE. REMOVE MORTAR/GLUE RESIDUE, PATCH AND LEVEL IMPERFECTION. PREPARE FOR NEW FINISH.
4. REMOVE CEILING PANELS.
5. REMOVE LIGHT FIXTURES. COORDINATE WITH TENANT AND DESIGNER EXTENT OF LIGHTS TO BE REPLACED.
6. EXISTING SERVICE AND ELECTRICAL PANELS TO REMAIN / REUSE.
7. REMOVE URINAL AND SINK. REMOVE TOILET PARTITION.
8. REMOVE HOST COUNTER, EXISTING BAR AND ALL OF ITS COMPONENTS. CAP ALL UNUSED PLUMBING LINES, INCLUDING FLOOR DRAINS, FLOOR SINKS, AND WATER LINES.
9. REMOVE FURR-OUT WALLS IN FRONT OF EXISTING STOREFRONT WINDOW. REMOVE WINDOW FILM.
10. REMOVE PASS-THRU WINDOW TO KITCHEN, CLOSE WALL IN MATCHING ADJACENT.
11. REMOVE BRICK VENEER, WINE RACKS ON WALL.
12. REMOVE EXISTING PATIO FENCE.
13. REMOVE SINK IN WOMEN'S RESTROOMS. REMOVE PARTITION AS NECESSARY.
14. SAW-CUT CONCRETE SLAB FOR THE INSTALLATION OF NEW DRAINS. REF. FLOOR PLAN FOR ADDITIONAL INFORMATION.



Studio HMA LLC

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Project
**MIO BY AMORE
BAR ADDITION**
6505 W Park Blvd #320,
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Prepared for:



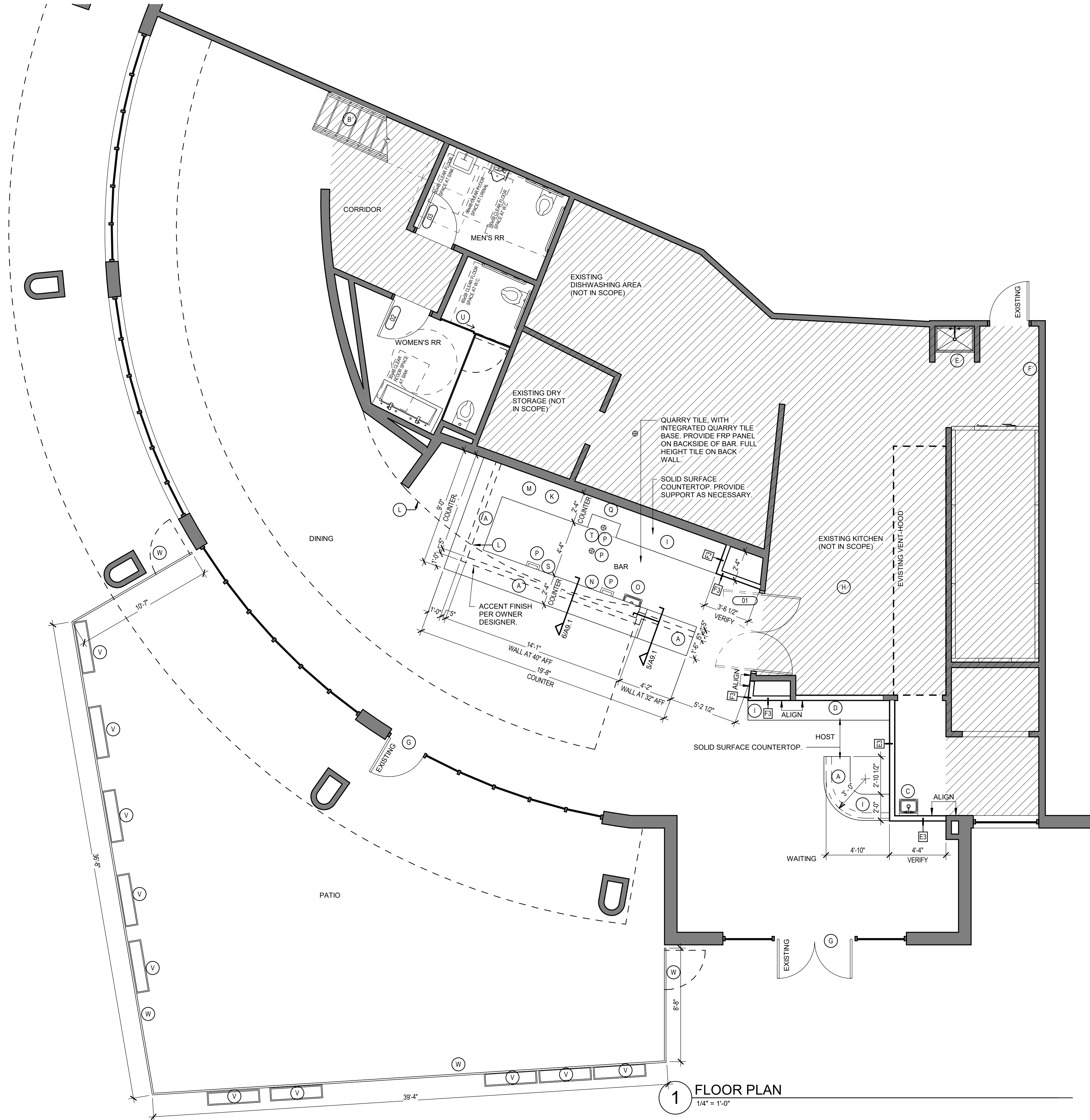
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Sheet Title:

DEMO AND EXISITING
PLAN

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

A1.2



1 FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

1. NO MODIFICATIONS TO MECHANICAL SYSTEMS ARE BEING PROPOSED.
2. LIMITED MODIFICATION TO UNDERGROUND PLUMBIGN IS BEING PROPOSED. REFERENCE PLUMBING SHEETS.
3. MINOR ELECTRICAL WORK TO THE EXTENT OF ACCOMMODATING NEW EQUIPMENT IS BEING POPOSED. REFERENCE ELECTRICAL SHEETS. WORK MUST BE PERFORMED BY LICENSED ELECTRICAL SUBCONTRACTOR.
4. LIMITED CEILING LIGHT FIXTURES WILL BE REPLACES WITH NEW FIXTURES MATCHING IN WATTS. NO ADDITIONAL FIXTURES ARE BEING PROPOSED. WORK TO BE COORDINATED BY OWNER AND GENERAL CONTRACTOR. ENSURE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR AND IN CONFORMANCE WITH ALL LOCAL CODES.
5. WHERE EXISTING CONCRETE SLAB-ON-GRADE HAS BEEN SAW CUT FOR INSTALLATION OF TRENCH DRAINS, CONCRETE CLOSURE POUR TO MATCH DEPTH OF EXISTING SLAB. COMPACT BACKFILL PER SOILS REPORT, 10 MIL STEGO WRAP, #4X18" SLAB DOWELS AT 12"O.C. W/ EPOXY AND MINIMUM 6" EMBED ON EACH SIDE OF TRENCH. COAT EXISTING CONCRETE JOINT WITH BONDING AGENT.
6. FLOOR TRANSITIONS SHALL OCCUR AT CENTER LINE OF DOORS. WHERE A DIFFERENCE IN ELEVATION OCCURS, FOLLOWING CRITERIA APPLIES:
 - A. 1/4" MAX VERTICAL EDGE
 - B. UP TO 1/2" MAX. WITH BEVELED EDGE AND WITH SLOPE NOT GREATER THAN 1:2
 - C. GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF RAMP.
7. PROVIDE ACCESS CEILING PANEL TO MECHANICAL EQUIPMENT ABOVE CEILINGS, COORDINATE WITH MEP DRAWINGS. PAINT TO MATCH CEILING.
8. PROVIDE WOOD BLOCKING ON WALLS FOR ALL RESTROOM ACCESSORIES, SHELVEING IN KITCHEN, AND OTHER OWNER PROVIDED WALL MOUNTED EQUIPMENT.
9. PREPARE SURFACES TO RECEIVE FINISHES AS REQUIRED BY MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDSS.
10. ALL WALLS AND GYP. CEILING TO BE SMOOTH FINISH, LEVEL 5.
11. DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE UNO.
12. REFER TO ACCESSIBILITY REQUIREMENTS SHEET (A 0.1) FOR MOUNTING HEIGHTS OF FIXTURES AND ACCESSORIES.
13. PROVIDE 5/8" MOISTURE AND MOLD RESISTANT GYP BOARD ON WALL WITH PLUMBING FIXTURES.

CEILING GENERAL NOTES

1. CEILING PLAN IS NOT PROVIDED AS NO CHANGES TO CEILING ARE BEING PROPOSED BEYOND WHAT IS NOTES IN THE FLOOR PLAN.
2. CEILING OVER BAR AREA MUST BE VINYL FACE CEILING TILE, OR GYP. BD. WITH SMOOTH FINISH PAINTED WITH LIGHT COLORED EPOXY PAINT.
3. CONTRACTOR TO REPLACE ALL NON-FUNCTIONING TRACK LIGHTS ILLUMINATING THE MURAL.
4. COORDINATE THE REPLACEMENT OF DECORATIVE LIGHTS WITH OWNE'S DESIGNER. LIGHTS MUST MATCH IN WATTS WITH EXISTING FIXTURES.

KEY NOTES

- (A) WALL BELOW COUNTER. PROVIDE STEEL TUBE SUPPORT AT 48" OC MAXIMUM
- (B) EXISTING STAIRS TO MEZZANINE LEVEL MUST BE RECONSTRUCTED TO MEET IBC 2021.
- (C) PROVIDE WALL MOUNTED HAND SINK, REROUTE EXISTING PLUMBING.
- (D) FILL WALL-IN IN PLACE OF PASS-THRU WINDOW TO MATCH ADJACENT WALL. PREPARE FOR FINAL FINISH AS SELECTED BY TENANT AND THEIR DESIGNER. PROVIDE FRP PANEL ON KITCHEN SIDE.
- (E) EXISTING WATER HEATER.
- (F) EXISTING ELECTRICAL PANELS.
- (G) PROVIDE THE FOLLOWING SIGN ON EGRESS SIDE OF DOOR: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.
- (H) EXISTING KITCHEN FLOORING IS QUARRY TILE, WITH QUARRY TILE BASE, FULL HEIGHT FRP PANEL, AND VINYL FACE CEILING TILE. ALL DAMAGED MATERIAL SHOULD BE REPLACED.
- (I) POS UNIT. PROVIDE POWER AND DATA CONNECTION. VERIFY LOCATION WITH OWNER.
- (J) FIRE EXTINGUISHER PER IFC 906.
- (K) PROVIDE LIQUOR DISPLAY SHELVES. COORDINATE WITH OWNER AND DESIGNER.
- (L) EXTEND CEILING TO THE EDGE OF BAR. PROVIDE GYP. BD. ALIGNING WITH THE EDGE OF EXISTING BULKHEAD. PROVIDE STEEL SUPPORT AS NECESSARY. ALIGN WITH EXISTING CURVE OF WALL.
- (M) PROVIDE IN WALL 5/8" FRT PLYWOOD SUBSTRATE BLOCKING FOR SUPPORT OF SHELF. CONTRACTOR TO VERIFY LOCATIONS WITH TENANT.
- (N) VENDOR PROVIDED SODA GUN CONNECTED TO SYRUP RACK IN; GENERAL CONTRACTOR TO COORDINATE REQUIREMENTS.
- (O) HAND SINK WITH SPLASH GUARDS
- (P) FLOOR SINK / FLOOR DRAIN. SLOPE TO DRAIN. REF. MEP.
- (Q) CONTRACTOR TO COORDINATE LOCATION OF TENANT PROVIDED TVS PRIOR TO CLOSING WALLS IN. REF. MEP FOR GENERAL LAYOUT. PROVIDE IN-WALL BLOCKING.
- (S) 3-COMPARTMENT UNDERBAR SINK WITH DRAINBOARD. PROVIDE DECK MOUNT FAUCET.
- (T) COORDINATE FLOOR DRAIN WITH KEGERATOR.
- (U) PROVIDE TOILET PARTITION SLIDING DOOR MEETING ADA OPERABLE PARTS AND CLEARANCES.
- (V) RECTANGULAR PLANTER BOX. TYP. BASIS OF DESIGN: BRISBANE EXTRA LARGE PLANTER BOXES. SKU:70150.48-MDB, COCOA BROWN
- (W) PATIO SCREEN WALL: 36" TALL ALUMINUM FENCE SYSTEM. BLACK. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE PEDESTRIAN EXIT GATES AT BOTH ENDS OF PATIO.

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Project
**MIO BY AMORE
BAR ADDITION**
6505 W Park Blvd #320,
Plano, TX 75093

Prepared for:



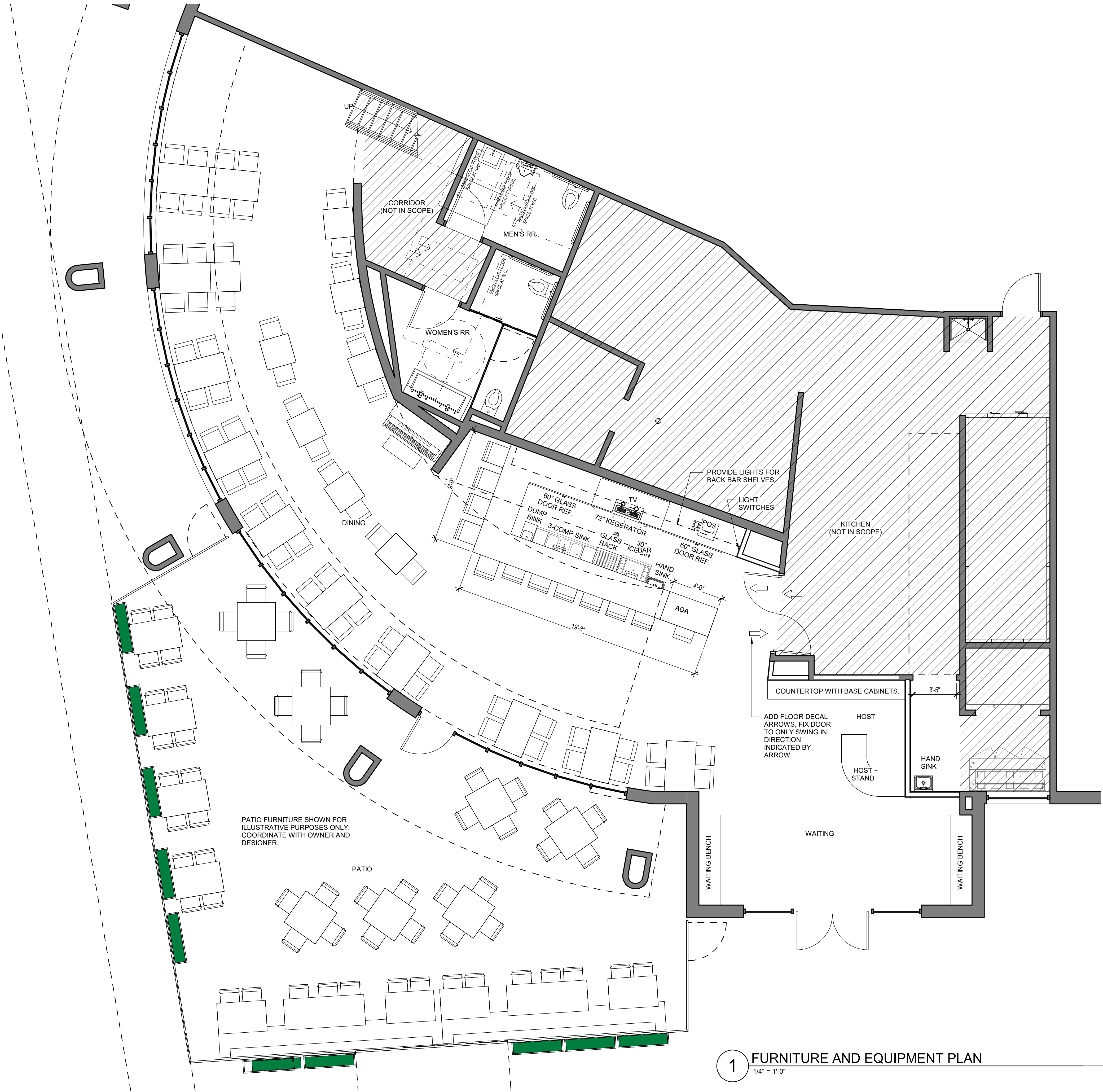
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Sheet Title:

FLOOR PLAN

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

A2.1



KITCHEN EQUIPMENT NOTES

- 1.KITCHEN EQUIPMENT SCHEDULE PROVIDED FOR REFERENCE ONLY, CONTRACTOR TO VERIFY AND CONFIRM ALL EQUIPMENT WITH OWNER AND KITCHEN EQUIPMENT PROVIDER.
- 2.GENERAL CONTRACTOR TO PROVIDE FIRST SHELF 6" A.F.F. AND 19" BETWEEN EACH SHELF ABOVE THAT FOR ALL FLOOR SHELVING.
- 3.ALL SHELVING ABOVE SINKS ARE TO BE EPOXY COATED AND GENERAL CONTRACTOR IS TO PROVIDE BLOCKIGN IN WALLS FOR SHELVING.
- 4.ALL SHELVING ABOVE SINKS ARE TO BE MOUNTED 66" A.F.F. FOR THE FIRST SHELF AND 19" IN BETWEEN EACH SHELF ABOVE THAT FIRST.
- 5.GENERAL CONTRACTOR TO MAKE ALL MECHANICAL, PLUMBING, AND ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT.
- 6.THE GENERAL CONTRACTOR WILL RECEIVE, UNCRATE, AND SET IN PLACE ALL KITCHEN EQUIPMENT. THE GENERAL CONTRACTOR WILL COORDINATE WITH THE KITCHEN EQUIPMENT SUPPLIER REGARDING THE EQUIPMENT DELIVERY DATES AND TIME.

BAR EQUIPMENT BY OWNER

LISTED FOR REFERENCE ONLY

- 1. POINT OF SALE SYSTEM (RELOCATED)
- 2. 17" UNDERBAR HAND SINK
- 3. 3 COMPARTMENT UNDERBAR SINK (GLASSWASH) (18" DEEP)
- 4. 1 COMPARTMENT DUMP SINK (18" DEEP)
- 5. 30" ICE BIN WITH 10 CIRCUIT COLD PLATE + SODA GUN (18" DEEP)
- 6. 24" WIDE X18" DEEP GLASS STORAGE RACK
- 7. STAINLESS STEEL UNDERBAR SHELVES
- 8. 72" DRAFT BEER COOLER (KEGERATOR)
- 9. 2x60" UNDERBAR GLASS DOOR REFRIGERATOR
- 10. TRASH BINS; VARIOUS SIZES AND LOCATIONS
- 11. BAR STOOLS
- 12. TABLES AND CHAIRS



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FOOD SERVICE
EQUIPMENT

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FS1.0

ELECTRICAL SYMBOLS	
	110 VOLT DUPLEX RECEPTACLE
	GFCI DUPLEX OUTLET
	DEDICATED DUPLEX OUTLET
	DEDICATED QUAD OUTLET

ELECTRICAL NOTES:

1.

AS A MINIMUM, ALL WORK SHALL CONFORM TO BASE BUILDING SPECIFICATIONS AND ELECTRICAL CODES AND STANDARDS OF THE LOCAL AND NATIONAL AUTHORITY HAVING JURISDICTION.
2.

CONTRACTOR TO VERIFY FINAL QUANTITY AND LOCATIONS OF ALL ELECTRICAL LIGHTS AND SWITCHES WITH OWNER/TENANT.
3.

CONTRACTOR TO VERIFY ALL ELECTRICAL OUTLETS LOCATIONS AND MOUNTING HEIGHTS WITH OWNER/TENANT, ALL OUTLETS TO BE MOUNTED AT 18" A.F.F. U.N.O.
4.

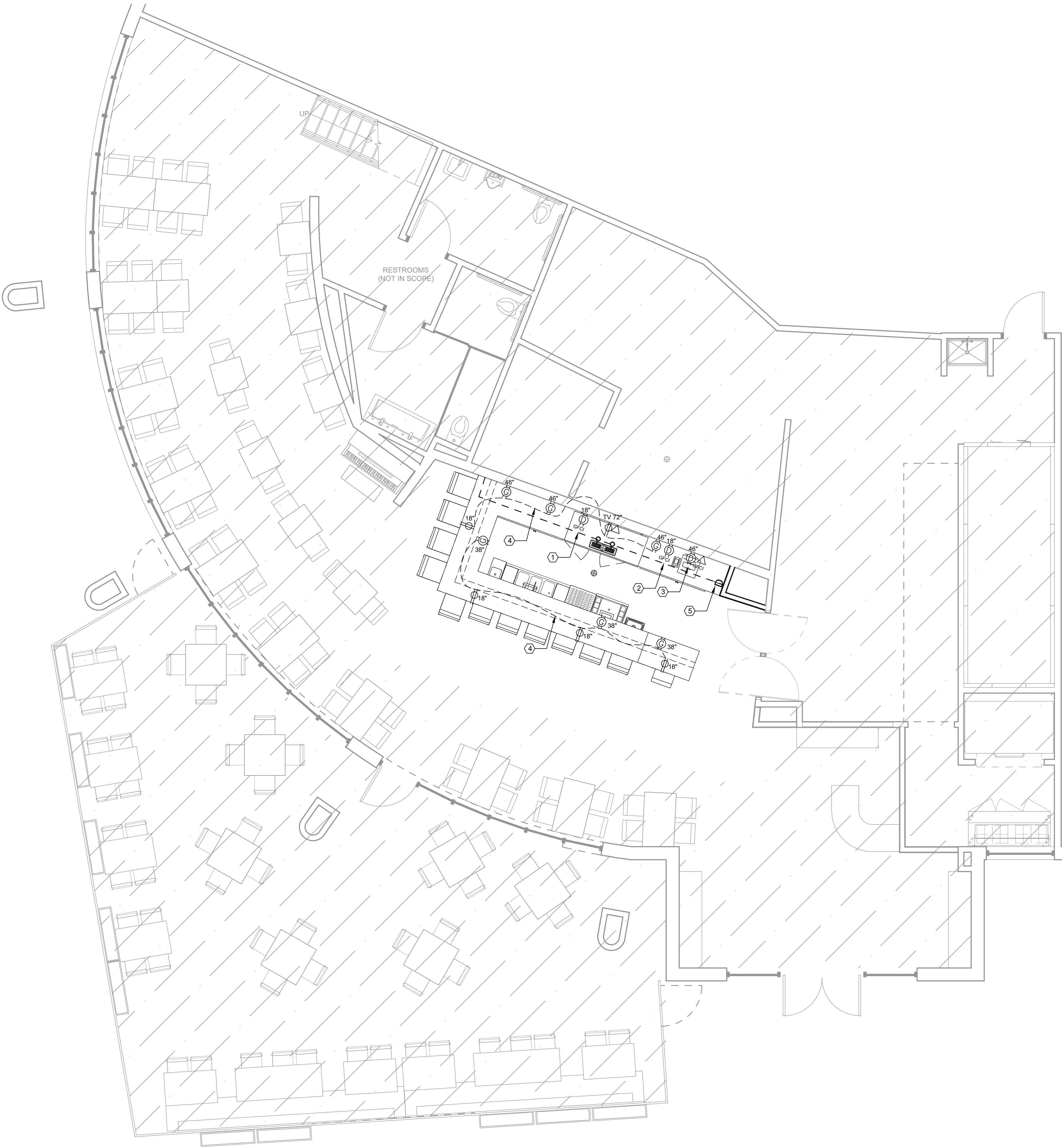
ELECTRICIAN TO VERIFY MANUFACTURE'S ELECTRICAL REQUIREMENTS INCLUDING BREAKER AND WIRE SIZE FOR ALL EQUIPMENT.
5.

MC CABLING TO BE USED THROUGHOUT.
6.

ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE SHORT CIRCUIT AND FAULT CURRENT AT THE SERVICE LOCATION AND PROVIDE FUSES AND BREAKERS WITH ADEQUATE INTERRUPTING CAPACITY PER LOCAL AND NEC REQUIREMENTS.
7.

INSULATION: PROVIDE TYPE THW, THWN, OR XHHW TYPE INSULATIONS. COORDINATE TYPE WITH CONDITIONS, NEC REQUIREMENTS, AND CONDUIT FILL REQUIREMENTS. ALL WIRING SIZES ARE BASED ON 60° C OR 75° C INSULATION ACCORDING TO CURRENT, REGARDLESS OF ACTUAL INSULATION USED. COMPLY WITH UL "GREEN BOOK" REQUIREMENTS. REFERENCE CONDUIT NOTES BELOW.
- HOMERUNS: PROVIDE MINIMUM #10 AWG WIRING ON ALL 120V HOME RUNS 100 FEET OR GREATER.
- NEUTRALS: SIZE ALL NEUTRALS FULL UNLESS SPECIFICALLY REDUCED ON PLANS. PROVIDE SEPARATE NEUTRALS (DO NOT SHARE) UNLESS NOTED OTHERWISE.
- 208Y/120V, 1 PHASE, 3 WIRE
 - PHASE A - BLACK
 - PHASE B - RED
 - NEUTRAL - WHITE
 - GROUND - GREEN

KEYED NOTES	
①	PROVIDE NEW DEDICATED DUPLEX OUTLET FOR KEGERATOR, 20A 1-POLE BREAKER #12 WIRE.
②	PROVIDE NEW DEDICATED DUPLEX OUTLET FOR FRIDGE, 20A 1-POLE BREAKER #12 WIRE.
③	PROVIDE NEW DEDICATED QUAD OUTLET FOR POS SYSTEM, 20A 1-POLE BREAKER #12 WIRE.
④	PROVIDE NEW 20A 1-POLE BREAKER #12 WIRE FOR NEW OUTLETS.
⑤	PROVIDE NEW DIMMER SWITCH WHERE LOCATED, CONNECT TO EXISTING PENDANT LIGHTS IN BAR AREA.
NOTE: ALL NEW OUTLETS TO BE PLACED ON NEW OR EXISTING SPARE BREAKER, VERIFY SPACE ON PANEL IN FIELD.	



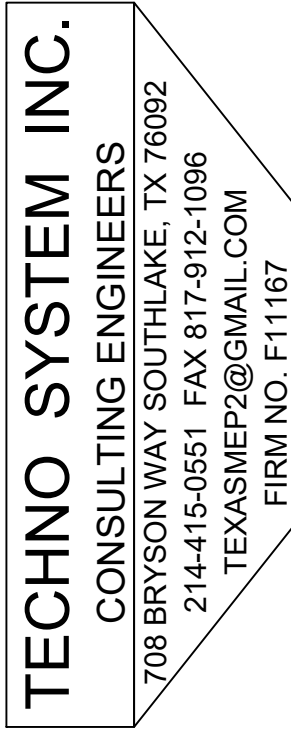
ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"



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Sheet Title
ELECTRICAL POWER
PLAN

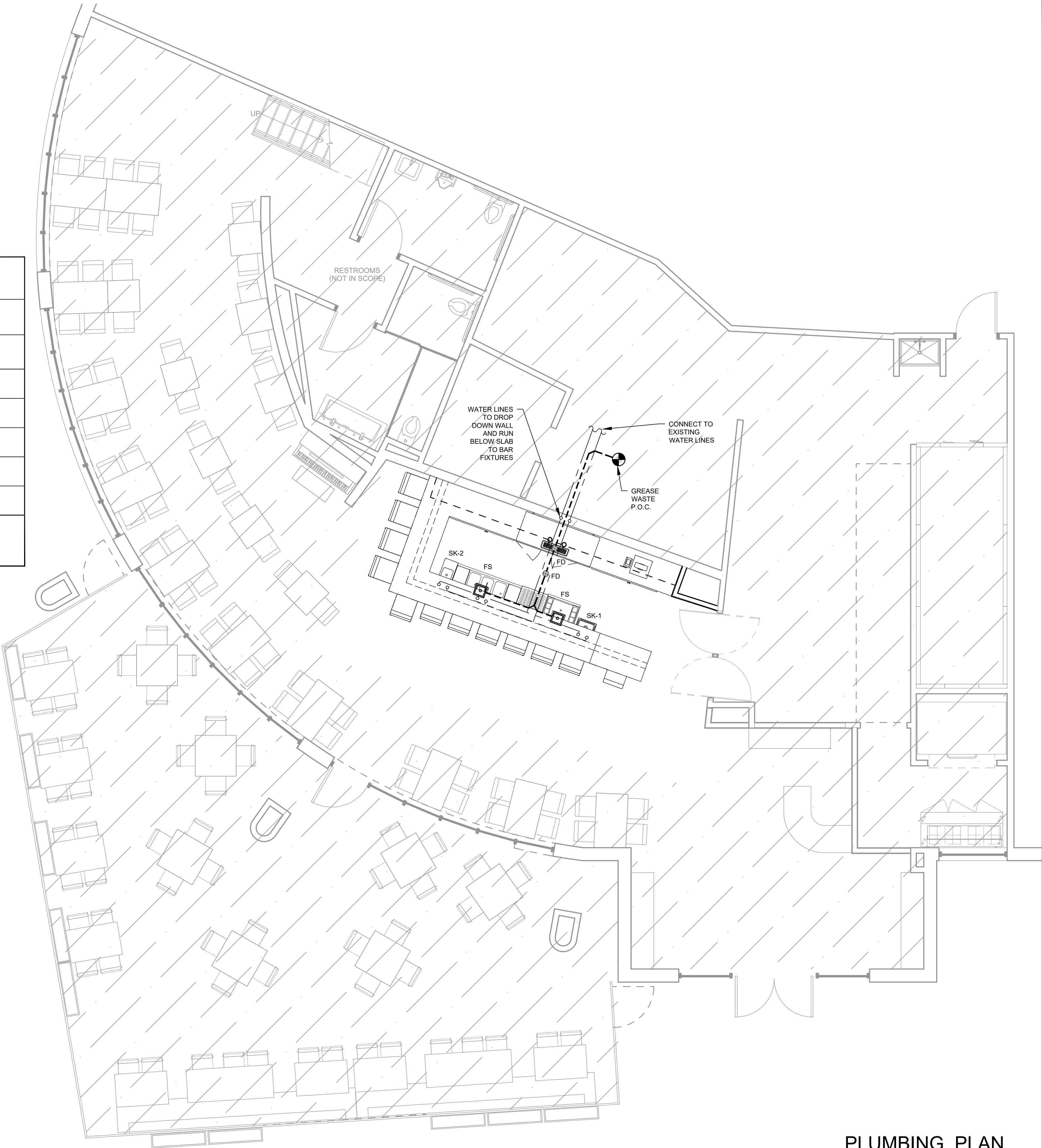
E-1

Sheet Number

PLUMBING LEGEND	
	DOMESTIC COLD WATER (PEX)
	DOMESTIC HOT WATER (PEX)
	GREASE WASTE (SCHD. 40 PVC)

- PLUMBING NOTES:
- ALL HOT & COLD WATER LINES TO BE PEX. (UPNOR LOGIC SYSTEM)
 - ALL GREASE WASTE LINES TO BE PVC.
 - INSULATE WATER LINES PER CURRENT INTERNATIONAL PLUMBING AND CITY ADOPTED CODES.
 - INSTALL SHUT OFF VALVES WITH EACH FIXTURE.
 - ALL FIXTURES SHALL HAVE P-TRAP.
 - ALL FLOOR DRAINS AND FLOOR SINKS SHALL HAVE A MINIMUM 2" VENT.
 - COMPLY WITH CURRENT INTERNATIONAL PLUMBING CODE.
 - PROVIDE THERMOSTATIC MIXING VALVE AT ALL HAND SINKS. TEMPERATURE TO BE SET AT 105 DEGREES.
 - ALL SANITARY ROOF VENTS TO BE INSTALLED A MIN 15' FROM ANY RTU FRESH AIR INTAKE.
 - ALL GAS LINES TO BE SCHEDULE 40 BLACK STEEL PIPING.
 - PROVIDE SHUT OFF VALVE AND REGULATOR FOR ALL GAS APPLIANCES.
 - SEAL ALL GAS PIPE PENETRATIONS WITH MATCHED FIRE RATING COMPOUND WHERE REQUIRED.

PLUMBING FIXTURE SCHEDULE						
SYMBOL	FIXTURE	CONNECTIONS				
		WASTE	TRAP	VENT	CW	HW
SK-1	S.S. HAND WASH SINK, T.B.D.	-	-	-	1/2"	1/2"
SK-2	S.S. DUMP SINK, T.B.D.	-	-	-	1/2"	1/2"
SK-3	S.S. 3-COMPARTMENT SINK, T.B.D.	-	-	-	1/2"	1/2"
FS	FLOOR SINK, 12x12x6	3"	2"	2"	-	-
FD	FLOOR DRAIN, 3" W/TRAP PRIMER & GRATE	3"	2"	2"	-	-
NOTE: PLUMBER TO VERIFY ALL FIXTURE TYPES, FAUCETS, AND FITTINGS W/ARCHITECT AND/OR BUILDER.						



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07.21.2023

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214-415-0551 FAX 817-912-1096
TEXASMEP2@GMAIL.COM
FIRM NO. F11167

Project

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BAR ADDITION

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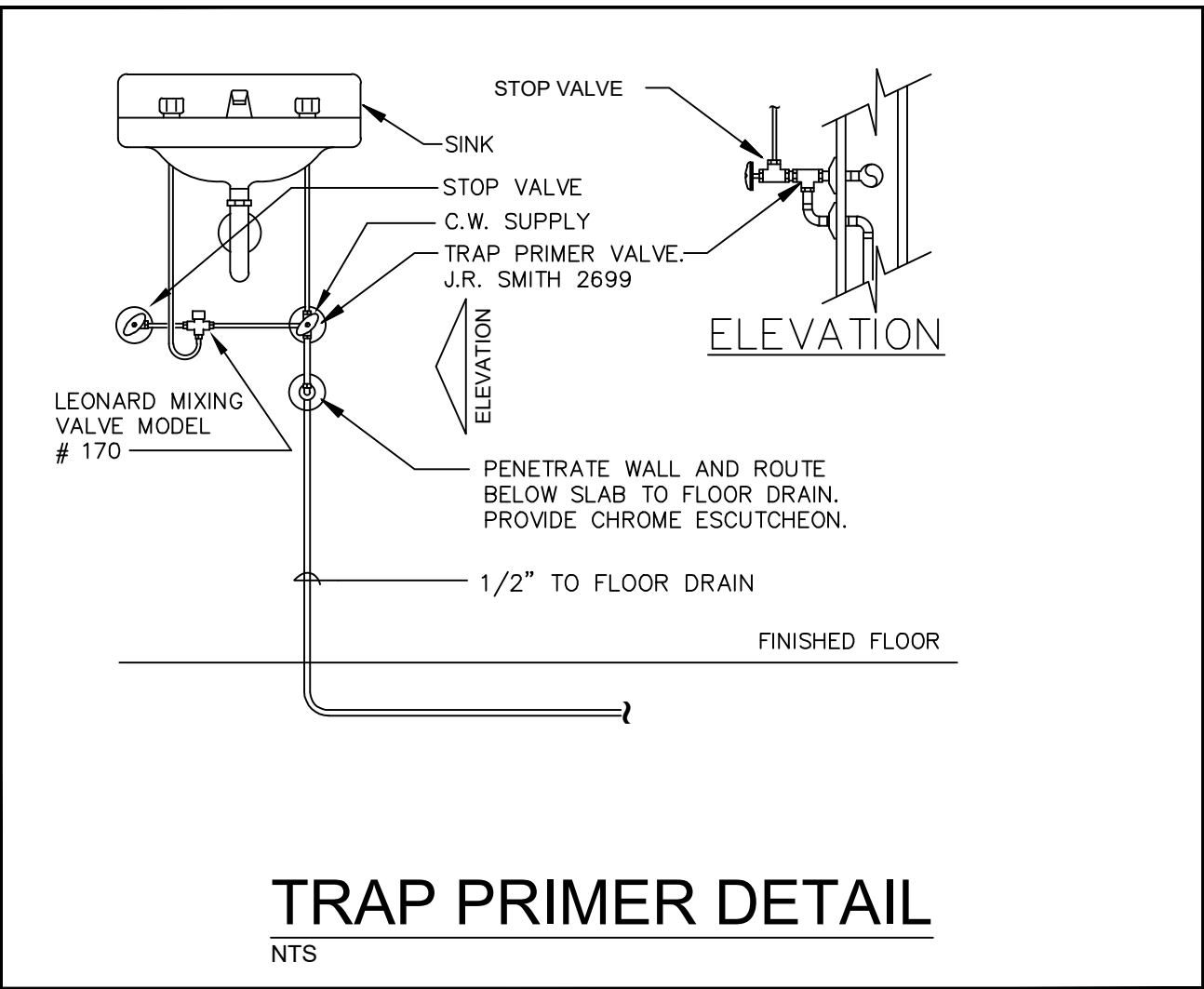
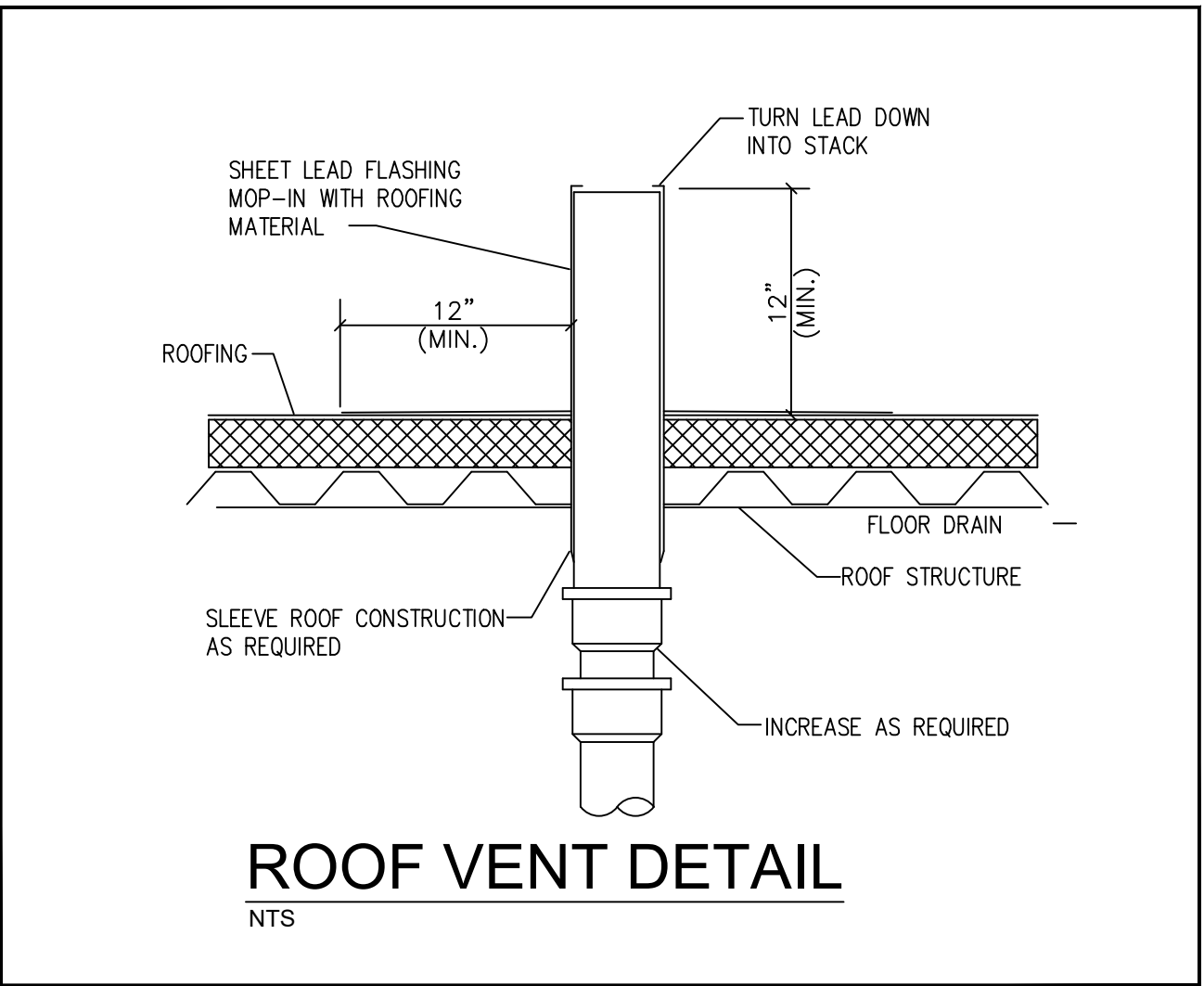
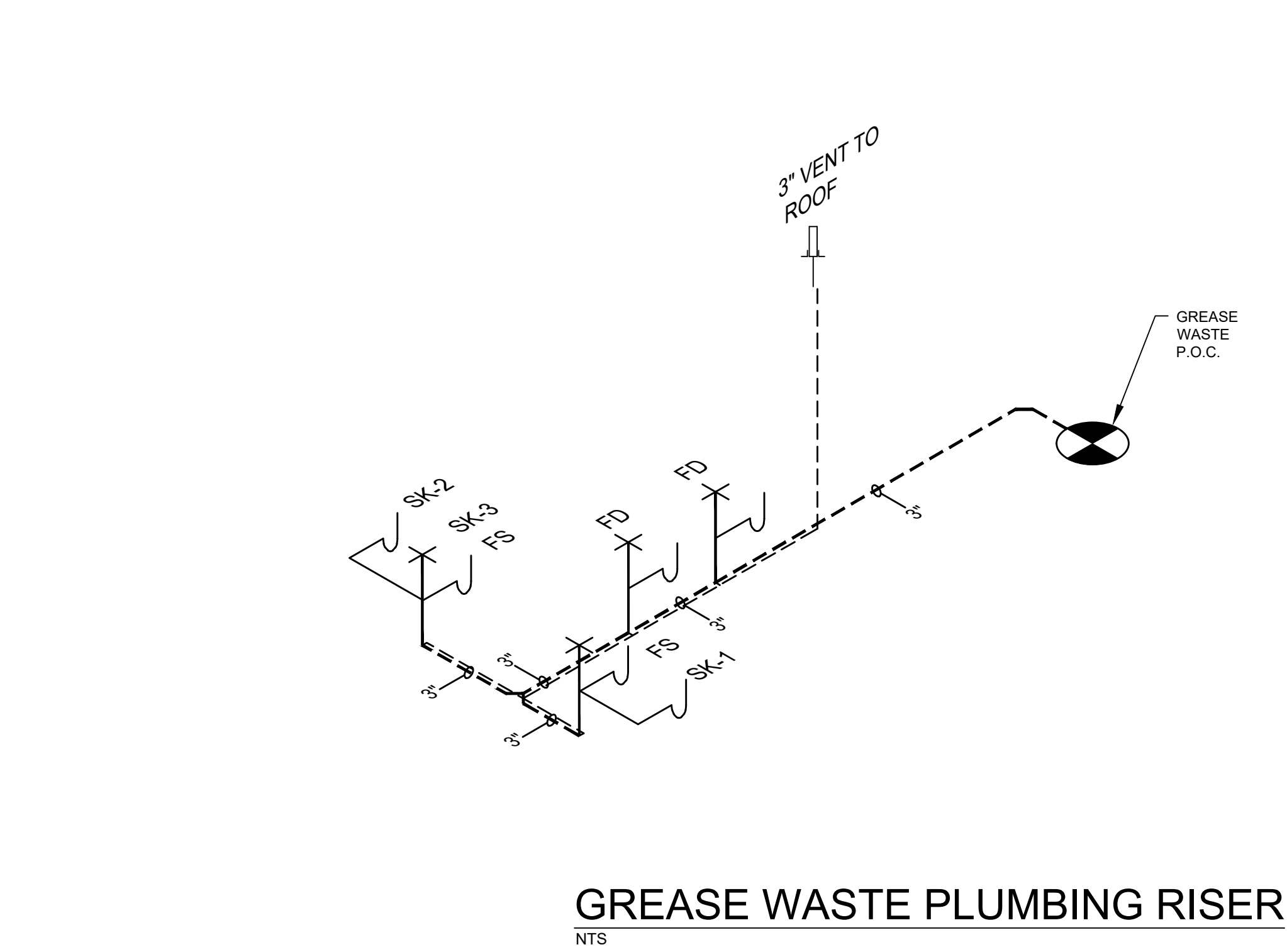
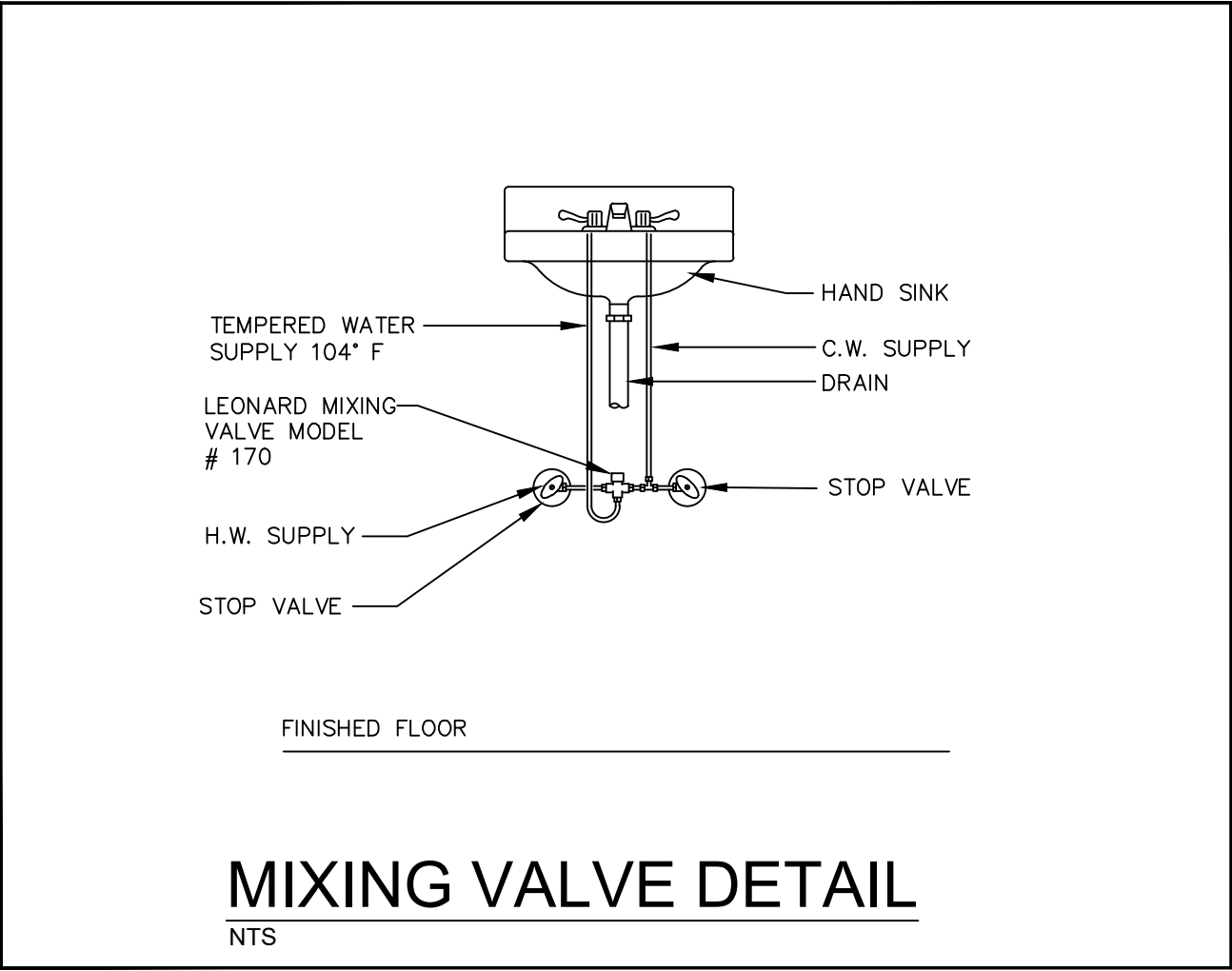
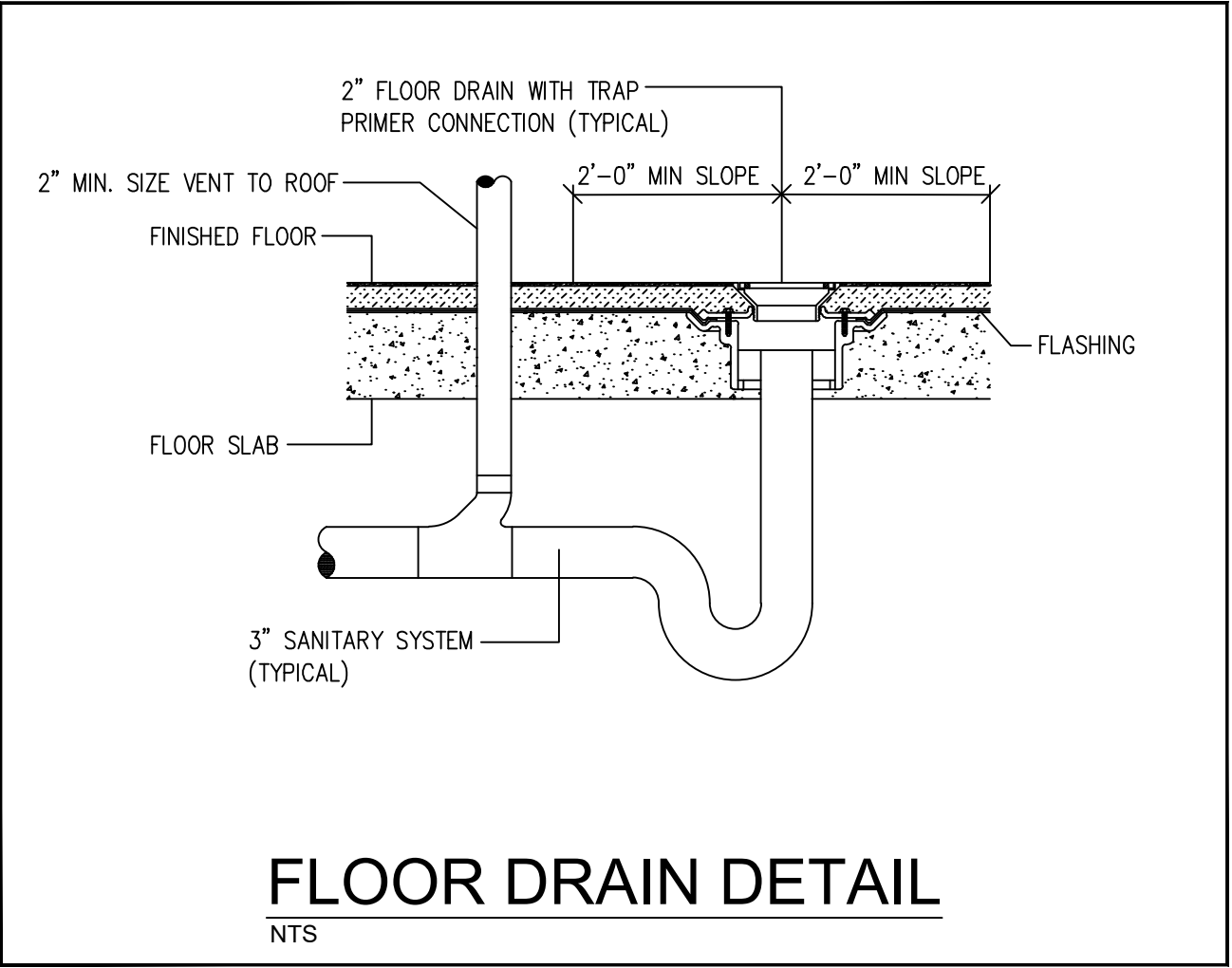
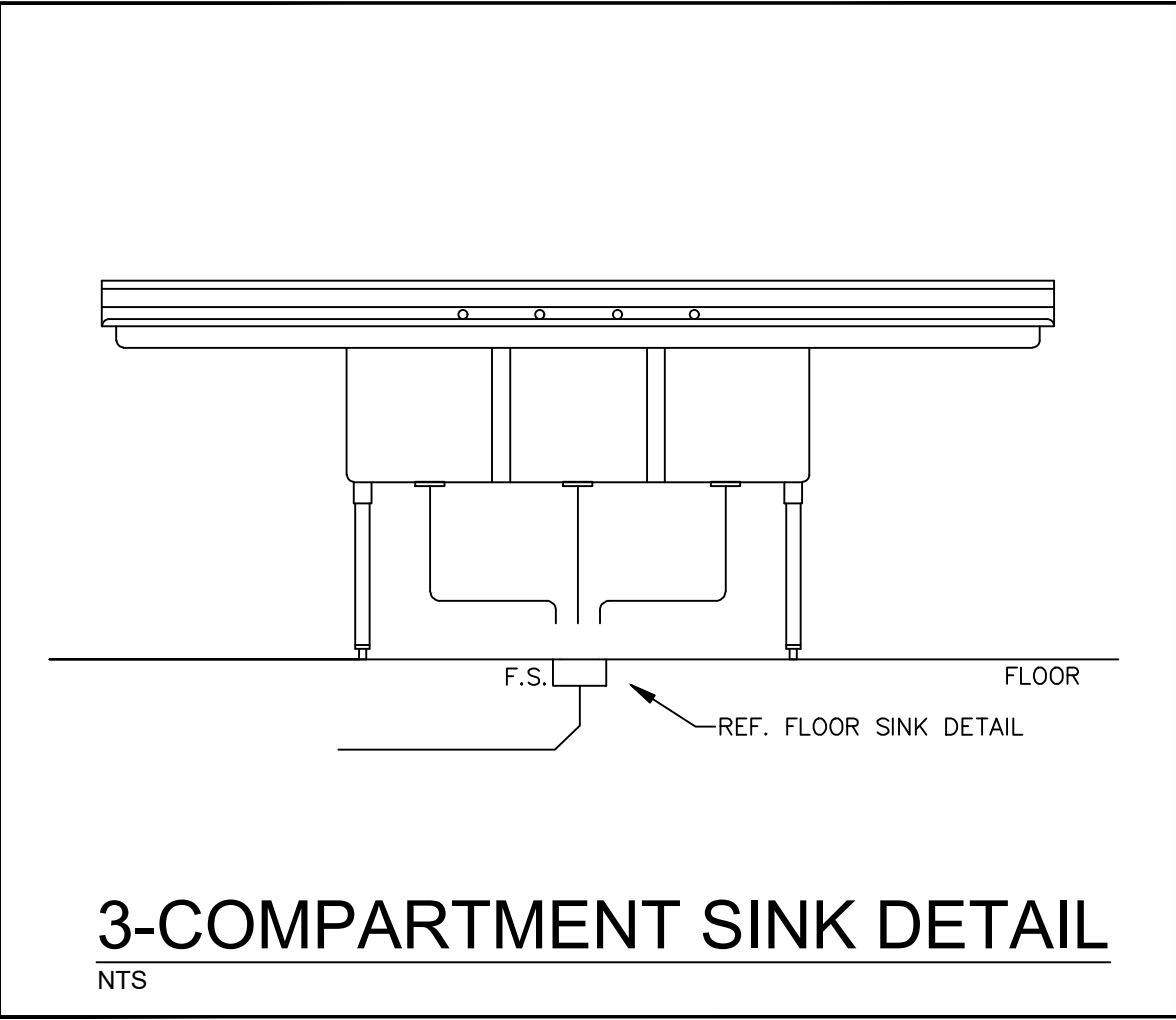
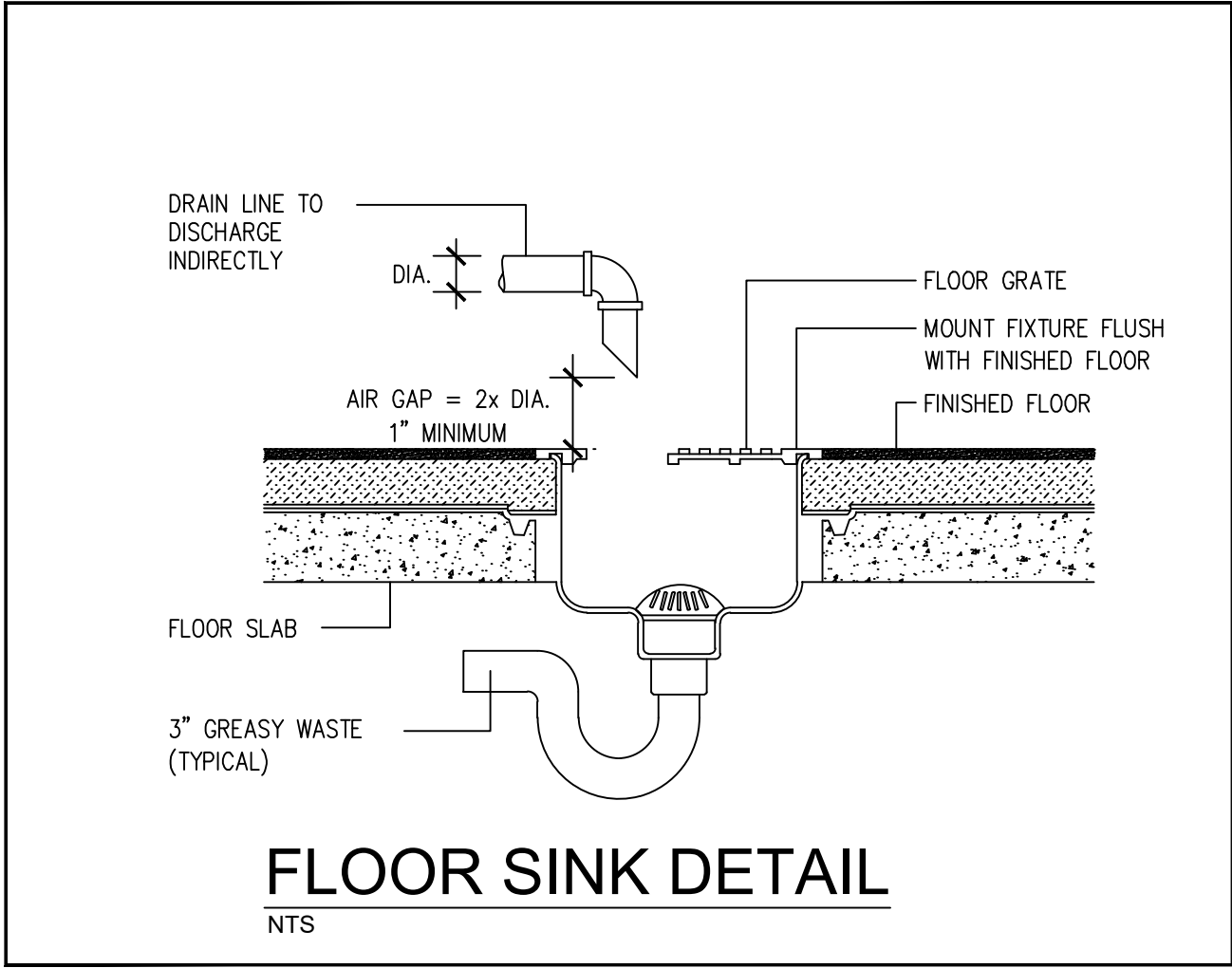


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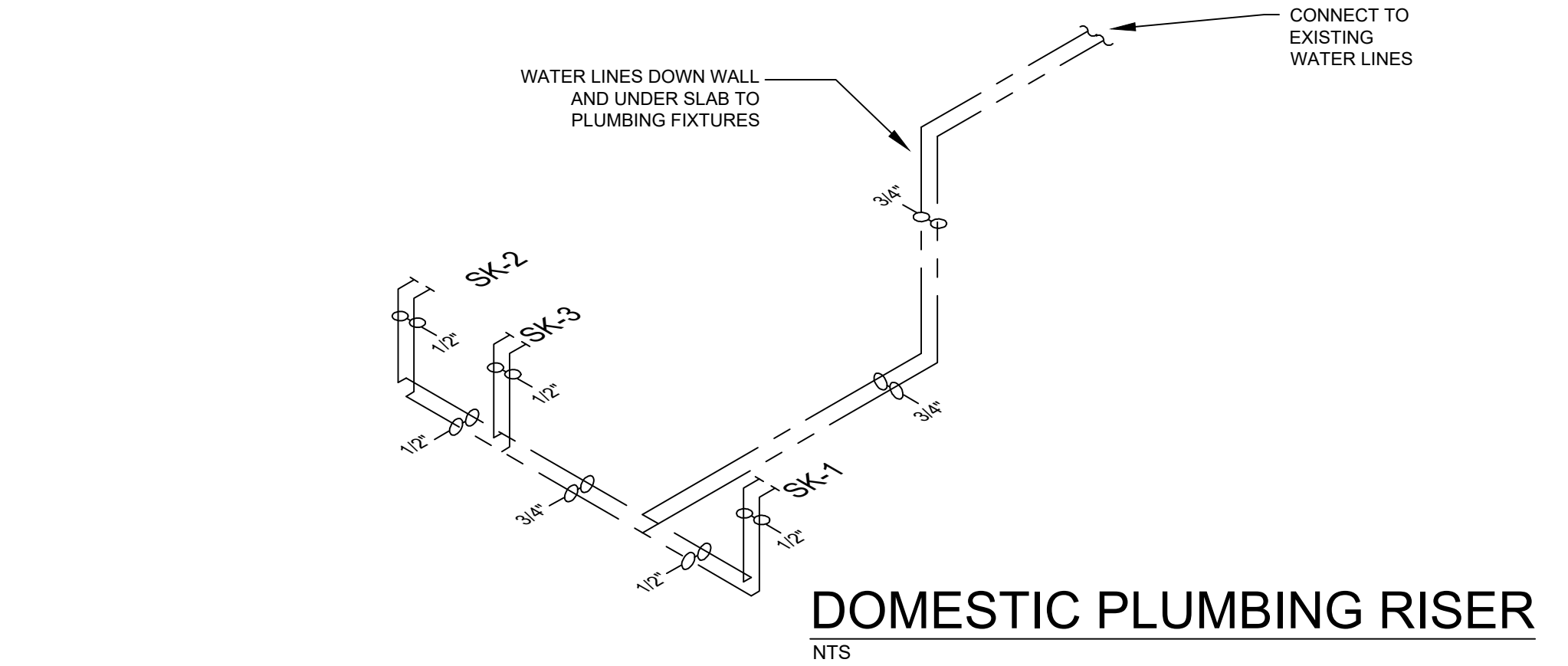
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PLUMBING PLAN

P-1
Sheet Number



ROOFING NOTE:
WHERE NOTED TO CAP & SEAL ALL ROOFING WORK (CUTS, REPAIRS, SPUD WORK, ETC.) SHALL BE PERFORMED BY THE LANDLORD'S APPROVED ROOFING CONTRACTOR.



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PLUMBING RISERS & DETAILS

P-2
Sheet Number