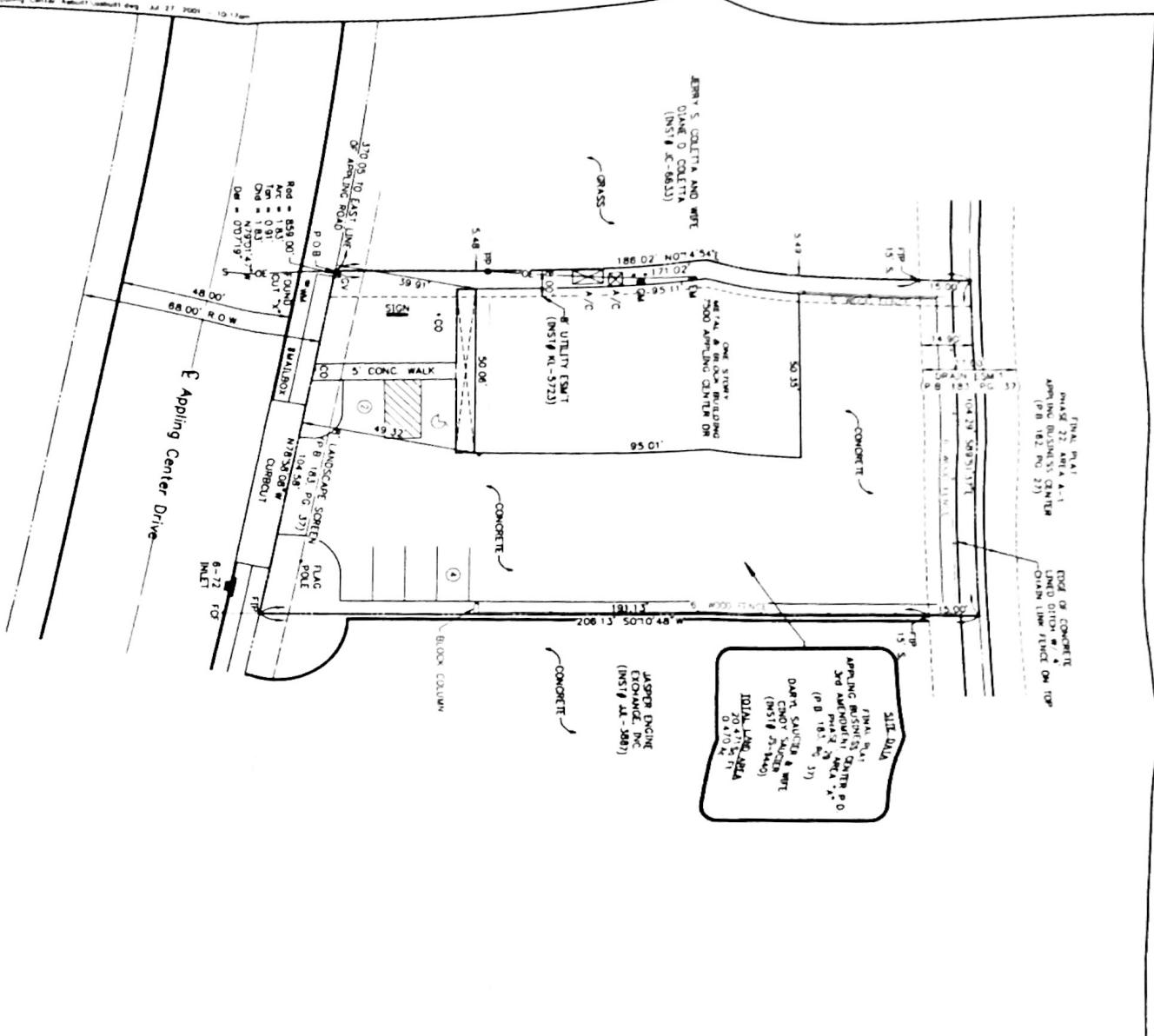


GRAPHIC SCALE IN FEET
SCALE: 1" = 20'



SLIDE DATA
FINAL PLAT
APPLING BUSINESS CENTER P.O.
AND ADJUTANT GENERAL'S OFFICE
(P.B. 182, No. 21)
DATE: SAUNCE & WRT
CROSSY SAUNCE
(INS'Y 25-340)
TOTAL AREA: 0.410 AC

REAVES
SWEENEY
MARCUM
SURVEYING & ENGINEERING
P.C.
1000 N. W. 10th St., Ft. Lauderdale, FL 33304
TEL: (954) 562-1111
FAX: (954) 562-1112
WWW.REAVES-SWEENEY-MARCUM.COM



PROJECT: SURVEY OF 7500 APPLING CENTER DRIVE
APPLING BUSINESS CENTER P.O.
MEMPHIS, SHELBY COUNTY, TENNESSEE
FOR: BAKER DONELSON
SHEET TITLE: ALTA/AOSM LAND TITLE SURVEY
SHEET NO.: 1

- NOTES**
1. ALL MEASUREMENTS AND CALCULATIONS WERE MADE FROM THE FIELD NOTES OF THE SURVEYOR AND THE ORIGINAL RECORDS OF THE SURVEYOR. THE SURVEYOR HAS REVIEWED THE ORIGINAL RECORDS AND HAS FOUND THEM TO BE CORRECT AND ACCURATE.
 2. THE SURVEYOR HAS REVIEWED THE ORIGINAL RECORDS AND HAS FOUND THEM TO BE CORRECT AND ACCURATE.
 3. DISTANCES SHOWN ON THIS PLAT ARE IN FEET.
 4. THIS PLAT IS BASED UPON THE FIELD NOTES OF THE SURVEYOR AND THE ORIGINAL RECORDS OF THE SURVEYOR. THE SURVEYOR HAS REVIEWED THE ORIGINAL RECORDS AND HAS FOUND THEM TO BE CORRECT AND ACCURATE.
 5. NO PORTION OF THIS PROPERTY LIES WITHIN A 1000-YEAR FLOOD ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 17001C0010E DATED DECEMBER 1, 1994.
 6. THE ERROR OF CLOSURE FOR THE UNADJUSTED TRIANGULAR IS ONLY 1/10000. THIS IS A CATEGORY "1" SURVEY IN ACCORDANCE WITH THE STATE OF TENNESSEE LAND SURVEYOR'S STANDARDS.
 7. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF ANY, ARE BASED ON ABOVE-GROUND EVIDENCE OR INFORMATION PROVIDED BY THE OWNER. THE SURVEYOR HAS REVIEWED THE ABOVE-GROUND UTILITIES AND HAS FOUND THEM TO BE CORRECT AND ACCURATE.
 8. THIS PROPERTY IS SUBJECT TO THE CONDITIONS, RESTRICTIONS, EASEMENTS, AND ENCUMBRANCES AS CALLED FOR IN THE CALLING PLAN FOR THE APPLING BUSINESS CENTER P.O. AND ADJUTANT GENERAL'S OFFICE (P.B. 182, No. 21).
 9. THIS PROPERTY IS SUBJECT TO THE CONDITIONS, RESTRICTIONS, EASEMENTS, AND ENCUMBRANCES AS CALLED FOR IN THE FINAL PLAT FOR PAGES 29 OF THE APPLING BUSINESS CENTER P.O. AND ADJUTANT GENERAL'S OFFICE (P.B. 182, No. 21).
 10. THIS PROPERTY IS SUBJECT TO AN 8' FOOT UTILITY EASEMENT AS CALLED FOR IN INSTRUMENT KL-5723.

SURVEYOR'S CERTIFICATE

I, the undersigned, being duly sworn, depose and say that I am a duly licensed and qualified land surveyor in the State of Tennessee, and that I have personally and independently conducted the survey herein shown, and that the same is true and correct, and that I have not been convicted of any crime involving moral turpitude, and that I have not been disciplined by the Board of Land Surveyors of the State of Tennessee, and that I have not been suspended or annulled from practicing as a land surveyor in the State of Tennessee, and that I have not been removed from the rolls of the Board of Land Surveyors of the State of Tennessee, and that I have not been found guilty of any crime involving moral turpitude, and that I have not been disciplined by the Board of Land Surveyors of the State of Tennessee, and that I have not been suspended or annulled from practicing as a land surveyor in the State of Tennessee, and that I have not been removed from the rolls of the Board of Land Surveyors of the State of Tennessee.