

PROJECT DESCRIPTION:
 Merging of two lots,
 AP#'s 003-180-350 & 003-180-360
 and new construction of 8 story
 mixed use building with 50 dwelling
 units, ground floor retail
 and underground parking for 29 cars

New Building required to be protected by an automatic sprinkler system in accordance with Section 903.3.1.1

NET RESIDENTIAL AREA	
8th flr	4774
7th flr	4774
6th flr	4774
5th flr	5074
4th flr	5534
3rd flr	5892
2nd flr	3227
Total 34,049 sq ft	

Note: This project shall be approved under AB2097 which eliminates parking minimums - see letter

PARKING MAX = 29 cars	
28 Residential (mechanically parked/assigned to residential)	
1 Ground level space (assigned to residential)	
1 ADA Van space (not assigned/not counted)	

GROSS BUILDING AREA	
Residential	34,049
Stair Elev + Hall	1,100
Open Space	6,190
TOTAL	51,339

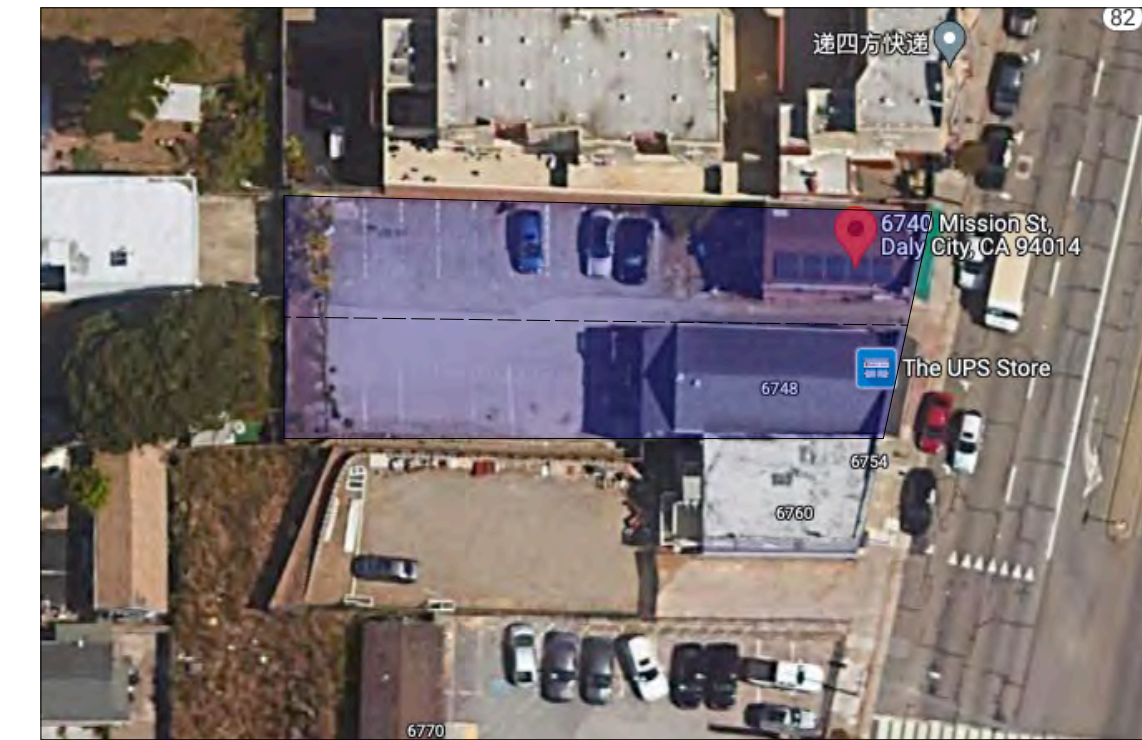
OPEN SPACE Proposed= 7212 sq ft	
Roof	4695
8th flr	144
7th flr	144
6th flr	390
5th flr	460
4th flr	315
3rd flr	266
2nd flr	798
Total sq ft	7212
Decks	

Applicable Codes	
2025 California Code of Regulations Title 24	
2025 Building Code (CBC)	
2025 Electrical Code (CEC)	
2025 Mechanical Code (CMC)	
2025 Plumbing Code (CPC)	
2025 Energy Code [2008 Energy Standards] (CNC)	
2025 California Green Building Standards Code	
Daly City Municipal Code Amendments (DCMC) Title 15.	
2025 Edition California Green Building Standards Code	
2025 NFPA	

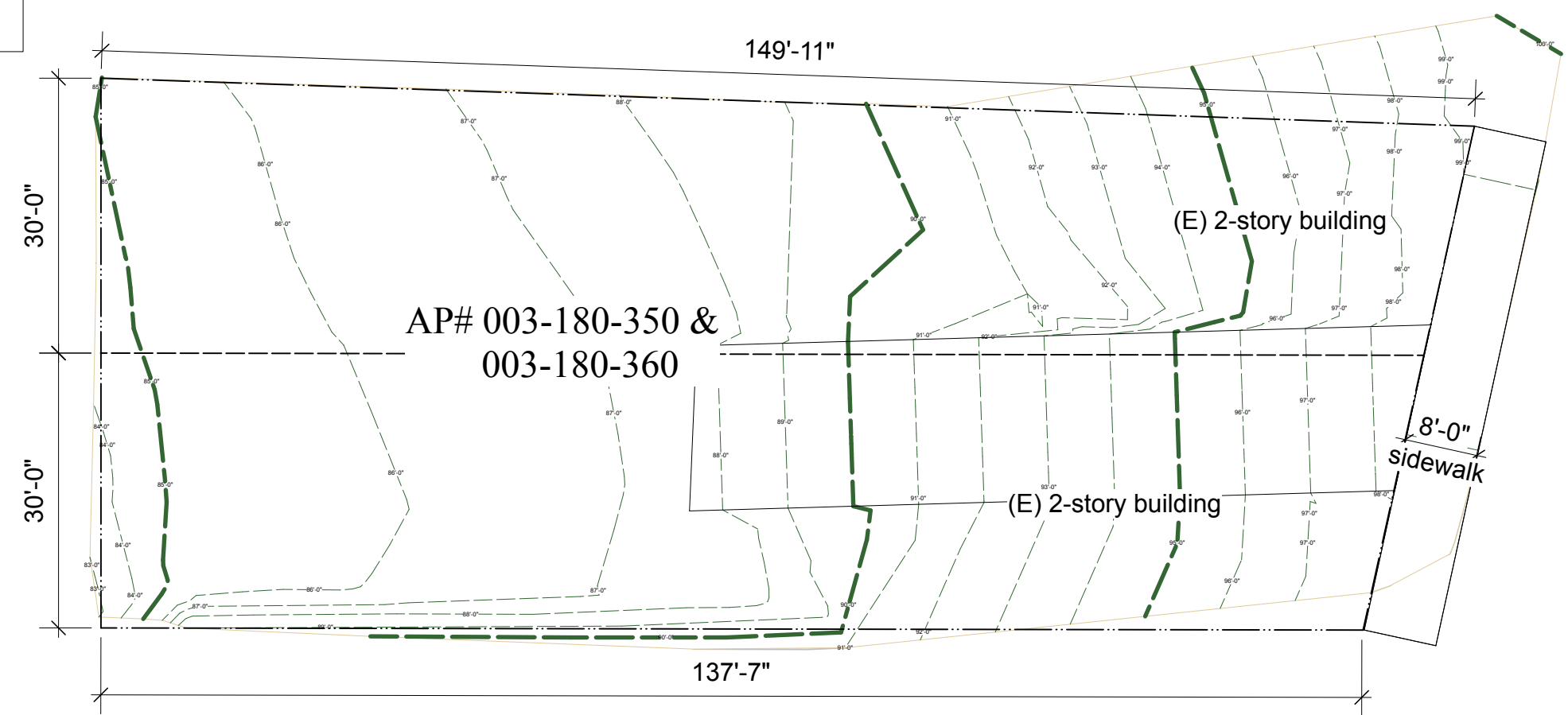
- SITE & UTILITY NOTES**
- Per section 707.4 of the Uniform Plumbing Code and section 02720, 3.17 of the City of Daly City Standard Specifications and Drawings, a cleanout is required and shall be located 18 to 24 inches from the building foundation. All the existing laterals to the property shall be abandoned at the main.
 - No trees shall be planted within 10 feet of the sewer.
 - Sand/oil interceptor required for the basement drains.
 - Rainwater shall not flow to sanitary sewer but shall flow to the gutter.
 - Trash area shall have a drain to the sanitary sewer.
 - Separate services required for fire, domestic and irrigation; Separation requirements set forth in section 02710, section 3.05 and 02720, 3.07 of the City of Daly City Standard Conditions and Drawings shall be followed at all times.
 - Any existing water services shall be abandoned at the main.
 - All services shall have an RP type back flow assembly.
 - All domestic fixtures shall be low flow with toilets being High Efficiency "HE" toilets 1.28 gpf or less and "HE" urinals 0.5 gpf or less are required. Rebates are available for premium "HE" toilets with 1. gpf or less. Showers shall be 2.0 gpm, kitchen sinks 2.2 gpm and lavatory sinks 1.5 gpm Please visit www.ci.daly-city.ca.us/city_services/depts/wwr/water_conserve.html.
- Contractor to ensure that a certified Daly City Distribution System Operator will be present for all hydrostatic testing, chlorination, flushing, bacteria testing and connections to the existing system, per California Department of Public Health, Operator Certification Regulations, Section 63770. The DWWWR must receive the request for the certified Operator to be present for these operations in writing no less than six (6) working days prior to the anticipated date of work.

SHEET INDEX

- ARCHITECTURAL**
- A1.00 Building Data; Index, Windows
 - A1.01 Site Survey
 - A1.02 Exit Diagram / Occupant loads
 - A2.00 1st Floor Parking Plan
 - A2.01 2nd Floor Plan /Street Level
 - A2.02 3rd Floor Plan
 - A2.03 4th Floor Plan
 - A2.04 5th Floor Plan
 - A2.05 6th Floor Plan
 - A2.06 7th Floor Plan
 - A2.07 8th Floor Plan
 - A2.08 Roof Deck/Community Room Plan
 - A2.09 Penthouse Roof Deck Plan
 - A3.00 East Elevation - Mission Street
South Elevation
 - A3.01 West & North Elevations
 - A4.00 Building Section-Longitudinal
 - A5.00 Building Renderings



Per AB2097, Project site must be within 1/2 mile of transit
 Since Project Site is 2,200 ft. from Bart Station AB2097 applies



	TOTAL 50 units	9 - STUDIOS	21- 1 BDRM	20 - 2 BDRM
SECOND FLOOR	630 sf 593 sf 727 sf 438 sf - Studio, 1 Ba 422 sf - Studio, 1 Ba 417 sf - Studio, 1 Ba		1 Bdrm 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 1 Ba
THIRD FLOOR	630 sf 593 sf 727 sf 438 sf - Studio, 1 Ba 422 sf - Studio, 1 Ba 846 sf 774 sf 774 sf 685 sf		1 Bdrm 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 1 Ba 2 Bdrm, 2 Ba 2 Bdrm, 1 Ba
FOURTH FLOOR	527 sf 450 sf 618 sf 438 sf - Studio, 1 Ba 422 sf - Studio, 1 Ba 846 sf 774 sf 774 sf 685 sf		1 Bdrm 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 2 Ba 2 Bdrm, 1 Ba
FIFTH FLOOR	545 sf 590 sf 438 sf - Studio, 1 Ba 422 sf - Studio, 1 Ba 846 sf 774 sf 774 sf 685 sf		1 Bdrm, 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 2 Ba 2 Bdrm, 1 Ba
SIXTH FLOOR	864 sf 801 sf 846 sf 774 sf 774 sf 685 sf		1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 2 Ba 2 Bdrm, 1 Ba 2 Bdrm, 2 Ba 2 Bdrm, 1 Ba
SEVENTH FLOOR	864 sf 801 sf 846 sf 774 sf 774 sf 685 sf		1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 2 Ba 2 Bdrm, 1 Ba 2 Bdrm, 2 Ba 2 Bdrm, 1 Ba
EIGHTH FLOOR	864 sf 801 sf 846 sf 774 sf 774 sf 865 sf		1 Bdrm, 1 Ba 1 Bdrm, 1 Ba	2 Bdrm, 2 Ba 2 Bdrm, 1 Ba 2 Bdrm, 2 Ba 2 Bdrm, 1 Ba

GENERAL NOTES:

- (1) ALL DISTANCES: (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL U.S.A. (811) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (6) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY, INCLUDING THE LOCATION AND PRESENCE OF EASEMENTS.
- (7) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (8) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
- (9) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS. ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.
- (10) THE BUILDING FOOTPRINT SHOWN IS AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- (11) ONLY VISIBLE ACCESSIBLE GROUND LEVEL PERIMETER FEATURES ARE SHOWN. NON ACCESSIBLE / OVERHEAD / SUBTERRANEAN ENCROACHMENTS MAY EXIST.
- (12) THE INFORMATION SHOWN ON THIS MAP SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING OR CONSTRUCTION, ANY LAYOUT OR CONSTRUCTION SHALL BE BASED ON SITE STAKING PERFORMED BY THIS OFFICE.
- (13) ANY REPRODUCTION OF THIS MAP WITHOUT MY PROFESSIONAL LAND SURVEYOR'S STAMP AND WET SIGNATURE IS NOT CONSIDERED AN ORIGINAL VERSION OF THIS MAP.

BASIS OF ELEVATION

THE ELEVATIONS SHOWN HEREON ARE BASED ON AS ASSUMED VERTICAL DATUM. A MAG NAIL AND WASHER PLACED IN MISSION STREET WAS TAKEN AS AN ASSUMED ELEVATION OF 100.00'

MAP REFERENCES

- (R1) DOC:2021-159050 + DOC:2022-070818
- (R2) 1 RSM 3
- (R3) 4 RSM 41
- (R4) 81 PM 79-80
- (R5) CAL TRANS RIGHT OF WAY MAP DATED MARCH 1991, R-507.3

BASIS OF SURVEY

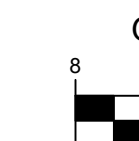
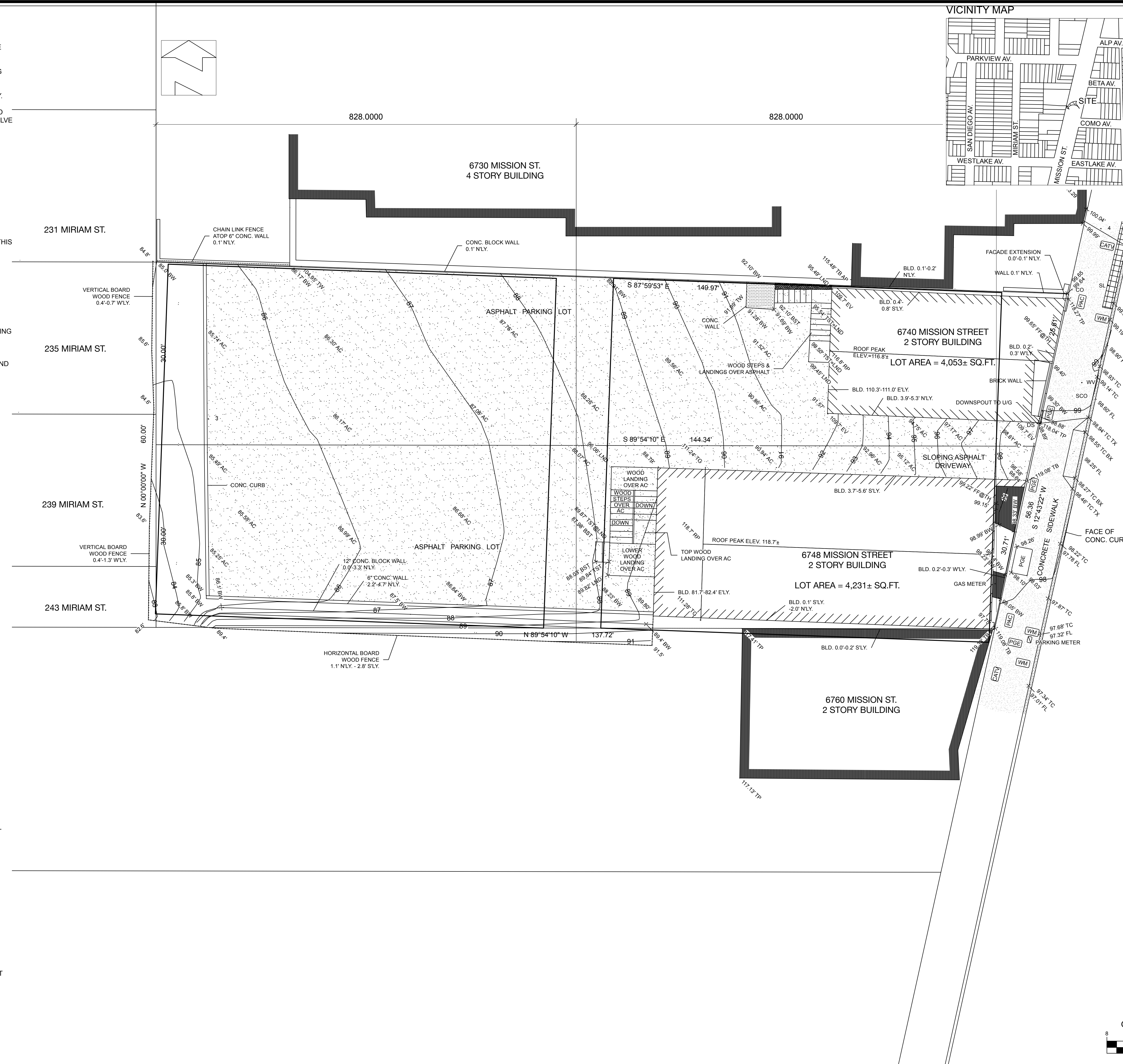
FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO 3421-6840652 AND FIDELITY TITLE COMPANY PRELIMINARY REPORT ESCROW NO FFSM-1072101174.

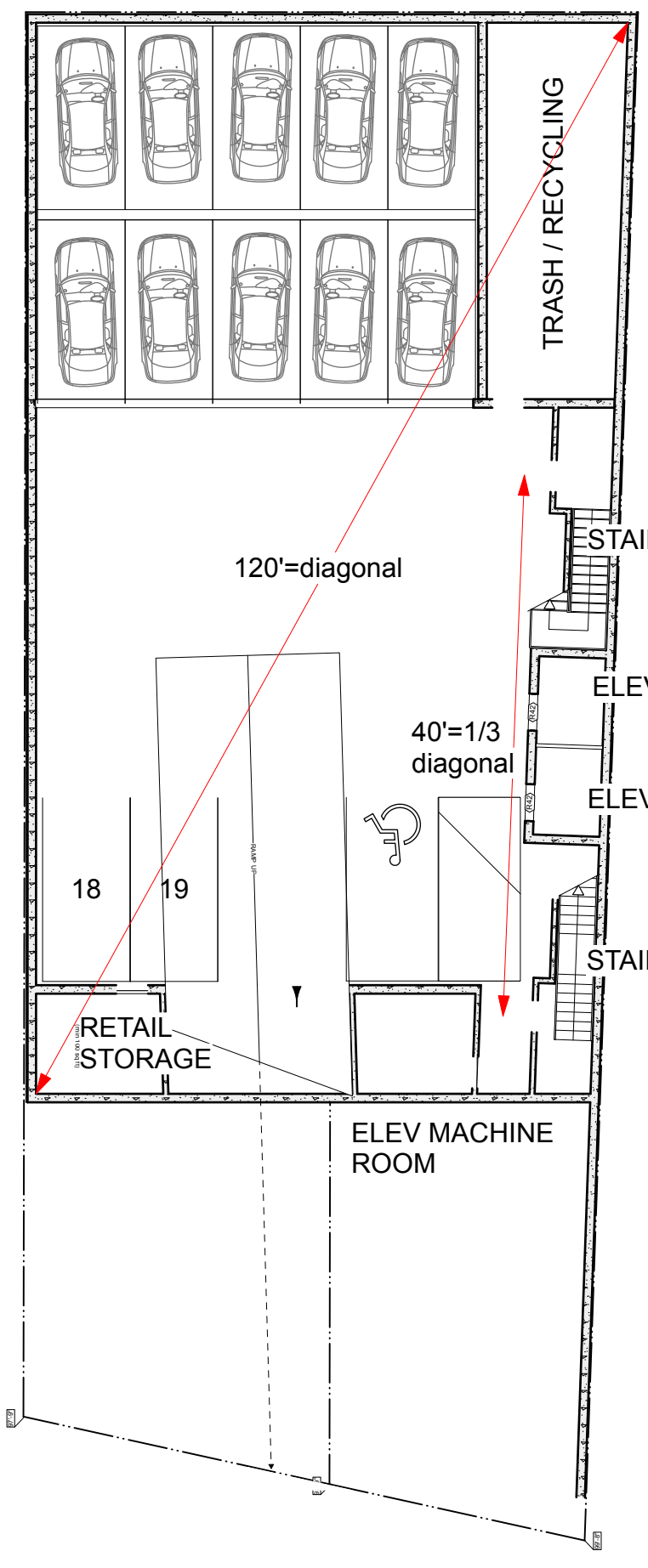
LEGEND

AC	ASPHALT CONCRETE	NLY	NORTHERLY
BLD	BUILDING	OH	OVERHANG
BR	BRICK	PAC	PACIFIC BELL
BST	BOTTOM OF STEP	PGE	PAC GAS AND ELECTRIC
BW	BASE OF WALL	RF	ROOF AT EAVES
BX	BOTTOM OF DRIVEWAY "X"	RP	ROOF PEAK
CATV	CABLE TELEVISION	RR	ROOF RIDGE
CC	CEMENT CONCRETE	SCO	SANITARY SEWER CLEANOUT
CONC	CEMENT CONCRETE	SL	STREET LIGHT
DS	DOWNSPOUT	S'LY	SOUTHERLY
DWY	DRIVEWAY	TB	TOP OF BUILDING
EC	EDGE OF CEMENT CONCRETE	TC	TOP OF CURB
ELEV	ELEVATION	TG	TOP OF ROOF GUTTER
E'LY	EASTERLY	TH	THRESHOLD
EY	EAVES	TP	TOP OF PARAPET
FF	FINISHED FLOOR	TST	TOP OF STEP
FL	FLOWLINE	TW	TOP OF WALL
LND	LANDING	TX	TOP OF DRIVEWAY "X"
NG	GROUND	W'LY	WESTERLY
		WM	WATER METER

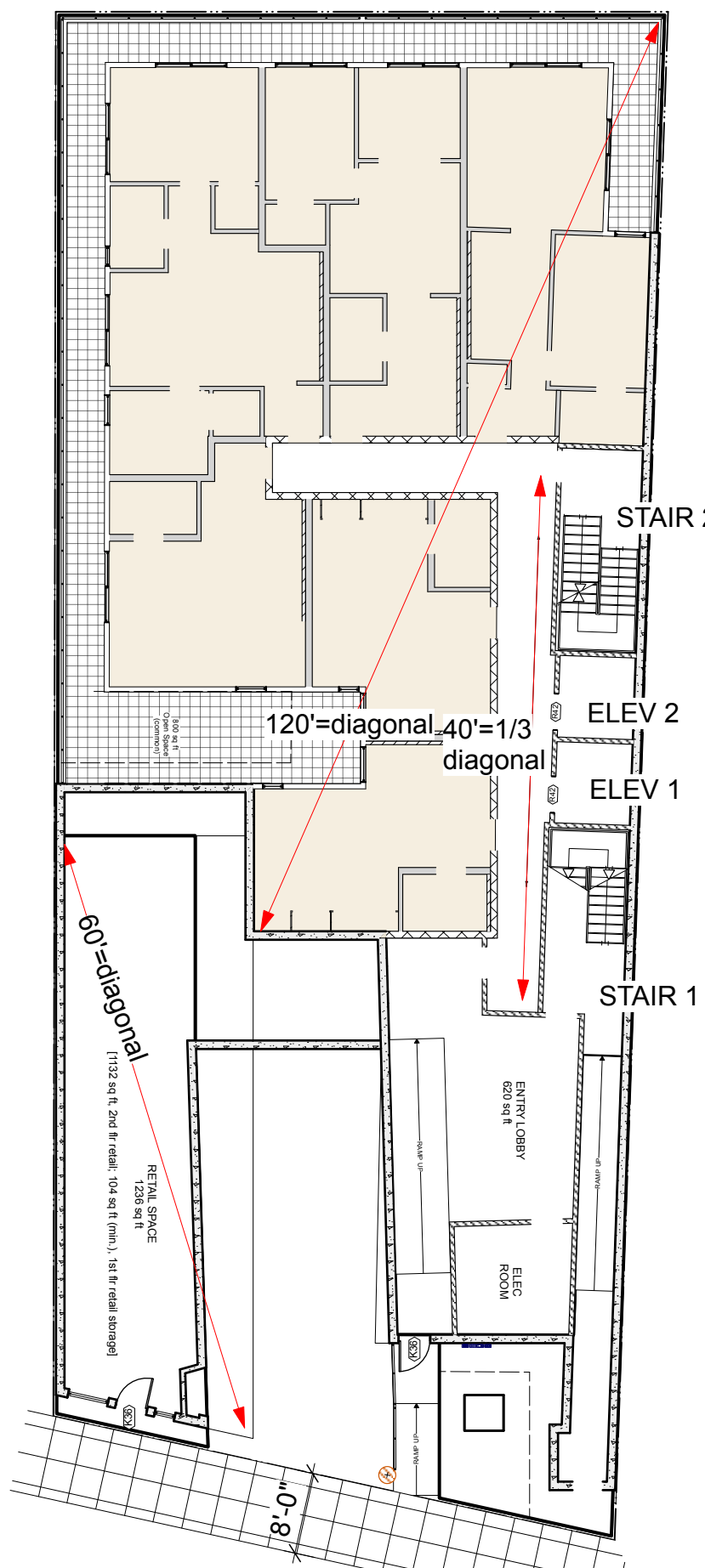
—	PROPERTY LINE	[CATV]	CABLE TELEVISION BOX
—	FLOWLINE	[PAC]	PAC BOX
—	GRADE BREAK	[PGE]	PGE BOX
—	ROOF LINE	[SCO]	SANITARY SEWER CLEANOUT
—	CHAIN LINK FENCE	o	SPOT ELEVATION
—	WOOD FENCE	☆	STREET LIGHT
—	CONTOUR (1' INTERVAL)	△	SURVEY CONTROL POINT
		☆	METER (AS NOTED)
		□	WATER METER
		[WM]	WATER METER

VICINITY MAP

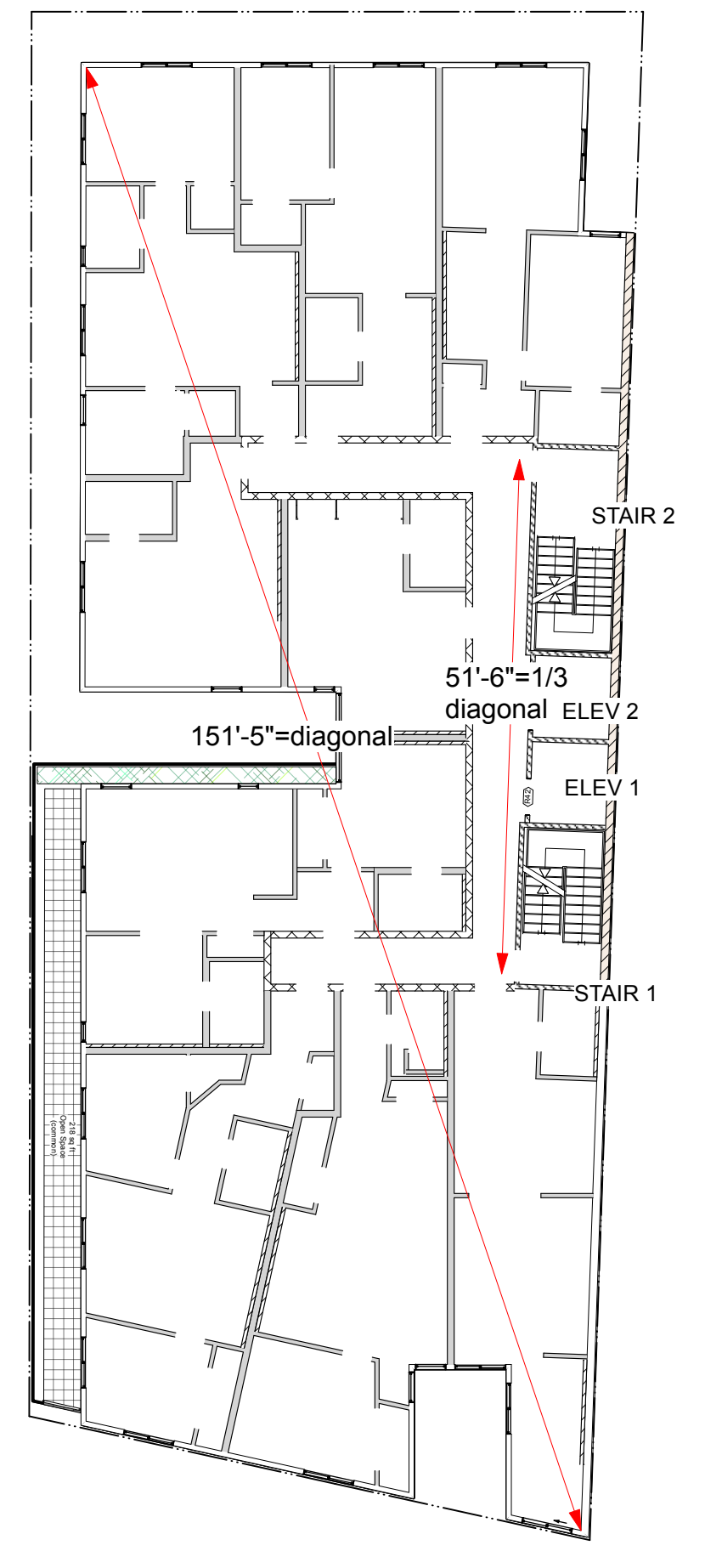




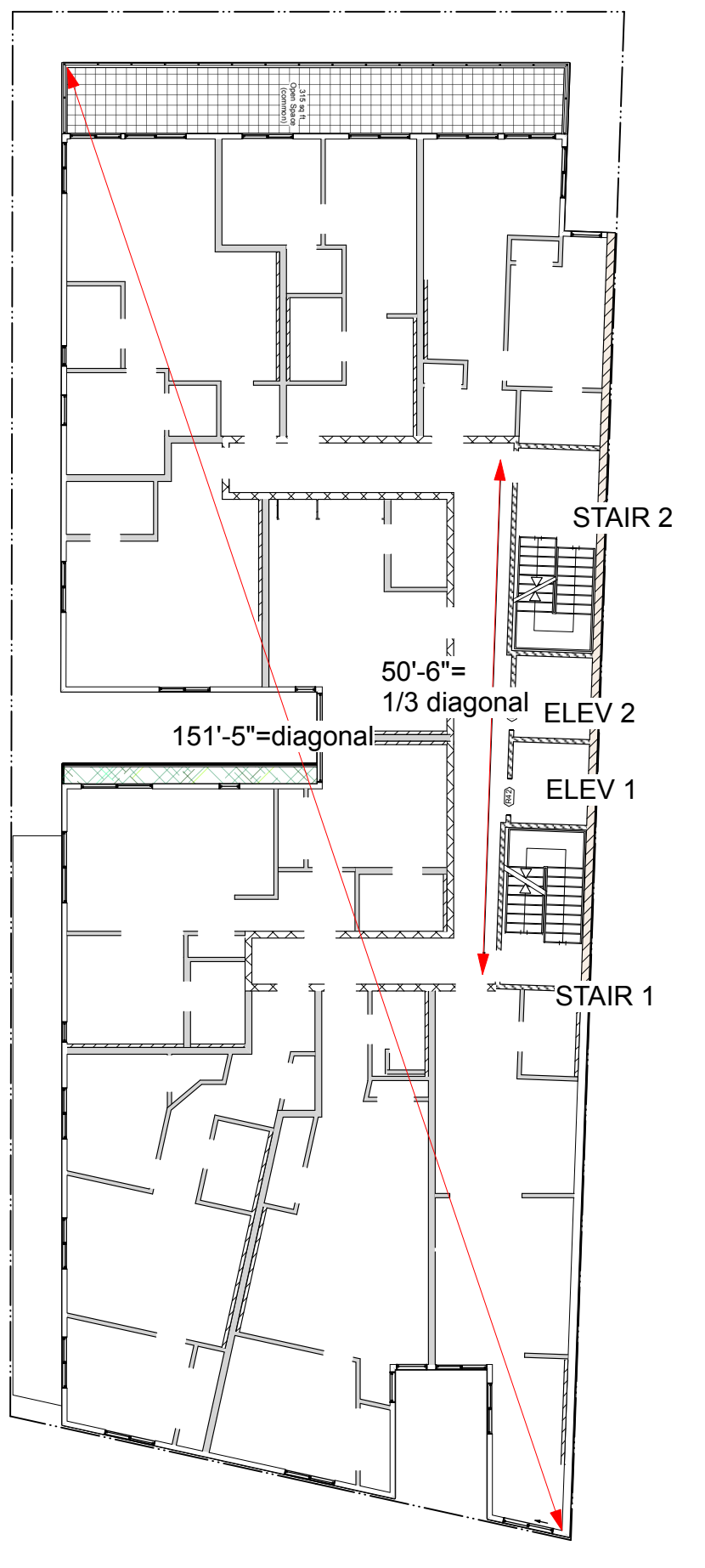
1 Ground Floor - EXITING
Scale: 1/16" = 1'-0"



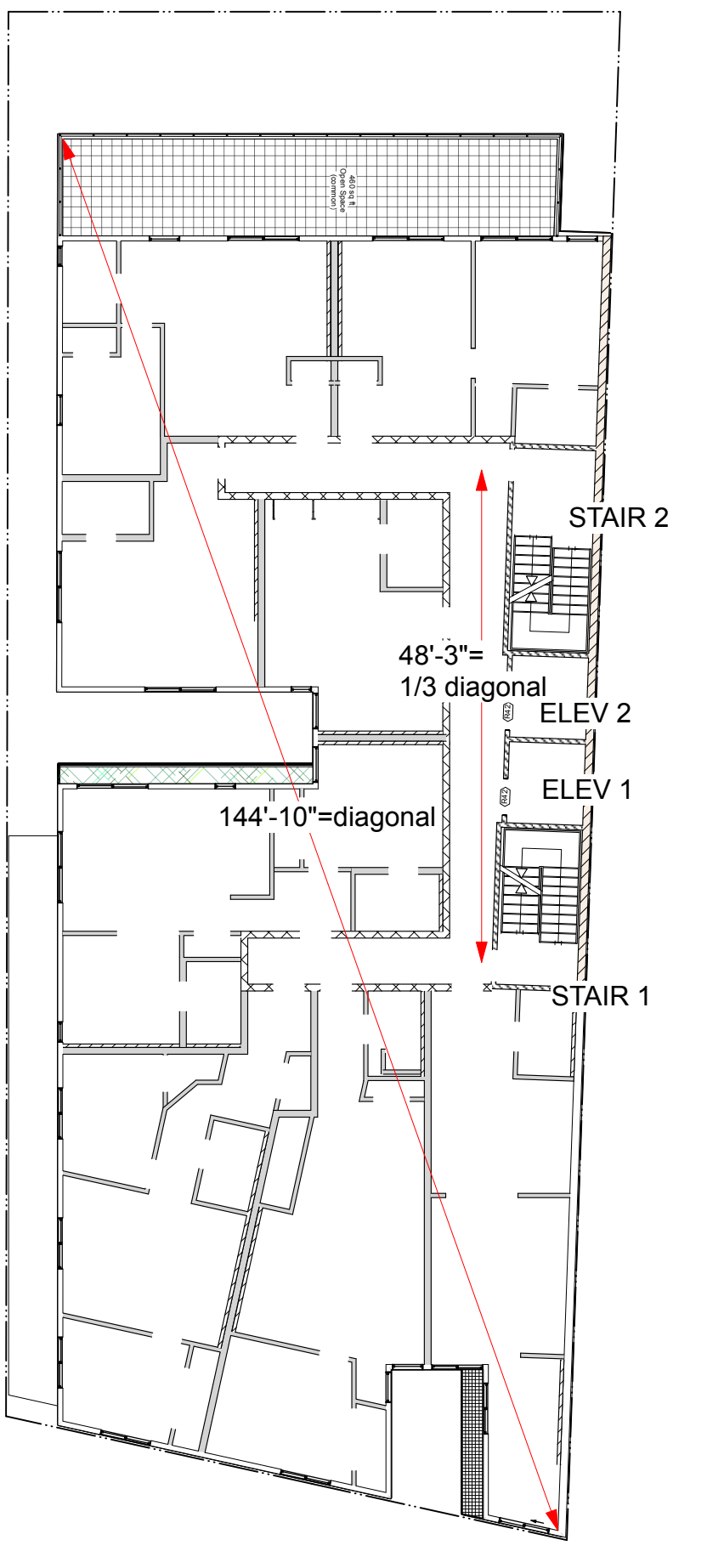
2 Second Floor - EXITING
Scale: 1/16" = 1'-0"



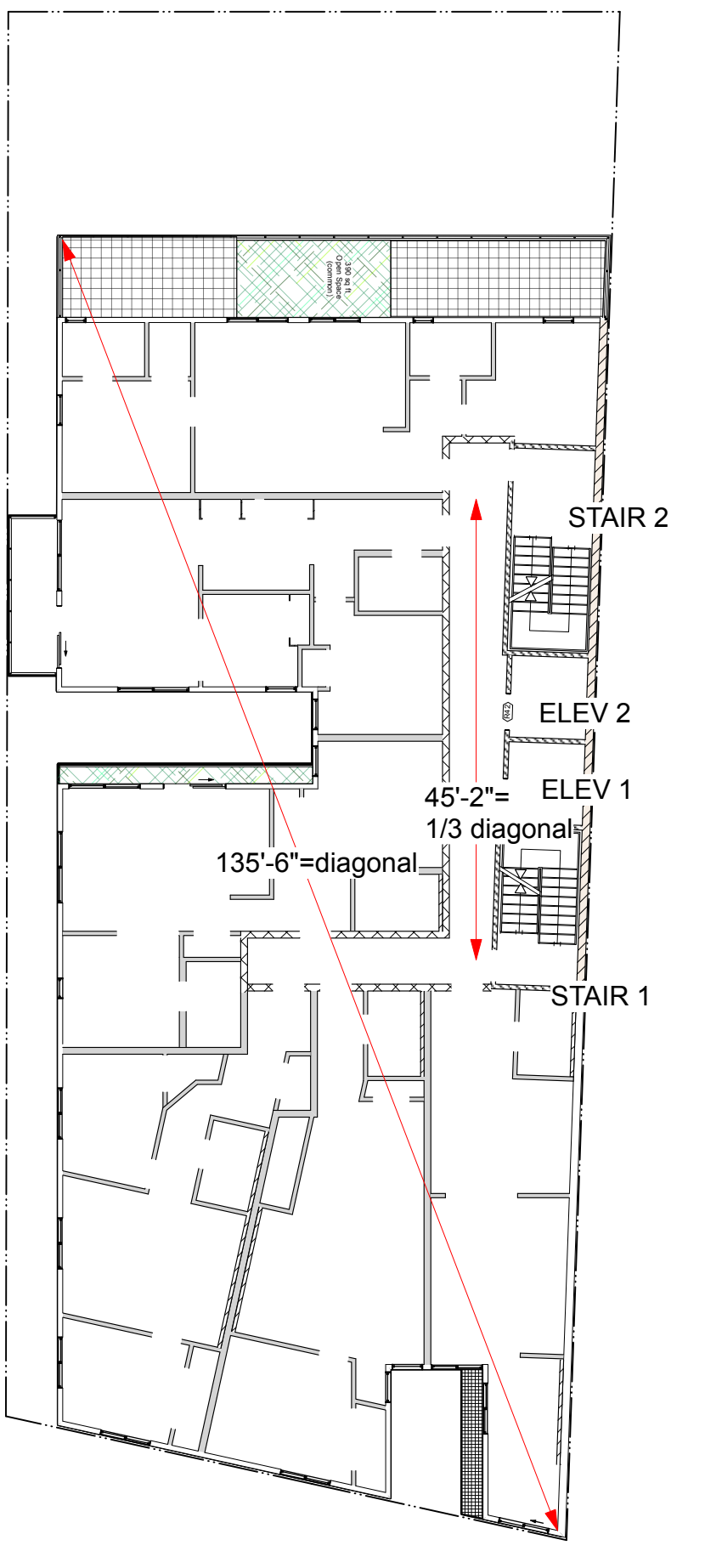
3 Third Floor - EXITING
Scale: 1/16" = 1'-0"



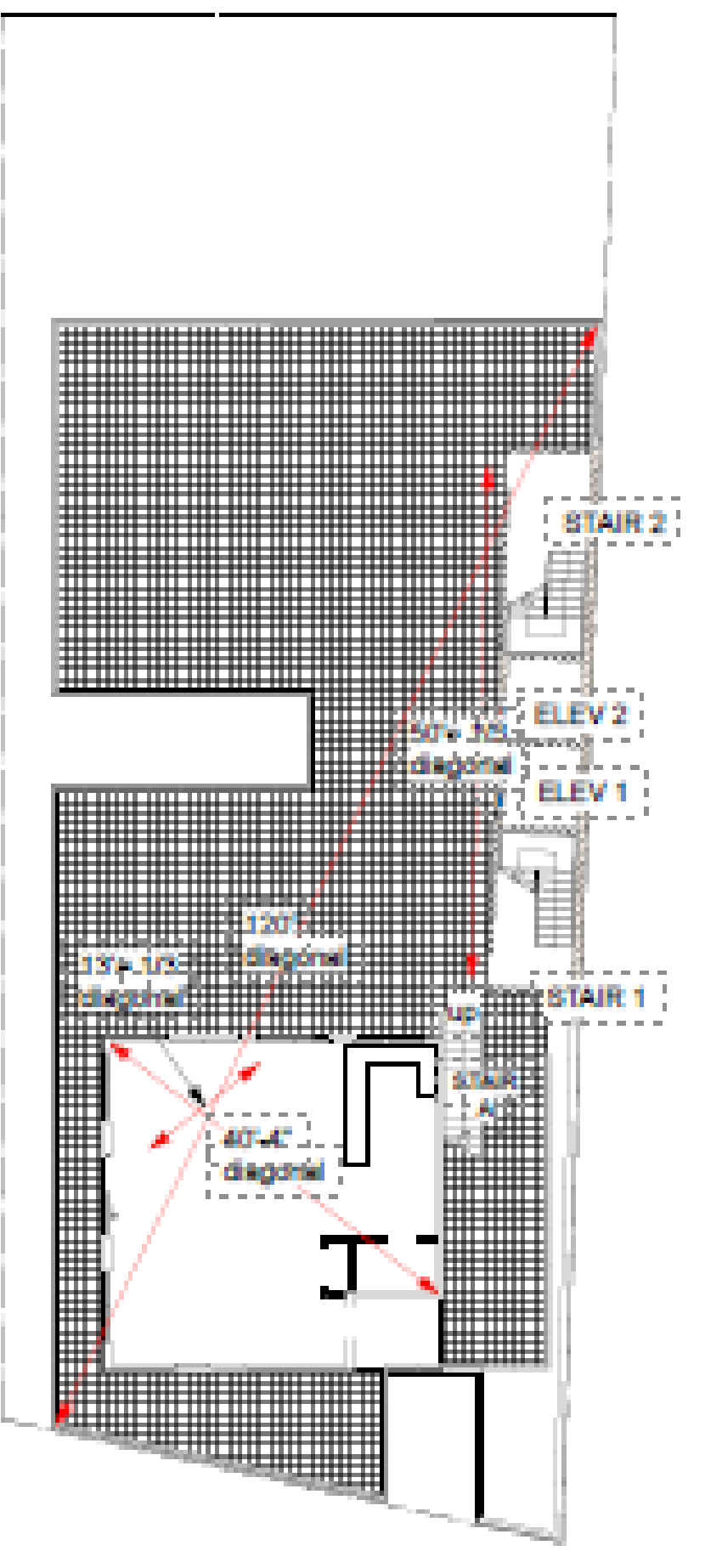
5 Fourth Floor - EXITING
Scale: 1/16" = 1'-0"



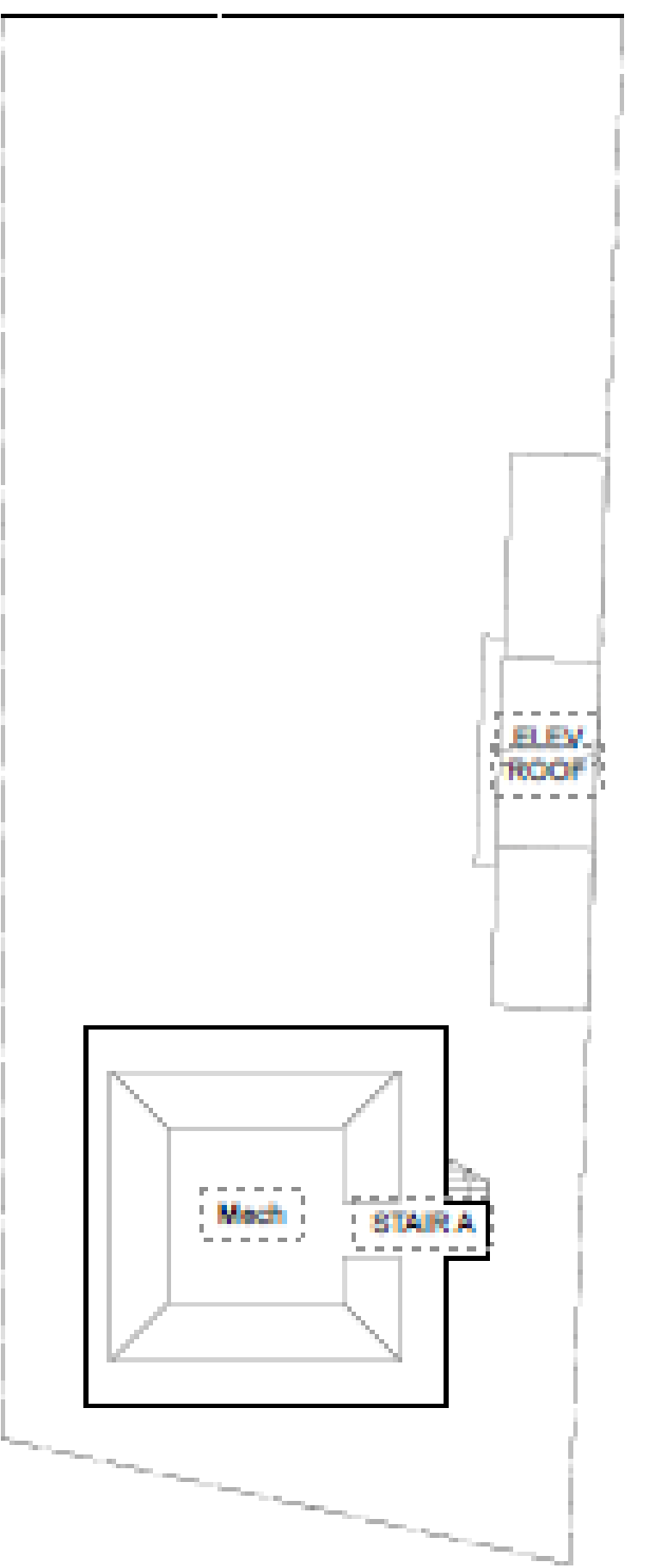
6 Fifth Floor - EXITING
Scale: 1/16" = 1'-0"



7 6th, 7th & 8th Flrs - EXITING
Scale: 1/16" = 1'-0"



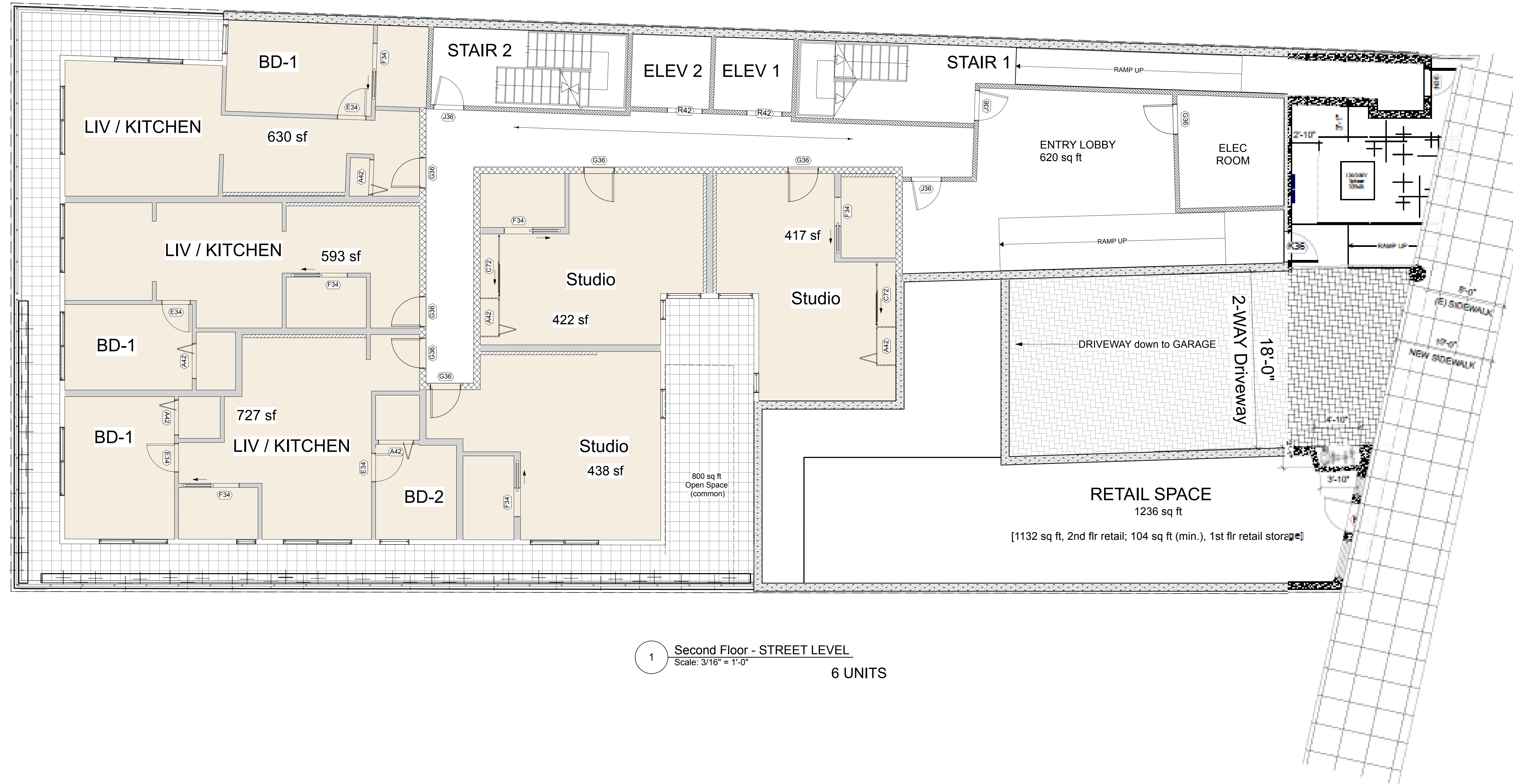
8 Roof Level - EXITING
Scale: 1/16" = 1'-0"



9 Penthouse Deck Level - EXITING
Scale: 1/16" = 1'-0"

630 sf - 1 Bdrm 1 Ba
 593 sf - 1 Bdrm, 1 Ba
 727 sf - 2 Bdrm, 1 Ba
 438 sf - Studio, 1 Ba
 422 sf - Studio, 1 Ba
 417 sf - Studio, 1 Ba

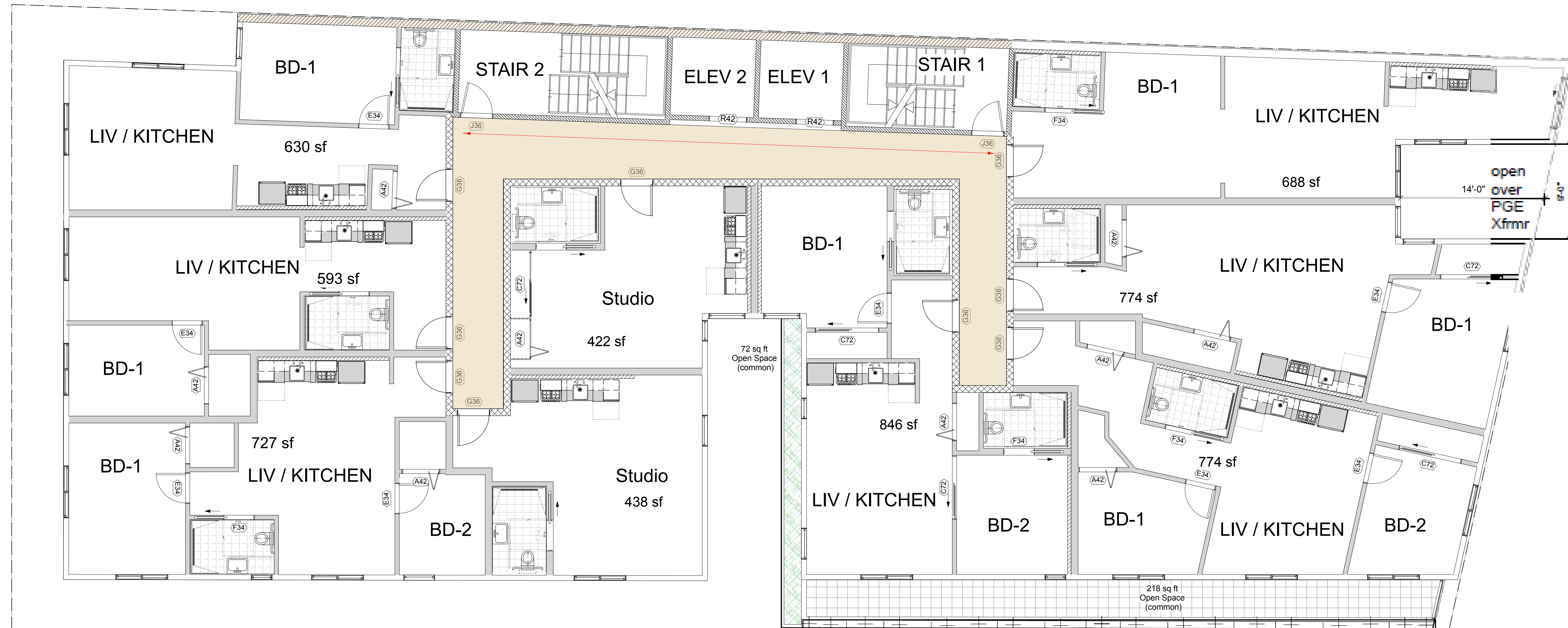
3227 sq ft 6 UNITS



1 Second Floor - STREET LEVEL
 Scale: 3/16" = 1'-0"
 6 UNITS

- 630 sf - 1 Bdrm 1 Ba
- 593 sf - 1 Bdrm, 1 Ba
- 727 sf - 1 Bdrm, 1 Ba
- 438 sf - Studio, 1 Ba
- 422 sf - Studio, 1 Ba
- 846 sf - 2 Bdrm, 2 Ba
- 774 sf - 2 Bdrm, 1 Ba
- 774 sf - 1 Bdrm, 1 Ba
- 688 sf - 1 Bdrm, 1 Ba

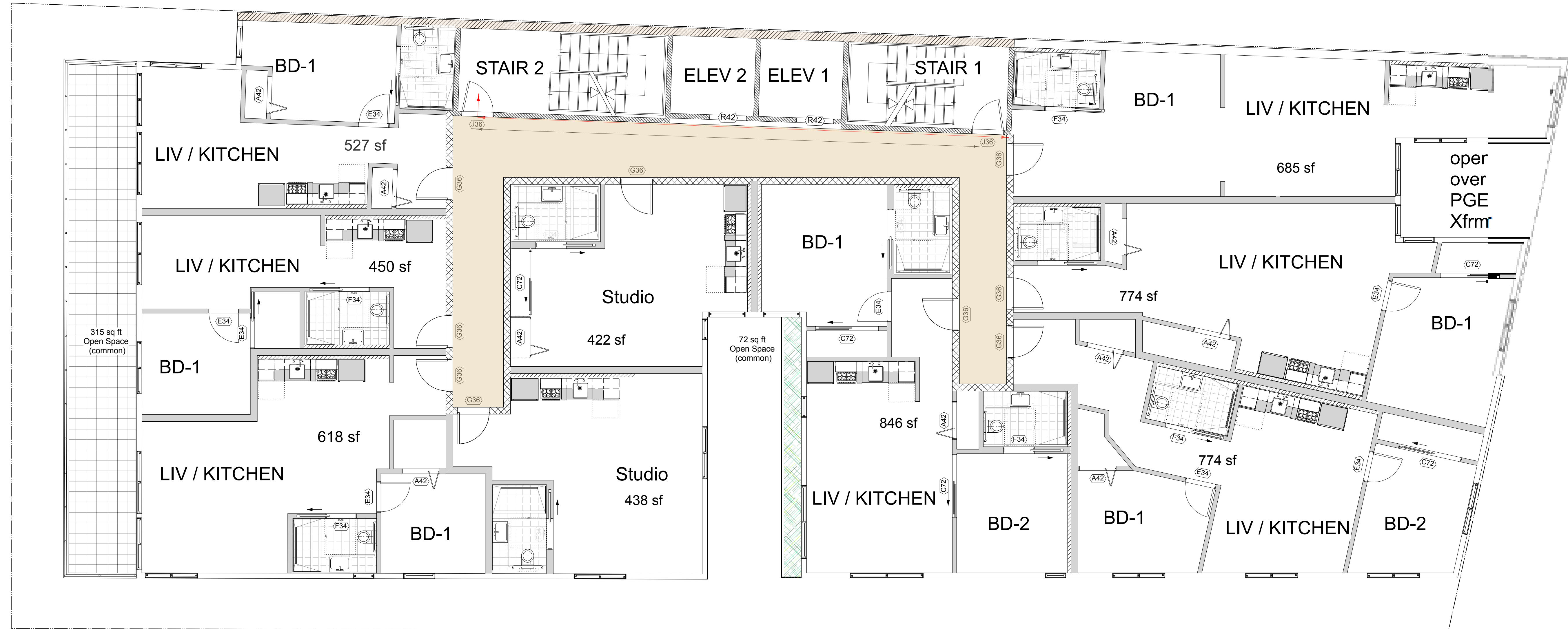
5892 sq ft 9 UNITS



1 3rd Floor
Scale: 3/16" = 1'-0"

- 527 sf - 1 Bdrm 1 Ba
- 450 sf - 1 Bdrm, 1 Ba
- 618 sf - 1 Bdrm, 1 Ba
- 438 sf - Studio, 1 Ba
- 422 sf - Studio, 1 Ba
- 846 sf - 2 Bdrm, 2 Ba
- 774 sf - 2 Bdrm, 1 Ba
- 774 sf - 1 Bdrm, 1 Ba
- 685 sf - 1 Bdrm, 1 Ba

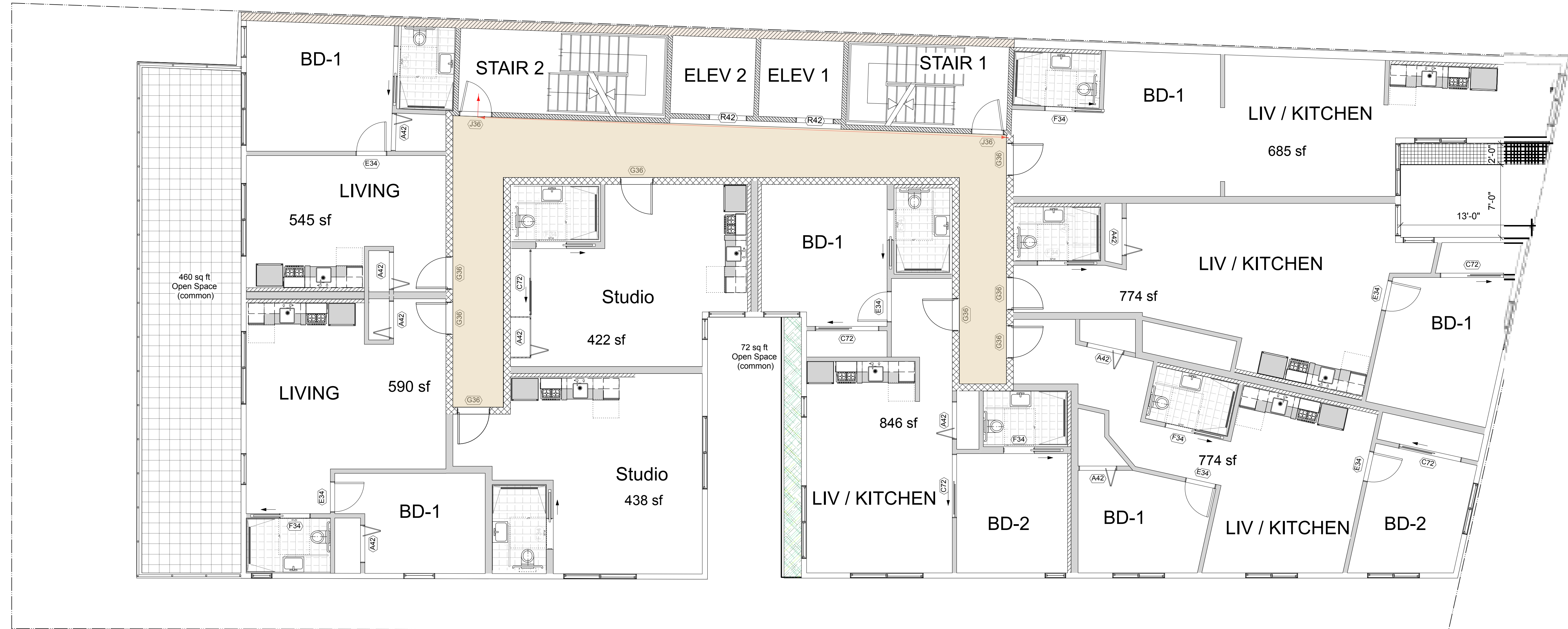
5534 sq ft 9 UNITS



2 4th Floor
Scale: 3/16" = 1'-0"

- 545 sf - 1 Bdrm, 1 Ba
- 590 sf - 1 Bdrm, 1 Ba
- 438 sf - Studio, 1 Ba
- 422 sf - Studio, 1 Ba
- 846 sf - 2 Bdrm, 2 Ba
- 774 sf - 2 Bdrm, 1 Ba
- 774 sf - 1 Bdrm, 1 Ba
- 685 sf - 1 Bdrm, 1 Ba

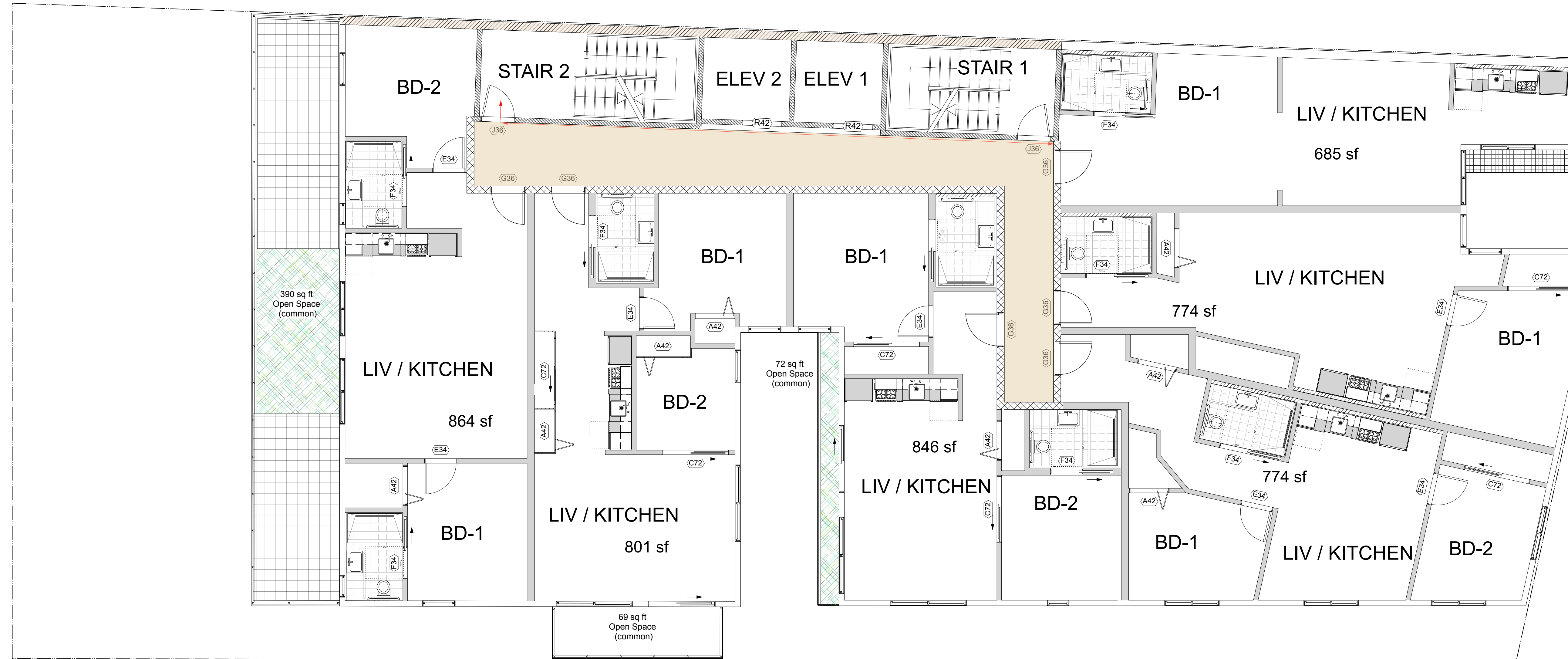
5074 sq ft 8 UNITS



1 5th Floor
Scale: 3/16" = 1'-0"

- 864 sf - 2 Bdrm, 2 Ba
- 801 sf - 2 Bdrm, 1 Ba
- 846 sf - 2 Bdrm, 2 Ba
- 774 sf - 2 Bdrm, 1 Ba
- 774 sf - 1 Bdrm, 1 Ba
- 685 sf - 1 Bdrm, 1 Ba

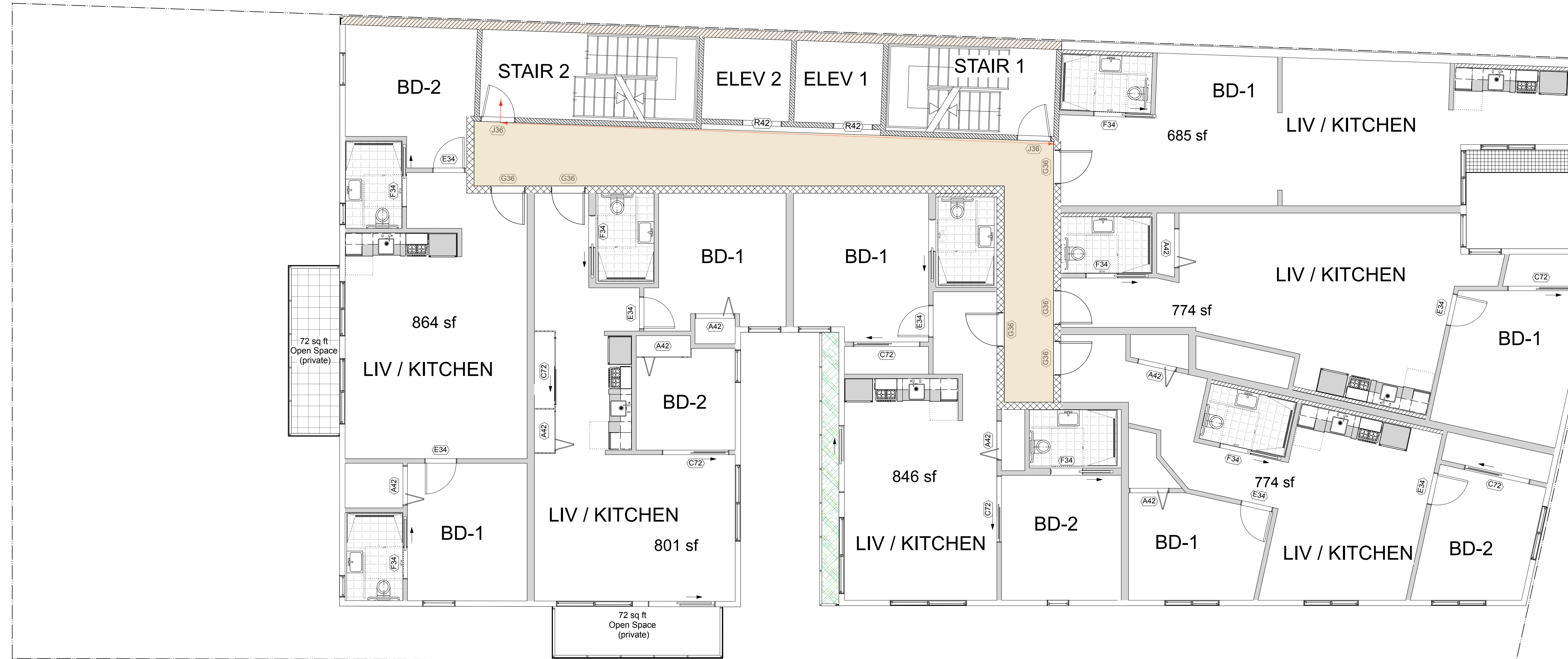
4744 sq ft 6 UNITS



3 6th Floor
Scale: 3/16" = 1'-0"

864 sf - 2 Bdrm, 2 Ba
 801 sf - 2 Bdrm, 1 Ba
 846 sf - 2 Bdrm, 2 Ba
 774 sf - 2 Bdrm, 1 Ba
 774 sf - 1 Bdrm, 1 Ba
 685 sf - 1 Bdrm, 1 Ba

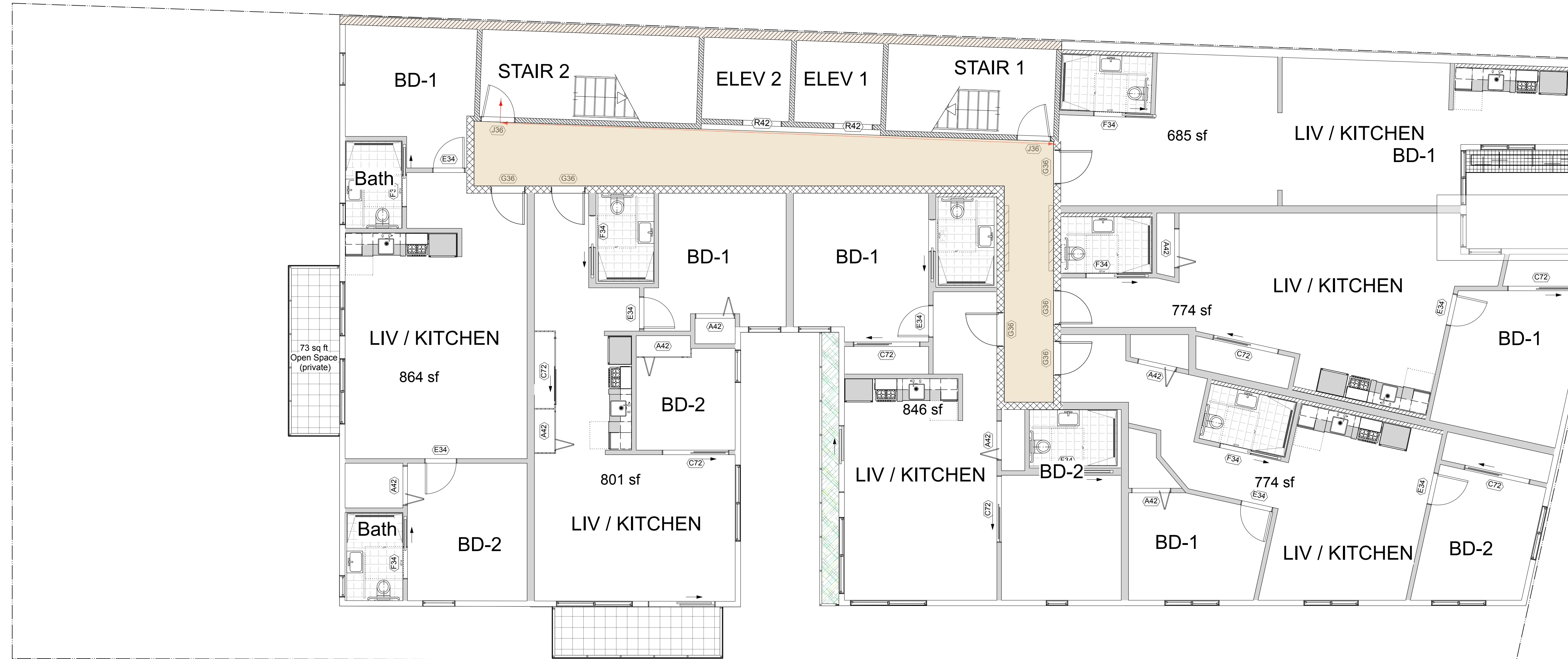
4744 sq ft 6 UNITS



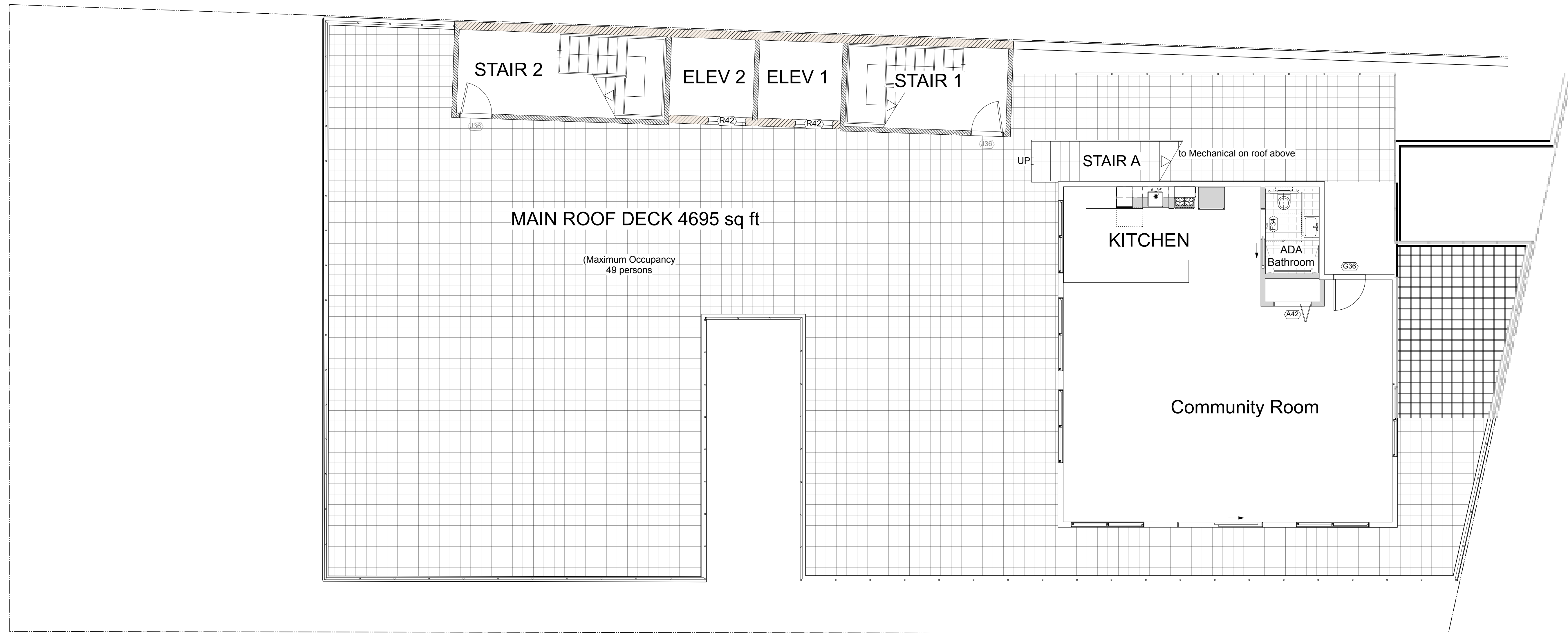
1 7th Floor
 Scale: 3/16" = 1'-0"

864 sf - 2 Bdrm, 2 Ba
 801 sf - 2 Bdrm, 1 Ba
 846 sf - 2 Bdrm, 2 Ba
 774 sf - 2 Bdrm, 1 Ba
 774 sf - 1 Bdrm, 1 Ba
 685 sf - 1 Bdrm, 1 Ba

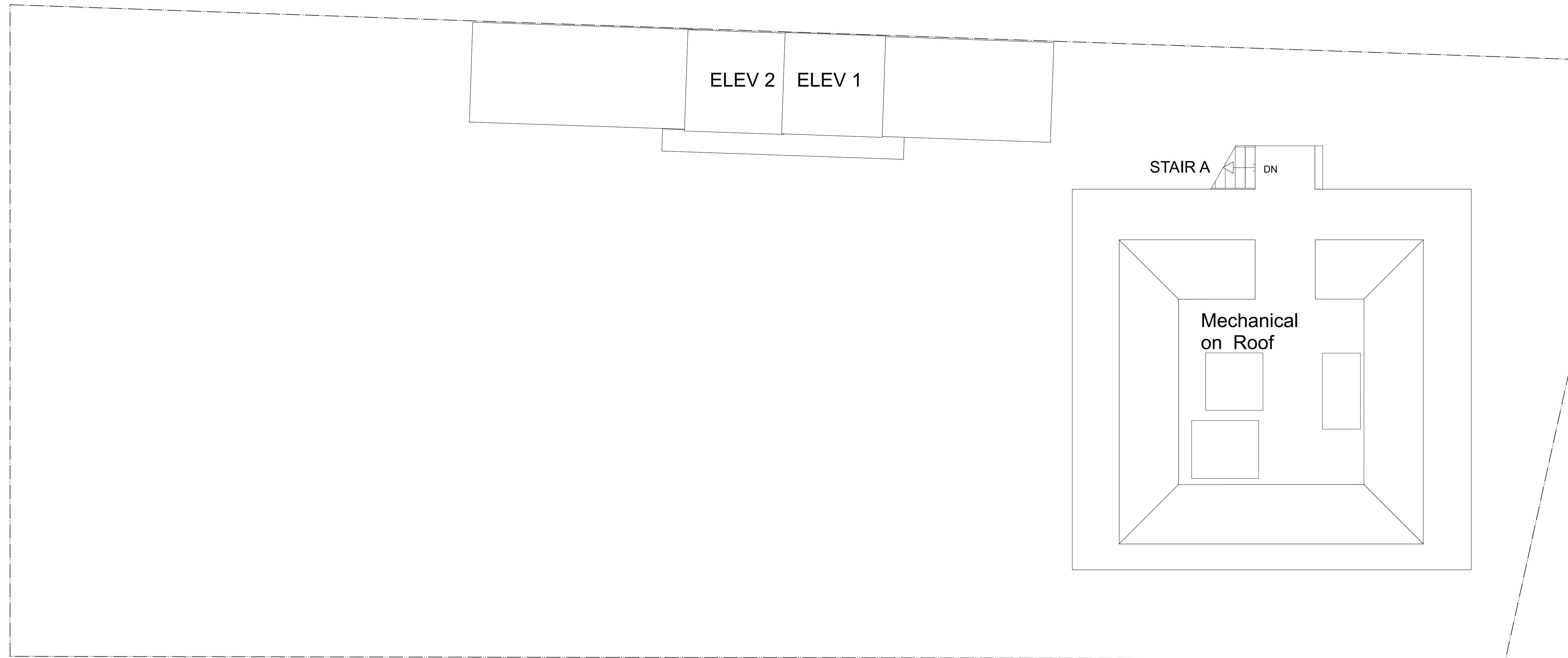
4744 sq ft 6 UNITS



3 8th Floor
 Scale: 3/16" = 1'-0"



2
ROOF DECK LEVEL
 Scale: 3/16" = 1'-0"



1

MECHANICAL PENTHOUSE I
Scale: 3/16" = 1'-0"

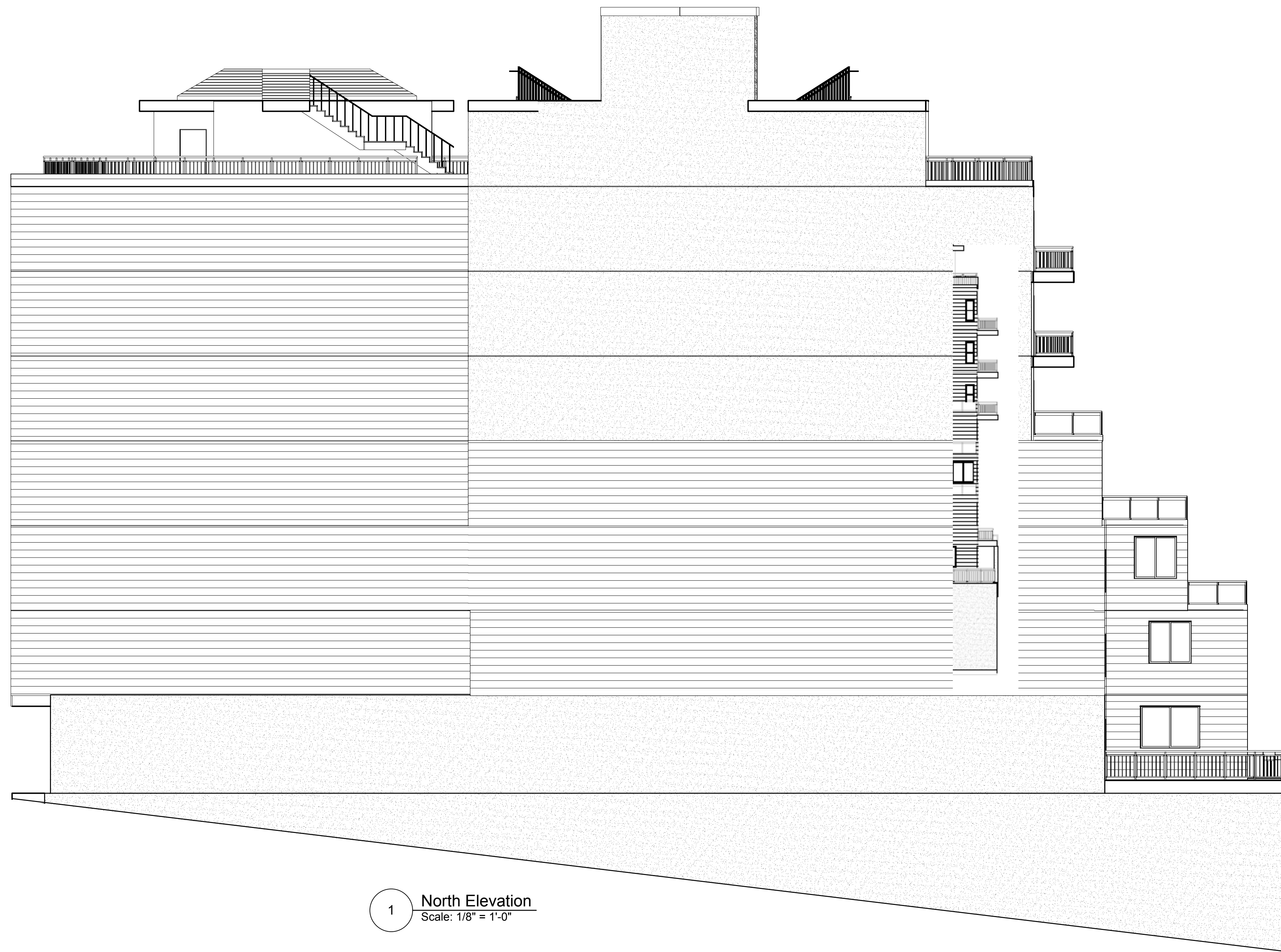


1 South Elevation
Scale: 1/8" = 1'-0"



2 East Elevation - Mission Street
Scale: 1/8" = 1'-0"





1 North Elevation
Scale: 1/8" = 1'-0"



2 West Elevation
Scale: 1/8" = 1'-0"



RETAIL SPACE

12'-0"
Ceiling height

B Section thru Retail
Scale: 3/16" = 1'-0"

