



CIK INNOVATION
RIDGE

98K TO 1.2M SF AVAILABLE
CLASS A MASTER-PLANNED
INDUSTRIAL PARK

633 E LONESTAR DRIVE
BUDA, TEXAS 78610

QUICK ACCESS TO SH-130 & HWY-21

CLOSE PROXIMITY TO DEEP & EDUCATED LABOR POOL

STATE-OF-THE-ART CONSTRUCTION WITH ABUNDANT CAR & TRAILER PARKS

LEASED BY:

 **HOLT LUNSFORD**
COMMERCIAL

DEVELOPED BY:

**CIK**
CAPITAL PARTNERS

NATIONAL

- **Major Logistics Hub:** Texas moves ~3.3 billion tons of freight per year and hosts 5 of the 30 largest U.S. ports by trade value. Texas sits on the heart of the Mexico–U.S. NAFTA corridor (I-35/Laredo) and its metroplexes (Dallas/Houston/Austin) handle ~25% of all U.S. international trade. This central location gives proximity to coasts (I-10 to Calif./Fla.), rail hubs, and Mexico/Canada gateways.
- **Corridor Connectivity:** The site borders State Highway 130, a 91-mile, four-lane tollway running east/south of Austin parallel to I-35. SH-130 links directly to I-35 (north–south freight corridor from Laredo to Canada) and I-10 (east–west coast corridor), enabling high-speed freight routes between Mexico and the U.S. heartland.

REGIONAL

- **Rapid Growth Area:** Central Texas is booming: Austin led all Texas metros in post-2020 job growth (nonfarm employment +19.4% since 2020). The region's economy is diversifying, with strong growth in logistics, manufacturing, and energy clusters. Growing population and corporate relocations ensure expanding demand for industrial services and distribution in the Austin corridor.
- **Scale of Distribution:** Texas accounts for roughly 9.4% of U.S. manufacturing. Its metros lead the nation in industrial growth, driving booming demand for regional warehousing. From this central Texas base, most U.S. markets are reachable within ~2 days, making Mustang Ridge ideal for national distribution.

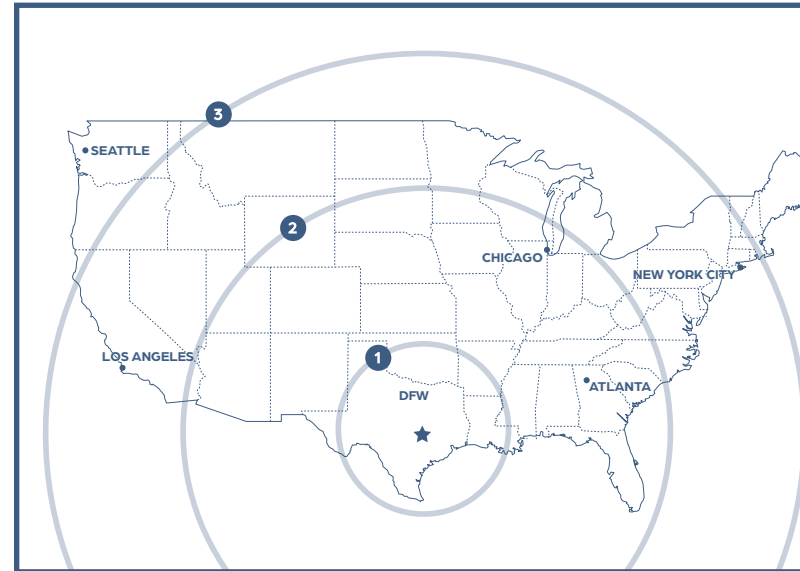
LOCAL

- **Texas Triangle Access:** Mustang Ridge lies ~12 miles from the Tesla Gigafactory and ~17 miles from downtown Austin. It's centrally positioned within Texas's "Triangle" megaregion (Dallas–Fort Worth, Houston, San Antonio/Austin), which contains 22+ million people and 51 Fortune 500 firms. This connects the site to a massive regional customer base and labor market: Austin (2.3M metro), plus the DFW and San Antonio metros all within a short truck haul.
- **Highly Educated Workforce:** The Austin–Round Rock–San Marcos MSA is one of the nation's youngest, fastest-growing metros. Over half of its adults hold college degrees – the highest rate of any Texas metro – thanks to leading universities and tech sector expansion. Rapid growth in high-tech, aerospace, machinery and transportation/logistics clusters means a deep pool of skilled labor for advanced manufacturing and distribution.

NORTH AMERICAN LOGISTICS CENTRICITY

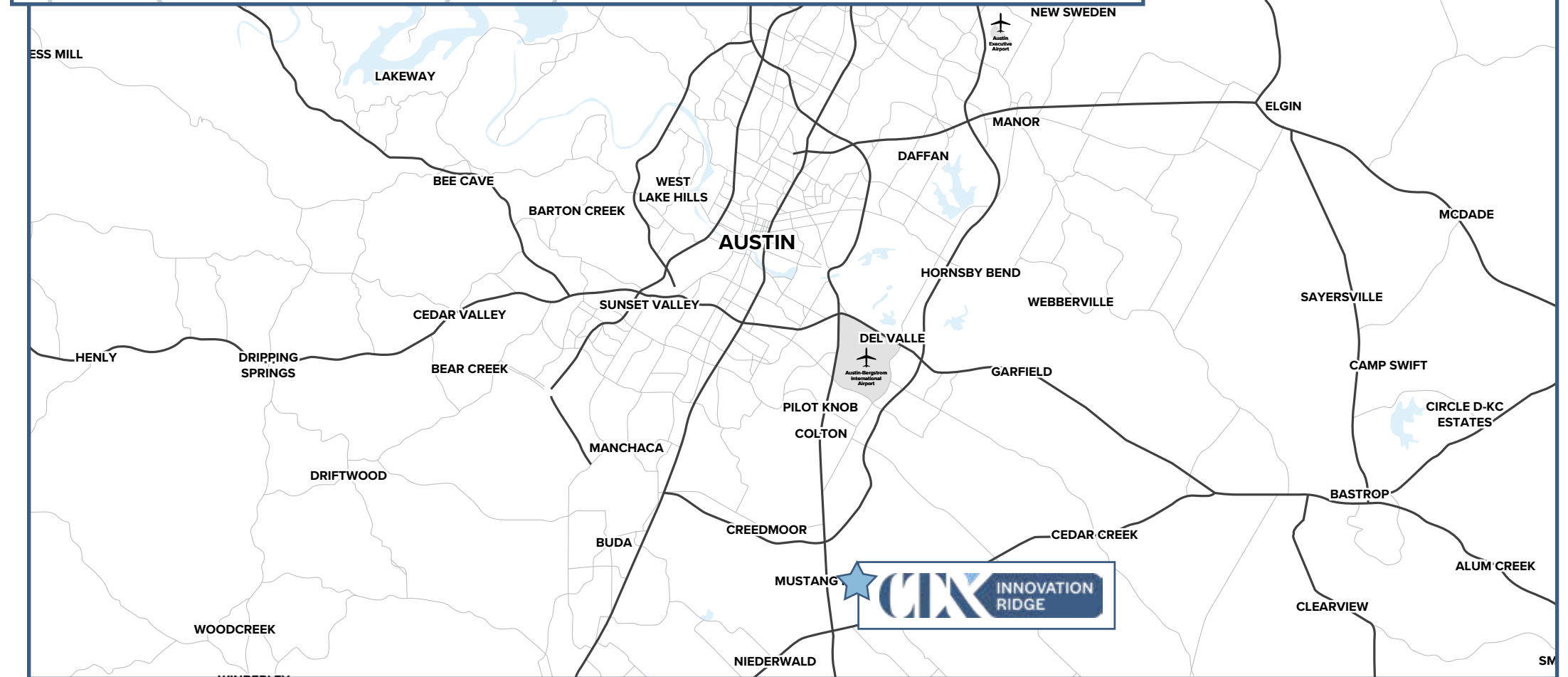
Austin and its surrounding Central Texas region offer a strategic location within one of the fastest-growing markets in the United States. Positioned along SH-130 with immediate access to I-35, the region provides efficient north-south and east-west connectivity, linking major Texas metros including Dallas–Fort Worth, Houston, and San Antonio. This location enables rapid distribution across the state and beyond, with a significant portion of the U.S. population reachable within a two-day truck haul.

TRUCK TRANSIT TIMES & POPULATION			
RING	HOURS	MILES	% OF US POP SERVED
1	10	600	16%
2	24	960	37%
3	48	1,800	93%



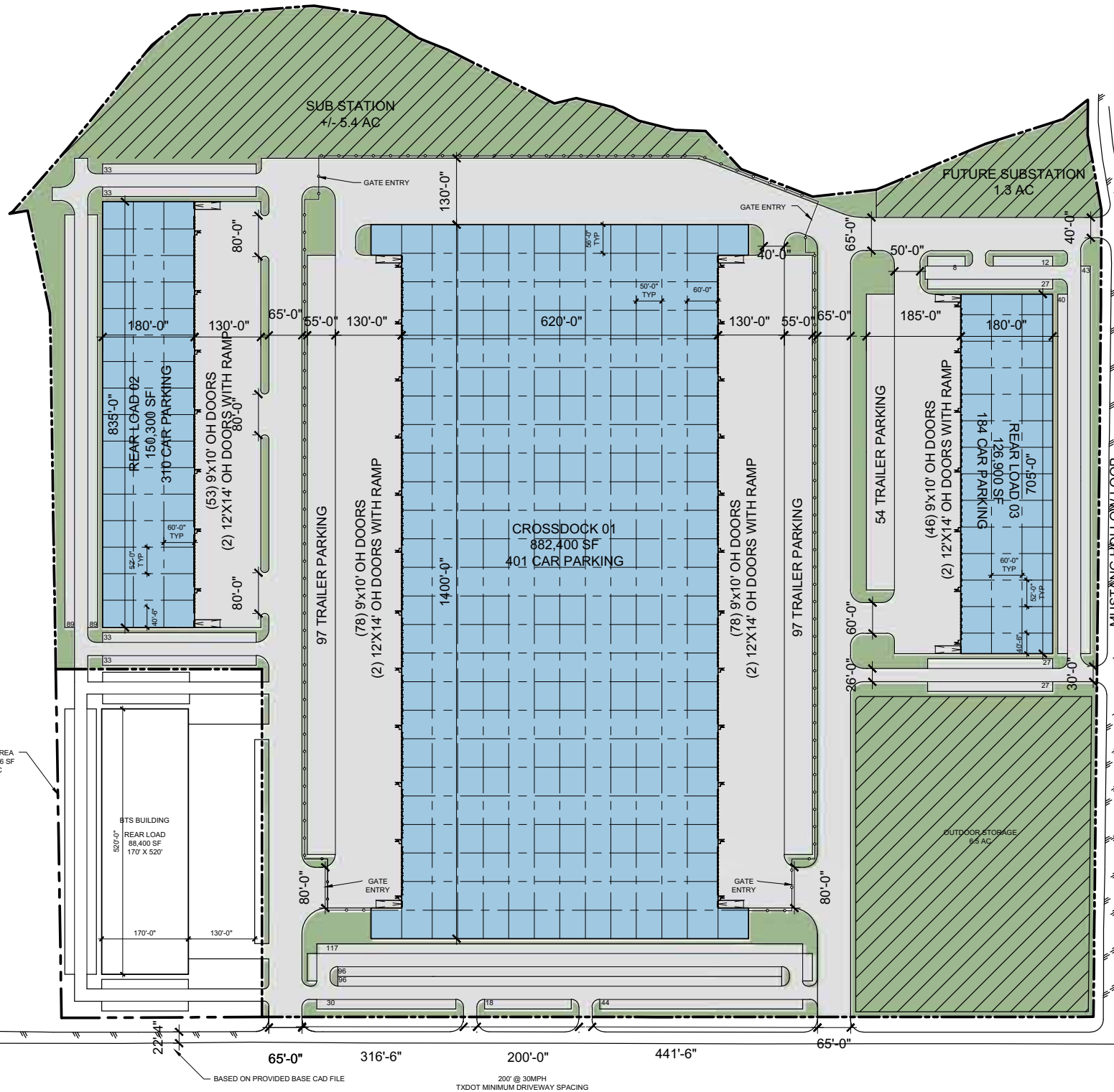
DRIVING DISTANCES

SH-130	Immediate
HWY-21	1.3 miles
HWY-45	2.7 Miles
Lockhart	10 miles
Austin-Bergstrom International Airport	11.5 miles
Buda	12.6 miles
Downtown Austin	18.3 miles



SITE PLAN 1

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



SITE DATA

Building 1	882,400 SF
Building 2	150,300 SF
Building 3	126,900 SF
Total	1,159,600 SF

PARK HIGHLIGHTS

- Build-to-suit opportunities
- 78 acre industrial park
- 3 building master plan
- 32'- 40' clear heights
- 130'-185' truck courts
- 75 MW of on site generation
- Ability to fence and secure
- 65' drive isles for designated truck traffic

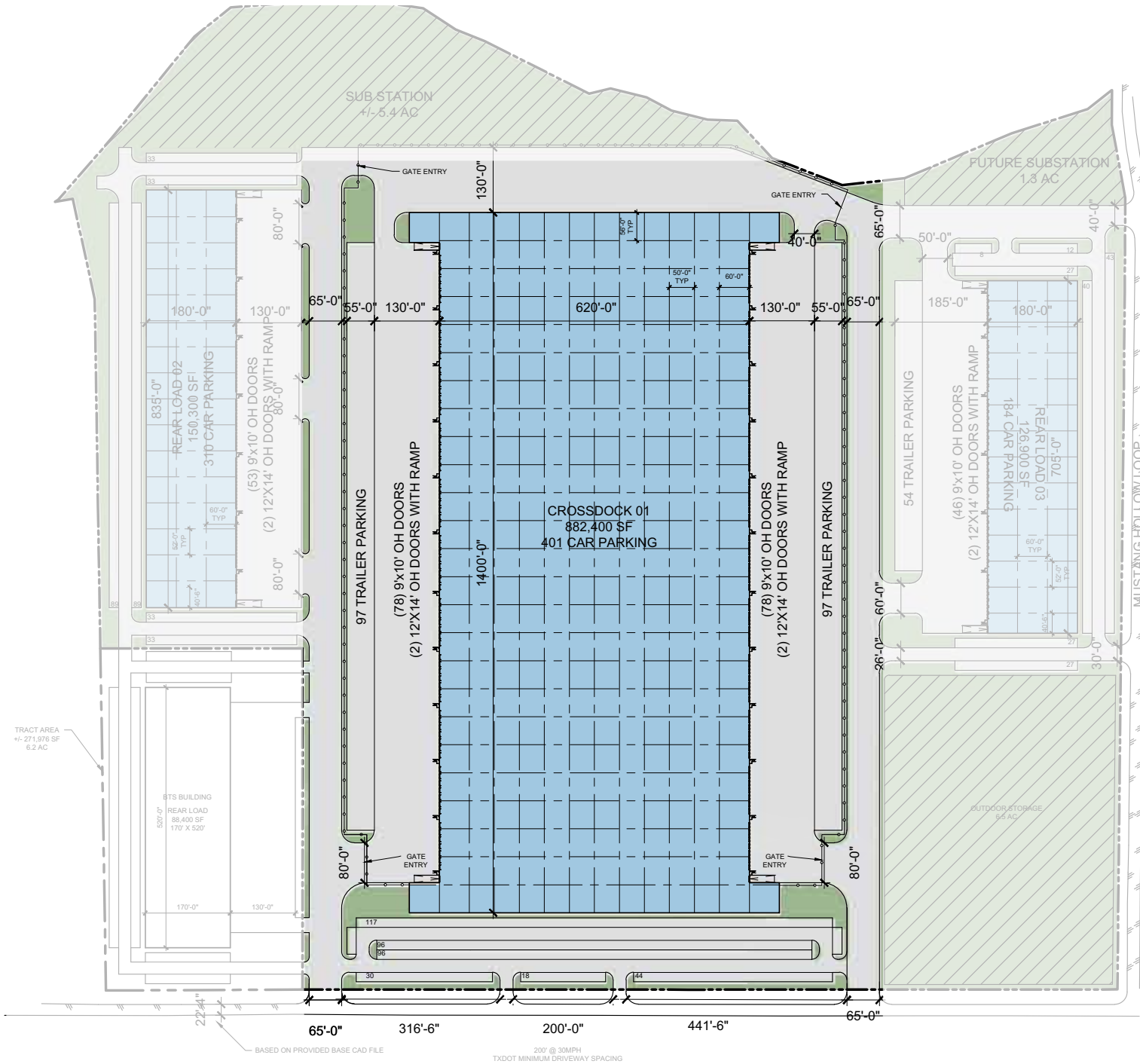
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SITE PLAN 1 BUILDING 1

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	882,400 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	620'
	TYPICAL BAY SIZE	56' W x 50' D
	STAGING BAY	56' W x 60' D
	CLEAR HEIGHT	40'
	LOADING	Cross-dock
	DOCK DOORS	156
	RAMPS	4
	POWER	BTS - Up to 75 MW per year
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	401
	TRAILER PARKS	194
	SECURITY	Fenced and gated access available

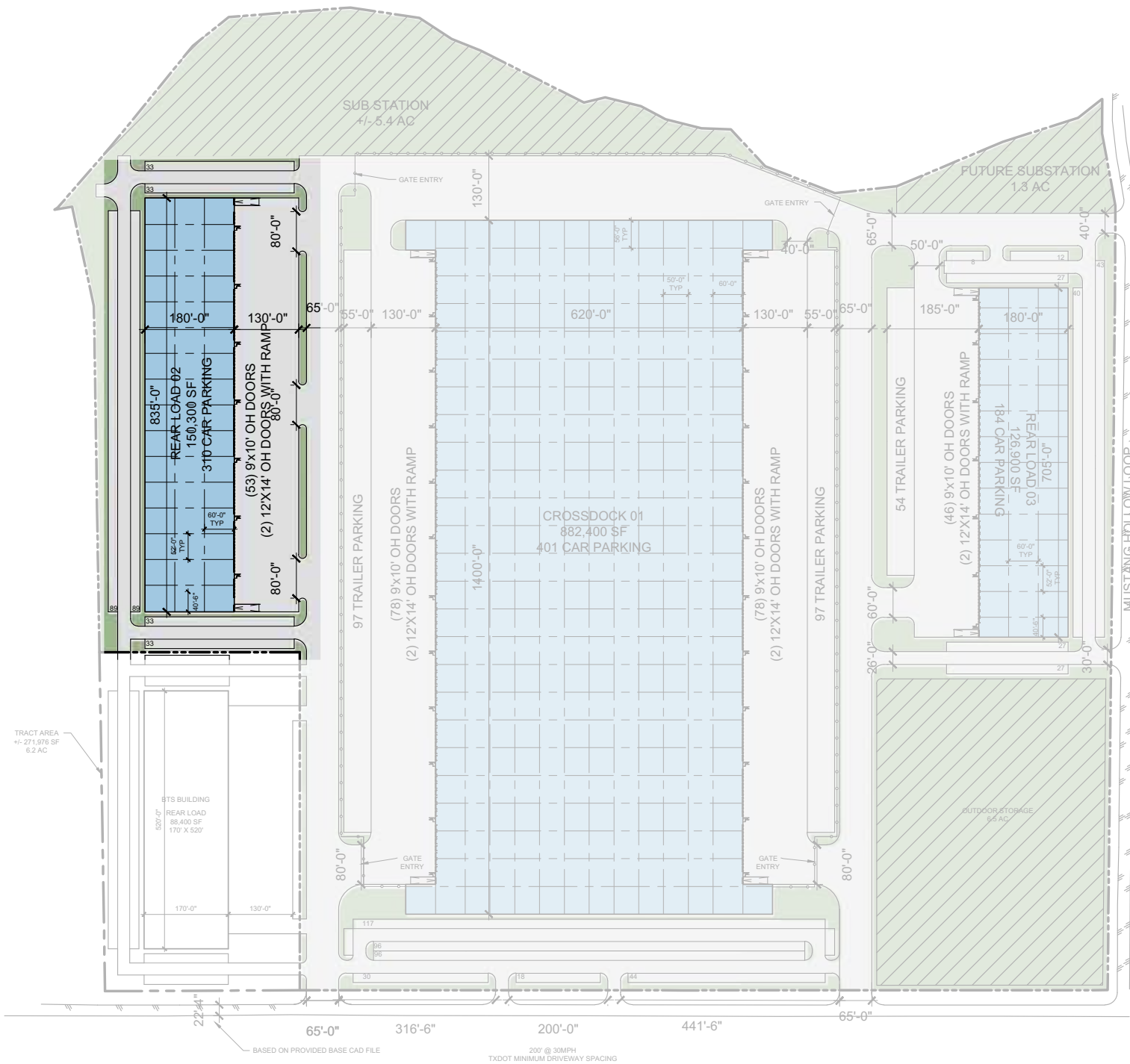
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SITE PLAN 1 BUILDING 2

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	150,300 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	180'
	TYPICAL BAY SIZE	52' W x 60' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	53
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	130'
	CAR PARKS	310
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

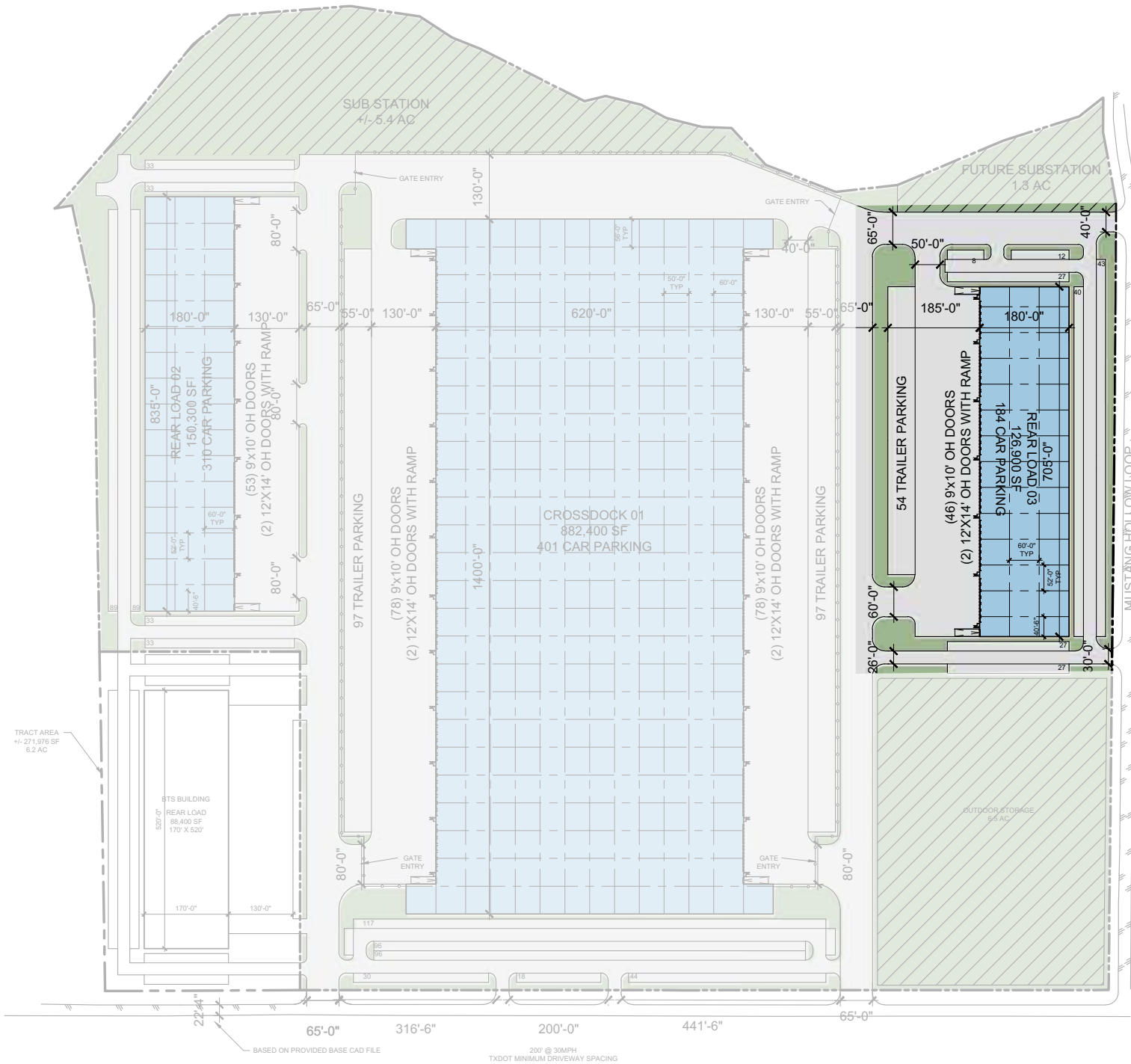
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SITE PLAN 1 BUILDING 3

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	126,900 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	180'
	TYPICAL BAY SIZE	52' W x 60' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	46
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	184
	TRAILER PARKS	54
	SECURITY	Fenced and gated access available

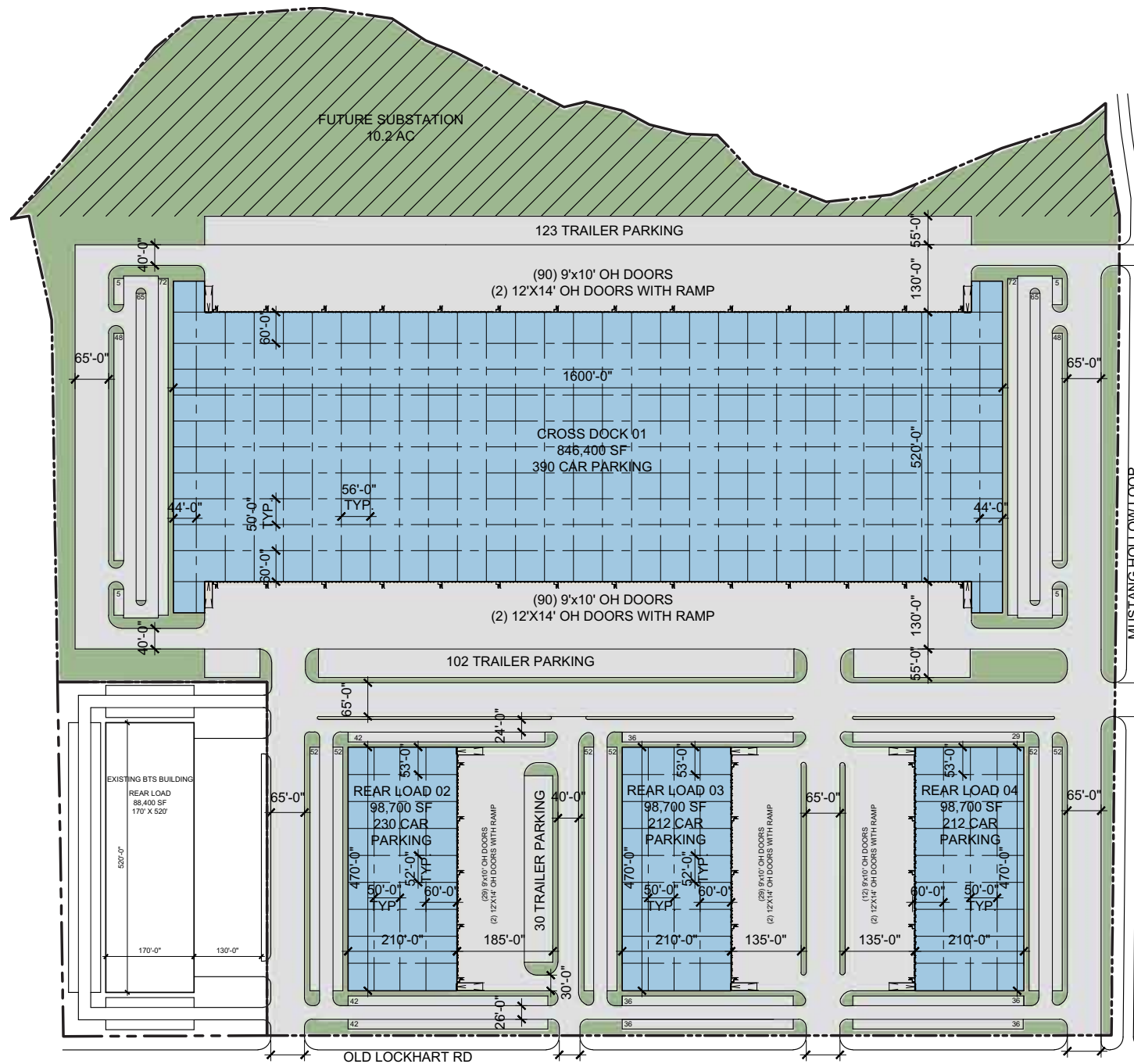
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SITE PLAN 2

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



SITE DATA

Building 1	846,400 SF
Building 2	98,700 SF
Building 3	98,700 SF
Building 4	98,700 SF
Total	1,142,500 SF

PARK HIGHLIGHTS

- Build-to-suit opportunities
- 78 acre industrial park
- 4 building master plan
- 32'- 40' clear heights
- 130'-185' truck courts
- 75 MW of on site generation
- Ability to fence and secure
- 65' drive isles for designated truck traffic

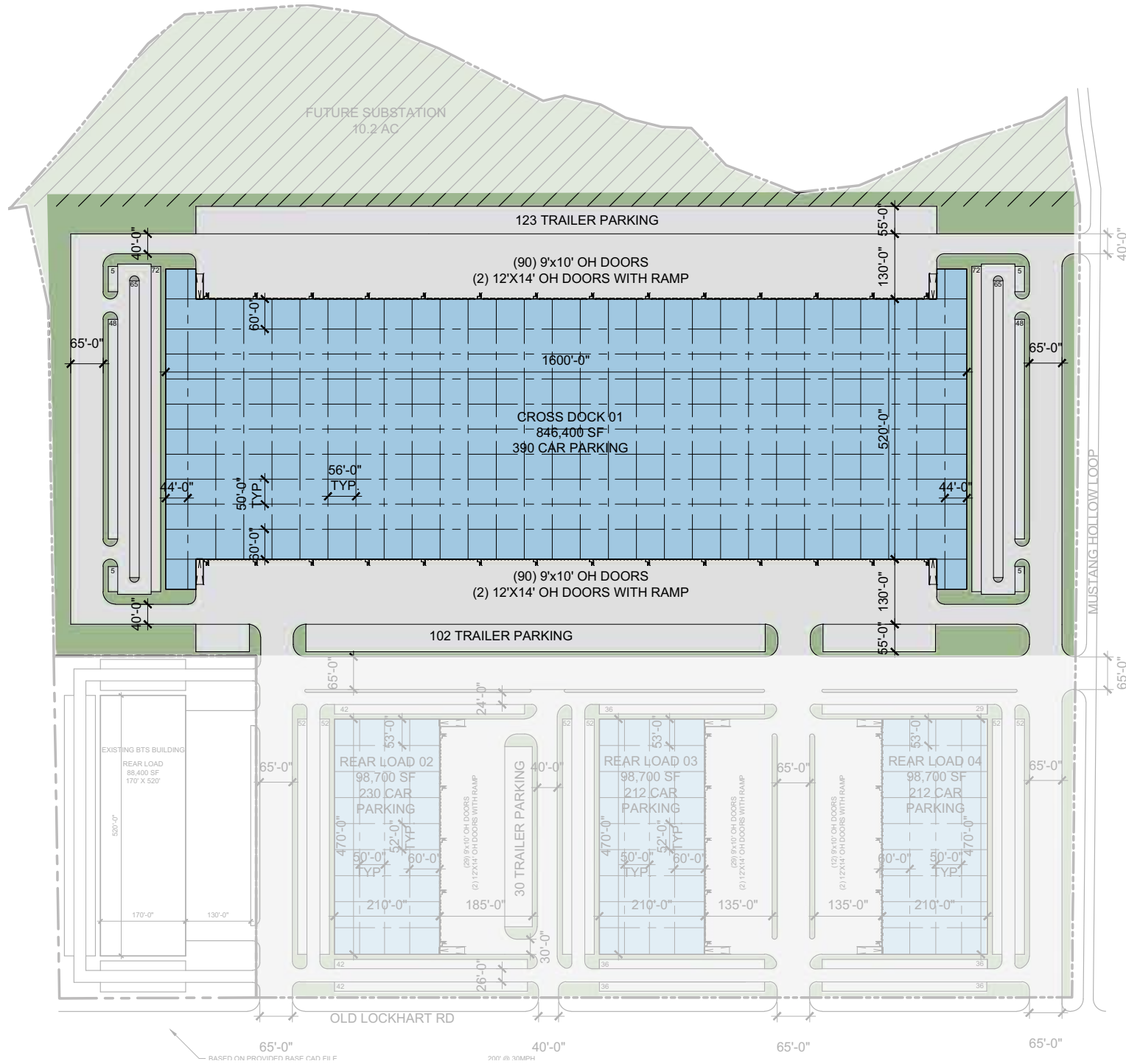
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SITE PLAN 2 BUILDING 1

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	846,400 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	520'
	TYPICAL BAY SIZE	56' W x 50' D
	STAGING BAY	56' W x 60' D
	CLEAR HEIGHT	40'
	LOADING	Cross-dock
	DOCK DOORS	180
	RAMPS	4
	POWER	BTS - Up to 75 MW per year
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	390
	TRAILER PARKS	225
	SECURITY	Fenced and gated access available

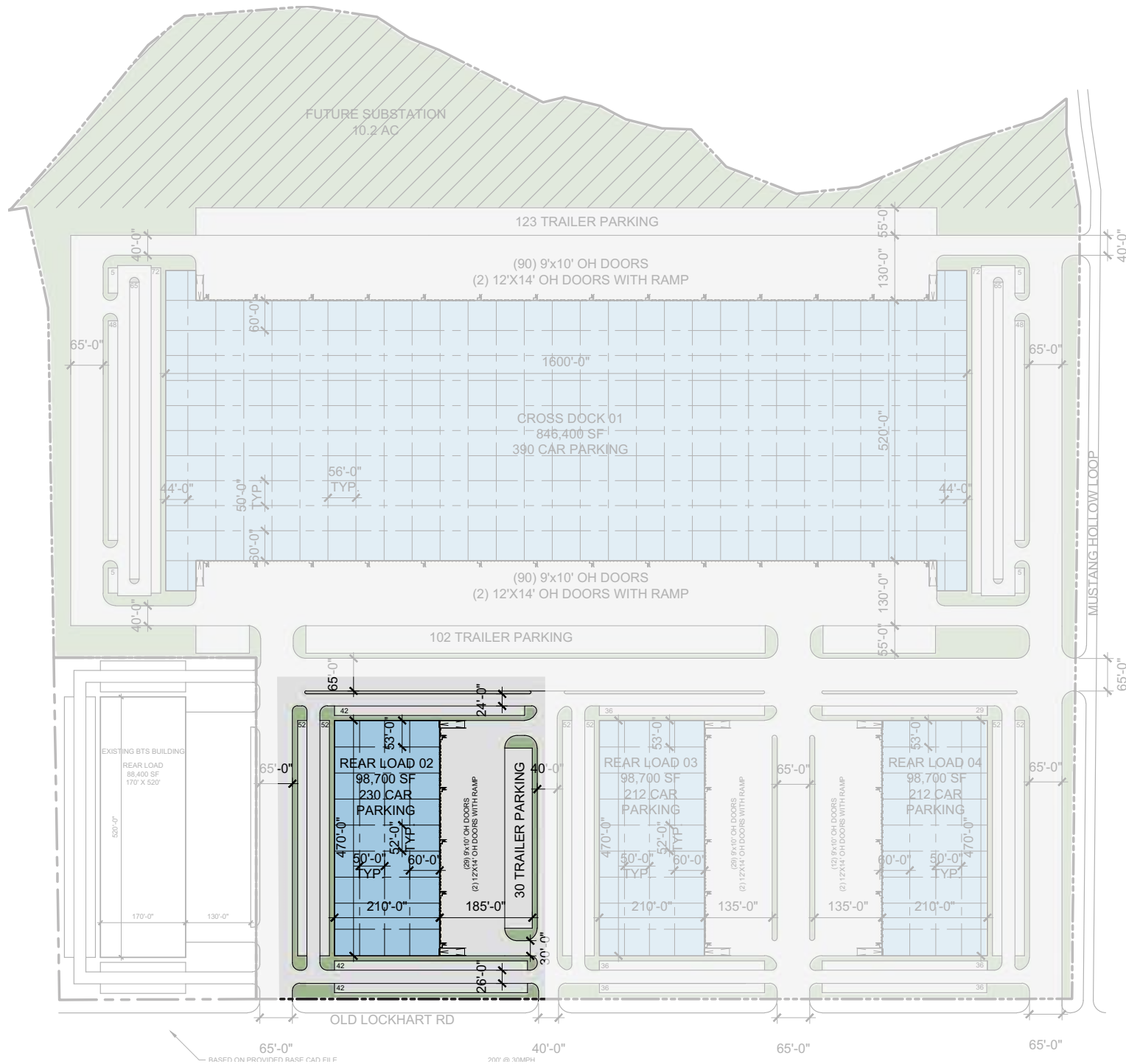
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SITE PLAN 2 BUILDING 2

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	230
	TRAILER PARKS	30
	SECURITY	Fenced and gated access available

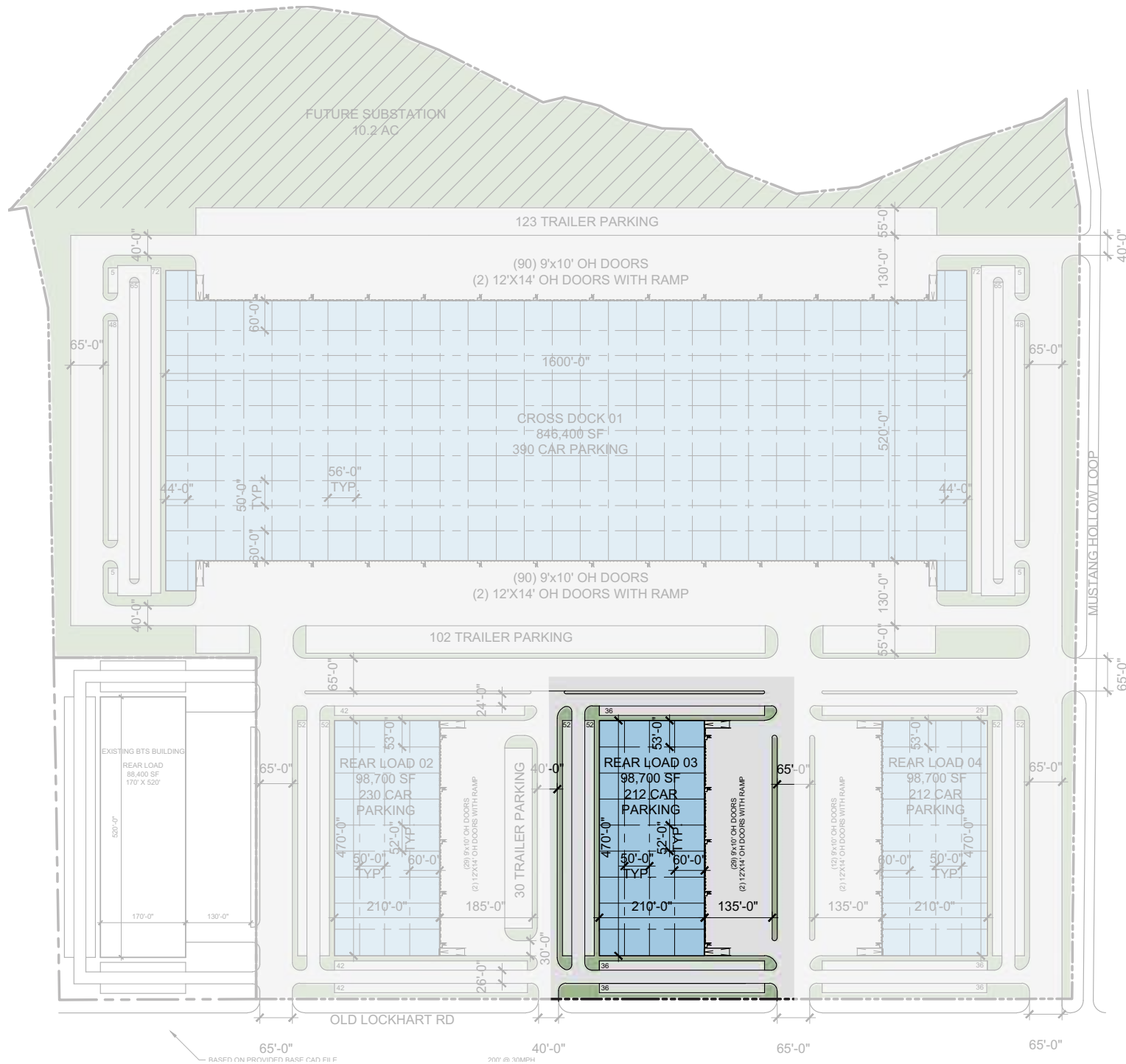
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SITE PLAN 2 BUILDING 3

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

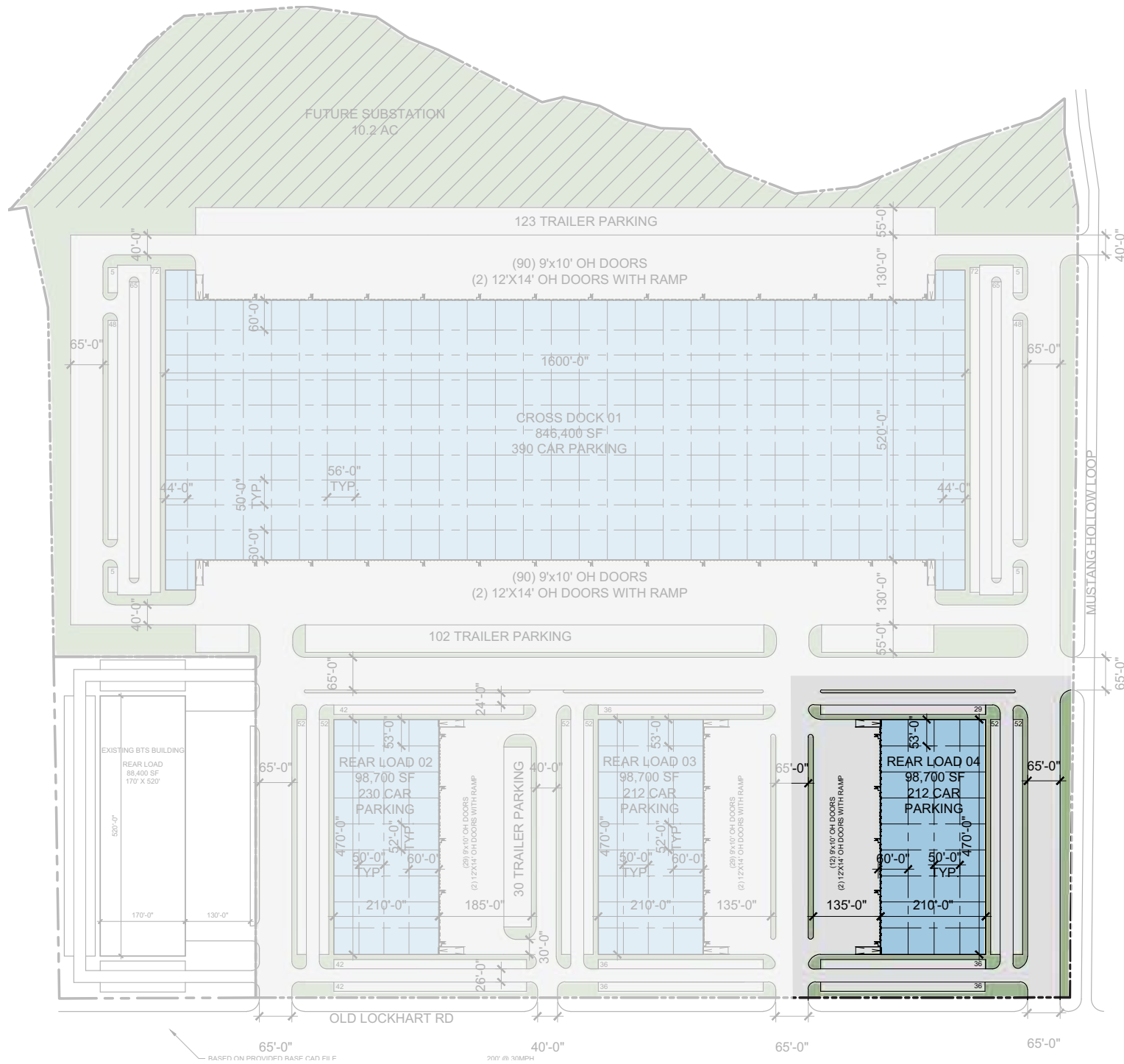
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SITE PLAN 2 BUILDING 4

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

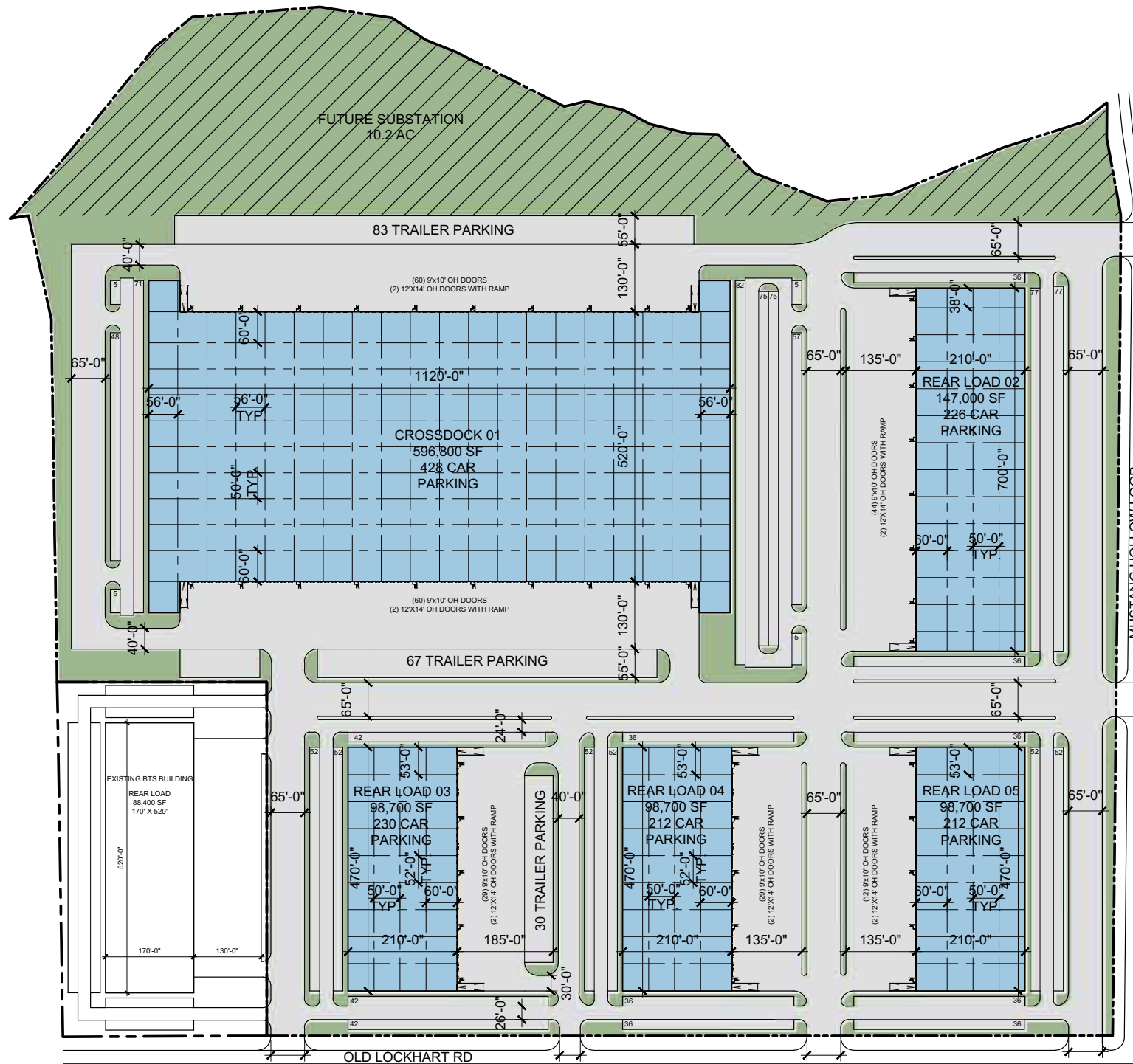
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SITE PLAN 3

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



SITE DATA

Building 1	596,800 SF
Building 2	147,000 SF
Building 3	98,700 SF
Building 4	98,700 SF
Building 5	98,700 SF
Total	1,039,900 SF

PARK HIGHLIGHTS

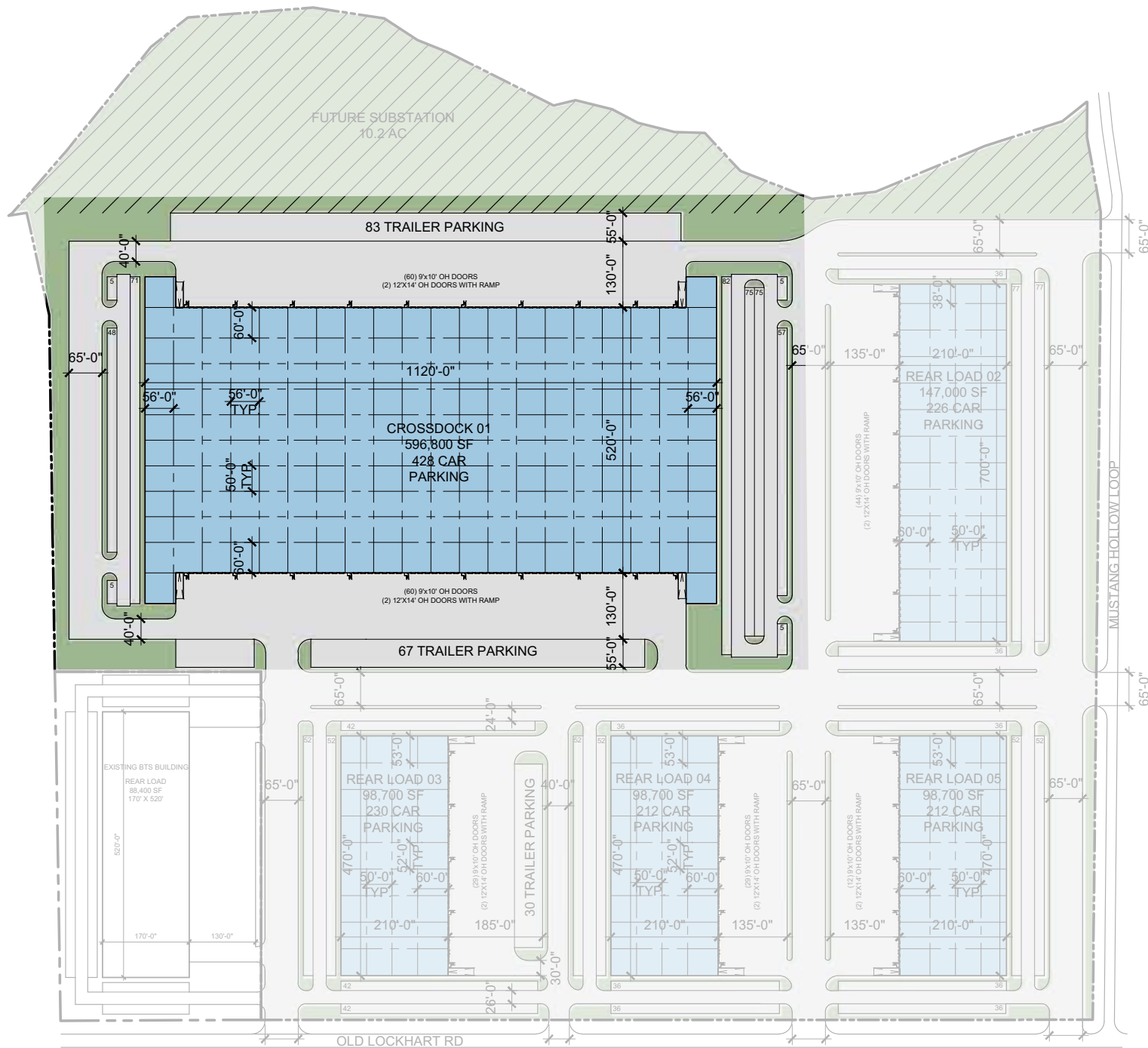
- Build-to-suit opportunities
- 78 acre industrial park
- 5 building master plan
- 32'- 40' clear heights
- 130'-185' truck courts
- 75 MW of on site generation
- Ability to fence and secure
- 65' drive isles for designated truck traffic

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SITE PLAN 3 BUILDING 1

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



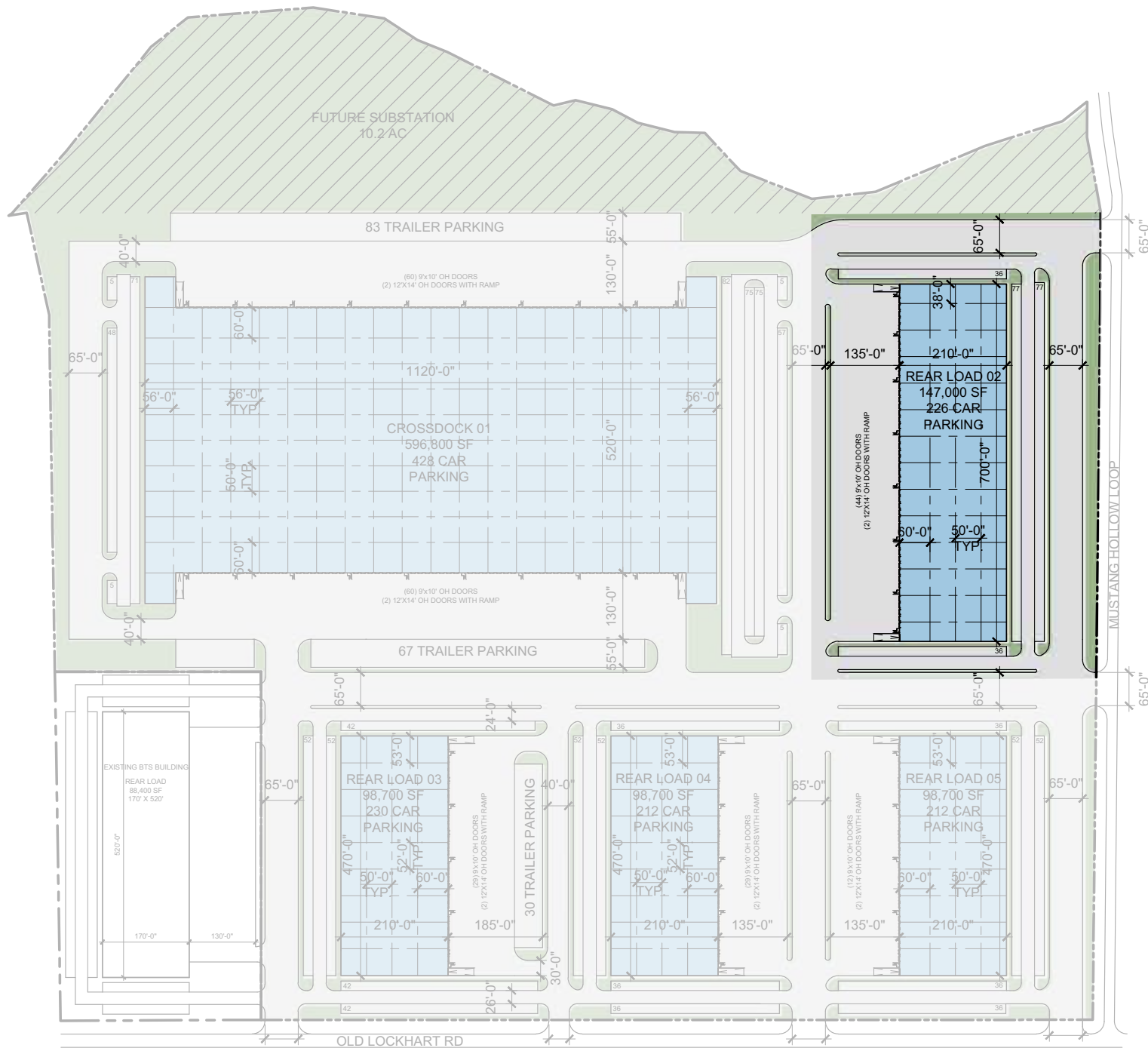
	TOTAL SIZE	596,800 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	520'
	TYPICAL BAY SIZE	56' W x 50' D
	STAGING BAY	56' W x 60' D
	CLEAR HEIGHT	40'
	LOADING	Cross-dock
	DOCK DOORS	120
	RAMPS	4
	POWER	BTS - Up to 75 MW per year
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	428
	TRAILER PARKS	150
	SECURITY	Fenced and gated access available

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SITE PLAN 3 BUILDING 2

**633 E LONESTAR DRIVE
BUDA, TEXAS 78610**



	TOTAL SIZE	147,000 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	44
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	226
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

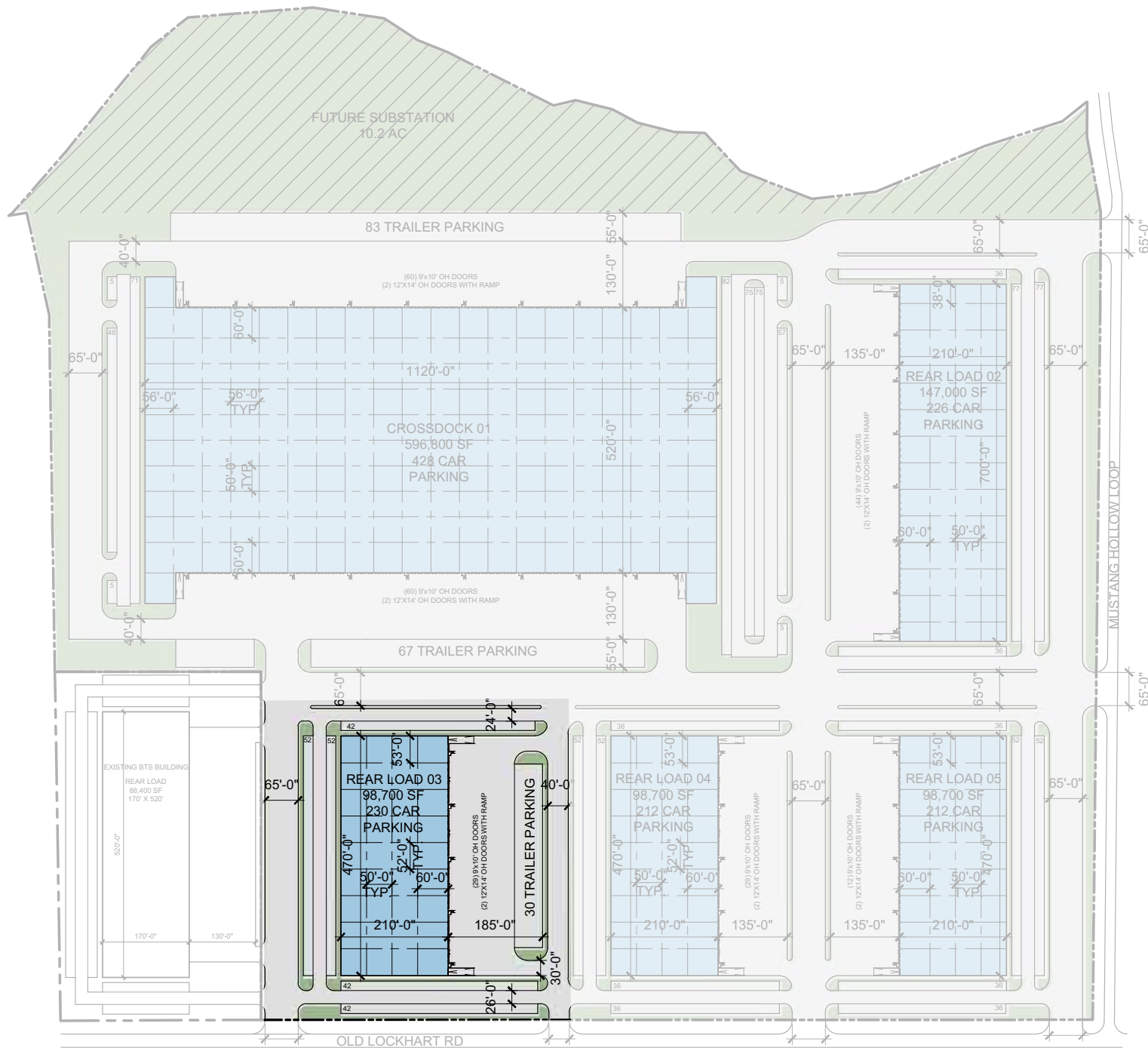
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SITE PLAN 3 BUILDING 3

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



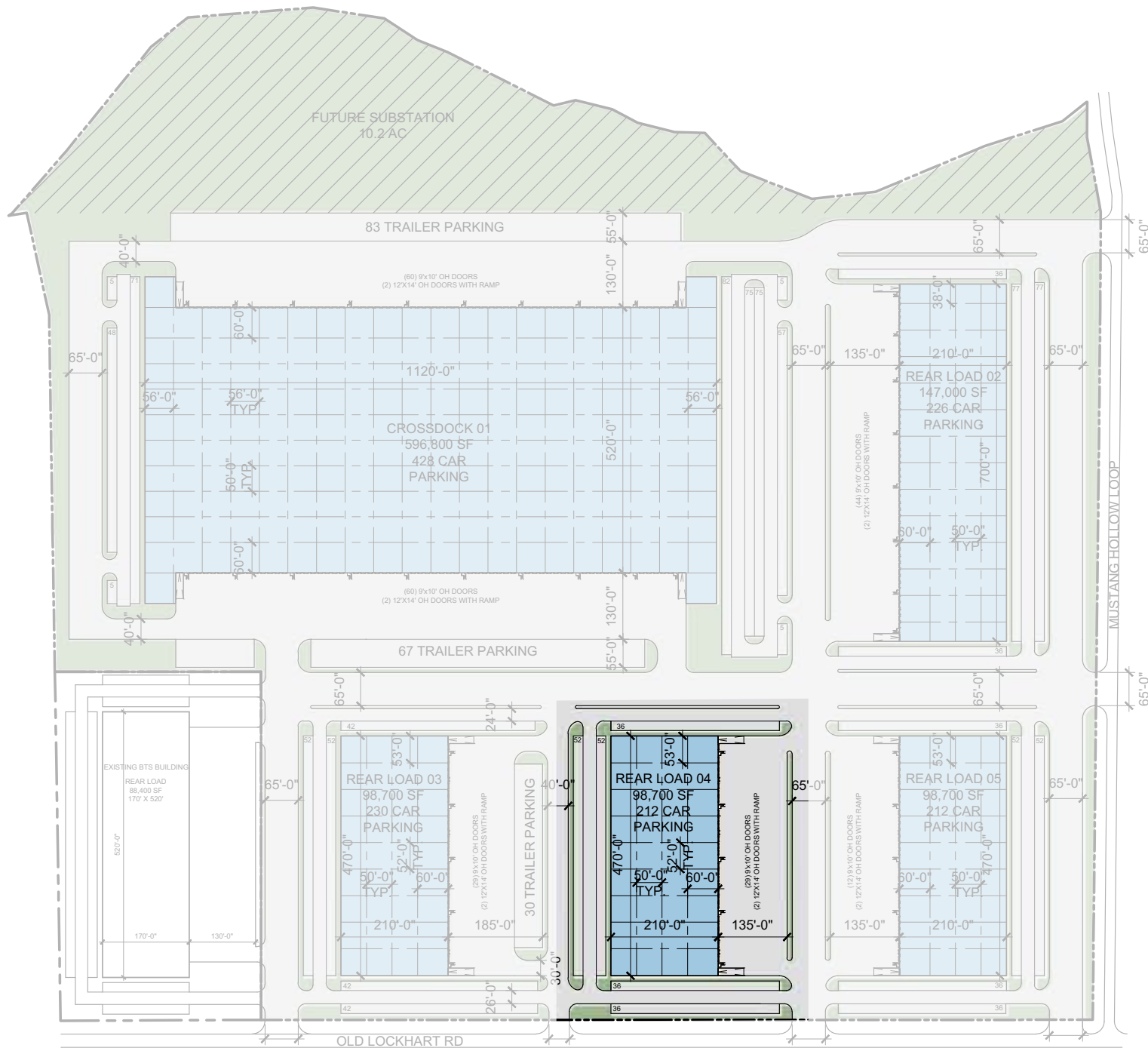
	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	230
	TRAILER PARKS	30
	SECURITY	Fenced and gated access available

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SITE PLAN 3 BUILDING 4

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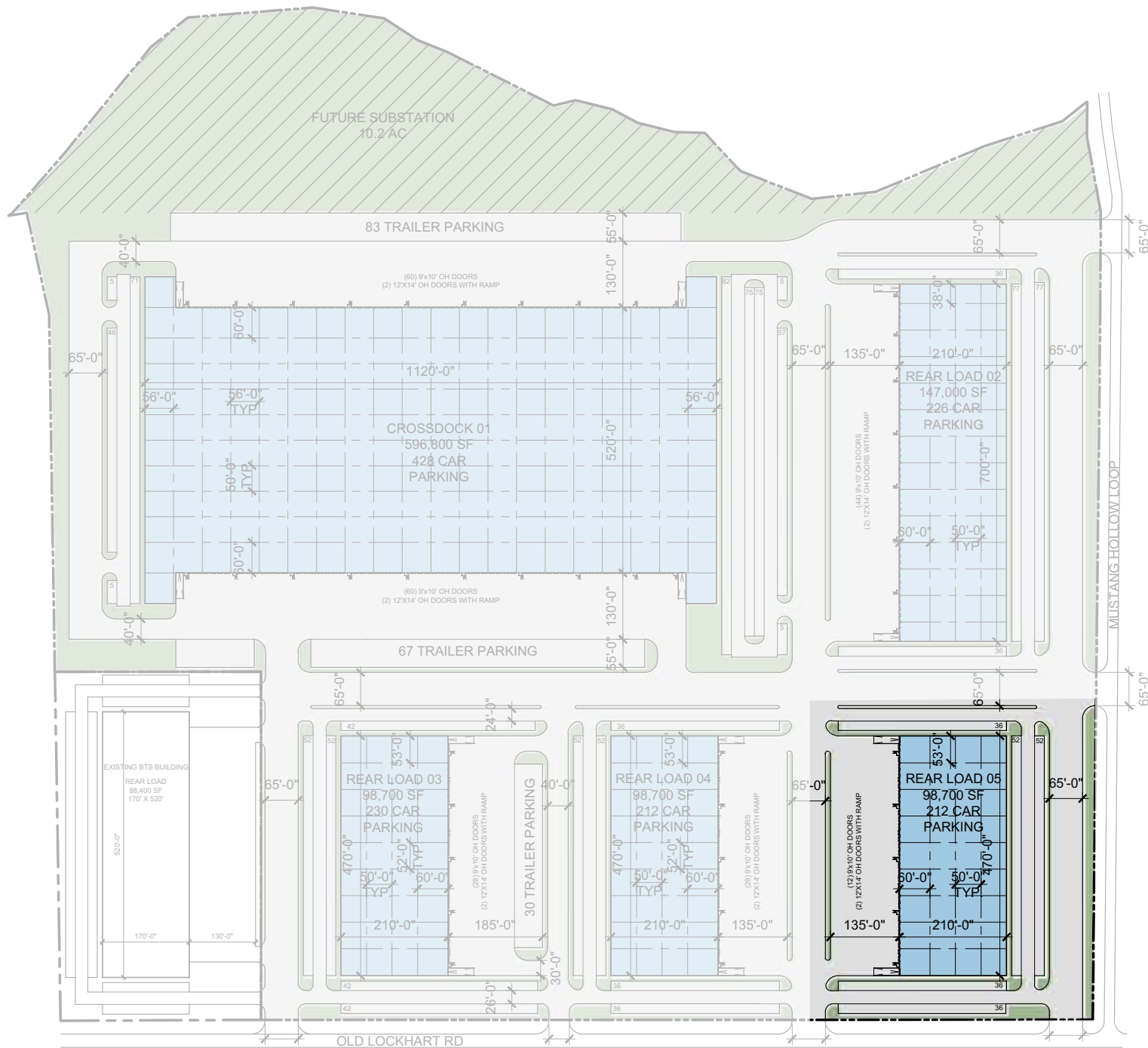
	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

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SITE PLAN 3 BUILDING 5

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

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SITE PLAN 4

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



SITE DATA

Building 1	394,000 SF
Building 2	394,000 SF
Building 3	98,700 SF
Building 4	98,700 SF
Building 5	98,700 SF
Total	1,084,100 SF

PARK HIGHLIGHTS

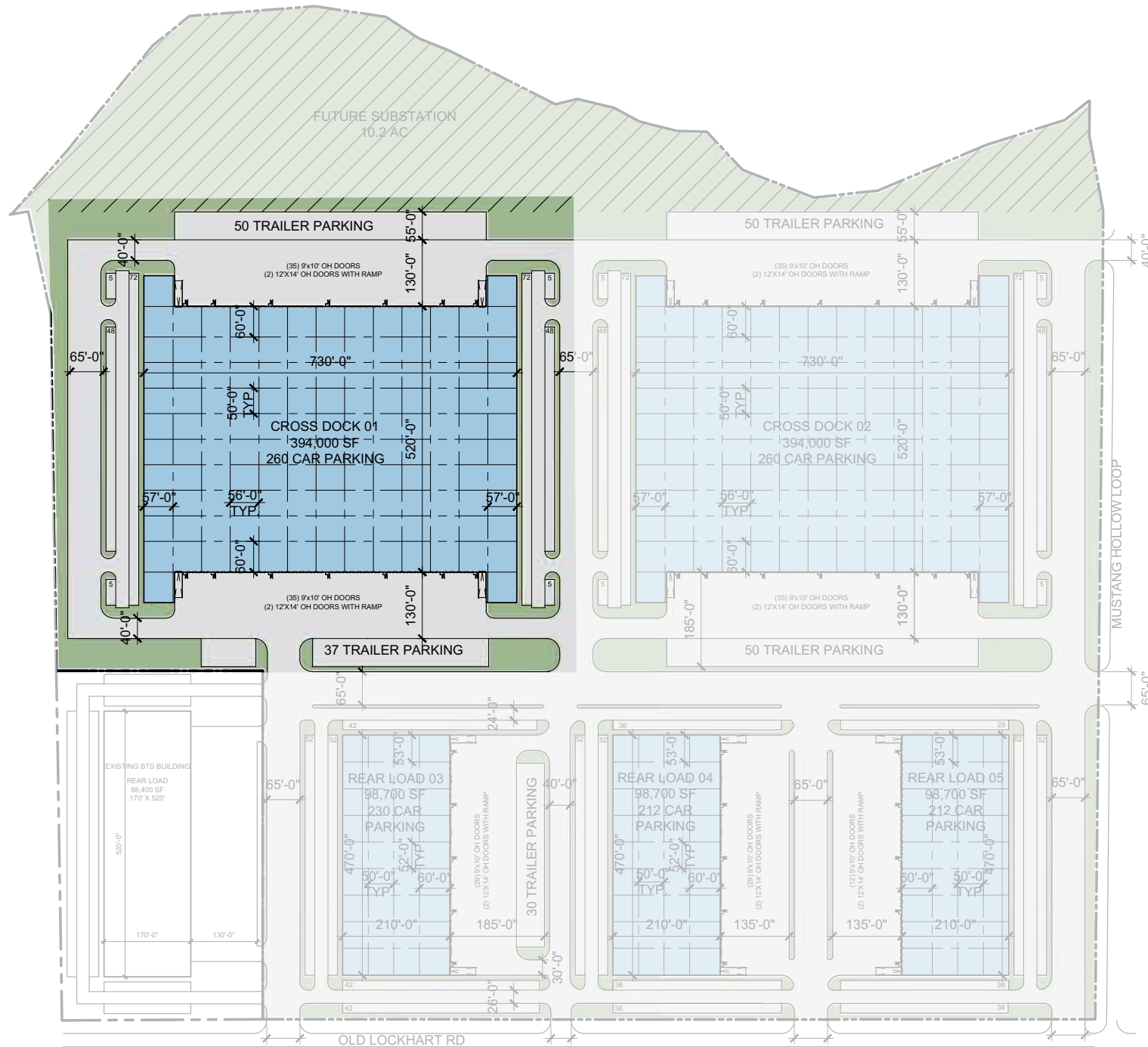
- Build-to-suit opportunities
- 78 acre industrial park
- 5 building master plan
- 32'- 40' clear heights
- 130'-185' truck courts
- 75 MW of on site generation
- Ability to fence and secure
- 65' drive isles for designated truck traffic

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SITE PLAN 4 BUILDING 1

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	394,000 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	520'
	TYPICAL BAY SIZE	56' W x 50' D
	STAGING BAY	56' W x 60' D
	CLEAR HEIGHT	40'
	LOADING	Cross-dock
	DOCK DOORS	70
	RAMPS	4
	POWER	BTS - Up to 75 MW per year
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	260
	TRAILER PARKS	87
	SECURITY	Fenced and gated access available

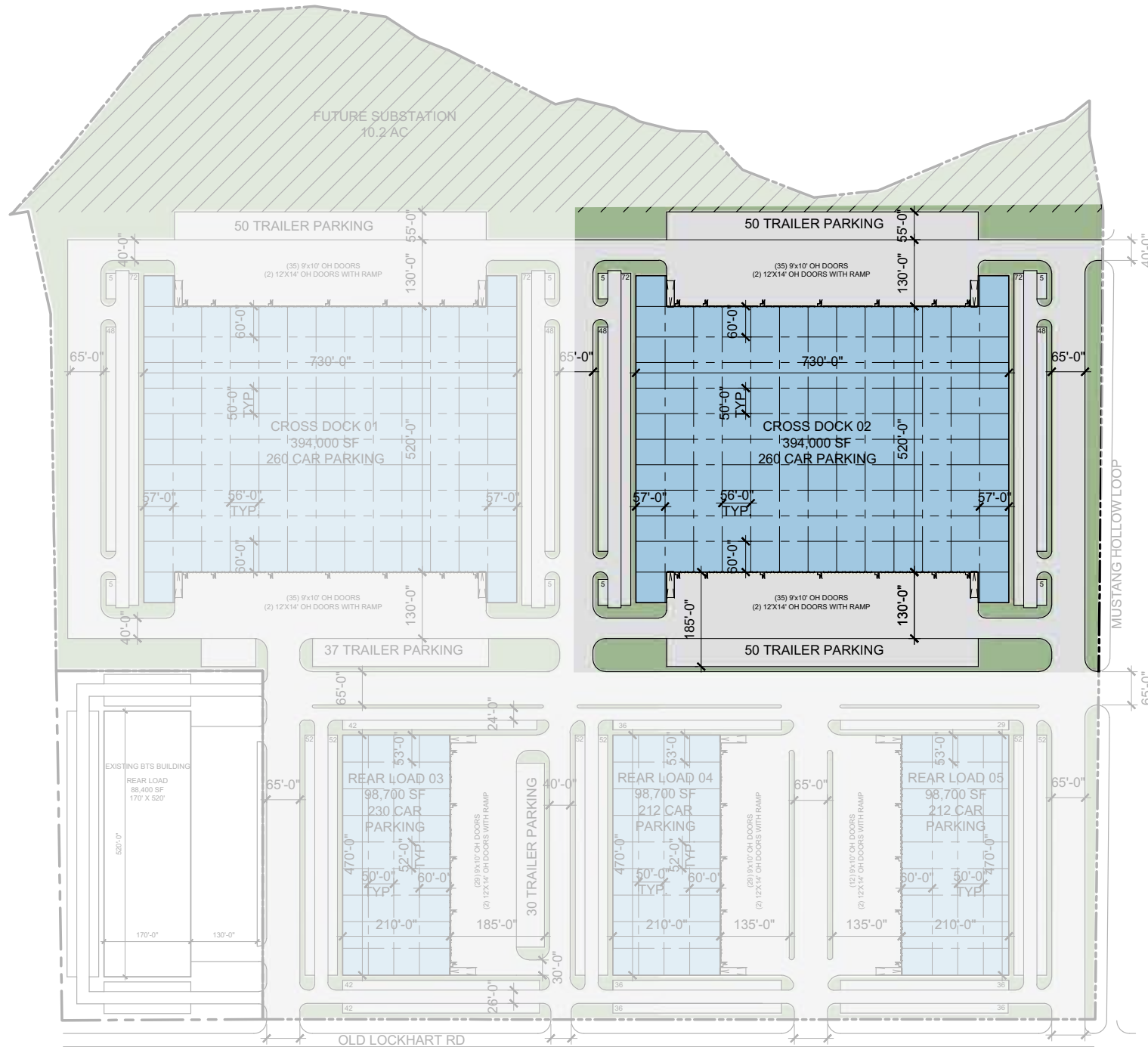
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 Danny Phillips | 972.585.5102 | dphillips@holtlunsford.com



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SITE PLAN 4 BUILDING 2

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	394,000 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	520'
	TYPICAL BAY SIZE	56' W x 50' D
	STAGING BAY	56' W x 60' D
	CLEAR HEIGHT	40'
	LOADING	Cross-dock
	DOCK DOORS	70
	RAMPS	4
	POWER	BTS - Up to 75 MW per year
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	260
	TRAILER PARKS	100
	SECURITY	Fenced and gated access available

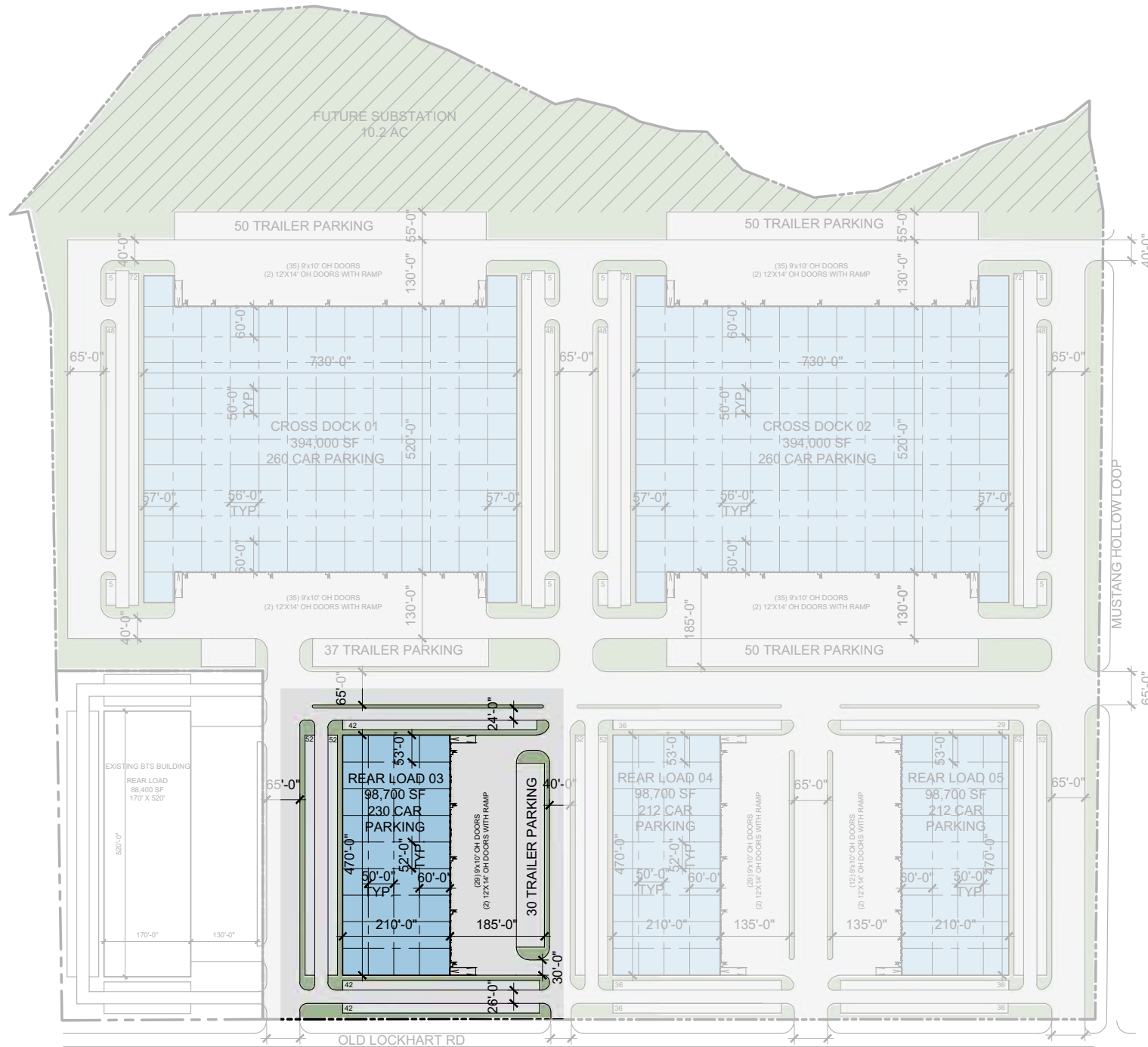
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SITE PLAN 4 BUILDING 3

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	185'
	CAR PARKS	230
	TRAILER PARKS	30
	SECURITY	Fenced and gated access available

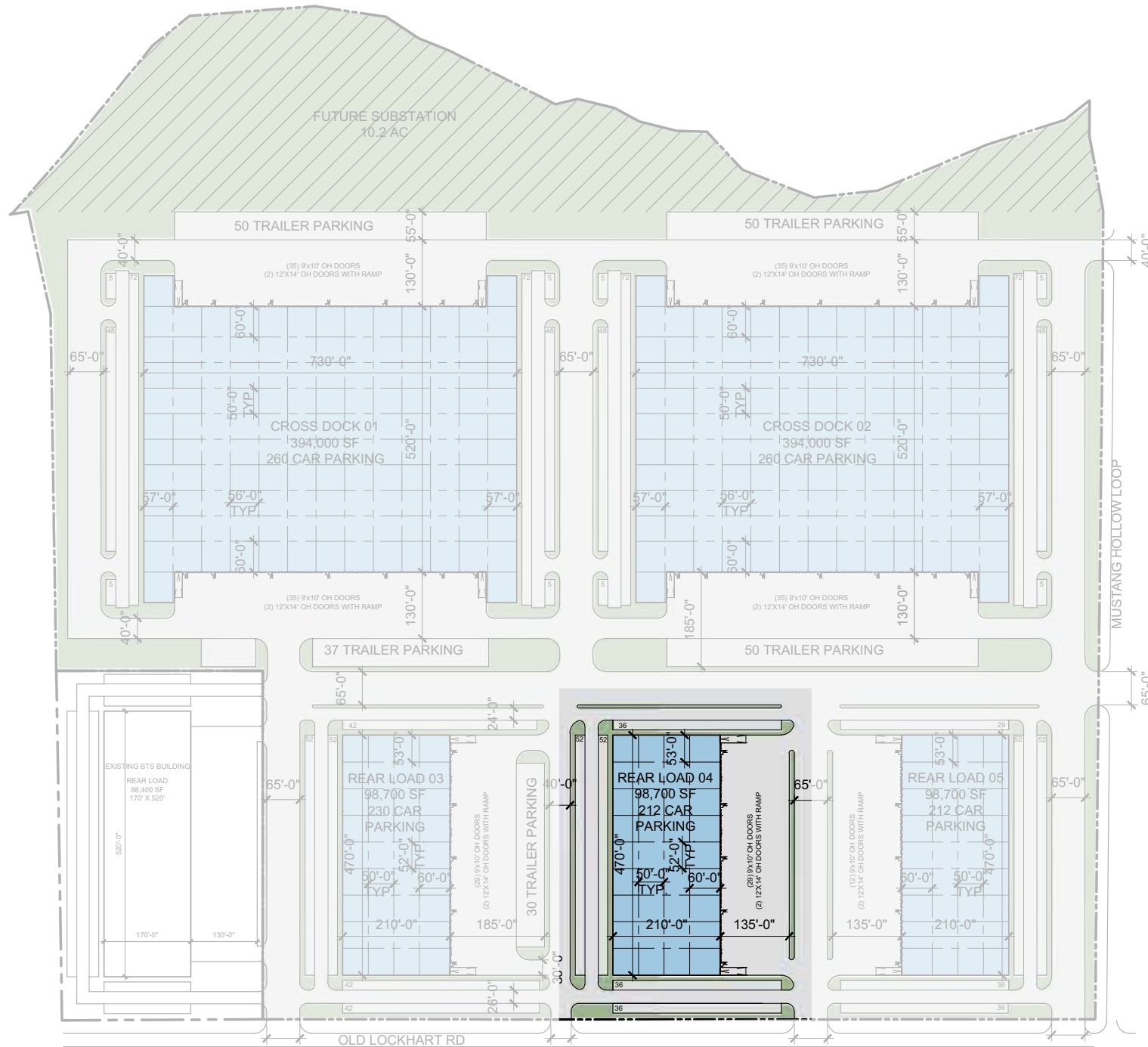
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SITE PLAN 4 BUILDING 4

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

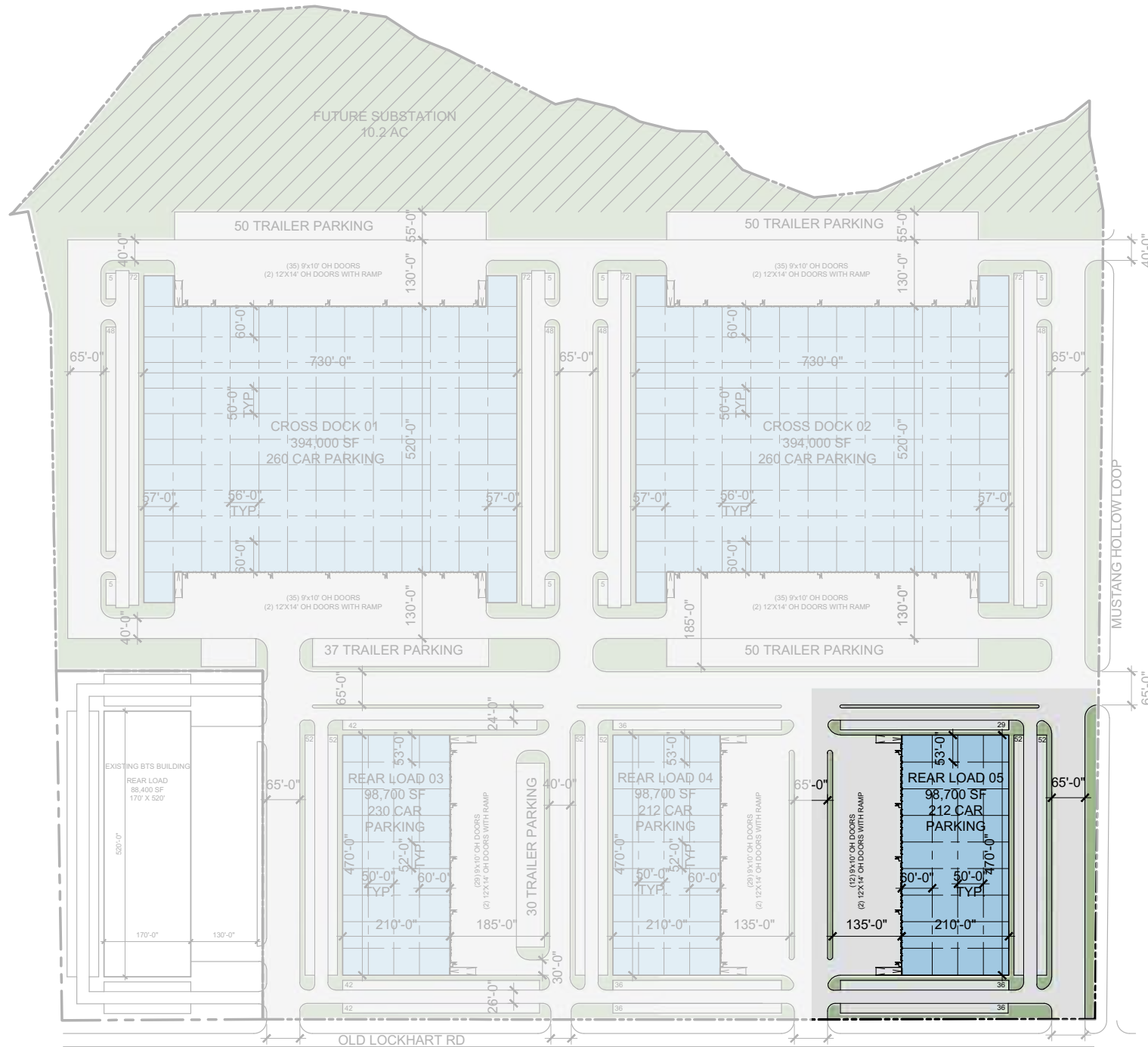
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SITE PLAN 4 BUILDING 5

633 E LONESTAR DRIVE
BUDA, TEXAS 78610



	TOTAL SIZE	98,700 SF
	OFFICE AREA	Build-to-suit
	BUILDING DEPTH	210'
	TYPICAL BAY SIZE	52' W x 50' D
	STAGING BAY	52' W x 60' D
	CLEAR HEIGHT	32'
	LOADING	Rear-load
	DOCK DOORS	29
	RAMPS	2
	POWER	BTS
	SLAB THICKNESS	7" Reinforced with full vapor barrier
	ROOF	60 mil TPO
	SPRINKLER SYSTEM	ESFR
	TRUCK COURT DEPTH	135'
	CAR PARKS	212
	TRAILER PARKS	0
	SECURITY	Fenced and gated access available

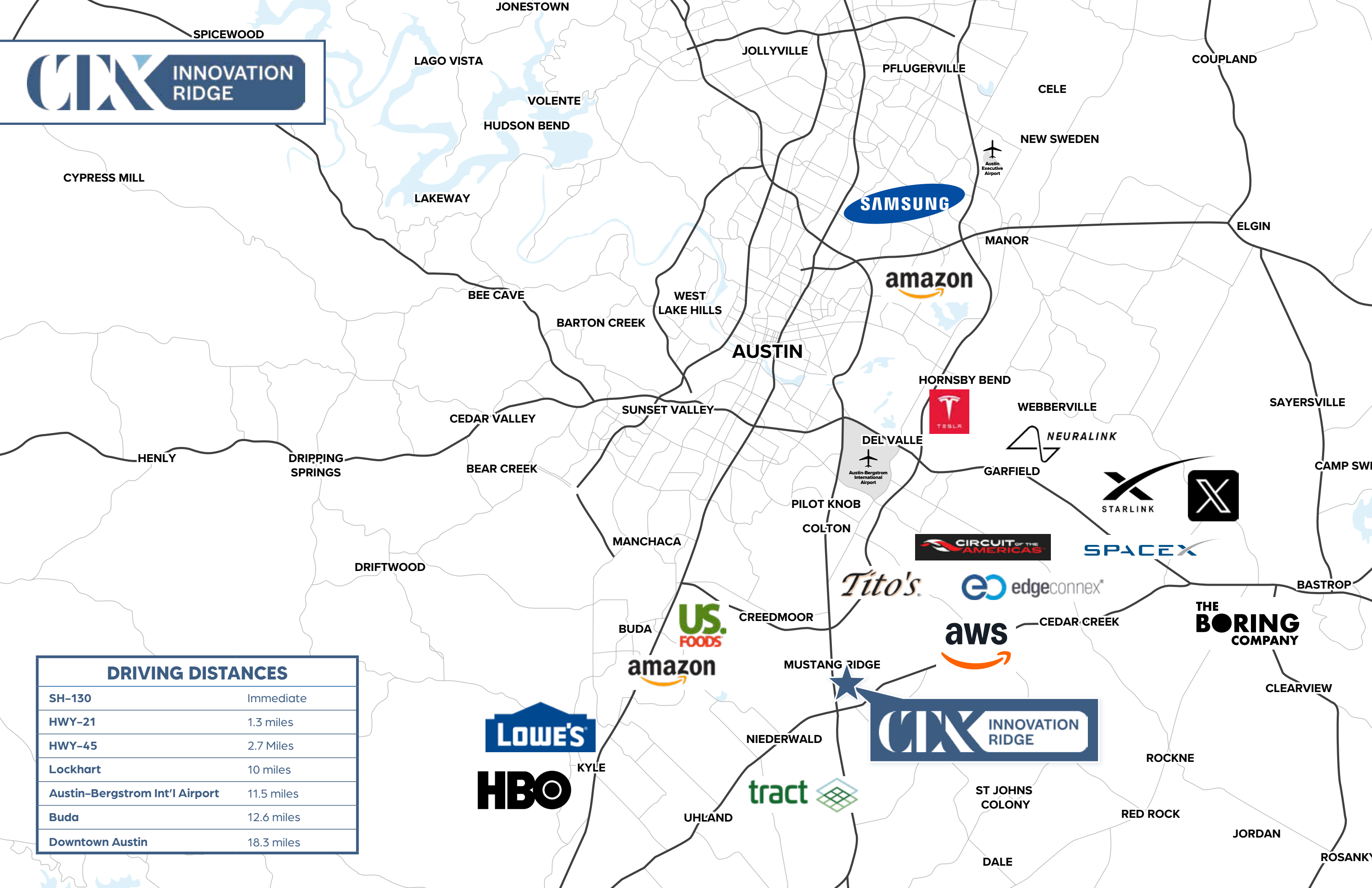
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DRIVING DISTANCES	
SH-130	Immediate
HWY-21	1.3 miles
HWY-45	2.7 Miles
Lockhart	10 miles
Austin-Bergstrom Int'l Airport	11.5 miles
Buda	12.6 miles
Downtown Austin	18.3 miles



TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent. **An owner's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent. **A buyer/tenant's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Holt Lunsford Commercial, Inc.	359505	hlunsford@holtlunsford.com	972.241.8300
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
Mario Zandstra	312827	mzandstra@holtlunsford.com	972.241.8300
Designated Broker of Firm	License No.	Email	Phone
_____	_____	_____	_____
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
_____	_____	_____	_____
Sales Agent/Associate's Name	License No.	Email	Phone

Buyer/Tenant/Seller/Landlord Initials

Date

FOR LEASING INFORMATION

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Danny Phillips | 972.585.5102 | dphillips@holtlunsford.com

LEASED BY:



DEVELOPED BY:

