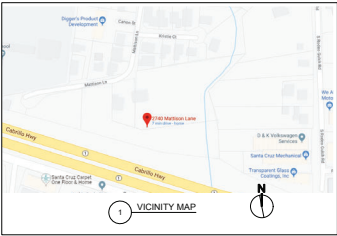


GENERAL NOTES

1. IT IS THE INTENT OF THE DRAWINGS TO DESCRIBE THE EXTENT AND THE RELATIONSHIPS, DIMENSIONAL AND POSITIONAL, OF THE MATERIALS, PRODUCTS AND COMPONENTS FOR THIS PROJECT.
2. THESE DRAWINGS ARE DIAGRAMMATIC. THEY DO NOT REPRESENT TO SHOW OR INCLUDE EVERY SPECIFIC ITEM WHICH MAY BE NECESSARY AND PROPER FOR A COMPLETE INSTALLATION. IT IS THE INTENT OF THESE DOCUMENTS TO SUFFICIENTLY DESCRIBE THE PROJECT, EITHER SPECIFICALLY, BY REFERENCE, OR BY IMPLICATION, TO CAUSE A COMPLETE AND OPERATIONAL BUILT PRODUCT.
3. DO NOT SCALE DRAWINGS. CONSULT DESIGNER FOR ANY DESIRED CLARIFICATIONS REGARDING DIMENSIONS.
4. BRING ANY DISCREPANCIES, ERRORS, OMISSIONS, OR NEW FINDINGS TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
5. SHEET NOTES AND LEGENDS APPLY ONLY TO THE SPECIFIC SHEET OF THE DRAWINGS ON WHICH THEY OCCUR, UNLESS OTHERWISE NOTED.
6. INFORMATION REFERENCED FROM ONE PART OF THESE DOCUMENTS TO ANOTHER, BY SYMBOLIC REPRESENTATION OR NOTATION, SHALL BE AS IF INCLUDED COMPLETE AT THE INDICATED POSITION IN THE DOCUMENTS.
7. CONFLICTS BETWEEN ONE PART OF THESE DOCUMENTS TO ANOTHER, OR BETWEEN THE DOCUMENTS AND THE DISCOVERED EXISTING CONDITIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
8. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
9. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SUB-TRADES TO INSURE EXPEDITIOUS COMPLETION OF THE JOB.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED BY THE LOCAL GOVERNING AUTHORITIES AND SHALL INCLUDE THE COST OF SUCH PERMITS IN THE BID.
11. CONSTRUCTION CONTRACTOR AND HIS SUB CONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUB CONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTORS AND HIS SUB-CONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTION LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.



PROJECT DESCRIPTION

MULTI UNIT COMPLEX

ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA FIRE CODE and SANTA CRUZ CITY FIRE PROTECTION DISTRICT AMENDMENTS, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA ENERGY STANDARDS, 2019 CALIFORNIA GREEN BUILDING CODE AND THE 2019 CALIFORNIA RESIDENTIAL CODES, SCMC CHAPTER 18.

REVISION RECORD

DATE:	SYM.:	DESCRIPTION
08-24-2020	NONE	CORRECTIONS PER JULY 10 INCOMPLETE LETTER
12-10-20		
02-10-21	Δ1	REDESIGN FOR CLOSING ON CHANGES
04-10-21	Δ1	INCLUSION OF BUFFER AREA IN NET AREA AND PHASING OF FUTURE UNITS I & J

PROJECT DIRECTORY

OWNER: SAL RUBINO
1789 CAMBELL AVE.
SAN JOSE CA 95125

PROJECT MANAGER: JIM WEAVER
205 MORRISSEY BLVD
SANTA CRUZ, CA 95062
PACRIMPLANDR@GMAIL.COM
PHONE 831-475-2023

CIVIL ENGINEER: IFLAND ENGINEERS, INC.
5300 SOQUEL AVENUE, SUITE 101
SANTA CRUZ, CA 95062
T 831-426-5213, X.213
F 831-426-1763

LANDSCAPE ARCHITECT: GREG LEWIS
GREGORY LEWIS LANDSCAPE ARCHITECT
736 PARK WAY
SANTA CRUZ, CA 95060
(831) 359-0960

GEOTECHNICAL ENGINEER: REBECCA BOYD
DEESAND ASSOCIATES INC.
501 MISSION ST
SANTA CRUZ, CA 95060

ENVIRONMENTAL: OLBERDING ENVIRONMENTAL INC.
3170 CROW CANYON PLACE STE. 260
SAN RAMON, CA 94583

PRINCIPAL DESIGNER: RICHARD EMIGH
413 CAPITOLA AVE.
CAPITOLA, CA 95010
831-479-1452 PH
831-479-1476 FAX

DRAFTER: DONNA EMIGH FLOOR
413 CAPITOLA AVE.
CAPITOLA, CA 95010
831-331-7377 PH

SITE & BUILDING DATA

PARCEL NUMBER 025-211-02 & 07
SITE AREA 119,790 SF., 2.75 ACRES GROSS
SITE ADDRESS 2740 MATTISON LN
GENERAL PLAN R-UL
ZONING RM-6 MULTI RESIDENTIAL
CONSTRUCTION TYPE VB/ Sprinklered

SITE & BUILDING DATA

BREAKDOWN BY EXISTING LOT AREA

LOT COVERAGE LOT 025-211-02 (EAST LOT)
GROSS LOT AREA 87,984 SF = 2.019 ACRES
ARROYO 23,138 SF
8' ROAD DEDICATION 1,102 SF
30' ROADWAY 4,148 SF
NET LOT AREA 82,734 SF = 1.9 ACRES
LOT COVERAGE
UNITS A,B,C,D 1902 SF EA X 4 = 7608 SF = 9.2%,
WITH UNITS I & J + 1200 SF = 11%
FAIR
UNITS ABCD 3342 SF EA X 4 = 13,368 SF = .16
WITH UNITS I & J LOT COV + 2,400 = 15,768 SF = .19

LOT COVERAGE LOT 025-211-07 (WEST LOT)
GROSS LOT AREA 31,809 SF = 0.730 ACRES
8' ROAD DEDICATION 1,184 SF
30' ROADWAY DEDICATION 4,491 SF
NET LOT AREA 26,131 SF = .6 ACRES
LOT COVERAGE
UNITS E,F, 1902 SF X 2 3,804 SF
UNITS G,H 1713.41 EA X 2 = 3,427 SF
TOTAL LOT COVERAGE 7,231 SF = 28 %
FAIR
UNITS E,F, 3342 EA X 2 = 6,684 SF
UNITS G,H 3095.2 EA X 2 = 6,190 SF
TOTAL FAIR 12,874 SF = .493

LOT COVERAGE, FOR ENTIRE SITE
UNITS A,B,C,D,E,F 1,902 EA X 6 = 11,412
UNITS G, H 1,713.41 EA X 2 = 3,427
TOTAL = 14,839
LOT AREA 85,727 SF / 14,839 = 17.3%

FAIR
UNITS A,B,C,D,E,F 3,342 X 6 = 20,052
UNITS G, H 3,095.2 X 2 = 6,190
TOTAL = 26,242

LOT AREA 85,727 SF/ 26,242 = .31 FAIR
SITE ANALYSIS
GROSS LOT AREA 119,790 SF
ARROYO 23,138 SF
BUFFER AREA 7,295 SF
8' ROAD DEDICATION 2,286 SF
30' ROAD DEDICATION 8,639 SF
NET LOT AREA 108,865 SF = 2.4 ACRES
NET DEVELOPABLE 85,727 SF = 1.9 ACRES
10. UNITS PROPOSED WITH FUTURE ADDED DUPLEX (UNITS I & J)
ADDING DUPLEX I & J LOT COVERAGE 14,834 + 1,200 = 16,034 / 85,727 = 18.7%
ADDING DUPLEX I & J FAIR 26,242 + 2,400 = 28,642 / 85,727 = 33.4
DENSITY FOR 10 UNITS IS 85,727 = 1.986 ACRES = 5.09 UNITS PER ACRE
BUILDING PERMIT FOR I & J TO BE APPLIED FOR WITHIN TWO YEARS OF
THE SANITARY SEWER MORATORIUM BEING REMOVED

DRAWING INDEX

SHEET	PAGE	DESCRIPTION
C-1	1	COVER SHEET
C-2	2	STREET VIEW
A-1	3	SITE PLAN @ 200' = 1" REMOVED
A-2	3	FIRST FLOOR PLAN UNIT E-D
A-3	4	SECOND FLOOR PLAN UNITS E-D
A-4	5	FIRST FLOOR PLAN UNIT G&H
A-5	6	SECOND FLOOR PLAN UNIT G&H
A-6	7	ELEVATION UNIT E - D
A-7	8	ELEVATION UNIT G & H
A-8	9	ELEVATION E- D MIRROR
A-9	10	ELEVATION G & H MIRROR
A-10	11	FLOOR PLAN FUTURE I & J
A-11	12	ELEVATIONS FUTURE I & J
C-0.0	13	SITE PLAN
C1.0	14	GRADING AND DRAINAGE PLAN - WEST
C1.1	15	GRADING AND DRAINAGE - EAST
C2.0	16	UTILITY PLAN
C3.0	17	STORMWATER CONTROL PLAN
L1.00	18	LANDSCAPING PLAN
L1.0b	19	LANDSCAPING PLAN PHASE 2

SPECIAL NOTE ALL ON SITE UTILITIES WILL BE UNDERGROUND

IN COMPLIANCE WITH SOCC 13.11.074(D)(a). All Site, Building, security and landscape Lighting shall be directed onto the Site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, feature design or other physical means. Build security lighting shall be integrated into the building design.

There will be an 8 foot high sound wall installed on the south side. No on street parking used for this project

All new utilities will be placed underground and the poles in the dedicated mattsion street area to be moved the location of the future single story unit is shown on sheet A-1

FIRE NOTE: All plans and details shall comply with applicable Specifications, Standards, Codes and Ordinances, and agree we are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by the review, subsequence review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and reviewing agency.

REVISIONS AND ADDED DETAILS
10-27-2021
05-31-2021

EXHIBIT D

RICHARD L. EMIGH
A.I.B.D.
DRAFTING, DESIGNING & LAND USE ANALYSIS
413 Capitola Avenue
Capitola, CA 95010
Phone: 831-479-1452
Fax: 831-479-1476



COVER
BUILDING INFO

PROJECT DEVELOPMENT FOR
2740 MATTISON LN

C-1

ELEVATION OF EIGHT FOOT HIGH SOUND WALL
ONE FOOT WIDE COLUMNS PREFAB 8 FOOT HIGH (8' H-) INTO GROUND WHITE COLOR
WITH 8 FOOT HIGH CONCRETE PANELS BETWEEN TO LOOK LIKE ADOBE BLOCKS TAN COLOR

SCALE 1" = 10'

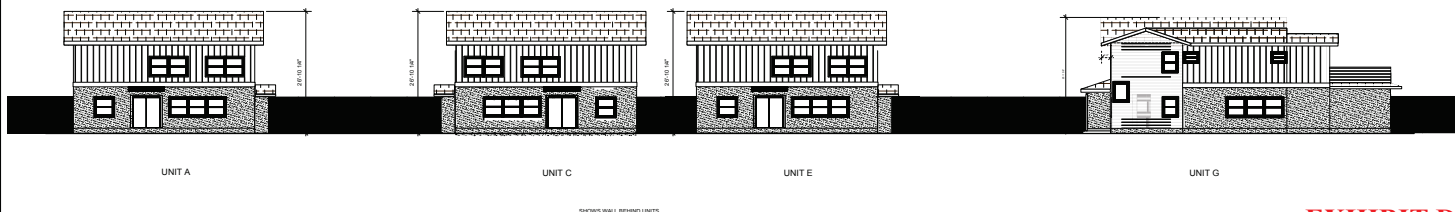


EXHIBIT D

REVISIONS AND ADDED
DETAILS

 10-27-21

  05-31-2021

RICHARD L. EMIGH A.I.B.D.
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STREET VIEW

PROJECT DEVELOPMENT FOR
2740 MATTISON LN.

C-2

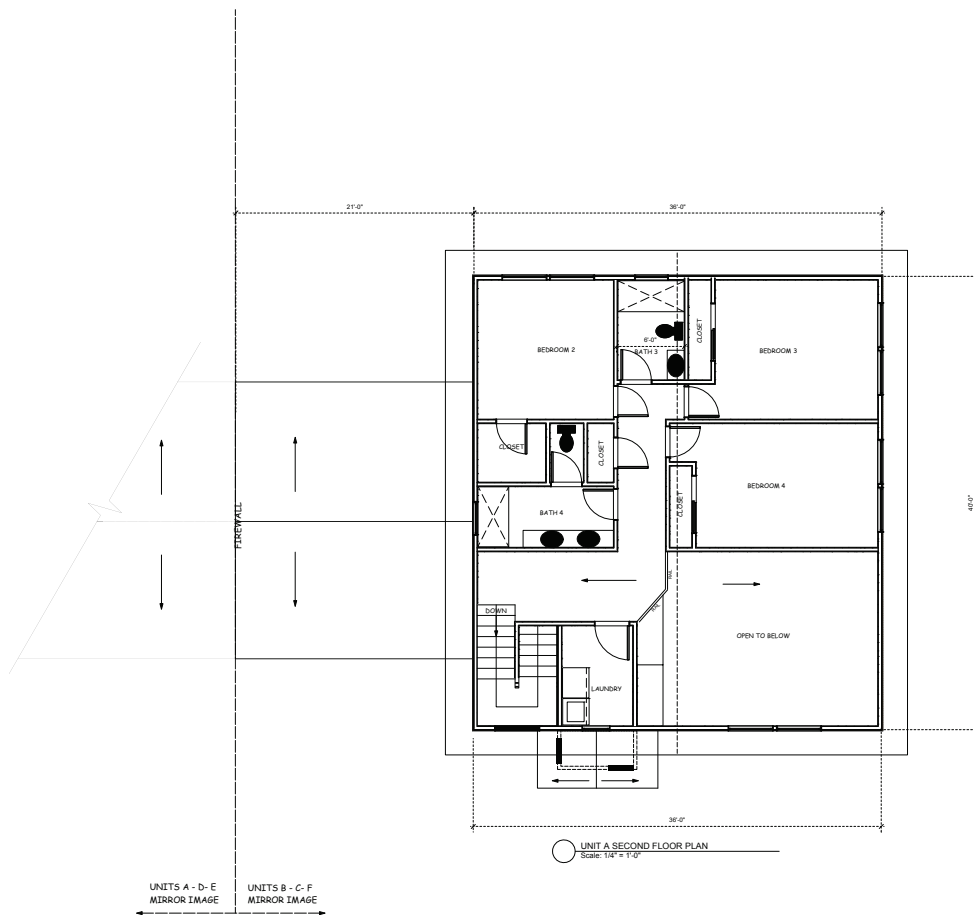


EXHIBIT D

13-13-2020 CLOUDS ADDED

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UNIT B
 SECOND FLOOR PLAN

PROJECT DEVELOPMENT FOR
 27740 MATTHEWSON LN.

A-3

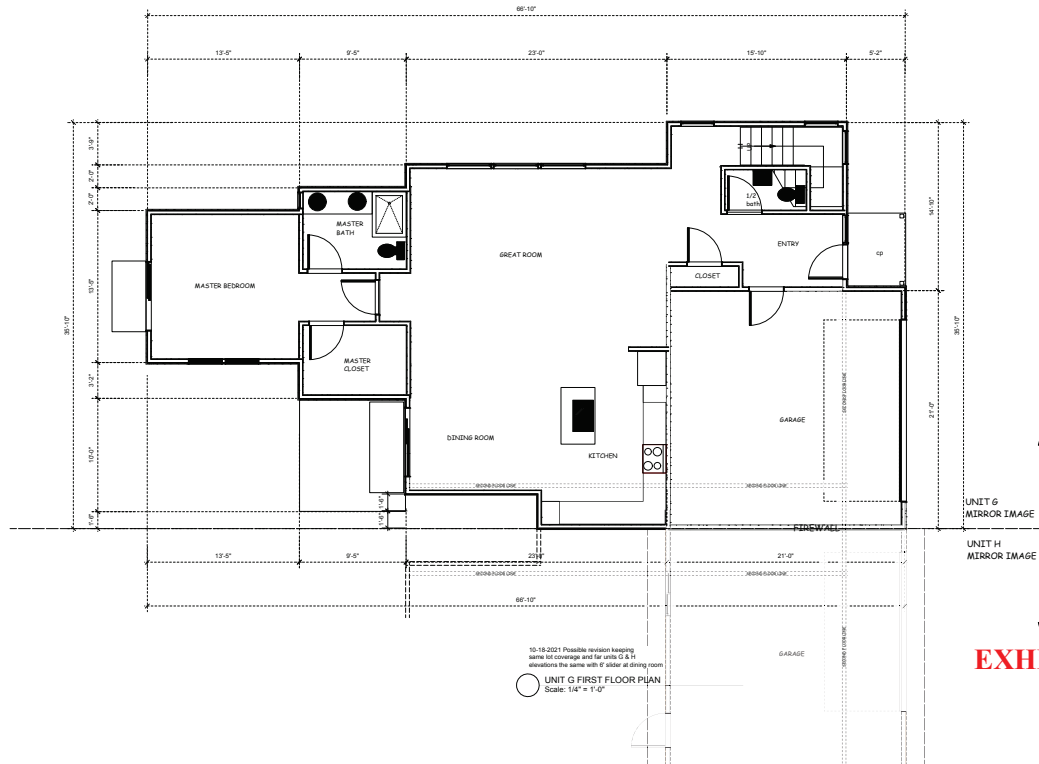


EXHIBIT D

RICHARD L. EMIGH A.I.B.D.
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WEST DUPLEX UNIT G
FIRST FLOOR PLAN

PROJECT DEVELOPMENT FOR
27740 MATTHEW LN.

A-4

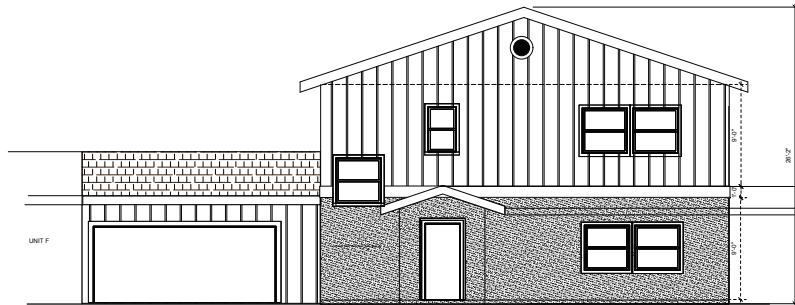


REVISIONS AND ADDED
DETAILS

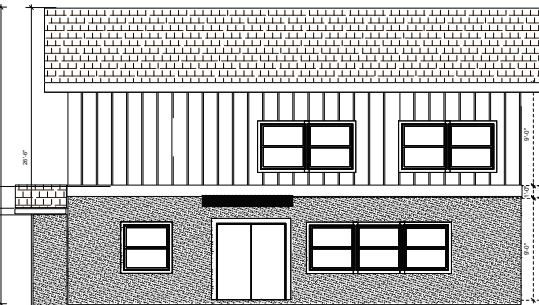
 10-27-2021

 05-31-2021

SHEET:
A-5



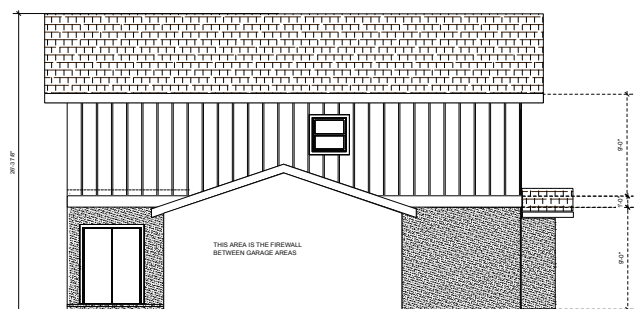
EAST ELEVATION UNIT B
SCALE 1/4" = 1' 0"



SOUTH ELEVATION UNIT B
SCALE 1/4" = 1' 0"



EAST ELEVATION UNIT B
SCALE 1/4" = 1' 0"



NORTH ELEVATION UNIT B
SCALE 1/4" = 1' 0"

EXHIBIT D

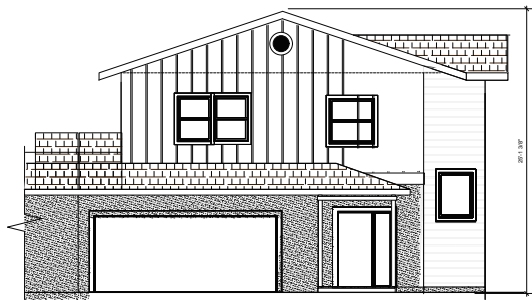
REVISIONS AND ADDED
DETAILS
10-27-2021
05-31-2021

RICHARD L. EMIGH A.I.B.D.
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ELEVATIONS UNITS B, C & F
UNITS A, D, & E MIRROR IMAGE

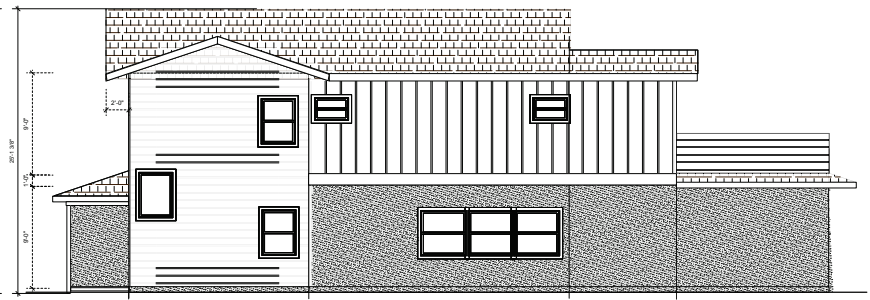
PROJECT DEVELOPMENT FOR
2740 MATTHEWSON LN.

A-6



EAST ELEVATION UNIT G
SCALE 1/4" = 1' 0"

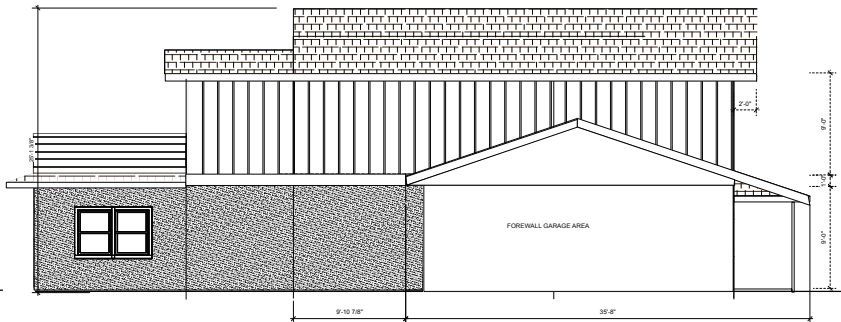
PLST AND BEAM AT PORCH
GABLE VENT ADDED



NORTH ELEVATION UNIT G
SCALE 1/4" = 1' 0"



WEST ELEVATION UNIT G
SCALE 1/4" = 1' 0"



SOUTH ELEVATION UNIT G
SCALE 1/4" = 1' 0"

EXHIBIT D

REVISIONS AND ADDED
DETAILS
10-27-2021
05-21-2021

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ELEVATIONS UNITS G & H

PROJECT DEVELOPMENT FOR
27740 MATTHEWSON LN.

A-7



EXHIBIT D

REVISIONS AND ADDED
DETAILS
10-07-2021
12-13-2021 CLOURES ADDED
10-31-2021

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DRAFTING, DESIGNING & LAND USE ANALYSIS
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Capitola, CA 95010
Phone: 831-479-1452 Fax: 831-479-1476

ELEVATIONS OF DUPLEX UNIT A & B
AND LITS E & F
UNITS C & D REVERSED

PROJECT DEVELOPMENT FOR
27740 MATTHEWSON LN.

A-8

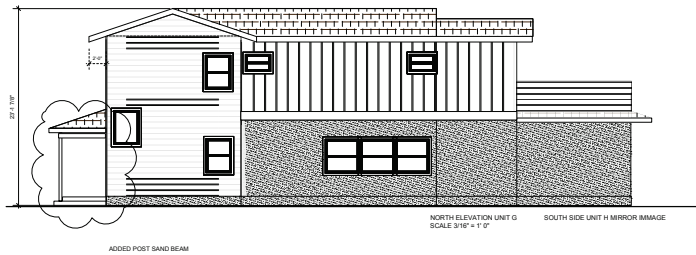
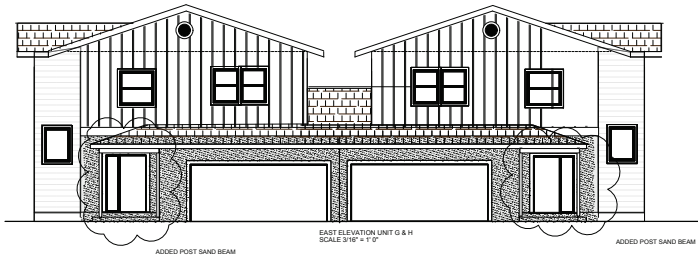


EXHIBIT D

REVISIONS AND ADDED
DETAILS
10-07-2021
12-13-2020 CLOURES ADDED
10-31-2021

RICHARD L. EMIGH A.I.B.D.
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Capitola, CA 95010
Phone: 831-479-1452 Fax: 831-479-1476

DUPLICATE G & H
COMBINED ELEVATIONS

PROJECT DEVELOPMENT FOR
27740 MATTHEWSON LN.

A-9

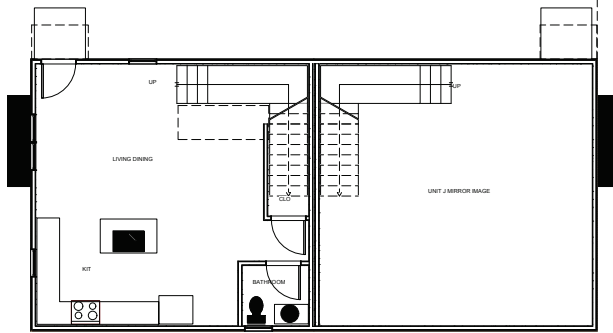
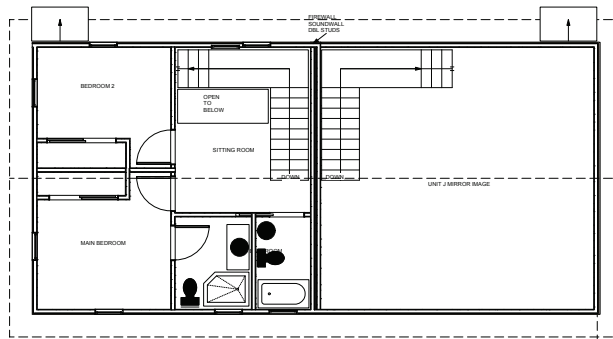


EXHIBIT D

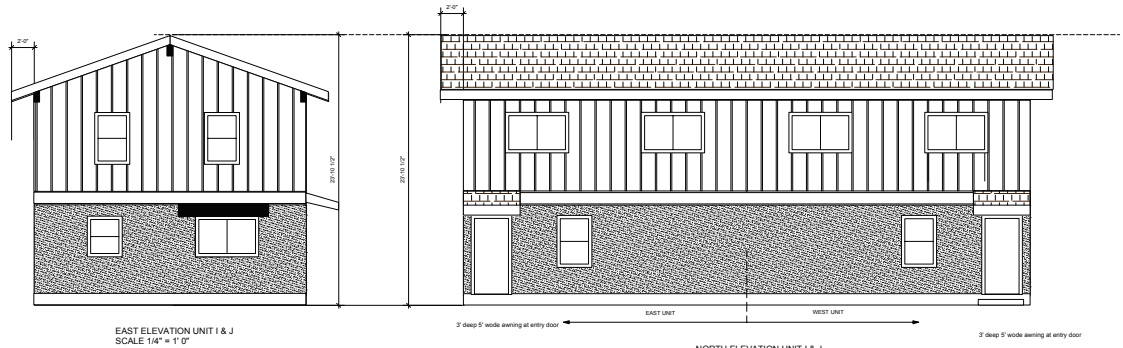


RICHARD L. EMIGH A.I.B.D.
DRAFTING, DESIGNING & LAND USE ANALYSIS
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Capitola, CA 95010
Phone: 831-479-1452 Fax: 831-479-1476

UNIT 1 AND J
PRELIMINARY PLANS

PROJECT DEVELOPMENT FOR
27740 MATTHEWSON LN.

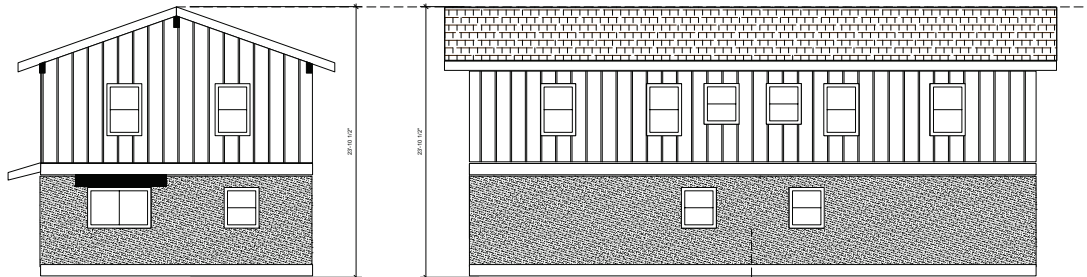
A-10



EAST ELEVATION UNIT I & J
SCALE 1/4" = 1' 0"

NORTH ELEVATION UNIT I & J
SCALE 1/4" = 1' 0"

2" WIDE 8" LONG TRELLIS
OVER LOWER WINDOW
C/D VAULTED ON UPPER FLOOR
EXPOSED BEAMS AT CENTER AND RIDGE



WEST ELEVATION UNIT I & J
SCALE 1/4" = 1' 0"

SOUTH ELEVATION UNIT I & J
SCALE 1/4" = 1' 0"

2" WIDE 8" LONG TRELLIS
OVER LOWER WINDOW
C/D VAULTED ON UPPER FLOOR
EXPOSED BEAMS AT EDGE AND RIDGE

EXHIBIT D

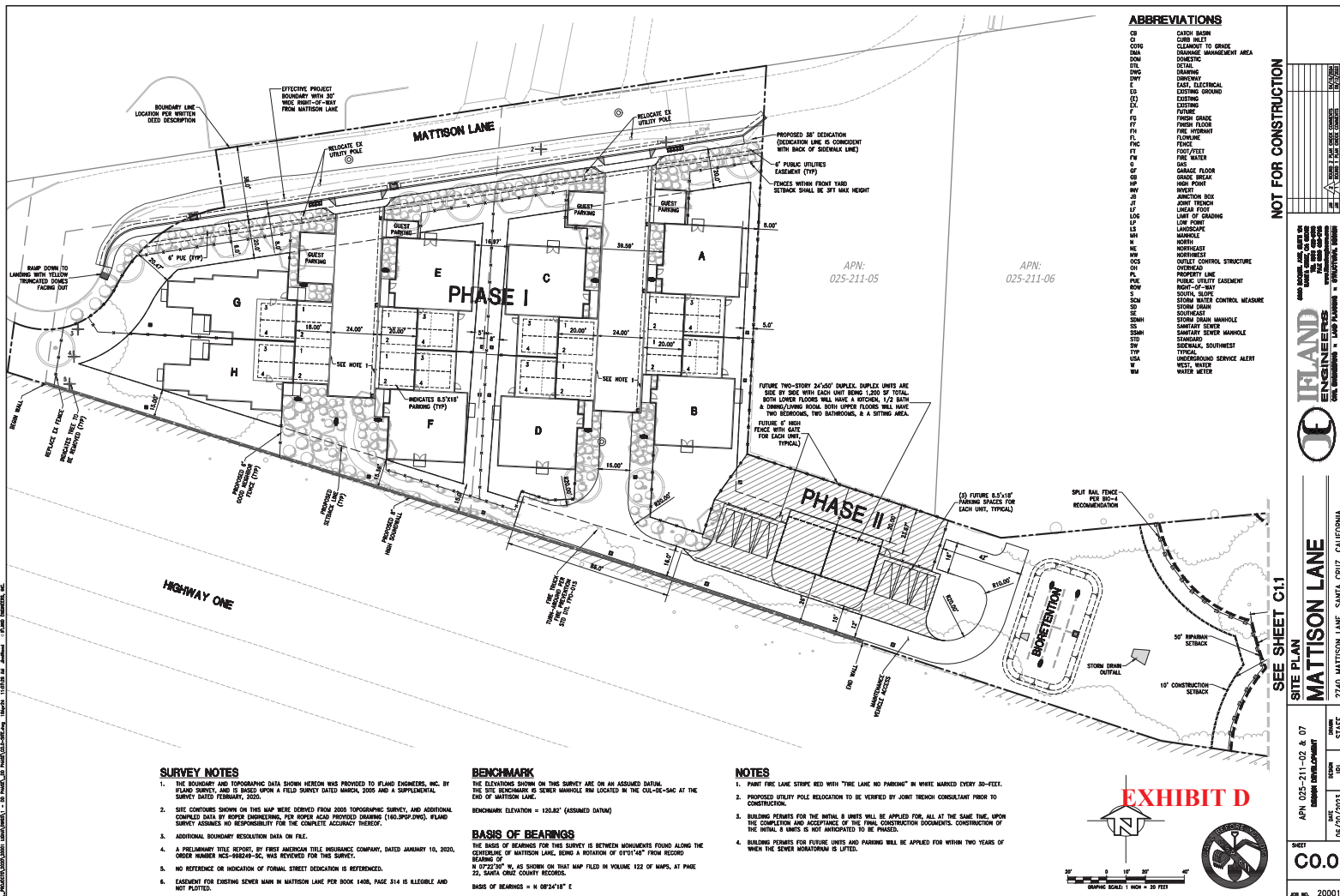


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UNIT I AND J
PRELIMINARY ELEVATIONS

PROJECT DEVELOPMENT FOR
2740 MATTISON LN.

A-11



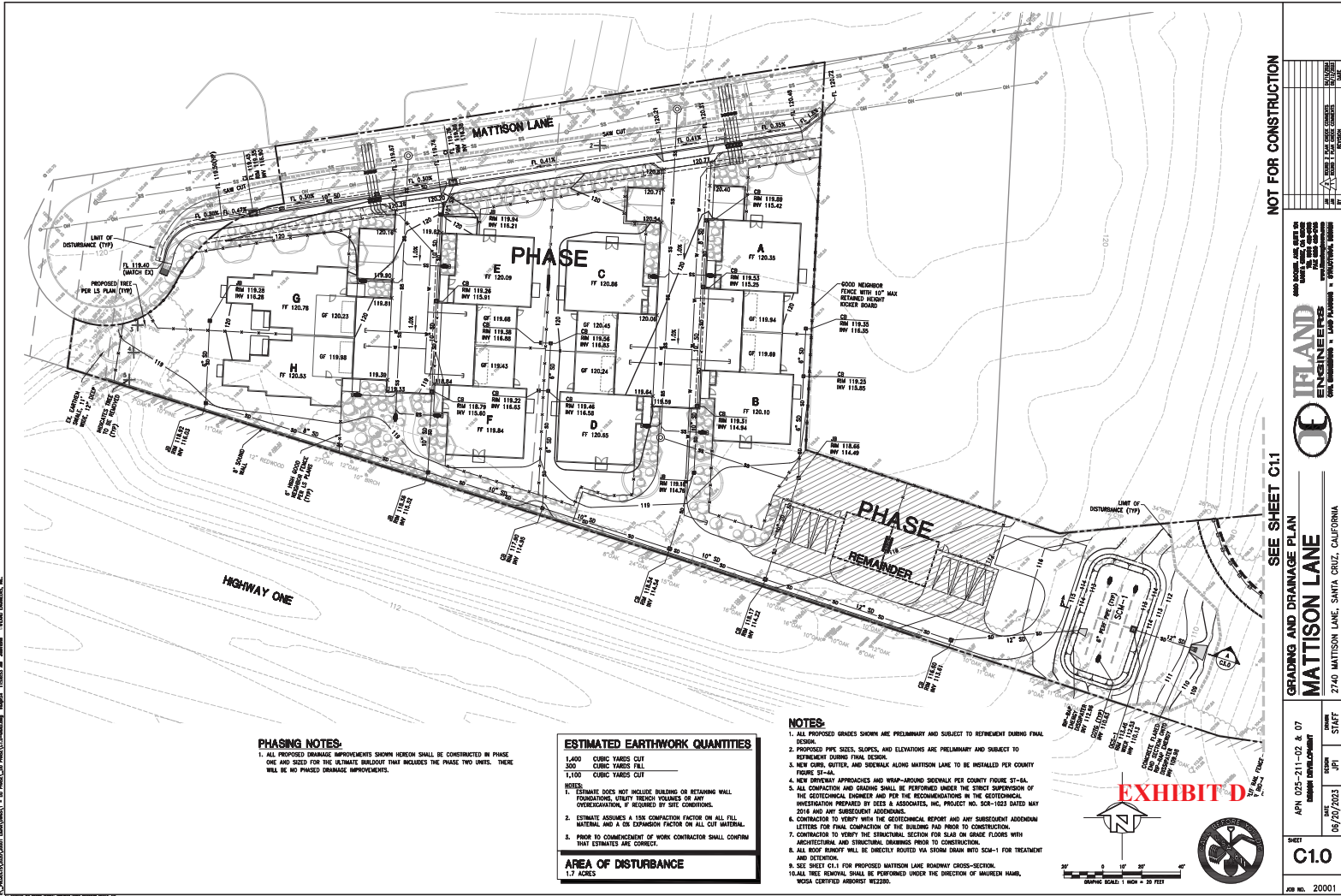
NOT FOR CONSTRUCTION

SEE SHEET C11

APN 025-211-02 & 07

C

2000



PHASING NOTES:
1. ALL PROPOSED DRAINAGE IMPROVEMENTS SHOWN HEREON SHALL BE CONSTRUCTED IN PHASE ONE AND USED FOR THE ULTIMATE BUILDOUT THAT INCLUDES THE PHASE TWO UNITS. THERE WILL BE NO PHASED DRAINAGE IMPROVEMENTS.

ESTIMATED EARTHWORK QUANTITIES	
1,400	CUBIC YARDS CUT
300	CUBIC YARDS FILL
1,100	CUBIC YARDS CUT
AREA OF DISTURBANCE	
1.7	ACRES

- NOTES:**
1. ALL PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO RETIREMENT DURING FINAL DESIGN.
 2. PROPOSED PIPE SIZES, SLOPES, AND ELEVATIONS ARE PRELIMINARY AND SUBJECT TO RETIREMENT DURING FINAL DESIGN.
 3. NEW CURB, GUTTER, AND SIDEWALK ALONG MATTISON LANE TO BE INSTALLED PER COUNTY FIGURE ST-6A.
 4. NEW DRIVEWAY APPROACHES AND WALK-AROUND SIDEWALK PER COUNTY FIGURE ST-6A.
 5. ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER AND PER THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED BY DEE & ASSOCIATES, INC. PROJECT NO. SCB-1031 DATED MAY 2014 AND ANY SUBSEQUENT ADDENDUM.
 6. CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL COMPACTION OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 8. ALL ROOF RUNOFF WILL BE DIRECTLY ROUTED VIA STORM DRAIN INTO SCB-1 FOR TREATMENT AND DETENTION.
 9. SEE SHEET C1.1 FOR PROPOSED MATTISON LANE ROADWAY CROSS-SECTION.
 10. ALL TREE REMOVAL SHALL BE PERFORMED UNDER THE DIRECTION OF MAUREEN HAMB, WQSA CERTIFIED ARBORIST W2280.

NOT FOR CONSTRUCTION

SEE SHEET C1.1

GRADING AND DRAINAGE PLAN
MATTISON LANE

2740 MATTISON LANE, SANTA CRUZ, CALIFORNIA

APR 025-211-02 & 07
Design Engineering

STAFF

DATE
06/23/2023

PROJECT NO.
20001

DATE
06/23/2023

PROJECT NO.
20001

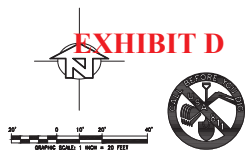
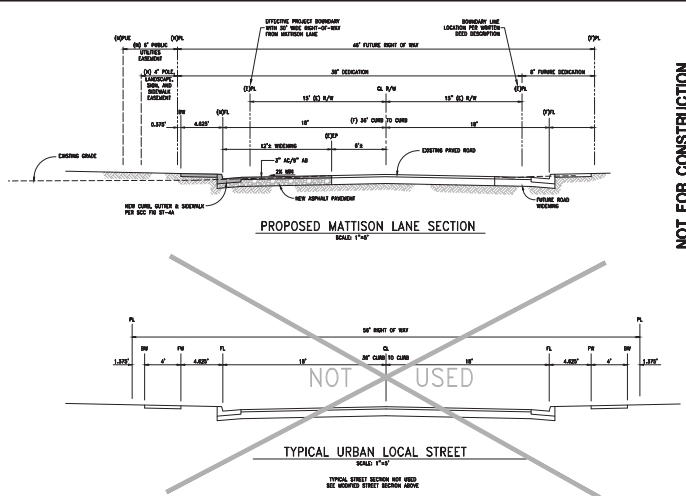
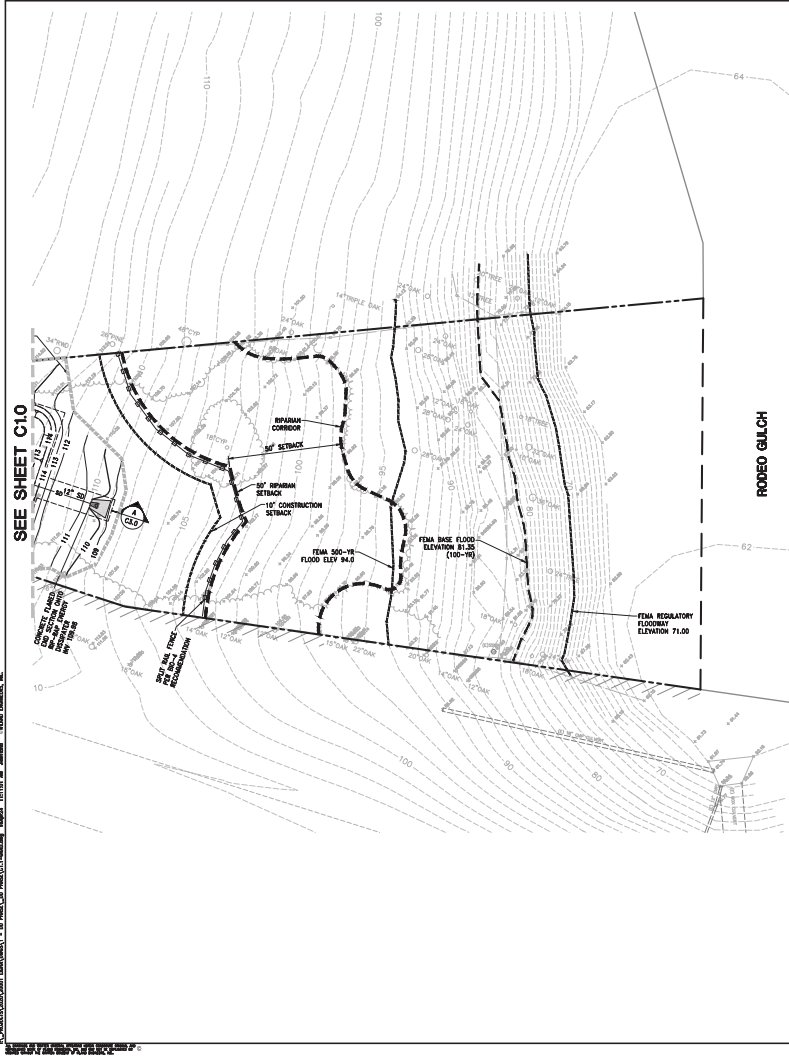
DATE
06/23/2023

PROJECT NO.	20001
DATE	06/23/2023
PROJECT NO.	20001
DATE	06/23/2023

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ISLAND ENGINEERS
Civil, Mechanical, Land Planning & Environmental Design



NOT FOR CONSTRUCTION

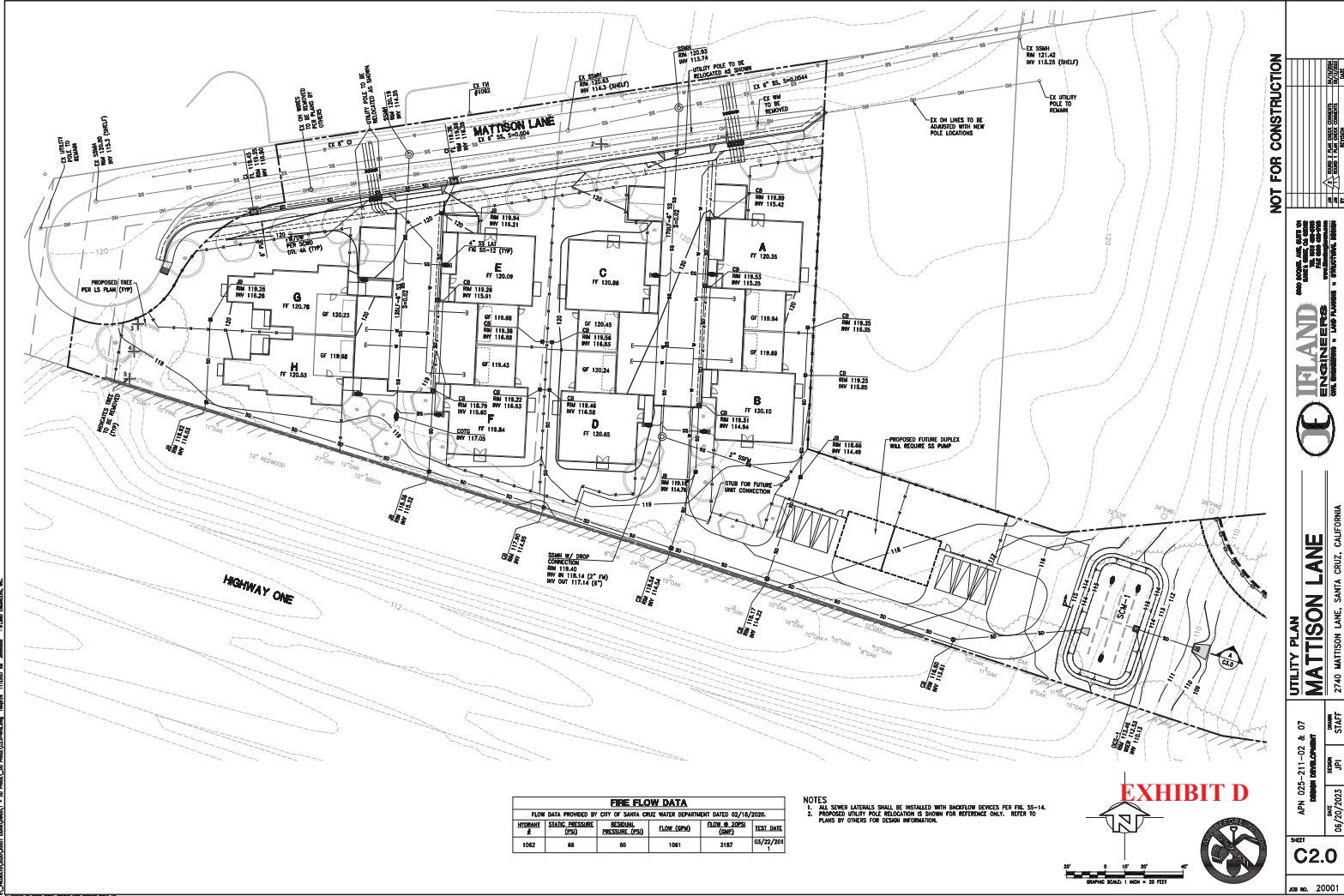
GRADING AND DRAINAGE PLAN

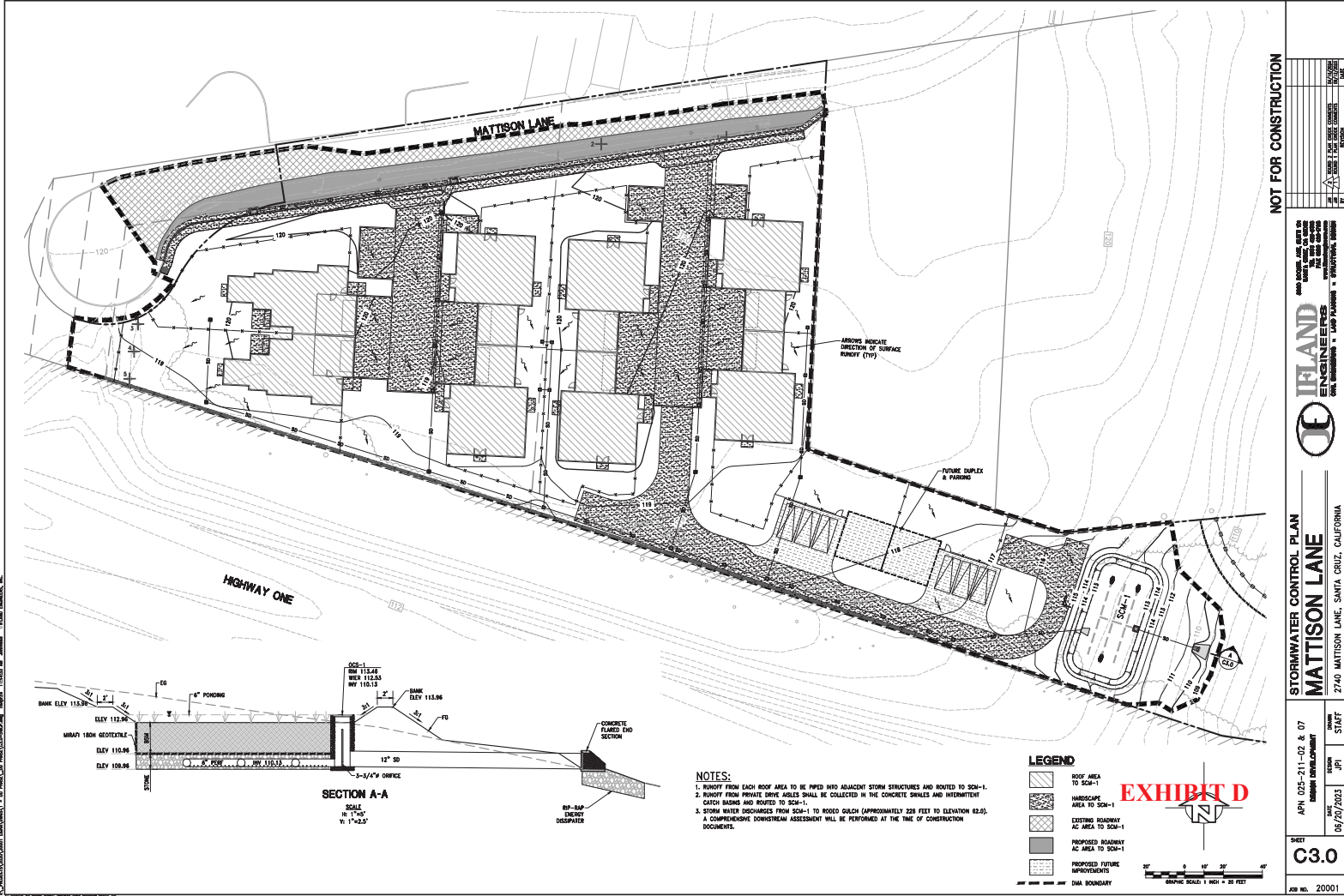
MATTISON LANE

APN 025-211-02 & 07
 Island Engineers
 65/23/2022
 JPI

SHEET
C.11

2740 MATTISON LANE, SANTA CRUZ, CALIFORNIA
 95061





NOT FOR CONSTRUCTION

DATE	06/27/2023
BY	JPI
CHECKED	JPI
APPROVED	JPI
SCALE	1"=20 FEET
GRAPHIC SCALE	1"=20 FEET

STORMWATER CONTROL PLAN
MATTISON LANE

2740 MATTISON LANE, SANTA CRUZ, CALIFORNIA

APR 025-211-02 & 07
STORMWATER CONTROL PLAN
JPI

DATE: 06/27/2023
BY: JPI
CHECKED: JPI
APPROVED: JPI

SHEET
C3.0
JOB NO. 20001

A map of the area around the proposed site. The site is located on the corner of 84th Street and 85th Street. The map shows the University of California, San Diego, to the north and the San Diego State University to the south. The site is bounded by 84th Street to the north, 85th Street to the south, and 86th Street to the east. The site is currently vacant and is surrounded by other buildings and parking lots.

VICINITY MAP

SURVEY FOR THIS PROJECT WAS OBTAINED FROM IFLAND SURVEY, JOB NO. G20003, DATED 02/06/2020.

BENCHMARK FOR THIS SURVEY IS ON ASSUMED DATUM.

TEMPORARY BENCHMARK FOR THIS SURVEY IS THE SANITARY SEWER
MANHOLE RIM LOCATED IN THE CUL-DE-SAC AT THE END OF MATTHEWSON
LANE.

ELEVATION= 120.82 FEET DATUM: ASSUMED

BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF MATTISON LANE, BEING A ROTATION OF 01°01'48" FROM RECORD BEARING OF N 07°22'50" W, AS SHOWN ON MAP FILED IN VOLUME 122 OF MAPS, AT PAGE 22, SANTA CRUZ COUNTY RECORDS.

BEARING= N 08°24'18" E

MAD. ENFORCED. ENK.

MAP PREPARED BY: IFLAND ENGINEERS
5300 SOQUEL AVENUE, SUITE 101
SANTA CRUZ, CA 95062
(831) 428-5313
CONTACT: JON IFLAND

SUBDIVIDER: SAL RUENHO
1788 CAMPBELL AVENUE
SAN JOSE, CA 95125
(408) 234-2591

OWNER: SAL RUINO
1788 CAMPBELL AVENUE
SAN JOSE, CA 95125
(408) 254-2824

APN: 025-211-02 & 07
EXISTING USE: VACANT

PROPOSED USE: 10 LOT TOWNHOUSE SUBDIVISION
EXISTING ZONING: RM-6

PROPOSED ZONING: RM-6
WATER SUPPLY: CITY OF SANTA CRUZ WATER DEPARTMENT
SANITARY SEWER: COUNTY OF SANTA CRUZ

STORM DRAIN: COUNTY OF SANTA CRUZ
PROPOSED LOTS: 10 + 1 COMMON AREA PARCEL

PROPOSED UNITS: 10
TOTAL ACREAGE: 119,790 SF / 2.75± AC

	LOT BOUNDARY		4' WIDE SIDEWALK EASEMENT
	EXCLUSIVE USE COMMON AREA		4' WIDE LANDSCAPE, SIGN & POLE EASEMENT

NOTE: THE REMAINDER PARCEL SHALL BE DEVELOPED AS A FUTURE PHASE OF CONSTRUCTION WHICH SHALL REQUIRE A SEPARATE PARCEL MAP APPLICATION AT A LATER DATE. COMMON IMPROVEMENTS SHALL BE INCLUDED AS PART OF THIS TENTATIVE MAP FOR PHASE 1.

EXHIBIT D

NOT FOR CONSTRUCTION

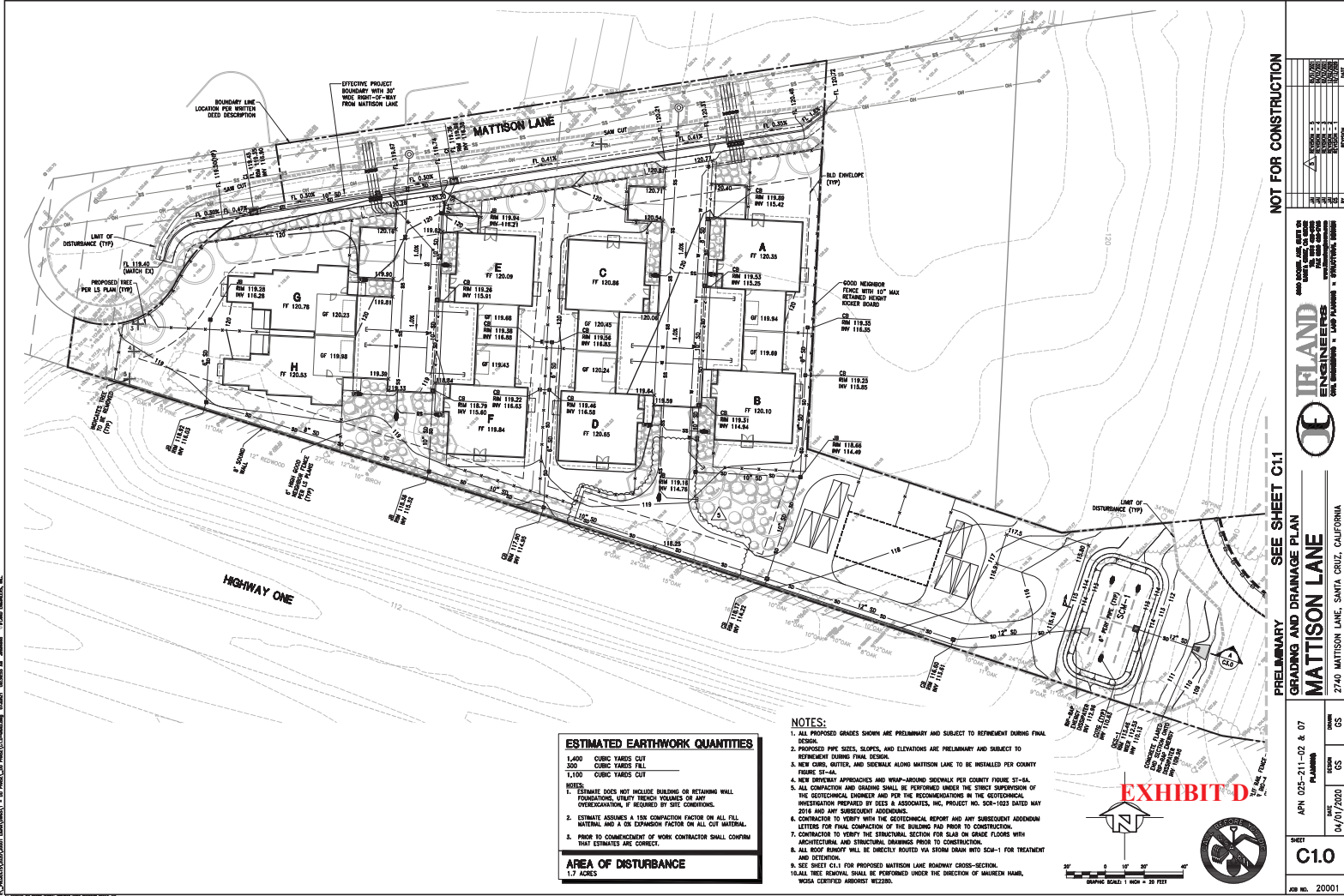
IFLAND ENGINEERS
 4400 BOULEVARD, SUITE 200
 SANTA ANA, CA 92705
 TEL: 714-942-0000
 FAX: 714-942-0008
 email: info@ifland.com
 CDR. BRUCE W. & LINDA PLANNON • SPECIALISTS: DESIGN

TENTATIVE MAP
MATTISON LANE
2740 MATTISON LANE, SANTA CRUZ, CALIF.

SHEET	DATE	DESIGN	DRAWN
TM1.0	06/20/2023	JPI	STAFF

APN 025-211-02 & 07
CANNON DEVELOPMENT

JOB NO. 20001



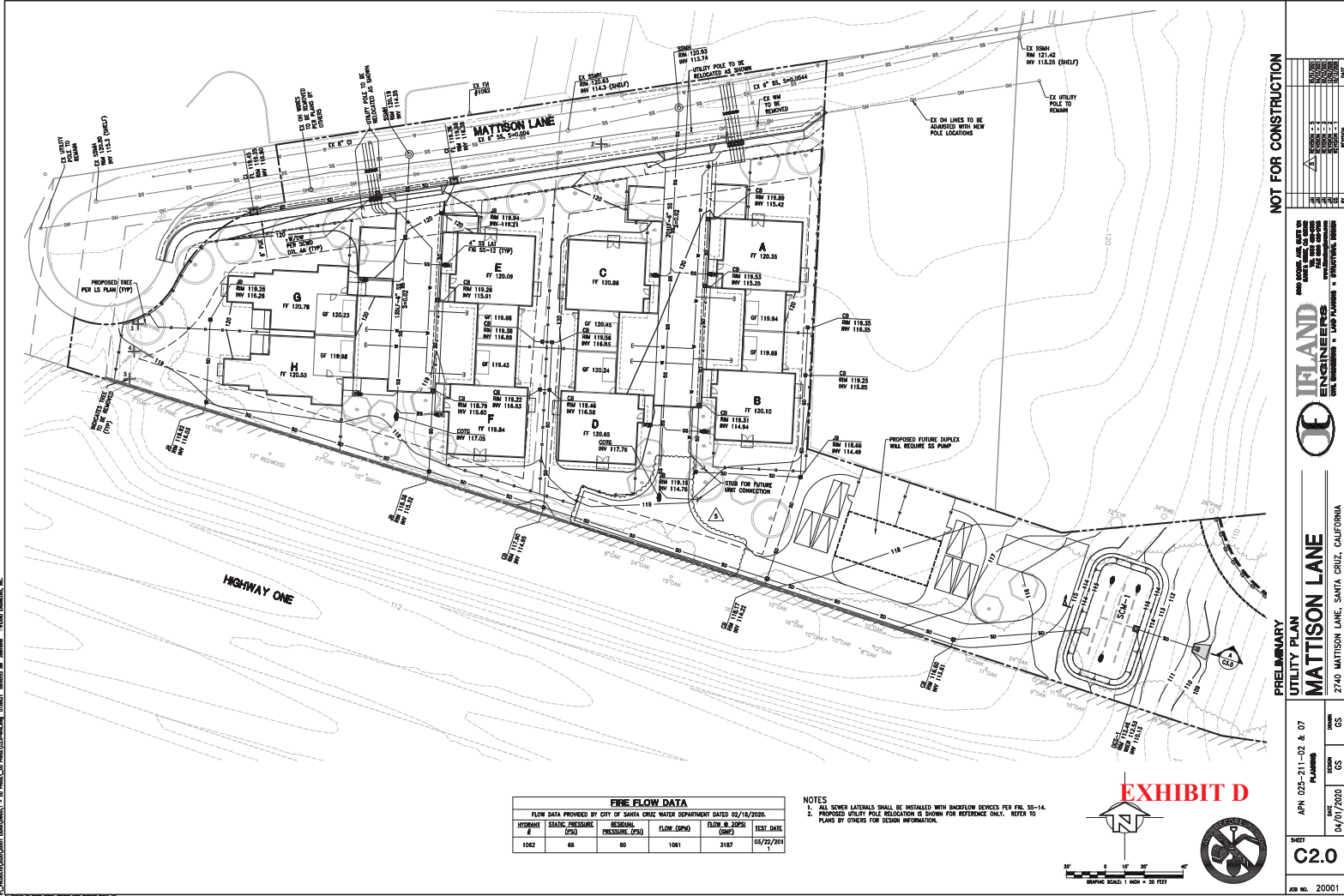
NOT FOR CONSTRUCTION

PRELIMINARY SEE SHEET C1.1

GRADING AND DRAINAGE PLAN
MATTISSON LANE

IFLAND ENGINEERS
Civil, Mechanical, Land Planning & Structural Design
1000 AVENUE 100, SUITE 100, SAN CARLOS, CA 94068
TEL: 925.251.1000 FAX: 925.251.1001
WWW.IFLANDENGINEERS.COM

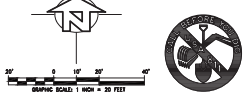
DATE: 04/27/2020
PROJECT: 05
SHEET: C1.0
JOB NO.: 20001



FIRE FLOW DATA				
FLOW DATA PROVIDED BY CITY OF SANTA CRUZ WATER DEPARTMENT DATED 02/18/2020.				
HYDRANT #	STATIC PRESSURE (PSI)	RESIDUAL PRESSURE (PSI)	FLOW (GPM)	TEST DATE
1002	88	50	1081	03/22/2001
			3187	

NOTES
1. ALL SEWER LATERALS SHALL BE INSTALLED WITH BACKFLOW DEVICES PER FIG. 55-14.
2. PROPOSED UTILITY POLE RELOCATION IS SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY OTHERS FOR DESIGN INFORMATION.

EXHIBIT D



NOT FOR CONSTRUCTION

APR 025-211-02 & 07

PRELIMINARY

DATE 04/27/2020

DESIGNER GS

DATE

PROJECT

SCALE

SHEET C2.0

SHEET NO. 20001

PRELIMINARY

UTILITY PLAN

MATTISON LANE

2740 MATTISON LANE, SANTA CRUZ, CALIFORNIA

IFLAND ENGINEERS

1000 N. ZEEB RD. SUITE 100

SANTA CRUZ, CA 95060

TEL: (831) 455-1111

FAX: (831) 455-1112

WWW.IFLANDENGINEERS.COM

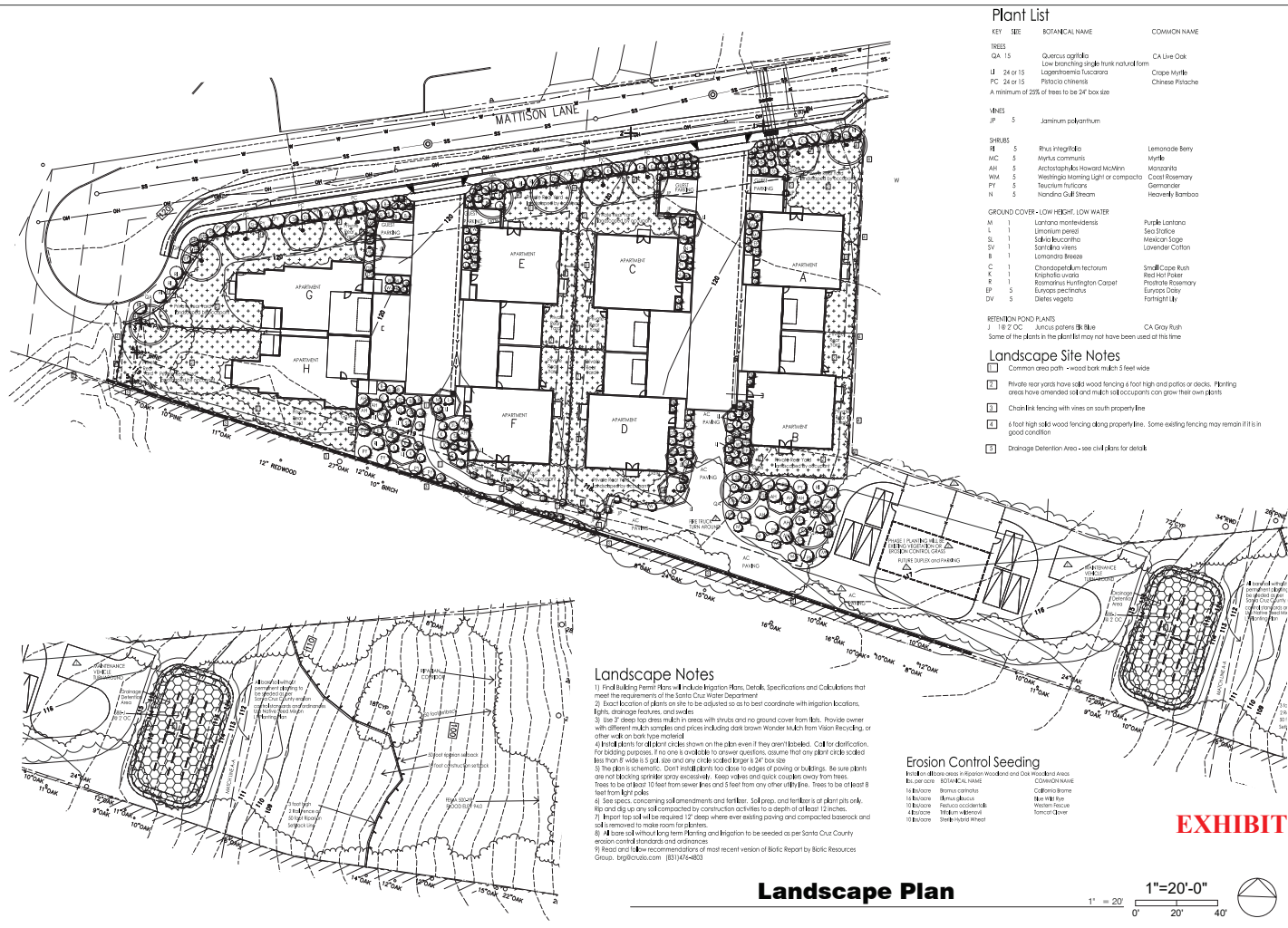
IFLAND ENGINEERS
Civil Engineers • Land Planning • Structures, Interiors

JE

RAMONA CHASE, CEA, ASCE
TEL: 913/435-0300
FAX: 913/435-0110
www.jeengineers.com

MATTISON LANE
2740 MATTISON LANE, SANTA CRUZ, CALIFORNIA

C3.0	DATE	DESIGN	DRAWING
	04/01/2020	GS	GS



Plant List

KEY	CODE	BOTANICAL NAME	COMMON NAME
TREES			
QA	15	Quercus agrifolia	CA Live Oak
LA	24 or 15	Law branching shrub natural form	Crope Myrtle
PC	24 or 15	Platanus chinensis	Chinese Parasite
MINES			
JP	5	Jasminum polyanthum	Lemonade Berry
SHRUBS			
RE	5	Rhus integrifolia	Myrtle
MC	5	Myrica communis	Myrtle
AM	5	Arctostaphylos Howard McMillan	Manzanita
WM	5	Westringia merrillii or compacta	Coast Rosemary
PT	5	Teucrium filiforme	Germander
H	5	Hebe x exoniensis	Hebe
GROUND COVER - LOW HEIGHT, LOW WATER			
M	1	Monarda mollis	Purple Lantana
L	1	Limonium perfoliatum	Sea Thrift
SL	1	Salvia leucantha	Mexican Sage
SV	1	Salvia verticillata	Lowland Cotton
B	1	Boraginaceae	
C	1	Chondropetalum tectum	Small Cape Rush
K	1	Knapweed	Red Hot Poker
R	1	Ranunculus repens	Poppy
EP	5	Euphorbia pectinatus	Europe Daisy
DV	5	Dianthus vegetus	Fortnight Lily

REPLANTING PLANTS
1. 18" OC. - Juncus roemerianus
Some of the plants in the plant list may not have been used at this time

Landscape Site Notes

- Common area path - wood deck, 5 feet wide
- Private rear yards have solid wood fencing, 6 feet high and patios or decks. Planting areas have amended soil and mulch soil occupants can grow their own plants
- Chainlink fencing with vines on south property line
- 6 foot high solid wood fencing along property line. Some existing fencing may remain if it is in good condition
- Drainage Detention Area - see civil plans for details

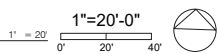
Landscape Notes

- Final landscaping plan must include irrigation plan, details, specifications and calculations that meet the requirements of the Santa Cruz Water Department
- Final location of plants on site to be submitted to and coordinated with irrigation locations, lights, drainage features, and water
- Use 12" deep top dress mulch in areas with shrubs and no ground cover from 18". Provide owner with different mulch samples and prices including dark brown Wonder Mulch from Vision Recycling, or other mulch or bark from material
- Final plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, this one is available to answer questions, assume that any plant circle scaled less than 5' wide is 5' tall, size and any circle scaled larger than 5' wide
- The plan is schematic. Don't install plants too close to edges of paving or buildings. Be sure plants are not blocking parking area excessively. Keep vines and grasses away from trees. Trees to be at least 10 feet from sewer line and 5 feet from any other utility line. Trees to be at least 8 feet from light poles
- See specs. concerning soil amendments and fertilizer. Soil prep. and fertilizer of plant pits only. No and dig up any soil compacted for construction activities to a depth of at least 12 inches
- Inspect top soil after required 12" deep where ever existing paving and compacted base and soil removed to make room for plants
- All base soil without long term planting and irrigation to be seeded as per Santa Cruz County erosion control standards and ordinances
- Final and follow recommendations of most recent version of Biotic Report by Biotic Resources Group. bioticresources.com (831) 427-4803

Erosion Control Seeding

SEEDING AREAS	SEEDING AREAS
1. 18" OC. - Juncus roemerianus	2. 18" OC. - Juncus roemerianus
3. 18" OC. - Juncus roemerianus	4. 18" OC. - Juncus roemerianus
5. 18" OC. - Juncus roemerianus	6. 18" OC. - Juncus roemerianus
7. 18" OC. - Juncus roemerianus	8. 18" OC. - Juncus roemerianus

Landscape Plan



Gregory Lewis
Landscape
Architect
#2176
736 Park Way
Santa Cruz, CA 95065
(831) 359-0860
lewis@landscapearchitect.com



Mattison Lane
Apartments
for Sal Rubino

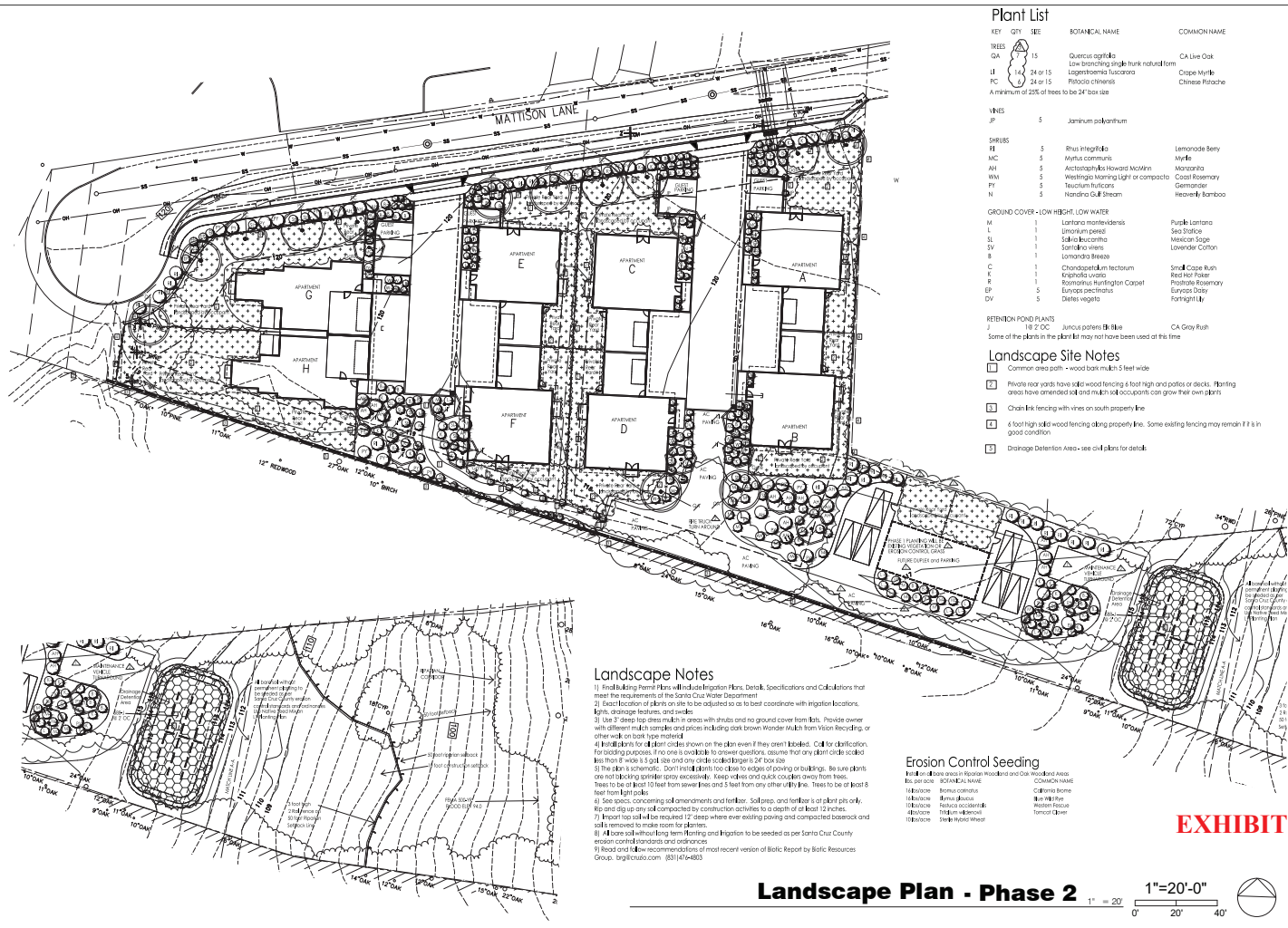
2740 Mattison Lane
Santa Cruz, California

APN: 025-211-02 & 07

Date: 10-12-20
Revisions: 04-12-21
05-31-21

EXHIBIT B Planting Plan

L1.00



Gregory Lewis Landscape Architect
 #2176
 736 Park Way
 Santa Cruz, CA 95065
 (831) 359-0960
 lewislandscape@attglobal.net

Mattison Lane Apartments
 for Sal Rubino

2740 Mattison Lane
 Santa Cruz, California

APN: 025-211-02 & 07

Date: 10-12-20
 Revisions:
 04-12-21
 09-02-21
 09-21-21

EXHIBIT D Planting Plan
 Phase 2

L1.0b

Mattison Lane Apartments: Exterior Color Schemes

Roofing, all buildings



Elk Timberline Cool series- Barkwood

Buildings A/B, E/F, H/I and Carports



14
Frost

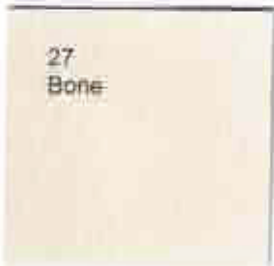
Trim, windows and board and batt pattern
upper wall areas



231
Spanish Sand

Cement Plaster lower walls

Buildings C/D, G, J/K, potting shed



27
Bone

Trim, windows and board and batt pattern
upper wall areas



KM4740-2
Lodgepole Pines

Cement Plaster lower walls

Trellises



EXHIBIT D



EXHIBIT D



EXHIBIT D



EXHIBIT D



EXHIBIT D



EXHIBIT D



EXHIBIT D

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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POR. OF SEC. 9, T.11S., R.1W., M.D.B. & M.

Tax Area Code
96-103

25-21

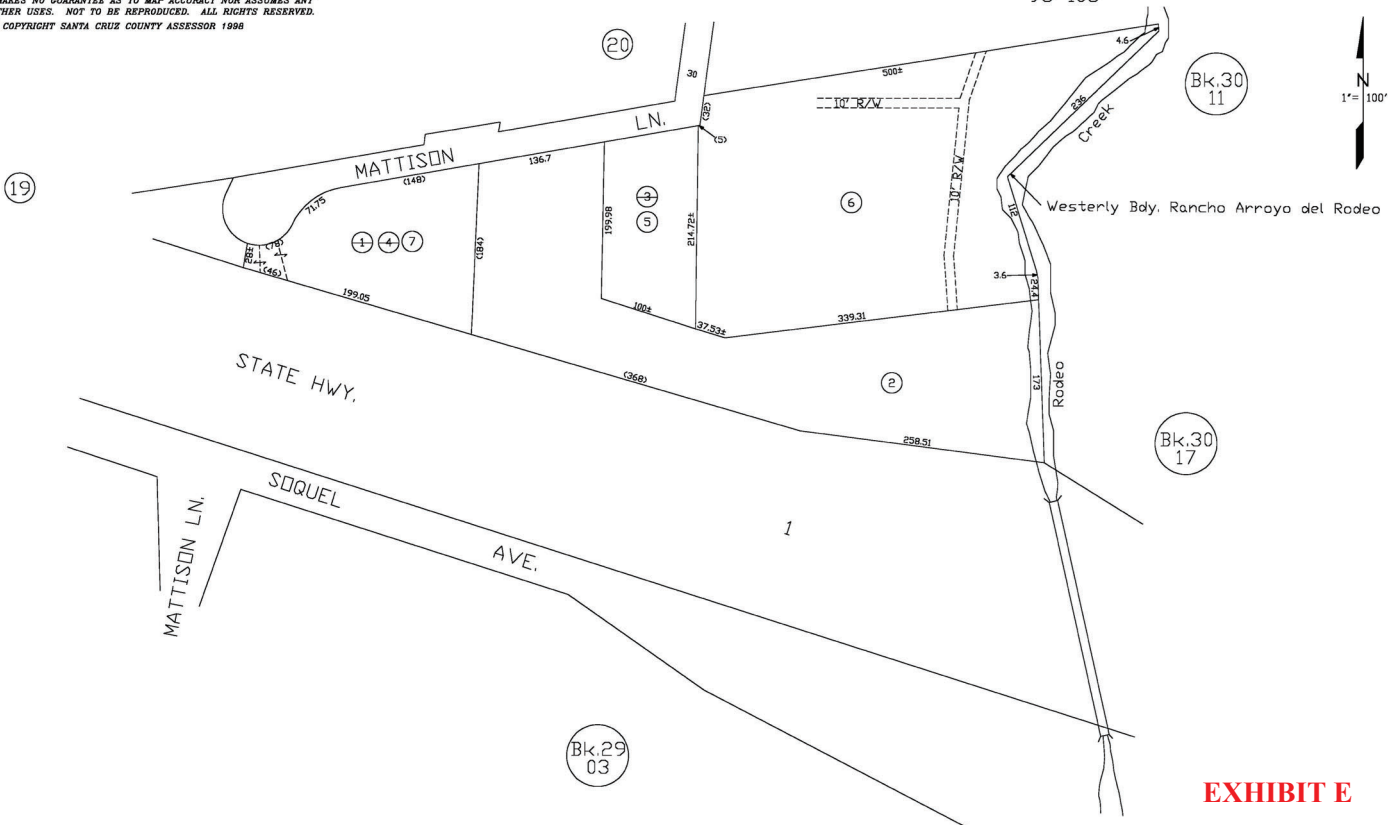
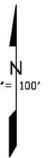


EXHIBIT E

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

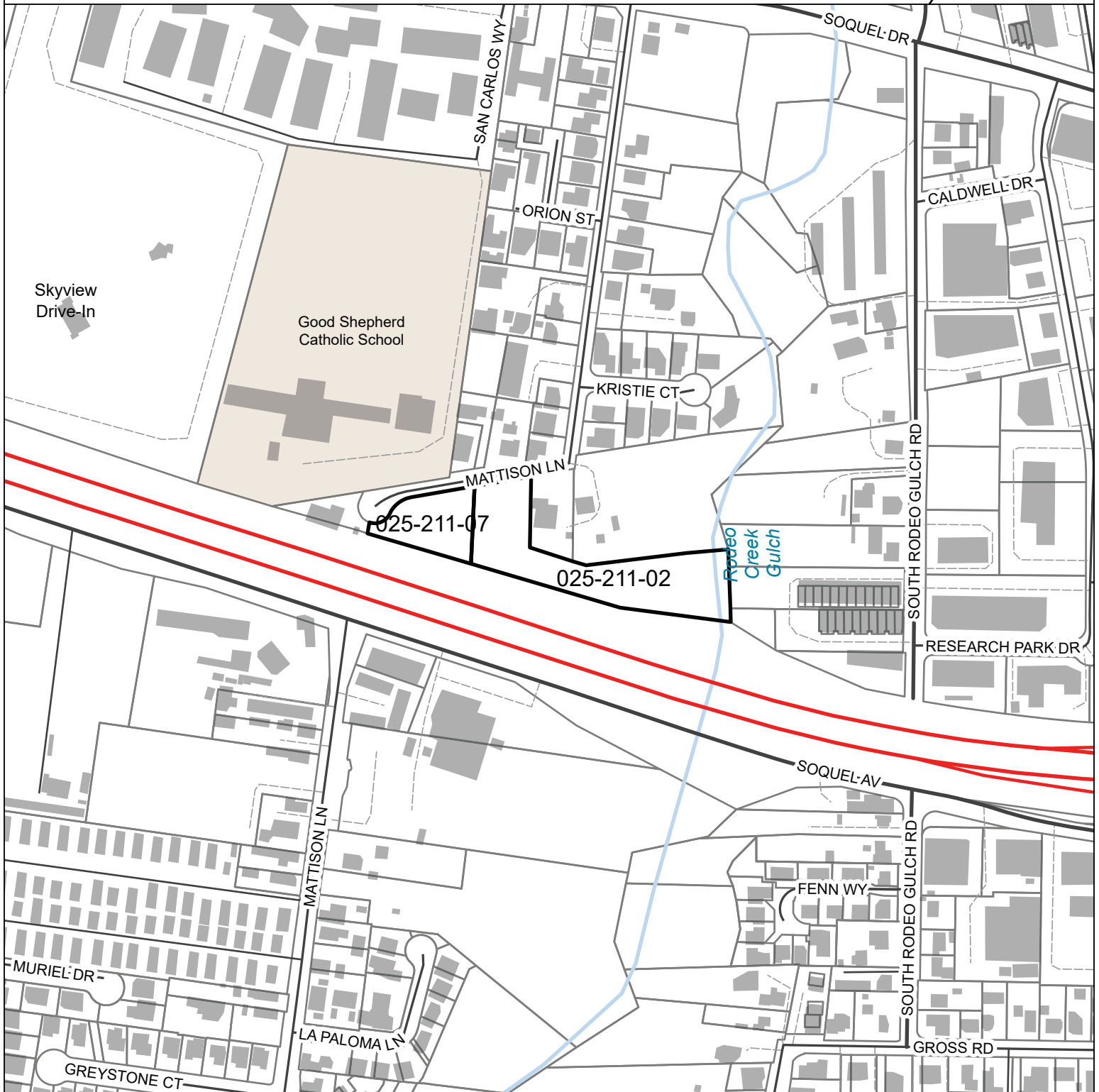
Assessor's Map No. 25-21
County of Santa Cruz, Calif.
July, 1998

Electronically Replaced 7/10/98 rw
Rev. 3/25/91 from changed page refs.



Santa Cruz County Planning Department

Parcel Location Map

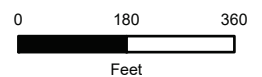


Parcel: 02521102,02521107

☐ Subject Parcel

Map printed: 13 Mar. 2025

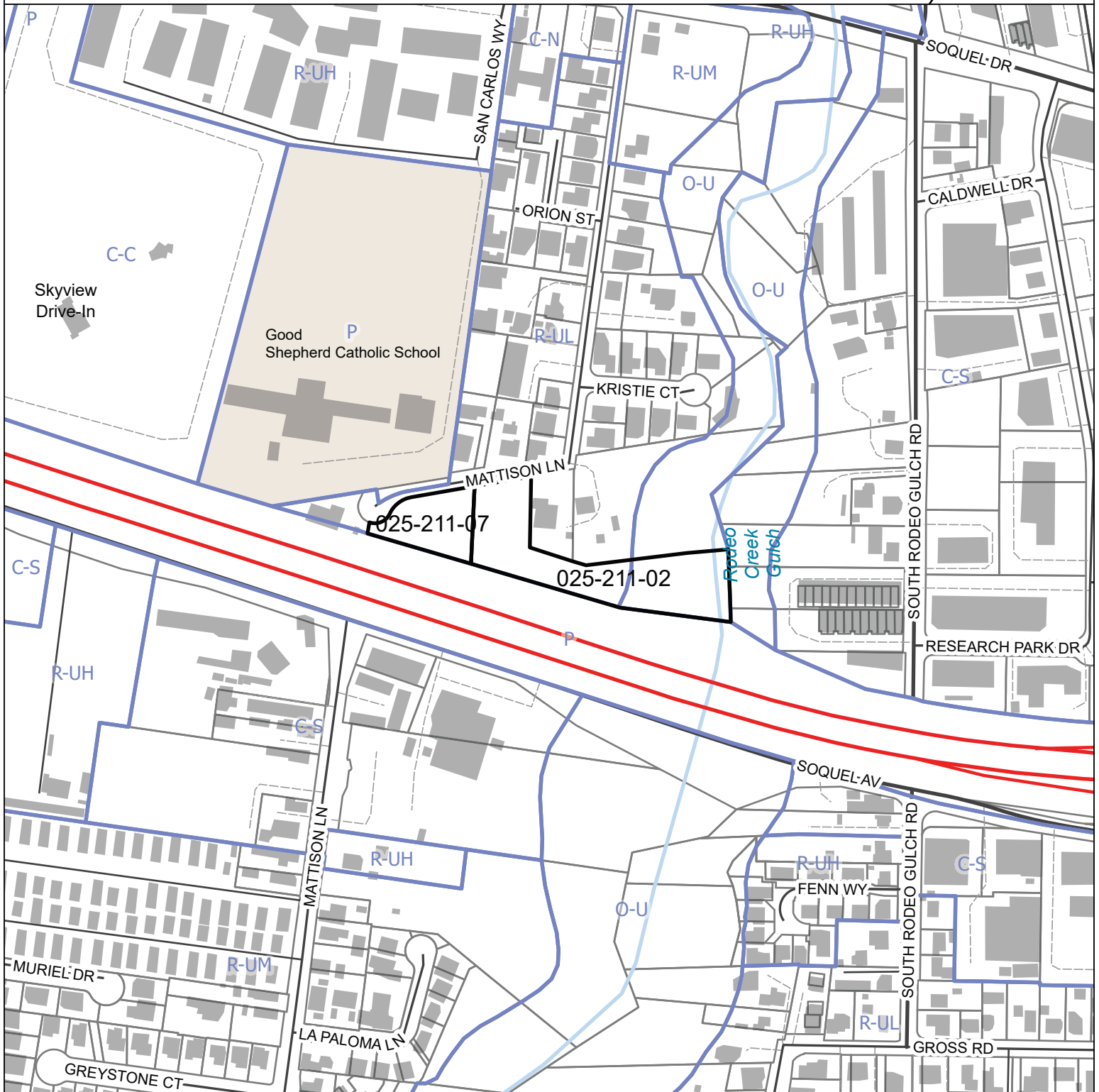
EXHIBIT E





Santa Cruz County Planning Department

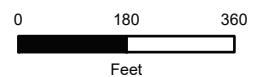
Parcel General Plan Map



 Subject Parcel



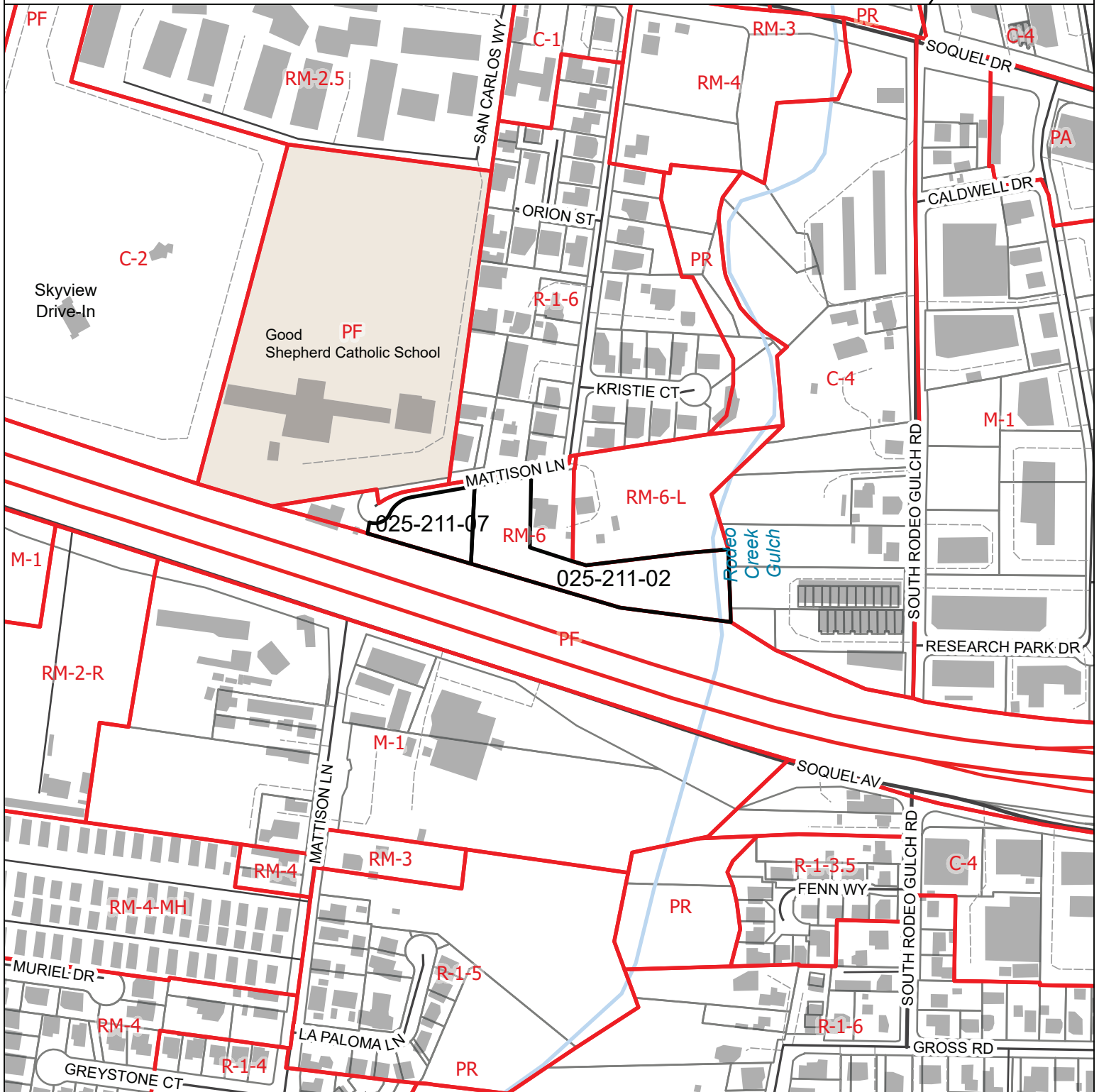
EXHIBIT E





Santa Cruz County Planning Department

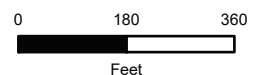
Parcel Zoning Map



 Subject Parcel



EXHIBIT E



Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: City of Santa Cruz Water Department
Sewage Disposal: County of Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Flood Control District 5

Parcel Information

Parcel Size: APN 025-211-02 – 87,984 sq. ft. (2.02 ac.) gross
APN 025-211-07 – 31,806 sq. ft. (0.73 ac.) gross
Existing Land Use - Parcel: Vacant – Residential
Existing Land Use - Surrounding: Mix of Multi-family and single family Residential
Project Access: Mattison Lane
Planning Area: Live Oak
Land Use Designation: R-UL and O-U (Urban Low Density Residential, Urban Open Space)
Zone District: RM-6 (Multi Family Residential (Minimum 6,000 square foot parcel))
Coastal Zone: Inside X Outside
Appealable to Calif. Coastal Comm. Yes X No

Technical Reviews: Soils Report Review (REV161126), Biotic Report Review (REV201079), Archaeologic Report Review (REV201080)

Environmental Information

An Addendum to an Initial Study/Mitigated Negative Declaration has been prepared (Exhibit A) that addresses the environmental review associated with this application.



SANTA CRUZ COUNTY SANITATION DISTRICT

701 OCEAN STREET, SUITE 410 · SANTA CRUZ, CA · 95060-4073

(831) 454-2160 · FAX (831) 454-2089 · TDD: (831) 454-2123 · WWW.SCCSD.US

MATT MACHADO, DISTRICT ENGINEER

MARCH 14, 2025

RUBINO ENTERPRISES
44 SOUTHBRIDGE
CARBONDALE, CO 81623

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR
THE FOLLOWING PROPOSED DEVELOPMENT
APN: 025-211-02 & 025-211-07
PARCEL ADDRESS: 2740 MATTISON LANE
PROJECT DESCRIPTION: NEW 10-UNIT DWELLING UNIT, PROPOSED AS TWO PHASES WITH
FIRST PHASE BEING 8-UNITS CONSISTING OF (4) DUPLEXES AND
SECOND PHASE BEING 2-UNITS OF (1) DUPLEX

Dear Mr. Weaver and Rubino Enterprises:

The District has received your inquiry regarding sewer service availability for the subject parcel(s). Sewer service is available on Mattison Lane for the subject development.

This parcel is within the Rodeo Basin sewer moratorium which limits connections to four dwelling units per previously existing parcel. Sanitation District improvement projects are actively being implemented to address the sewer moratorium. As such, sewer availability for the full 10 units in this proposal has been deemed feasible at this time.

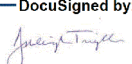
This notice is valid for one year from the date of this letter. If, after this time frame, this project has not yet received approval from the Planning Department, then this determination of availability will be considered to have expired. If that occurs or is likely to occur prior to an upcoming submittal or public hearing, please call us ahead of time for a new letter. At that time, we can evaluate the then proposed use, improvements, and downstream capacity, and provide a new letter.

Also, for your reference, we have attached a list of common items required during the review of sanitation projects. Thank you for your inquiry. If you have any questions, please call Forrest Revere at (831) 454-2160.

Yours truly,

MATT MACHADO
District Engineer

By:

DocuSigned by:

528D647137C44D4...
Ashleigh Trujillo
Sanitation Engineer

Common Items Required During the Review of Sanitation Projects

What to show on the drawings: When you begin the design process, please show:

On the plot/site/utility plan:

1. Location of any **existing** on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer on the site (plot) plan.
2. Location of any **proposed** on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer on the site (plot) plan.

Place a note, "*Existing*" or "*(E)*", on each existing item that is to be removed.

Place a note, "*To be removed*", on each existing item that is to be removed.

Place a note, "*New*" or "*(N)*", on each item that is to be new.

On a floor plan:

1. All plumbing fixtures both existing and new (label "*(E)*" or "*(N)*") on a floor plan of the entire building. Completely describe all plumbing fixtures according to table T-702.1 of the California Plumbing Code.

(Sanitation District Code sections 7.04.040 and 7.04.430)

Design and Construction Standards

The project sewer design and connection of the project to the Santa Cruz County Sanitation District system will be required to conform to the County of Santa Cruz Design Criteria (CDC) Part 4, Sanitary Sewer Design, February 2017 edition. Reference for County Design Criteria:

<http://www.dpw.co.santa-cruz.ca.us/Portals/19/pdfs/Design%20Crit/DESIGNCRITERIA.pdf>

Demolition and sewer abandonment

If the proposed plans will involve some demolition, the existing sewer lateral(s) must be properly abandoned (including inspection by District) prior to issuance of demolition permit or relocation or disconnection of structure. An abandonment permit (either temporary or permanent) for disconnection work must be obtained from the District. This process is often overlooked until the last minute and can result in unnecessary delays, and you are encouraged to plan for the relatively short time and small expense to fulfill this requirement. There is no charge for either permit or inspection.

(Sanitation District Code section 7.04.410)

New Connection

If the proposed plans will involve one or more new sewer connections, we must issue a new sewer connection permit for each new connection. The final connection charges can be determined only after the District and, as needed, other Department of Public Works divisions have reviewed and approved the final engineered sewer improvement plans. (Sanitation District Code section 7.04.410)

Tentative, parcel, or final map required

When any new tentative, parcel, or final map is required, please show the following on the improvement plans:

1. All adjacent or impacted roads and easements,
2. All on- and off-site sewer improvements needed to provide service to each lot or unit proposed.

The plans must conform to the County's "Design Criteria."

If a tentative, parcel, or final map is NOT required, please provide to the District written proof of recordation (in the form of copies of the recorded documents) of any and all existing or proposed easement(s).

Non-residential water use

Provide to the District a written estimate the amount of domestic water (average gallons per day) that will be used on this parcel after it is fully developed. You may need to engage an engineer or other knowledgeable person to provide an accurate estimate. This information will be used in the determination of both fees and waste pretreatment requirements. Connection permits can only be issued after these requirements are determined. (Sanitation District Code section 5.04.100)

Multi-unit development with a private collector line

If the development will require a private collector line serving several separate units or parcels, which will be individually and separately owned, prior to any land split or building permit, the applicant must form a homeowners' association with ownership and maintenance responsibilities for all on-site sewers for this project. Please reference this homeowner's association directly on the tentative map and final map, as well as in the Association's recorded CC&R's. Please record those CC&Rs, and provide a copy of the recorded documents, with proof of recordation, to the District prior to the filing of the final map.

Public sewer (existing) on the property

If a public sewer main is located on the property, any improvements in the easement will need to be removed if the District needs to replace the sewer main. It will be a condition of any development permit that the existing sewer system line and easement shall be surveyed and plotted on the site plan for the development or building permit application. No permanent improvements may be constructed within the easement boundaries. (Sanitation District Code section 7.04.430)

Backflow prevention device

A backflow preventive device may be required. While this determination is often made "in the field" at the time of installation, if you are engaging a surveyor, civil engineer, or knowledgeable contractor, there is nothing to prevent you from making that determination while in the design process. (Sanitation District Code section 7.04.100 and 7.04.375.A.4)



WATER SERVICE INFORMATION FORM



March 11, 2025

Owner: Rubino Enterprises Li Llc
Site Address: 2740 Mattison Ln, Live Oak
Site APN: 025-211-02
Project Description: Construct 22 Unit Apartment Building

Your project is located within the City of Santa Cruz Water Service area. The subject parcel is currently a developed lot, with an existing water service, and is subject to the following conditions:

1. Full set of building plans are required to be submitted to the Water Department to determine the final requirements and fees due. A utility plan, Parcel Map and Irrigation plan should be included in the final building set. Dedicated irrigation service required for residential and commercial landscaping measuring over 5,000 sqft.
2. Fees are due for this project. Fees are due prior to issuing a Water Permit for this project. Permits need to be issued prior to any service installation work. Full set of final building plans are required to be submitted to the Water Department to determine the final requirements and fees due.

Please see attached Fee Estimate page.
3. Fire service as required by Central Fire. Please complete Fire Protection Requirements Form with Central Fire and submit completed form to SCWD prior to obtaining water permit. Central Fire phone number: (831) 479-6842.
The Water Department will not take payment without the completed fire protection requirements form (see attached).
4. All work done on the system must be done by a SCWD Approved Contractor. Please see the attached SCWD Approved Contractors list.

If you have any questions, please contact the Water Department Engineering Division at (831) 420-5210

Sincerely,

Charis Thompson
City of Santa Cruz | Water Dept., Engineering
212 Locust Street, Suite C
Santa Cruz, CA 95060

EXHIBIT G

NEW WATER SERVICE - Permitti Fee Estimatie

WMRU17-0003

Mtr Config	Use Type	Type/Size	Fee Description	Num of Units	Unit Cost	Sub Total
	WMRU		MRU DEV FEE (2016)	22	\$7,862.00	\$172,964.00
			INSTALLATION FEE - 5/8 DISC METER	22	\$260.00	\$5,720.00
			C/D PLAN REVIEW MRU	1	\$50.00	\$50.00
			1/23/2017: 5/8" meter	1		-\$260.00
			1/23/2017: Sys Dev Cred	1		-\$11,231.00
PERMIT FEE TOTALS:						\$167,243.00

PERMIT FEE ESTIMATE**	TOTAL FEE
	\$167,243.00

**SUBJECT TO CHANGE

Pacific Rim Planning Group
Land Use & Development Consultants
206 Morrissey Blvd
Santa Cruz, CA. 95062
Ph: 831-457-2033
Email: pacrimplangrp@gmail.com

Memo // Transmittal

Date: April 8, 2023
To: Ms. Lezanne Jeffs
From: Jim Weaver
Subject: Notification and Results of Mattison Lane Neighborhood Meeting

Lezanne -

On Saturday April 8, 2023 we had a neighborhood meeting for the Mattison Lane Amendment. A total of 5 neighbors showed up. We discussed the proposed change in the project from rental units to ownership units and all were in favor of ownership Units. The mutual feeling was that ownership would result in better long term care of the property.

There were a few questions about improvements to Mattison lane, landscaping, tree removal along the highway and when construction would begin. Everyone indicated that they would like to see the project get built sooner than later as it would likely result in less homeless folks wandering around.

Attached here is the list of folks notified and those that attended on Saturday. I am looking forward to working with you so let me know if you need anything from me.

All the Best

Jim

EXHIBIT H

*Notification of Neighborhood Meeting
Rescheduled Due to Illness*

*Date: April 8, 2023
Time: 10 AM
Place: 2740 Mattison Lane (Project Site)*

Project History/Background:

The County Planning Commission approved a 4 unit duplex consisting of 8 units on May 11, 2022. Two additional units were added if and when the sewer moratorium is lifted. These units were designed to look like single family homes with attached garages. They were to be rental units.

Subsequent to the approval, the property owner decided that they should be for sale units. Therefore the approval is being amended to allow for a subdivision of the property. This will allow for the creation of individual ownership of each duplex. Nothing else changes, the project will look and function exactly like it was approved. All parking and landscape areas stay the same as does the design of the units.

Project Description

Proposal to construct 4 duplex units (8 total units) designed with attached garages. Two additional units to be allowed if and when the sewer moratorium is lifted. Units will range in size from 1800 square feet to approximately 3000 square feet. The units will be two stories. Garages will accommodate two vehicles and driveways will accommodate two vehicles. Extra Guest parking is provided. Landscaping and fencing will be provided for each unit, along the frontage and in the common areas. Passive recreation will be provided in the rear portion of the property.

Please join us for an informal discussion of the project Saturday April 1, 2023. If it is raining, we will postpone to the following Saturday at the same time. You may call me at 831-457-2033 or email at pacrimplangrp@gmail.com with any questions.

4-8-2023

10 am

Vicki Bullen

Scott Owen

Mike Rive

JEAN HELMISEN

Dave Pinsky

2701 Mattison

2741 Mattison

2750 Mattison

2756 MATTISON LANE

2901 Kriste Ct

02520225 OO	DINEEN SEAN F	2906 KRISTIE C	SANTA CRUZ	CA 95065
02519105 OO	AGUIRRE JOSU	2701 MATTISON	SANTA CRUZ	CA 95065
02520228 OO	GUERRASIO DC	2900 KRISTIE C	SANTA CRUZ	CA 95062
02521105 OO	MAAS SUSAN B	2750 MATTISON	SANTA CRUZ	CA 95065
03017120 OO	RODRIGUEZ MI	2541 S RODEO	SOQUEL	CA 95073
02520161 OO	WALDOR MARK	2733 MATTISON	SANTA CRUZ	CA 95065
02520219 OO	PIPA DAVID J H	2901 KRISTIE C	SANTA CRUZ	CA 95065
02520160 OO	POSITERI JERR	2731 MATTISON	SANTA CRUZ	CA 95065
02520226 OO	DAVIDSON MIC	2904 KRISTIE C	SANTA CRUZ	CA 95065
02520229 OO	FREEBORN MAI	2822 MATTISON	SANTA CRUZ	CA 95065
02520115 OO	BROWN WILLIA	2751 MATTISON	SANTA CRUZ	CA 95065
02520111 OO	OWEN SCOTT E	2741 MATTISON	SANTA CRUZ	CA 95065
02903111 OO	KRAFT DANIEL	6100 SOQUEL A	SANTA CRUZ	CA 95062
02520227 OO	ADNEY KENT &	2902 KRISTIE C	SANTA CRUZ	CA 95065
02520224 OO	ROSEMAN DAV	2908 KRISTIE C	SANTA CRUZ	CA 95065
02520145 OO	SOMMERS SCO	2823 MATTISON	SANTA CRUZ	CA 95065
03017118 AO	CHRISLYNN EN	2451 S RODEO	SOQUEL	CA 95073
03017124 AO	DERBY SUSAN	680 MOUNTAIN	SANTA CRUZ	CA 95065
02520116 AO	MUNGAI JERRC	6569 FALL RIVE	SAN JOSE	CA 95120
03017121 AO	RODRIGUEZ MI	2541 S RODEO	SOQUEL	CA 95073
02520146 AO	RAINWATER RC	132 DOYLE ST	SANTA CRUZ	CA 95062
03017126 AO	RITTENHOUSE	212 HARBOR DR	SANTA CRUZ	CA 95062
03017109 AO	PONZA PROPEI	1211 THOMPSON	SANTA CRUZ	CA 95062
03017122 AO	OWNERS OF CA	2431 N RODEO	SOQUEL	CA 95073
03017117 AO	DICIANO MICHA	1682 APTOS C	APTOS	CA 95003
02521107 AO	RUBINO ENTER	44 SOUTHBRIDGE	CARBONDALE	CO 81623
02519107 AO	DIOCESE OF MI	425 CHURCH ST	MONTEREY	CA 93940
03011208 AO	SANTOS DONAL	27 OAKMONT DR	RANCHO MIRAGE	CA 92270
02521106 AO	SINETOS LORI	8025 LILAC DR	FELTON	CA 95018
03017105 AO	LACKI PHIL ALL	4004 CHRIS CT	SOQUEL	CA 95073
03017136 AO	OWNERS OF CA	2854 S RODEO	SOQUEL	CA 95073
03017130 AO	DAKKAK TALAL	140 PROSPECT	SANTA CRUZ	CA 95065
03017119 AO	HALL WILLIAM E	2571 S RODEO	SOQUEL	CA 95073
03017118 BR	Resident	2541 S RODEO	SOQUEL	CA 95073
03017124 BR	Resident	2551 S RODEO	SOQUEL	CA 95073
02520116 BR	Resident	2761 MATTISON	SANTA CRUZ	CA 95065-1918
02520116 BR	Resident	2771 MATTISON	SANTA CRUZ	CA 95065-1918
03017121 BR	Resident	2541 S RODEO	SOQUEL	CA 95073
02520146 BR	Resident	2825 MATTISON	SANTA CRUZ	CA 95065-1920
03017127 BR	Resident	2551 S RODEO	SOQUEL	CA 95073
03017129 BR	Resident	2551 S RODEO	SOQUEL	CA 95073
03017126 BR	Resident	2551 S RODEO	SOQUEL	CA 95073
03017117 BR	Resident	2541 S RODEO	SOQUEL	CA 95073
03017131 BR	Resident	2551 S RODEO	SOQUEL	CA 95073
03017102 BR	Resident	2635 S RODEO	SOQUEL	CA 95073
03017128 BR	Resident	2551 S RODEO	SOQUEL	CA 95073