

ZONING ANALYSIS

	MIAMI 21 CODE	REQUIRED	EXISTING	PROVIDED
ZONING DISTRICT: D-2 SUB-URBAN TRANSECT ZONES				
BUILDING DISPOSITION				
LOT OCCUPATION				
A- LOT AREA	5,000 SF MIN.;	5,000 SF MIN.;		41,160 SF
B- LOT WIDTH	50 FT MIN.	50 FT MIN.		50 FT
C- LOT COVERAGE	90 % MAX	90 % 37 044 SF MAX		57% 23,466.7 SF
D- FLOOR LOT RATIO	N/A	N/A		
E- FRONTAGE AT FRONT SETBACK	N/A	N/A		
F- GREEN SPACE REQ	5 % MIN.	5 % 2,058 SF MIN.		17.46 % 7,187.8 SF
G- DENSITY	N/A.	N/A.		1DU
BUILDING SETBACK				
A- PRINCIPAL FRONT 2nd AVE	10 FT MIN.	10 FT MIN.		10'-1"
B- SECONDARY FRONT	10 FT MIN.	10 FT MIN.		10 FT
C- SIDE	10 FT MIN.	10 FT MIN.		10 FT
D- REAR	10 FT MIN.	10 FT MIN.		10 FT
BUILDING HEIGHT				
A- MAX. HEIGHT	8 STORIES MAX	8 STORIES MAX		1 STORY 34'-8" HT
B- OUTBUILDING	N/A	N/A		N/A

C- GROSS BLDG. AREA	PROVIDED:
WAREHOUSE BUILDING-1	WAREHOUSE GROUND FLOOR 5,287.6 SQ FT RECEPTION GROUND FLOOR 525.5 SQ FT WAREHOUSE WORK AREA MEZZANINE 2,005.7 SQ FT
WAREHOUSE BUILDING-2	TOTAL BLDG -1 7,818.8 SQ FT WAREHOUSE GROUND FLOOR 5,287.6 SQ FT RECEPTION GROUND FLOOR 525.5 SQ FT WAREHOUSE WORK AREA MEZZANINE 2,031.8 SQ FT
WAREHOUSE BUILDING-3	TOTAL BLDG -2 7,844.9 SQ FT WAREHOUSE GROUND FLOOR 4,745 SQ FT RECEPTION GROUND FLOOR 525.5 SQ FT WAREHOUSE WORK AREA MEZZANINE 2,031.8 SQ FT
WAREHOUSE BUILDING-4	TOTAL BLDG -3 7,302.3 SQ FT WAREHOUSE GROUND FLOOR 3,148.2 SQ FT RECEPTION GROUND FLOOR 255.2 SQ FT RECEIVING AREA 840 SQ FT WAREHOUSE WORK AREA MEZZANINE 2,011.6 SQ FT
TOTAL BLDG -4	6,255 SQ FT

PARKING	REQUIRED	PROVIDED:
1.- WAREHOUSE SPACE BUILDING -1	1 SPACE X EA 1000 SQF. 7,818.8 sqft/ 1000 8 PARKING SPACES	
2.- WAREHOUSE SPACE BUILDING-2	1 SPACE X EA 1000 SQF. 7,844.9 sqft/ 1000 8 PARKING SPACES	
3.- WAREHOUSE SPACE BUILDING-3	1 SPACE X EA 1000 SQF. 7,302.3 sqft/ 1000 7 PARKING SPACES	24 SPACES 4 SPACES ON STREET
4.- WAREHOUSE SPACE BUILDING-4	1 SPACE X EA 1000 SQF. 5,415 sqft/ 1000 5 PARKING SPACES	
	TOTAL REQUIRED 28 SPACES	TOTAL PROVIDED = 28 SPACES
- HANDICAP PARKING SPACE (26-52)	2	4

LEGAL DESCRIPTION:

6767 NE 2 AVE
THE EAST 1/2 OF TRACT C LESS THE WEST 12.5 FEET OF RED ACRES ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PG 50 PG 84 OF PUBLIC RECORD MIAMI DADE COUNTY FL

221 NE 67 ST
THE SOUTH 1/2 OF TRACT C AND THE SOUTH 12.5 FEET OF THE EAST 1/2 OF THE TRACT C ALL OF RED ACRES ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PG 50 PG 84 OF PUBLIC RECORD MIAMI DADE COUNTY FL

FOLIO : 01-3218-020-0020
01-3218-020-0031
01-3218-020-0040

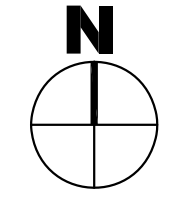
ADDRESS 221 NE 67 ST MIAMI FL 33138

FLOOD ZONE : x BASE FLOOD ELEVATION N/A

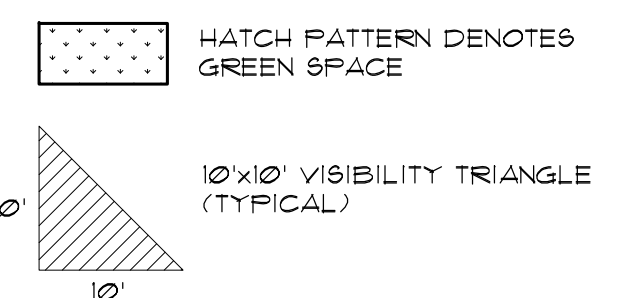
CITY FLOOR CRITERIA	FRONTAGE LOT CROWN OF ROAD	BACK OF SIDEWALK ELEVATION	FLOOR ELEVATION
BUILDING # 1	114.9'	11.75'	12.5'
BUILDING # 2	112.0'	11.98'	12.5'
BUILDING # 3	111.0'	11.34'	12.5'
BUILDING # 4	93.6'	9.04'	10.5'

AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR AND AS-BUILT ELEVATION CERTIFICATE IS REQUIRED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY OR COMPLETION (IC3-3D3)

Site Plan Proposed
Scale: 1/16" = 1'-0"



LEGEND



Sidewalks, curbs and/or gutters, pavement, modifications to existing drainage systems and sodding (hereinafter street improvements) shall be constructed, reconstructed or repaired when any adjacent property located within the corporate limits is improved, altered or modified by the construction, reconstruction, remodeling, renovation or repair of any type of building, structure or parking facility amounting to \$100,000.00 or more in total value, or when such building to be constructed

REVISIONS	Issue date / For

PROJECT NO.	
DATE	12/22/2020

PROJECT ADDRESS
221 NE 67 ST MIAMI FL 33138

FOLIO: 01-3218-020-0020
01-3218-020-0031
01-3218-020-0040

PROJECT NAME:
NEW WAREHOUSES CONDOMINIUM

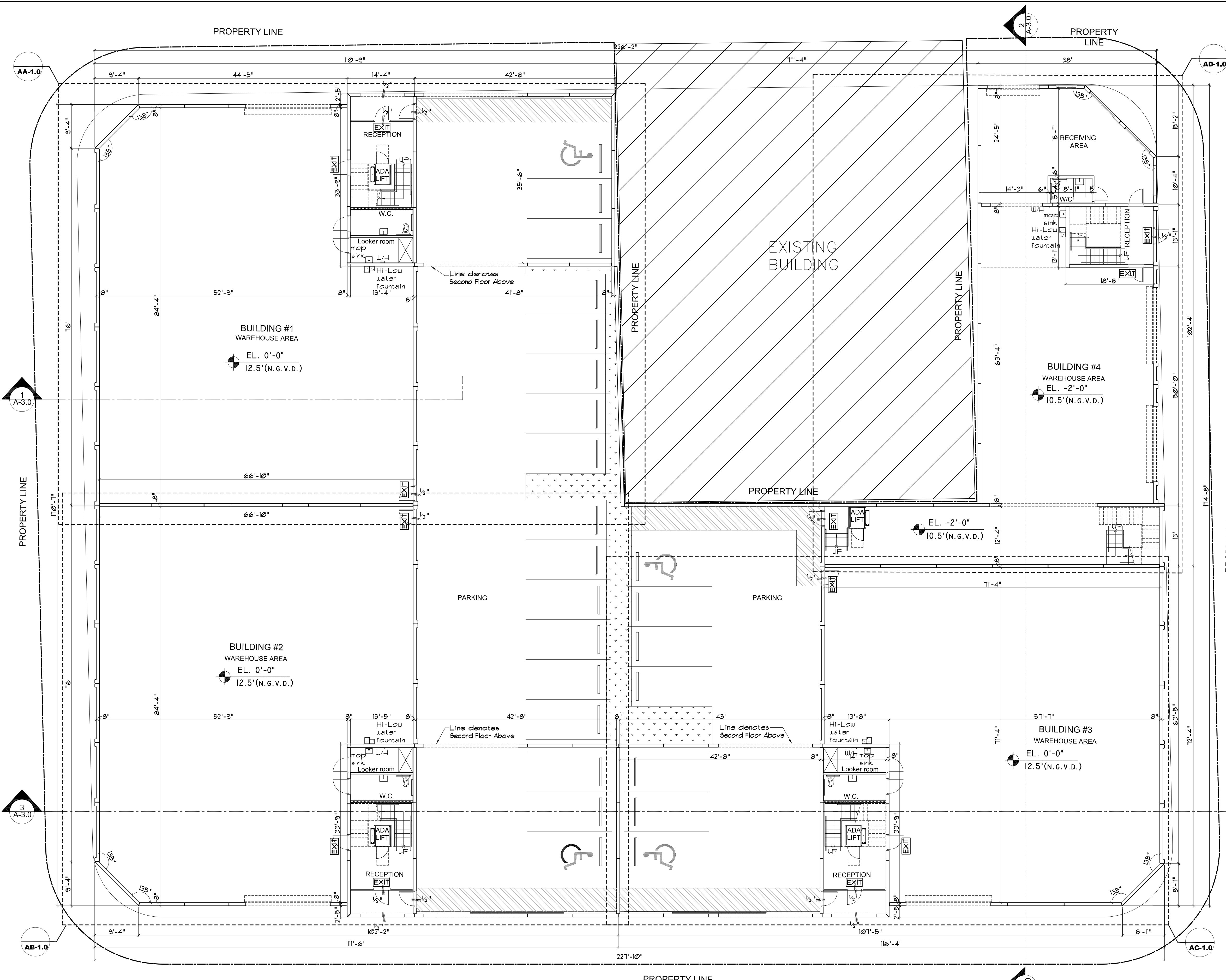
SHEET TITLE
SITE PLAN

CONSULTANTS:
ALL DOCUMENTS, DESIGNS, SCHEDULES, SPECIFICATIONS AND DETAILS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF CARMEN T DIAZ ARCHITECT. THESE DRAWINGS ARE FOR THE USE ON AND IN CONJUNCTION WITH THE SPECIFIED PROJECT. THE OWNER AND/OR TENANT SHALL ONLY BE PERMITTED TO RETAIN COPIES OF THESE DRAWINGS FOR INFORMATION AND REFERENCE AND SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AGREEMENT OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE.



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Project manager: Pedro Achon
786 333 5968

SEAL:	DATE:
	12/22/2020
SHEET:	A-00



WALL LEGEND

- PRECAST WALL
- INTERIOR PARTITION
- 2 HR FIRE RATE INTERIOR PARTITION

EXIT EXIT SIGNAL w/ BATTERY BACK UP (SEE ELECT. DRAWINGS)

Self-contained emergency lighting unit, wall, 90 min battery back-up

ABC FIRE EXTINGUISHER

PROJECT NOTES

N-01. All dimensions to be field verified by contractor.
 N-02. All door dimensions shown to be verified by GC. Refer to schedule for door size and type.
 N-03. All ADA clearances to be verified and adhered to by GC.
 N-04. Threshold shall have 1/2" beveled maximum HT. at main accessible entrance door
 N-05. Provide sign posted on top of door w/ Maximum permitted occupancy to remain within 5 feet of the front door.
 N-06. Provide Address building number according NFPA 1012.1 thru 1012.13
 N-07. Steel stud supporting hung plumbing fixtures shall be double and or no less than 20 gauge.
 N-08. All glass windows/doors to receive impact resistant glass and to comply w/energy calculation.
 N-09. Glass to be safety glass cat-ii

TYPE OF CONSTRUCTION AS PER TABLE 504.3, 504.4 & 506.2 F.B.C. 2020 TYPE III B	
AS PER TABLE 601 F.B.C. 2020 FIRE RESISTANCE RATINGS REQUIRED FIRE RESISTANCE IN HOURS.	
BUILDING ELEMENT	
STRUCTURAL FRAME Including columns, girders, trusses.	1
Bearing walls Exterior	2
Interior	1
Nonbearing walls and partitions. Exterior.	See table 602
Nonbearing walls and partitions. Interior.	0
Floor construction. Including supporting beams and joists	1
Roof construction. Including supporting beams and joists	1

TERMITE PROTECTION

All building shall have a pre-construction treatment protection against subterranean termites. The rules and laws as established by the Florida Department of Agriculture and Consumer Services shall be deemed as approved with respect to pre-construction soil treatment for protection against subterranean termites.

A certificate of compliance shall be issued to the Building Department by the licensed pest control company that contains the following statement: "The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services."

NOTE:

(BLDG IS NOT FIRE SPRINKLER PROTECTED.)
 ALL WORK TO BE DONE UNDER FLORIDA FIRE PREVENTION CODE 2020 EDITION, 1 TH EDITION
 ALL WORK TO BE DONE UNDER FBC 2020 EDITION/Existing/
 ALL INTERIOR FINISH, TO BE TESTED ACCORDING AS.MTE 84 & ANSI/UL 723, TO BE CLASSIFIED CLASS C GC TO SUBMIT PRODUCT APPROVALS.
 Class C: Flame spread index 76-200; smoke-developed index 0-450.
 ALL INTERIOR FINISH FLOORS AT AREA OF IMPROVEMENTS TO BE CLASS-II MINIMUM CRITICAL RADIANT FLUX.
 Class II: 0.22 WATTS/CM2 or greater
 GC TO SUBMIT SHOP DRAWINGS FOR FRONT DESK AND INTERIOR WORK STATIONS.

BUILDING	Gender	Water Closet		Lavatory		S. SINK
		Req.	Provide	Req.	Provide	Req.
BUILDING #1 17 pers.	Male (9)	1	1	1	1	
	Female (8)	1	2	1	2	1
BUILDING #2 17 pers.	Male (9)	1	1	1	1	
	Female (8)	1	2	1	2	1
BUILDING #3 18 pers.	Male (9)	1	1	1	1	
	Female (9)	1	2	1	2	1
BUILDING #4 19 pers.	Male (11)	1	1	1	1	
	Female (8)	1	1	1	1	1

Floor Plan | Ground Floor
 Scale: 3/32" = 1'-0"

Issue	Issue date / For

PROJECT NO. _____
 DATE 12/22/2020

PROJECT ADDRESS
 221 NE 67 ST MIAMI FL 33138

FOLIO: 01-3218-020-0020
 01-3218-020-0031
 01-3218-020-0040

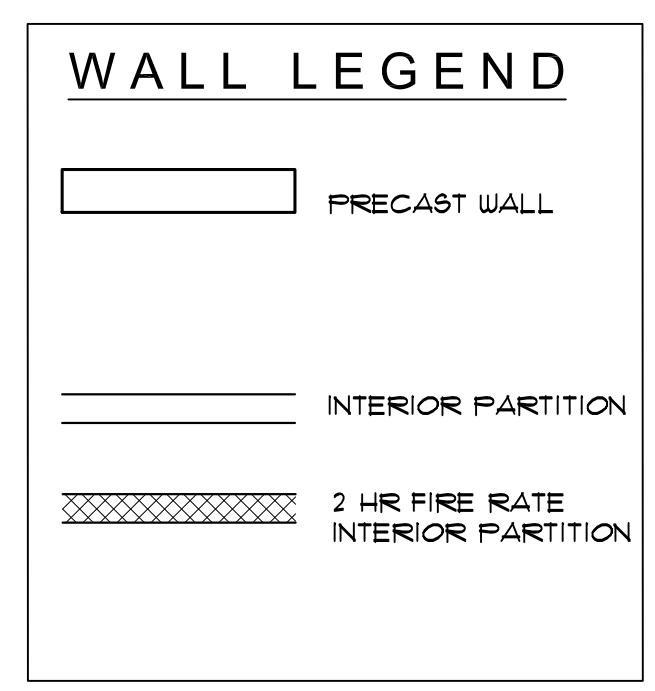
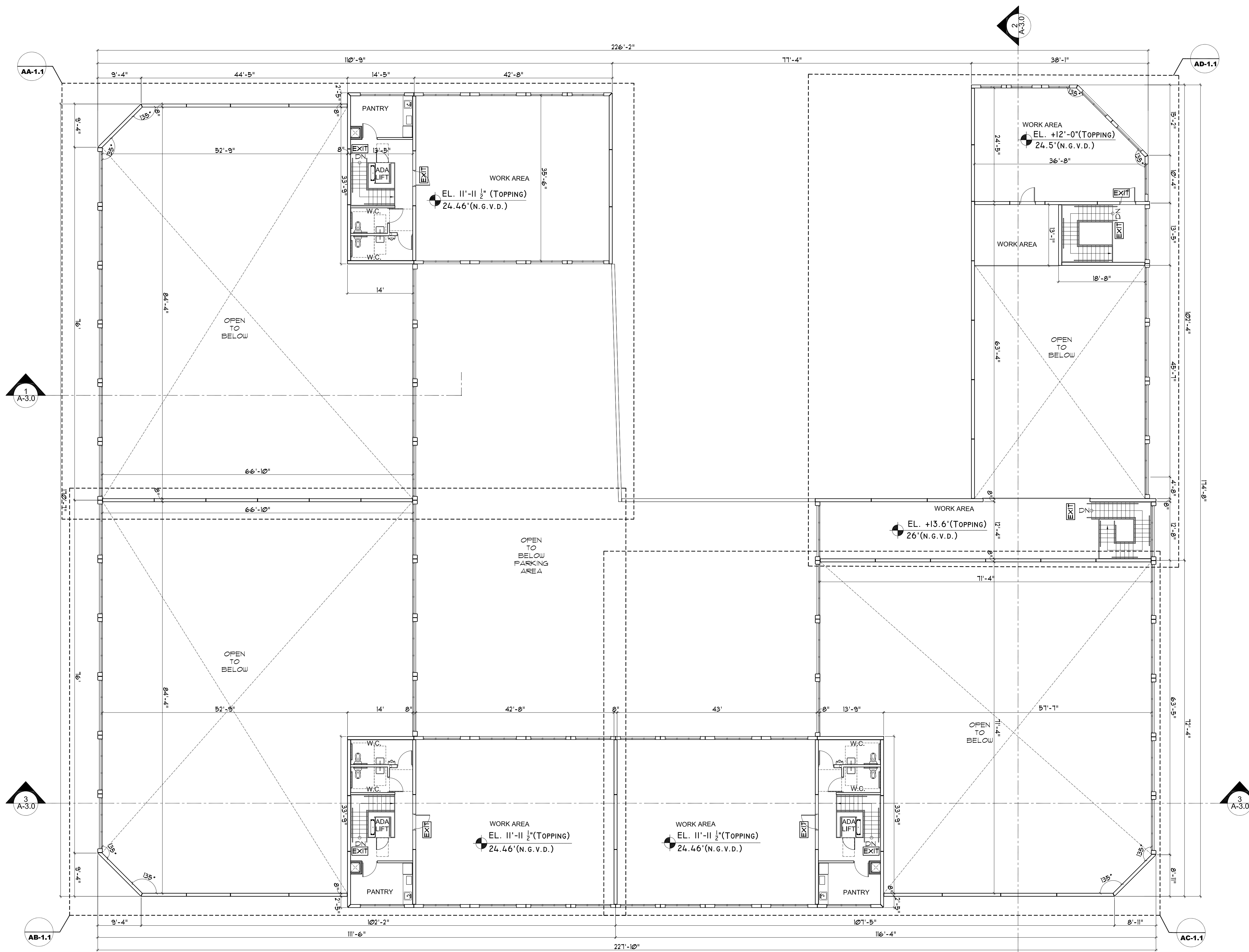
PROJECT NAME:
 NEW WAREHOUSES
 CONDOMINIUM

SHEET TITLE
 GROUND FLOOR PLAN

CONSULTANTS:
 CARMEN T DIAZ, ARCH.

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SEAL: _____
 DATE: 12/22/2020
 SHEET: A-1.0



- EXIT EXIT SIGNAL w/ BATTERY BACK UP (SEE ELECT. DRAWINGS)
- Self-contained emergency lighting unit, wall, 30 min battery back-up
- ABC FIRE EXTINGUISHER

FOR ZONING AND BUILDING DEPARTMENT USE

Floor Plan | Mezzanine
Scale: 3/32" = 1'-0"

REVISIONS

Issue	Issue date / For

PROJECT NO.

DATE: 12/22/2020

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FOLIO: 01-3218-020-0020
01-3218-020-0031
01-3218-020-0040

PROJECT NAME: NEW WAREHOUSES CONDOMINIUM

SHEET TITLE: MEZZANINE FLOOR PLAN

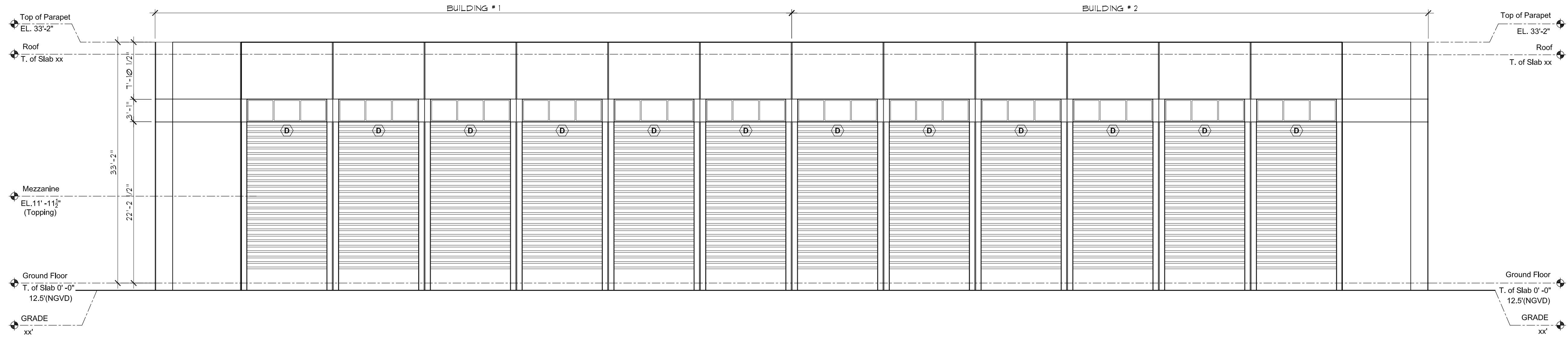
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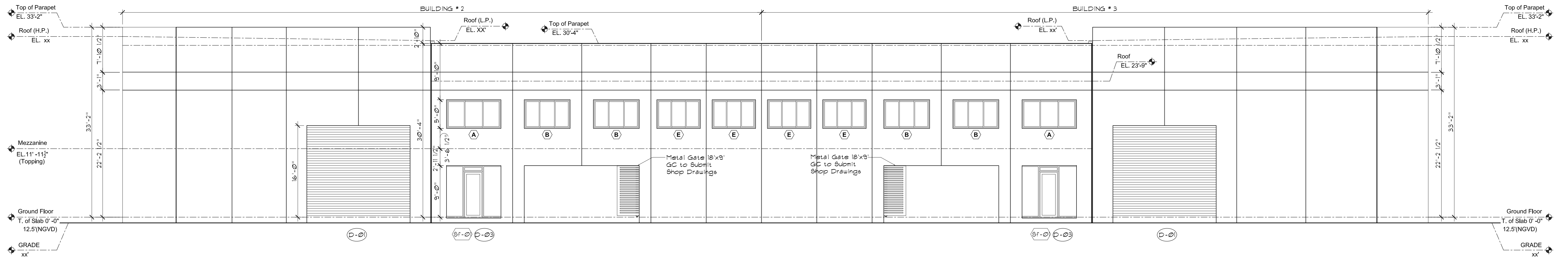
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email: ctd.architect@gmail.com | ph: 786-312-6000
Project manager: Pedro Azhon
786 333 5366

SEAL: _____ DATE: 12/22/2020 SHEET: A-1.1



West Elevation Proposed

Scale: 1/8" = 1'-0"



South Elevation Proposed

Scale: 1/8" = 1'-0"

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DATE	12/22/2020

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FOLIO: 01-3218-020-0020
 01-3218-020-0031
 01-3218-020-0040

PROJECT NAME:
**NEW WAREHOUSES
 CONDOMINIUM**

SHEET TITLE
ELEVATIONS

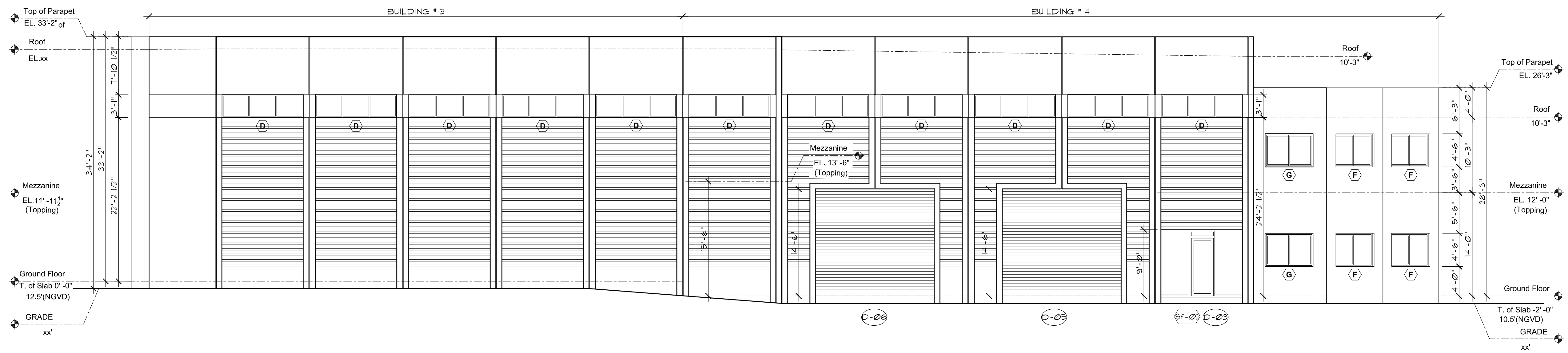
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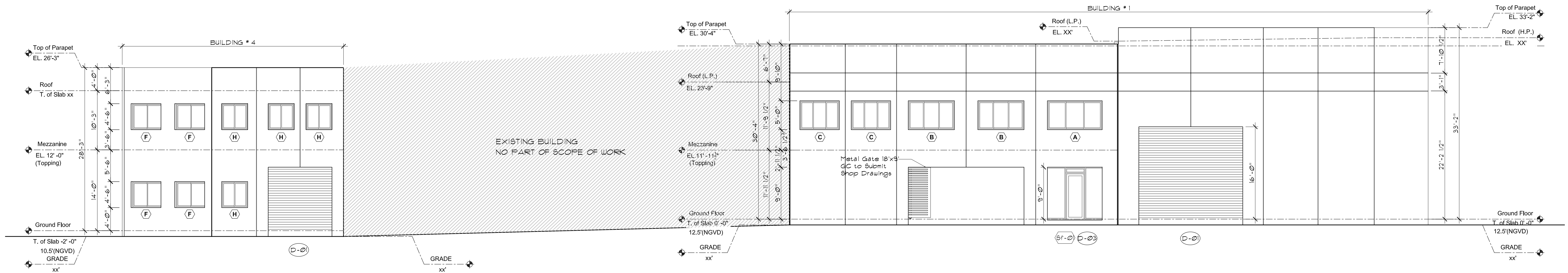
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 Project manager: Pedro Achon
 786 333 5066

SEAL:
 DATE: 12/22/2020
 SHEET



East Elevation Proposed

Scale: 1/8" = 1'-0"
Building # 1



North Elevation Proposed

Scale: 1/8" = 1'-0"

Issue	Issue date / For

PROJECT NO.	
DATE	12/22/2020

PROJECT ADDRESS
221 NE 67 ST MIAMI FL 33138

FOLIO: 01-3218-020-0020
01-3218-020-0031
01-3218-020-0040

PROJECT NAME:
**NEW WAREHOUSES
CONDOMINIUM**

SHEET TITLE
ELEVATIONS

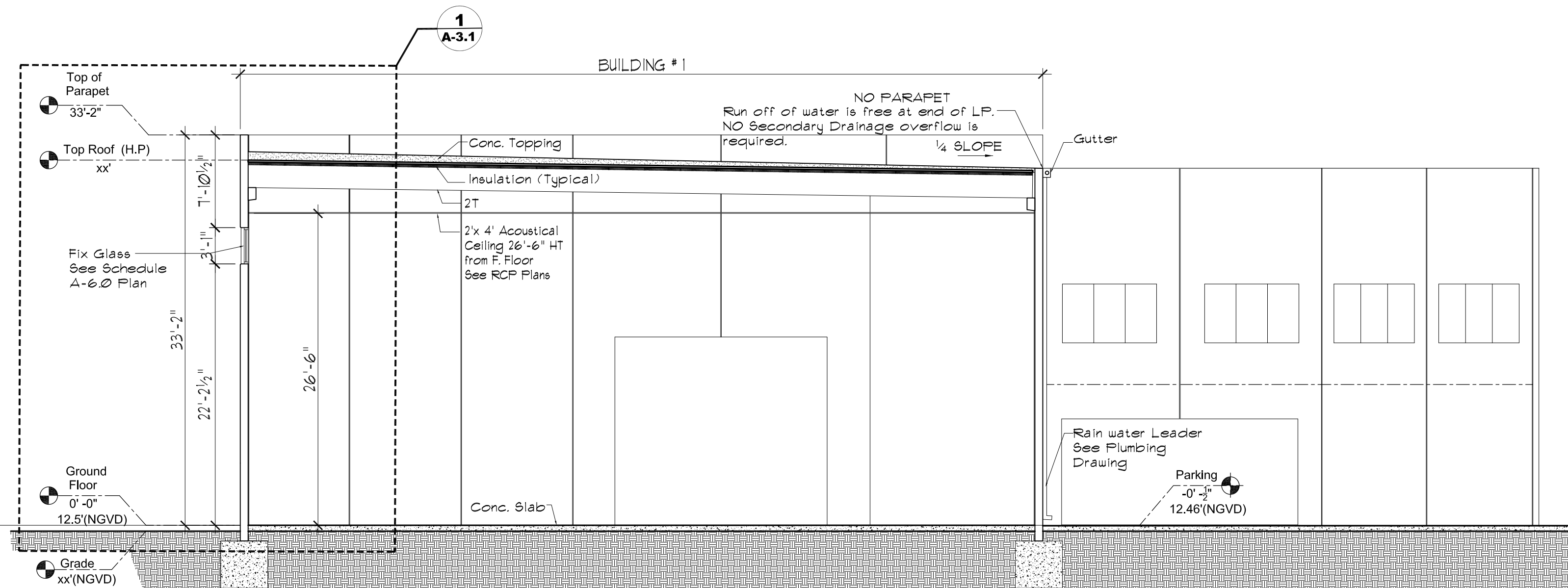
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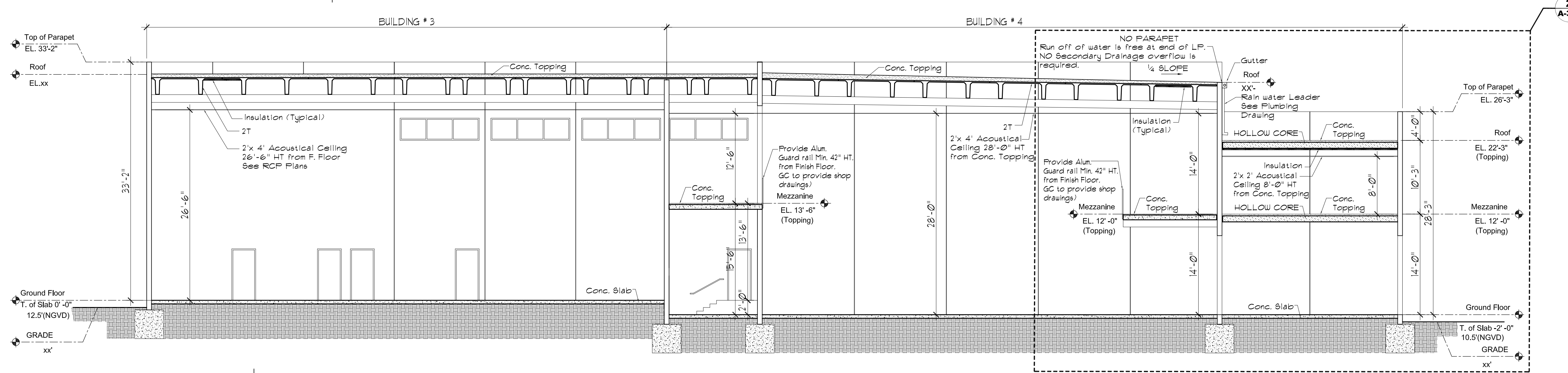


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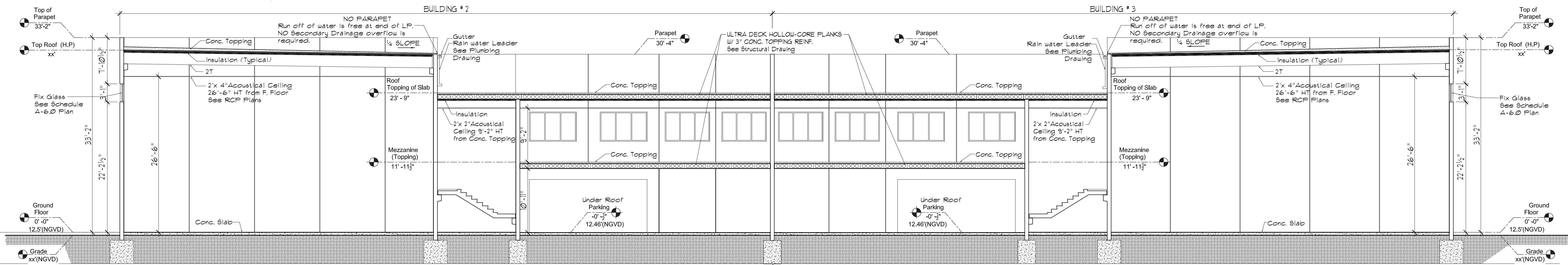
SEAL:	DATE:
	12/22/2020
	SHEET
	A-2.1



Section 1
Scale: 1/8" = 1'-0"



Section 2
Scale: 1/8" = 1'-0"



Section 3
Scale: 1/8" = 1'-0"

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FOLIO: 01-3218-020-0020
01-3218-020-0031
01-3218-020-0040

PROJECT NAME:
**NEW WAREHOUSES
CONDOMINIUM**

SHEET TITLE
SECTIONS

CONSULTANTS:
CARMEN T DIAZ, ARCH.

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SEAL	DATE:
	12/22/2020
SHEET	A-3.0