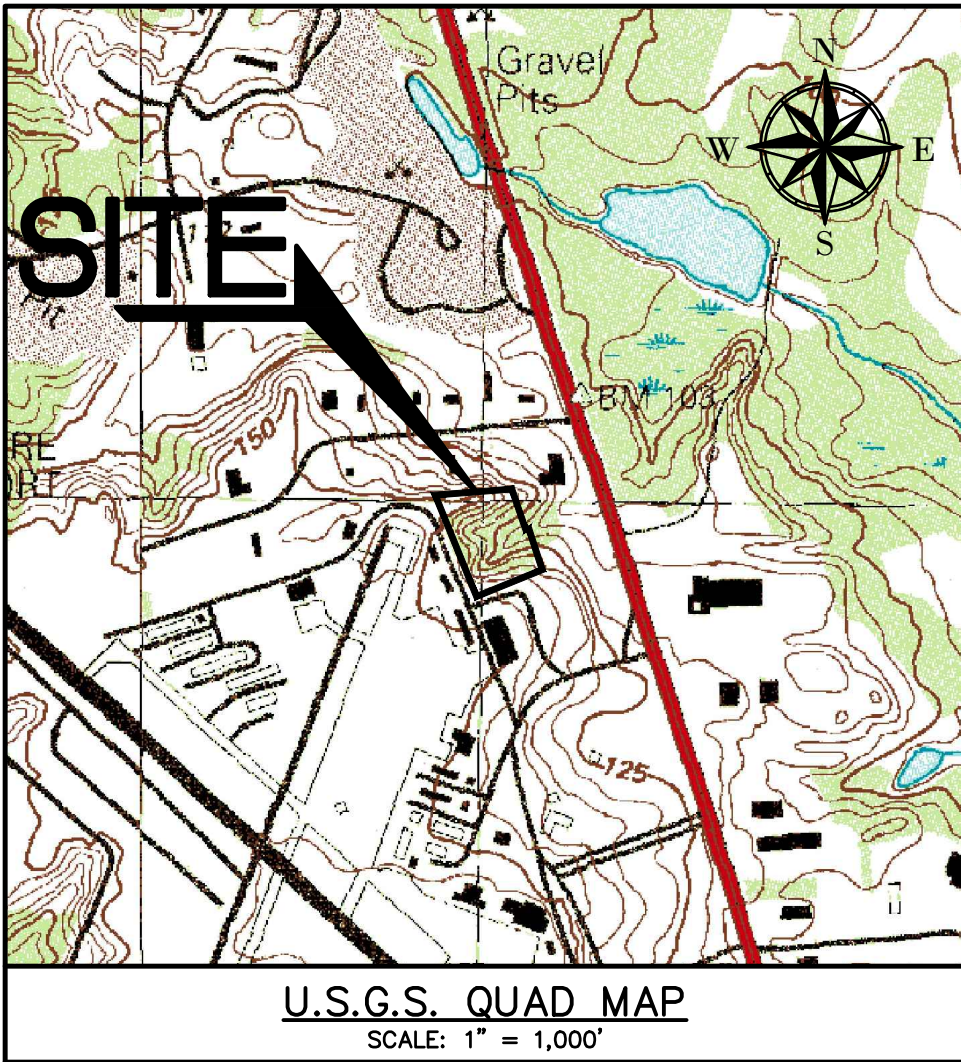




CERTIFIED PROPERTY OWNERS LIST WITHIN 200 FEET

CERTIFIED LIST OF PROPERTY OWNERS FROM WALL TOWNSHIP SHEET SEPTEMBER 2019

B 917 - L 15.01 NEW JERSEY FIREMANS ASSOC. 1711 HWY 34 WALL TWP. NJ 07727	B 942 - L 38.03 D & O ASSOCIATES LLC 1670 HWY 34 WALL NJ 07727	KEVIN KEANE NJ AMERICAN WATER CO 861 SHREWSBURY AVE SHREWSBURY NJ 07702
B 917 - L 15.02 THIRD AVENUE REALTY LLC PO BOX 1427 WALL TWP. NJ 07719	B 942 - L 38.04 D & O ASSOCIATES LLC 1670 HWY 34 WALL NJ 07727	WALL TWP. WATER DEPARTMENT 2700 ALLAIRE ROAD PO BOX 1168 WALL NJ 07719
B 917 - L 77 5001 INDUSTRIAL ROAD LLC 15 GOLDEN SEASONS DRIVE LAKEWOOD NJ 08701	B 942 - L 56.01 MCDANIEL ASSOCIATES LLC 1710 HWY 34 WALL NJ 07727	WALL TWP. CLERK 2700 ALLAIRE ROAD PO BOX 1168 WALL NJ 07719
B 917 - L 78 MORRIE LAND INVESTMENT LLC 1315 STELTON ROAD PISCATAWAY NJ 08854	STATE OF NJ DEPT OF TRANSPORTATION PO BOX 600 TRENTON NJ 08625	NJ TURN PIKE AUTHORITY ATTN: H.R. PO BOX 5042 WOODBRIIDGE NJ 07095
B 917 - L 80 MAG ENTERPRISES LLC 51 W SYLVANIA AVENUE NEPTUNE NJ 07753	MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX PO BOX 1225 FREEHOLD NJ 07728	PUBLIC SERVICE ELECTRIC AND GAS CO. MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK NJ 07102
B 917 - L 119.01 WALL LAND LLC PO BOX 353 DEAL NJ 07723	RICHARD COHEN, CORP. SECRETARY GRU ENERGY 300 MADISON AVE MORRISTOWN NJ 07960	PETER JOHNER JERSEY CENTRAL POWER & LIGHT 101 CRAWFORDS CORNER ROAD BLDG. 1 SUITE 511 HOLMDEL NJ 07733
B 917 - L 119.02 WALL FLEX LLC PO BOX 353 DEAL NJ 07723	LAURIE HALLARAN, RIGHT OF WAY REPRESENTATIVE NJ NATURAL GAS CO 1415 WYCKOFF ROAD WALL NJ 07719	CROSS RIVER FIBER LLC 461 HEADQUARTERS PLAZA MORRISTOWN NJ 07960
B 942 - L 37.01 RAVI LLC 74 CRANBURY NECK ROAD CRANBURY NJ 08512	MANAGING DIRECTOR MONMOUTH CABLE VISION 1501 8TH AVE WALL NJ 07719	

WAIVERS REQUESTED

- SECT. 140-267D - MINIMUM TO LOW AVERAGE RATIO NOT MET
- SIDEWALKS REQUIRED ALONG SITE FRONTAGE; NONE PROVIDED
- LESS THAN 10% OF INTERIOR PARKING LOT LANDSCAPED WITH PLAN MATERIAL
- SECT. 140-262H - PARKING LOT INTERIOR TREES PLANTED EVERY 70 FT.; GREATER THAN 70 FT. PROPOSED
- BUILDING PERIPHERY NOT BE PLANTED, PAVEMENT PROPOSED AGAINST MOST OF BUILDING
- 25 FT. DRIVE AISLES REQUIRED; 24 FT. PROPOSED, MATCHES EXISTING AISLES
- SECT. 140-122 - TREE SURVEY REQUIRED; NONE PROVIDED
- SECT. 140-262.G(3) - PARKING LOT PERIMETER TREES REQUIRED; NONE PROVIDED, EXISTING WOODS TO REMAIN

OCCUPANT LOAD SIGN

OCCUPANT LOAD SIGN TO BE PROVIDED NEAR THE MAIN DOOR OF WAREHOUSE UNIT #4. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

EXISTING TIMBER RETAINING WALLS

A SERIES OF EXISTING RETAINING WALLS ARE LOCATED ON THE SUBJECT SITE. AFTER SITE CLEARING, AN INSPECTION OF ALL EXISTING WALLS SHALL BE CONDUCTED BY A LICENSED PE WITH A REPORT SUBMITTED TO THE TOWNSHIP ENGINEER. PLANS FOR ANY REPAIRS OR REPLACEMENT SHALL BE SUBMITTED. ANY SUCH WORK SHALL BE COMPLETED PRIOR TO ISSUANCE OF COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.

APPROVED AS A PRELIMINARY
& FINAL SITE PLAN BY THE
WALL TOWNSHIP PLANNING
BOARD ON _____

CHAIRMAN _____

SECRETARY _____

ENGINEER _____

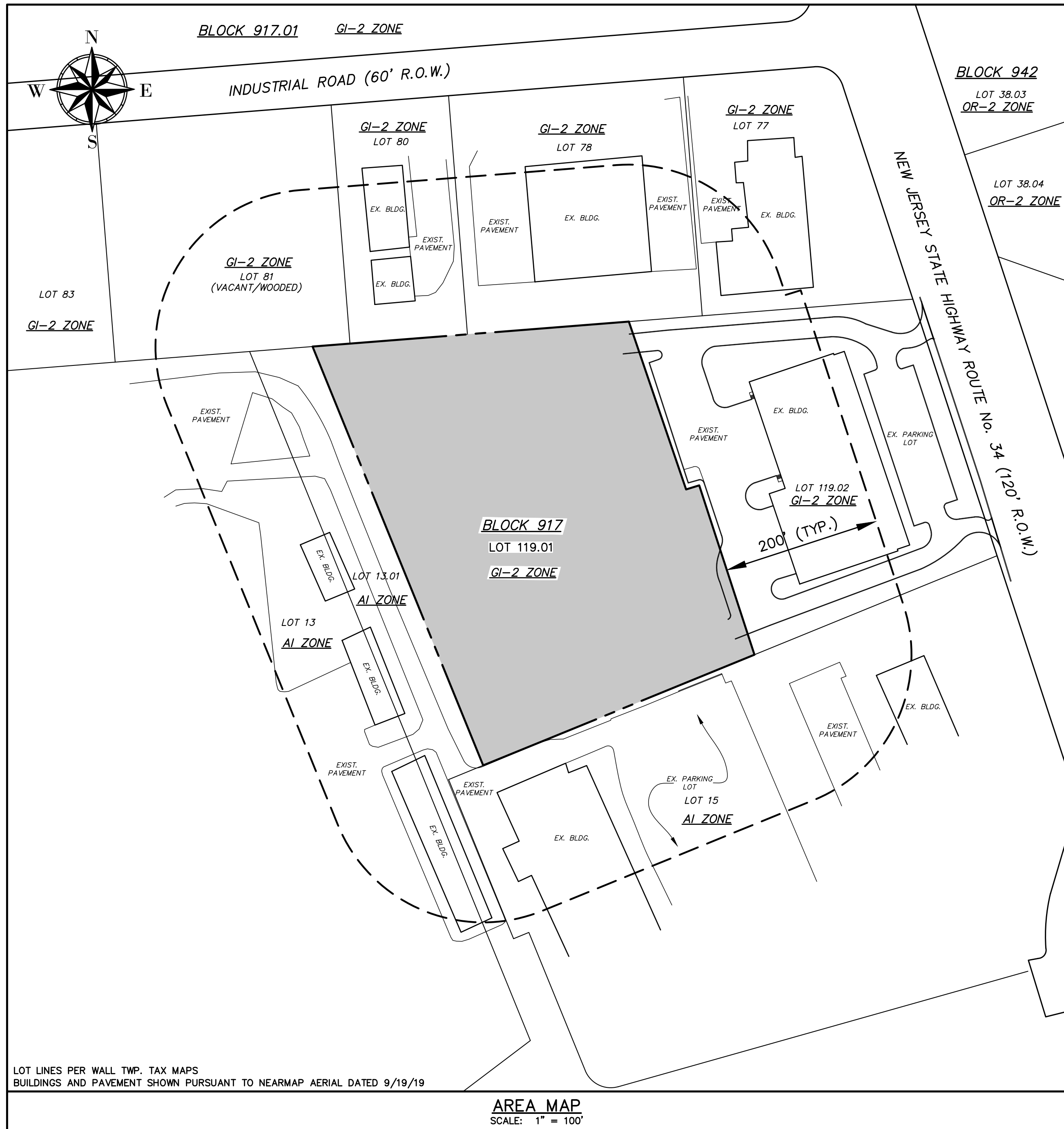
GI-2 ZONE REQUIREMENTS

REQUIRED	PROVIDED
MINIMUM LOT SIZE	2 ACRES
MINIMUM LOT FRONTAGE	200 FT.
MINIMUM LOT WIDTH	200 FT.
MINIMUM LOT DEPTH	200 FT.
MINIMUM FRONT YARD SETBACK	75 FT.
MINIMUM REAR YARD SETBACK	25 FT.
MINIMUM SIDE YARD SETBACK	25 FT.
MAXIMUM BUILDING COVERAGE	25%
MAXIMUM IMPERVIOUS COVERAGE	65%
MAXIMUM BUILDING STORIES	3 STORIES
MAXIMUM BUILDING HEIGHT	40 FT.

- (1) - VARIANCE REQUIRED; EXISTING CONDITION
- (2) - VARIANCE REQUIRED; PROPOSED CONDITION

PARKING REQUIREMENTS

CLAYTON DUSTLESS:	
OFFICE SPACE -	5.0 SPACES PER 1,000 SQ.FT. OF GFA = (8,800/1,000) x 5.0 = 44 SPACES REQUIRED
MANUFACTURING AND FABRICATION (PLANTS WITH A SINGLE SHIFT)	2.5 SPACES PER 1,000 SQ.FT. OF GFA = (6,050/1,000) x 2.5 = 16 SPACES REQUIRED
WAREHOUSE AND STORAGE -	0.75 SPACES PER 1,000 SQ.FT. OF GFA = (14,850/1,000) x 0.75 = 12 SPACES REQUIRED
	SPACES REQUIRED - 72 SPACES
TENANT SPACE #1:	
OFFICE SPACE -	5.0 SPACES PER 1,000 SQ.FT. OF GFA = (1,000/1,000) x 5.0 = 5 SPACES REQUIRED
WAREHOUSE AND STORAGE -	0.75 SPACES PER 1,000 SQ.FT. OF GFA = (3,950/1,000) x 0.75 = 3 SPACES REQUIRED
	SPACES REQUIRED - 8 SPACES
TENANT SPACE #2:	
OFFICE SPACE -	5.0 SPACES PER 1,000 SQ.FT. OF GFA = (1,000/1,000) x 5.0 = 5 SPACES REQUIRED
WAREHOUSE AND STORAGE -	0.75 SPACES PER 1,000 SQ.FT. OF GFA = (3,950/1,000) x 0.75 = 3 SPACES REQUIRED
	SPACES REQUIRED - 8 SPACES
	TOTAL SPACES REQUIRED - 88 SPACES
	TOTAL SPACES PROVIDED - 88 SPACES



SHEET #	DRAWING TITLE
1	COVER SHEET
2	EXISTING FEATURES REMOVAL PLAN
3	SITE PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITY PLAN
6	LANDSCAPING AND TREE REMOVAL PLAN
7	LIGHTING PLAN
8	PROFILES
9-10	CONSTRUCTION DETAILS
SHEET #	DRAWING TITLE
1-4 OF 4	SOIL EROSION & SEDIMENT CONTROL PLANS
1-3 OF 3	DRAINAGE AREA PLANS
1 OF 1	AERIAL FIRE TRUCK TURNING PLAN
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY

OWNERSHIP OF DOCUMENTS

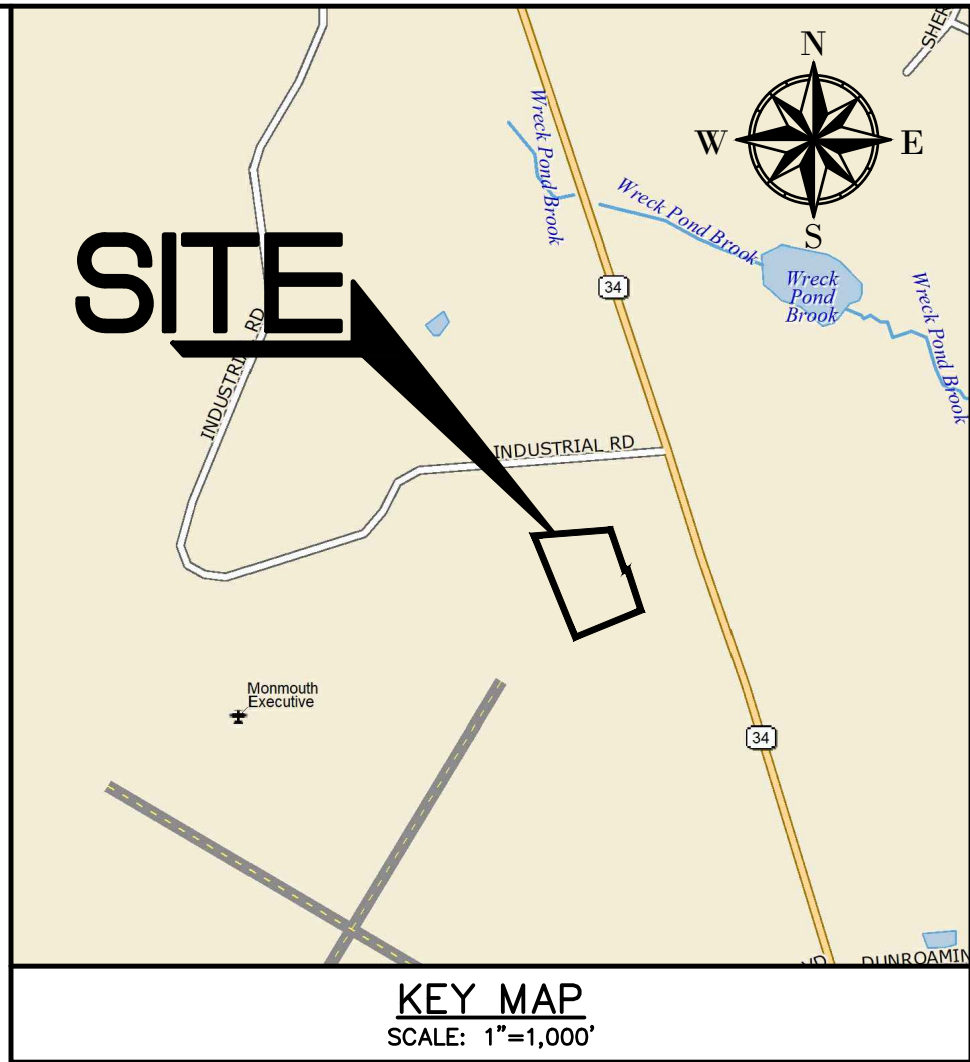
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5	7/9/21	REVISED BUILDING	BK
4	3/24/21	REVISED PER WALL TOWNSHIP PLANNING BOARD	BK
3	7/25/20	REVISED PER TECH MEETING COMMENTS	MCS
2	6/24/20	REVISED PER WALL BOARD ENGINEER/PLANNER/FIRE PREVENTION	MCS
1	12/23/19	REVISED PER WALL TOWNSHIP PLANNER	MCS

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ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
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PHONE: 732.383.0061 FAX: 732.383.0073
ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 246A28125400
WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY, LIC. #39915
PROFESSIONAL PLANNER, NEW JERSEY, LIC. #5384

PRELIMINARY & FINAL MAJOR SITE PLANS
COVER SHEET
FOR
BLOCK 917 - LOT 119.01
TOWNSHIP OF WALL
MONMOUTH COUNTY NEW JERSEY

SCALE: OCTOBER 24, 2019 DATE: OCTOBER 24, 2019 JOB NUMBER: 19077 SHEET 1
DRAWN BY: MCS DESIGNED BY: MCS CHECKED BY: MCS 10



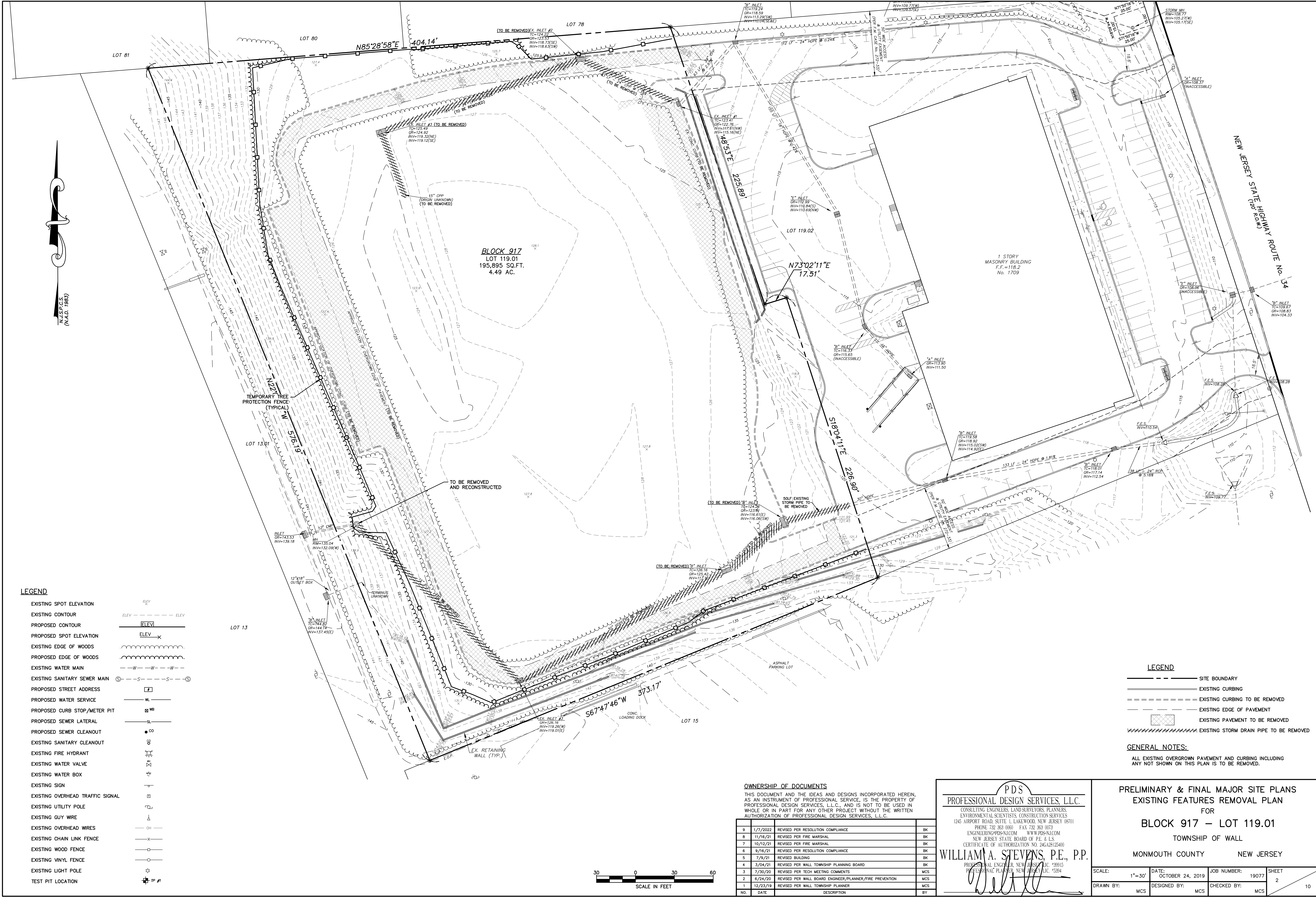
GENERAL NOTES:

- BEING KNOWN AS BLOCK 917 LOT 119.01 AS SHOWN ON SHEET No. 14 OF WALL TOWNSHIP TAX MAPS.
- PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY OF TAX BLOCK 917 - TAX LOT 119.01, REFERENCE TAX MAP SHEET No. 14, TOWNSHIP OF WALL, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY PROFESSIONAL DESIGN SERVICES, L.L.C., ON 6/27/19. TOPOGRAPHY IS IN NAVD 1988.
- THE PROPERTY IS LOCATED WITHIN GI-2, GENERAL INDUSTRIAL ZONE. IT IS PROPOSED TO CONSTRUCT A 39,600 SQ.FT. WAREHOUSE WITH PARKING. THIS PROJECT HAS RECEIVED PREVIOUS APPROVAL FROM THE WALL TOWNSHIP PLANNING BOARD. THE SITE INFRASTRUCTURE WAS CONSTRUCTED.
- THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X.
- WATER SERVICE WILL BE PROVIDED BY MUNICIPAL WATER SYSTEM.
- SEWER SERVICE WILL BE PROVIDED BY SEWER SEWER SYSTEM.
- CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- REFUSE AND RECYCLING TO BE PICKED UP BY A PRIVATE TRASH HAULER. TRASH PICK UP AND DELIVERIES WILL OCCUR ONLY BETWEEN 0700 AND 1900.
- DISTURBED AREAS WILL BE VEGETATIVELY STABILIZED IN ACCORDANCE WITH THE CERTIFIED SOIL EROSION & SEDIMENT CONTROL PLAN UPON COMPLETION.
- ALL TRAFFIC CONTROL SIGNAGE INCLUDING PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'.
- THE OWNER OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON). PROFESSIONAL DESIGN SERVICES ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY.
- MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SUBJECT TO TOWNSHIP INSPECTION.
- EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH APPLICABLE CODES, ORDINANCES AND MANUFACTURER'S REQUIREMENTS.
- TRAFFIC DIRECTION ARROWS, FIRE LANE MARKINGS, ETC. SHALL BE IN CONFORMANCE WITH TOWNSHIP FIRE AND ENGINEERING REQUIREMENTS.
- ALL HANDICAP PARKING SPACES SHALL BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATION OR THE RELATIVES CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING THE EXISTING UTILITY/SERVICE. THE PROJECT ENGINEER SHALL BE NOTIFIED OF CONFLICTS OF SAME PRIOR TO CONSTRUCTION.
- ALL FILL, COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS (IF APPLICABLE).
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR IS RESPONSIBLE FOR DETERMINING 'MEANS AND METHODS' REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA AND ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO WORK.
- IRRIGATION SHALL BE USED TO MAINTAIN LANDSCAPED AREAS BY WAY OF WELL. IRRIGATION WELL SHALL NOT BE CONNECTED TO POTABLE WATER SYSTEM.
- SEPARATE UTILITY CONNECTIONS MAY BE REQUIRED AND SHALL BE COORDINATED THROUGH THE APPROPRIATE COMPANY.
- BEARING CAPACITY OF MATERIAL WHICH FOOTINGS ARE TO BE CONSTRUCTED SHALL PROVIDE 2,000 PSI DESIGN BEARING CAPACITY.
- HVAC EQUIPMENT SHALL BE ROOF MOUNTED AND PROPERLY SCREENED.
- HANDICAPPED RAMPS SHALL CONFORM TO CURRENT FEDERAL ADA STANDARDS.
- THE EXISTING USE OF THE PROPERTY IS VACANT. THE PROPOSED USE IS A NEW FACILITY FOR CLAYTON DUSTLESS, A MANUFACTURER OF AIR PURIFYING EQUIPMENT NAICS #333413.
- THE PROJECT IS PROPOSED TO BE CONSTRUCTED IN ONE PHASE.
- ALL LINEAR AND ANGULAR DIMENSIONS OF THE EXTERIOR TRACT BOUNDARIES BALANCE AND DESCRIPTIONS CLOSE WITHIN A LIMIT OF ERROR OF NOT MORE THAN 1:10,000.
- TENANT #1 AND #2 AREAS SHALL BE CAPPED AT A MAXIMUM OF 1,000 SQ.FT. OF OFFICE, OTHERWISE A VARIANCE WILL BE REQUIRED.
- BUILDING SHALL HAVE 6" ADDRESS NUMERALS ON BUILDING AND LOCATED ON FRONT STREET SIDE OF BUILDING.
- PROVIDE KEY BOX ON BUILDING FOR FIRE ACCESS. PROVIDE OCCUPANCY LOAD SIGN NEAR MAIN ENTRANCE. FIRE HYDRANT TO BE TESTED FOR COMPLIANCE WITH MINIMUM FIRE FLOW DEMANDS.
- OVERNIGHT PARKING AND OUTDOOR STORAGE OF MATERIALS ARE PROHIBITED.
- TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO SITE CLEARING ACTIVITIES.
- POSTING OF 6 INCH ADDRESS NUMERALS ON THE BUILDING IS REQUIRED.

I HEREBY CERTIFY THAT WE ARE THE RECORD HOLDERS OF
THE TITLE TO THE LANDS KNOWN AS LOT 119.01 BLOCK 917
AND APPROVE OF THE FILING OF THIS APPLICATION.

BRAD CLAYTON, AS MANAGING MEMBER OF
SHORE LEASING, LLC.

OWNER/APPLICANT:
SHORE LEASING LLC.
1650 OAK STREET
LAKEWOOD NJ 08701
(732) 363-2100



LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING EDGE OF WOODS
- PROPOSED EDGE OF WOODS
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- PROPOSED STREET ADDRESS
- PROPOSED WATER SERVICE
- PROPOSED CURB STOP/METER PIT
- PROPOSED SEWER LATERAL
- PROPOSED SEWER CLEANOUT
- EXISTING SANITARY CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER BOX
- EXISTING SIGN
- EXISTING OVERHEAD TRAFFIC SIGNAL
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING OVERHEAD WIRES
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING VINYL FENCE
- EXISTING LIGHT POLE
- TEST PIT LOCATION

LEGEND

- SITE BOUNDARY
- EXISTING CURBING
- EXISTING CURBING TO BE REMOVED
- EXISTING EDGE OF PAVEMENT
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING STORM DRAIN PIPE TO BE REMOVED

GENERAL NOTES:

ALL EXISTING OVERGROWN PAVEMENT AND CURBING INCLUDING ANY NOT SHOWN ON THIS PLAN IS TO BE REMOVED.

OWNERSHIP OF DOCUMENTS

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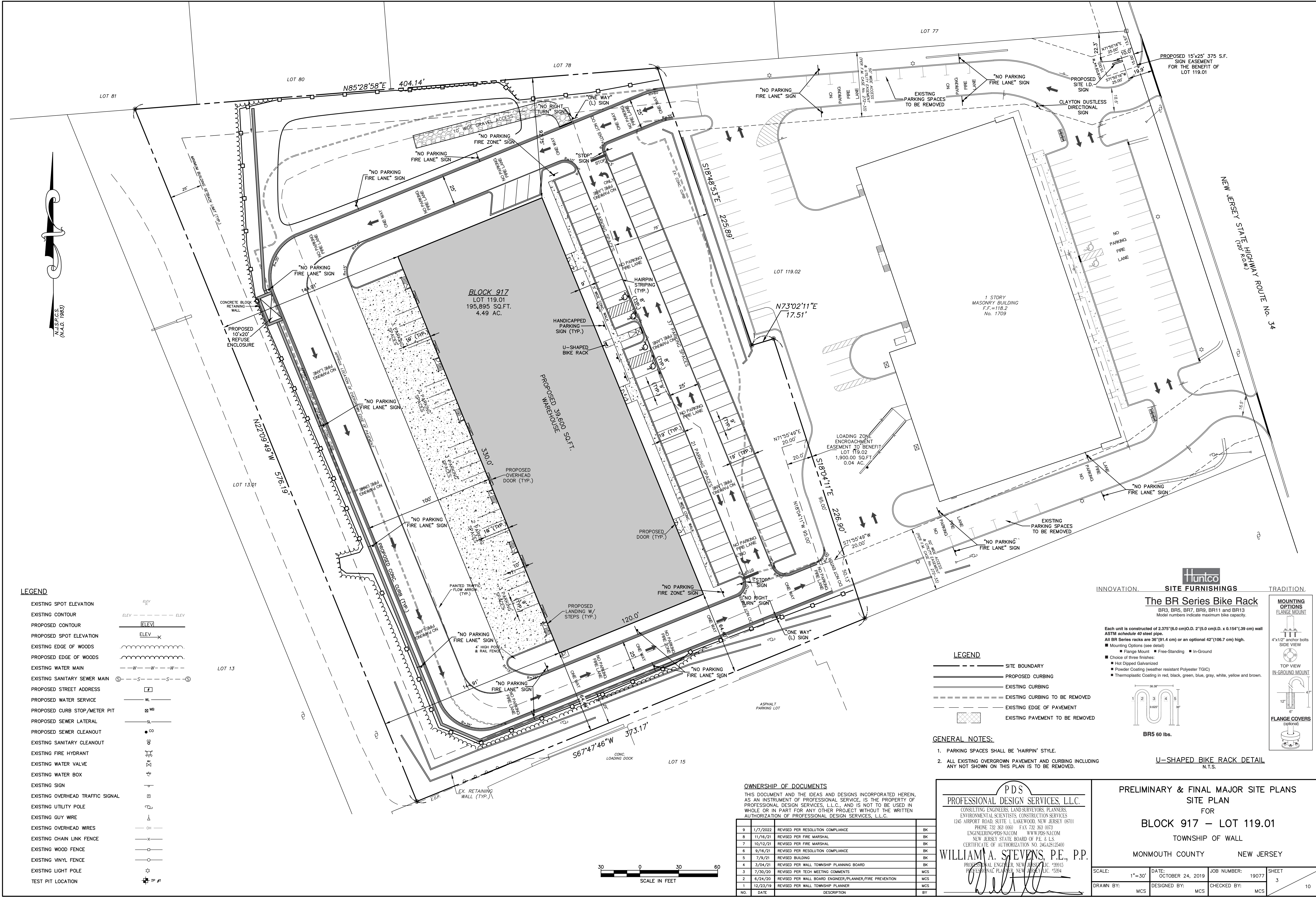
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PROFESSIONAL PLANNER, NEW JERSEY LIC. #5384

PRELIMINARY & FINAL MAJOR SITE PLANS
EXISTING FEATURES REMOVAL PLAN
FOR
BLOCK 917 - LOT 119.01
TOWNSHIP OF WALL
MONMOUTH COUNTY NEW JERSEY

SCALE: 1"=30' DATE: OCTOBER 24, 2019 JOB NUMBER: 19077 SHEET 2
DRAWN BY: MCS DESIGNED BY: MCS CHECKED BY: MCS





LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING EDGE OF WOODS
- PROPOSED EDGE OF WOODS
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- PROPOSED STREET ADDRESS
- PROPOSED WATER SERVICE
- PROPOSED CURB STOP/METER PIT
- PROPOSED SEWER LATERAL
- PROPOSED SEWER CLEANOUT
- EXISTING SANITARY CLEANOUT
- EXISTING FIRE HYDRANT
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- EXISTING WOOD FENCE
- EXISTING VINYL FENCE
- EXISTING LIGHT POLE
- TEST PIT LOCATION

LEGEND

- SITE BOUNDARY
- PROPOSED CURBING
- EXISTING CURBING
- EXISTING CURBING TO BE REMOVED
- EXISTING EDGE OF PAVEMENT
- EXISTING PAVEMENT TO BE REMOVED

GENERAL NOTES:

- PARKING SPACES SHALL BE 'HAIRPIN' STYLE.
- ALL EXISTING OVERGROWN PAVEMENT AND CURBING INCLUDING ANY NOT SHOWN ON THIS PLAN IS TO BE REMOVED.

Huntco SITE FURNISHINGS

The BR Series Bike Rack
BR3, BR5, BR7, BR9, BR11 and BR13
Model numbers indicate maximum bike capacity.

Each unit is constructed of 2.375" (6.0 cm) O.D. x 0.154" (3.9 cm) wall ASTM schedule 40 steel pipe.
All BR Series racks are 36" (91.4 cm) or an optional 42" (106.7 cm) high.
■ Mounting Options (see detail)
■ Flange Mount ■ Free-Standing ■ In-Ground
■ Choice of three finishes:
■ Hot Dipped Galvanized
■ Powder Coating (weather resistant Polyester TGIC)
■ Thermoplastic Coating in red, black, green, blue, gray, white, yellow and brown.

BR5 60 lbs.

U-SHAPED BIKE RACK DETAIL
N.T.S.

OWNERSHIP OF DOCUMENTS

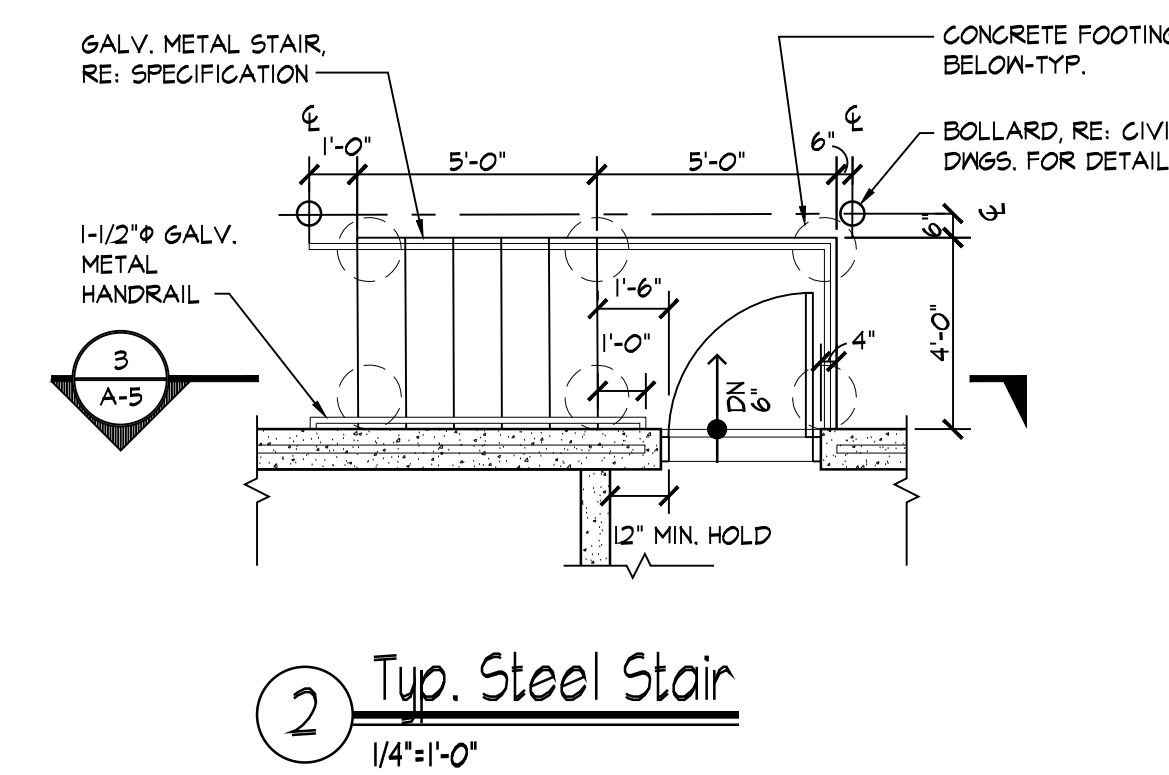
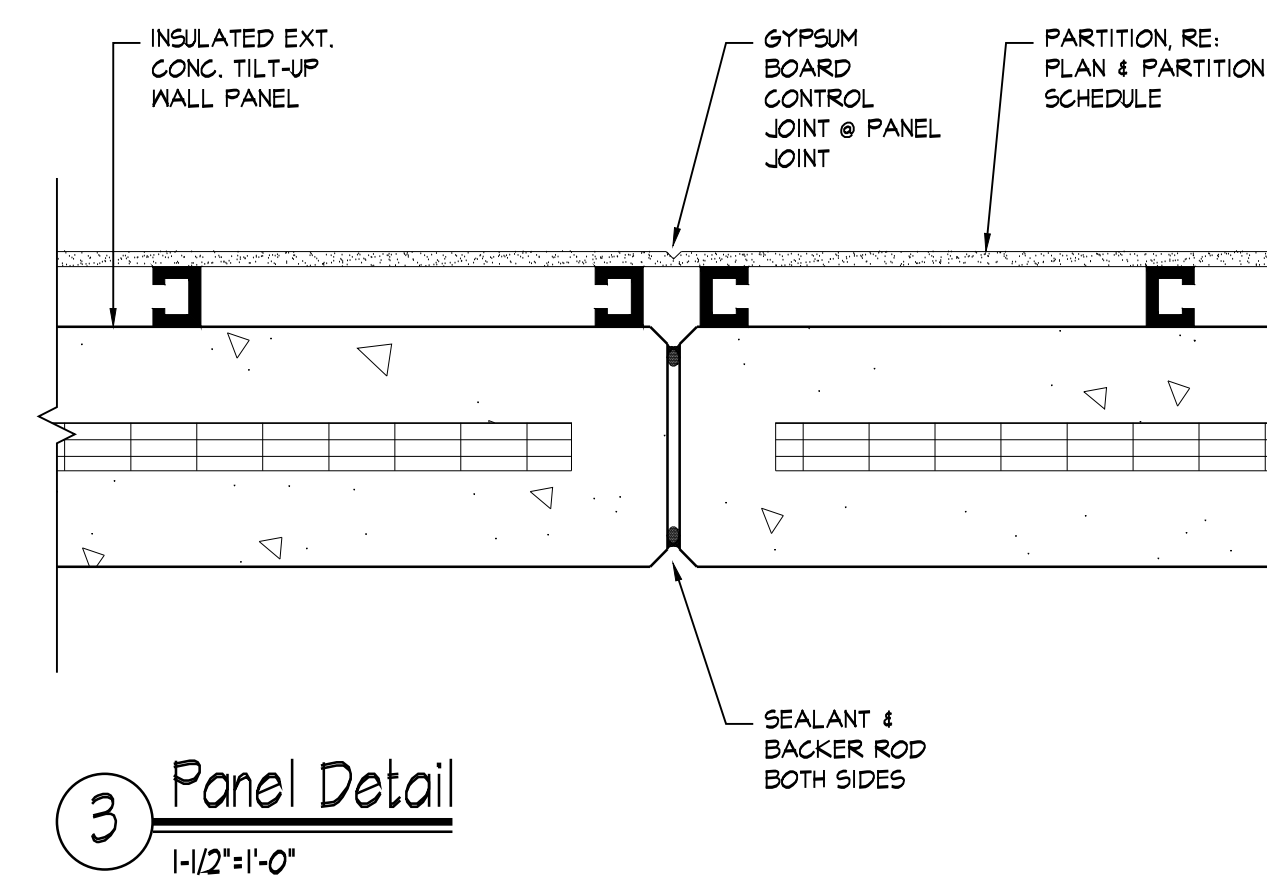
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SITE PLAN
FOR
BLOCK 917 - LOT 119.01
TOWNSHIP OF WALL
MONMOUTH COUNTY NEW JERSEY

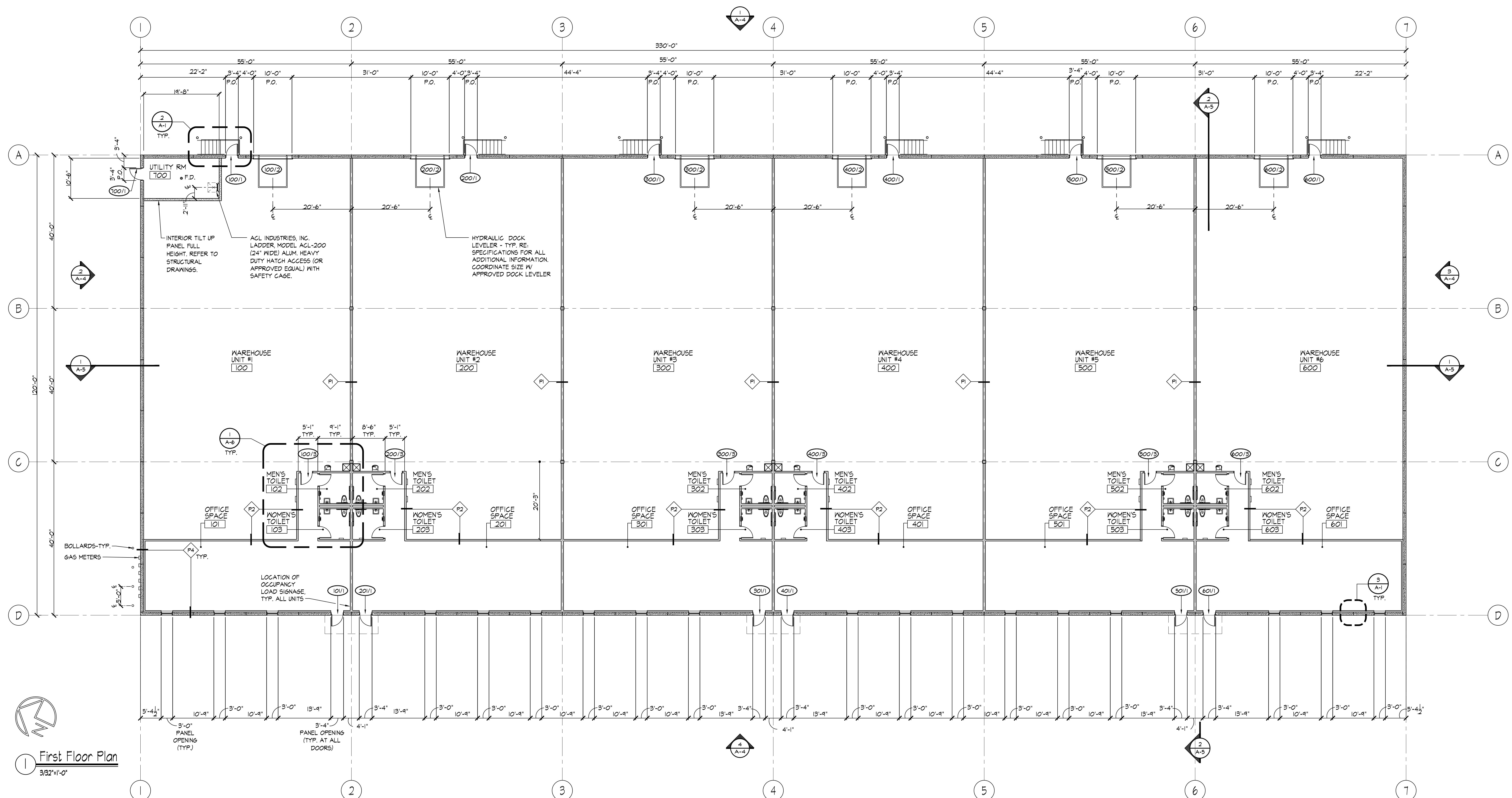
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DESIGNED BY: MCS
CHECKED BY: MCS
SHEET 3
10



LEGEND

	INSULATED CONCRETE PANEL
	NEW WALL - METAL STUDS @ 16" O/C.

- ## GENERAL NOTES
1. ALL SCOPE OF WORK SHOWN IN CONNECTION DOCUMENTS, PROJECT MANUAL (SPECIFICATIONS) SHALL BE COORDINATED BY GENERAL CONTRACTOR. THE DESIGNATION "NIC" INDICATES THE WORK IS NOT IN ANY PRIME CONTRACTS IN THE PROJECT.
 2. DO NOT SCALE DWGS TO OBTAIN DIMENSIONS. REFER TO ARCHITECTAL DWGS FOR DIMENSIONS REQUIRED. CRITICAL DIMENSIONS NOT FOUND SHOULD BE FIELD VERIFIED.
 3. NOTES ON ONE DRAWING OR DETAIL APPLY TO ALL SIMILAR DRAWINGS OR DETAILS.
 4. CONTRACTOR SHALL VERIFY ALL EXG. CONDITIONS AND DIMENSIONS IN THE FIELD. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK AFFECTED.
 5. U.N.O. DIMENSIONS ARE FROM FACE OF FINISH.
 6. GULK JOINTS WHERE INDICATED ON DWGS AS WELL AS AT JOINTS BETWEEN DISSIMILAR MATERIALS.
 7. ELEVATION OF 0'-0" ON ARCHITECTURAL DRAWINGS AND STRUCTURAL DRAWINGS CORRESPONDS TO ELEVATION 124.0' ON CIVIL DRAWINGS.
 8. CORE DRILL ALL HOLES MADE IN PRECAST PANELS (NO HAMMER DRILLING)
 9. PAINTER TO HOT WATER POWER WASH PANELS AFTER ERECTION AND PREP FOR PAINTING.
 10. ANY OPENING IN PRECAST PANEL LARGER THAN 2'X2' WILL REQUIRE A STRUCTURAL ENGINEERING REVIEW.
 11. PROVIDE 6"Y.P. BD. VERTICAL JOINTS AT 25 FT. O.C. MAX. INTERVALS. PLASTIC COMPONENTS MO. NO. 2021-16.
 12. TOILET ROOM SLABS TO BE LEFT OUT FOR FUTURE TENANT FIT-OUT.



GENERAL NOTES

1. ALL LIGHTS ARE TO BE CENTERED WITHIN ROOMS UNLESS NOTED OTHERWISE

- LEGEND
- WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DWGS.
 - HIGH BAY LIGHT FIXTURE. REFER TO ELECTRICAL DWGS.
 - 2'-0"x4'-0" LED RECESSED LIGHT FIXTURE. REFER TO ELECTRICAL DWGS.
 - MECHANICAL RETURN DIFFUSER. REFER TO MECHANICAL DRAWINGS
 - MECHANICAL SUPPLY DIFFUSER. REFER TO MECHANICAL DRAWINGS
 - EXHAUST FAN. REFER TO MECHANICAL DRAWINGS
 - 2'-0"x4'-0" SUSPENDED A.C.T. CEILING SYSTEM
 - CEILING HEIGHT A.F.F.

tm
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CERTIFICATE OF AUTHORIZATION
No. AC33200

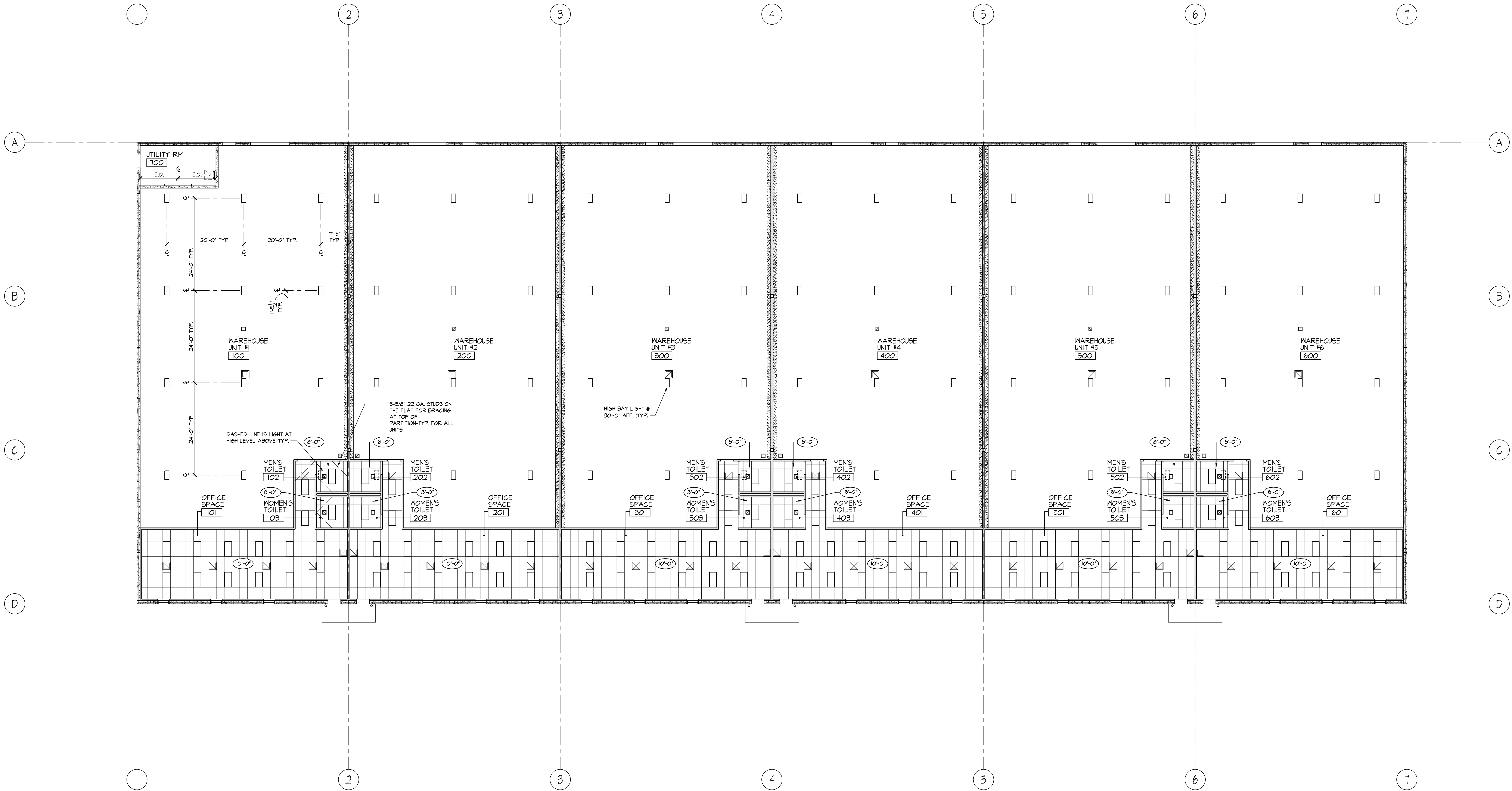
Proposed New Construction for:
Shore Leasing LLC
1709 RT-34
Wall, New Jersey 07727
Block 917, Lot 119.01

REV.	DATE	DESCRIPTION

Reflected Ceiling Plan

PROJECT NO.: 1864
DATE ISSUED: March 3, 2022
DRAWN BY: DL
SHEET NO.:

A-2



1 First Floor Reflected Ceiling Plan
3/32"x1'-0"



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CERTIFICATE OF AUTHORIZATION
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REV.:	DATE:	DESCRIPTION:

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