

LEGAL DESCRIPTION

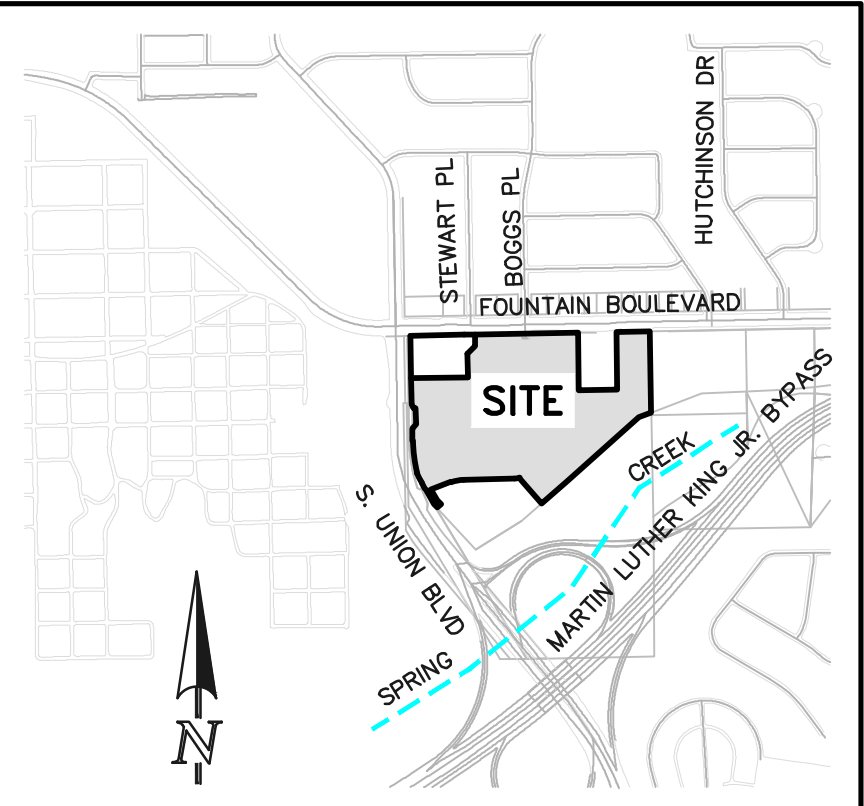
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO, BEING LOT 2 AND TRACT "A" OF CHEYENNE VIEW APARTMENTS FILING NO. 2 RECORDED ON NOVEMBER 29, 2023 UNDER RECEPTION NO. 22375272 AND A PORTION OF THE SAID SOUTHWEST QUARTER OF SECTION 21 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS WITH REFERENCES TO RECORDED DOCUMENTS BEING THOSE CERTAIN DOCUMENTS RECORDED IN THE OFFICE OF THE EL PASO COUNTY CLERK AND RECORDED OFFICE WITH BEARINGS REFERENCED TO THE SOUTHERLY BOUNDARY OF LOT 1, BLOCK 1 OF OLYMPIC VILLAGE FILING NO. 1 RECORDED ON MAY 13, 1996 IN PLAT BOOK H-6 AT PAGE 50, BEING MONUMENTED AT THE WESTERLY END BY A 1-1/2 INCH ALUMINUM SURVEYORS CAP STAMPED "DB & CO PLS 27605" AND AT THE EASTERLY END BY A 3-1/2 INCH ALUMINUM SURVEYORS CAP STAMPED "COT PLS 9014 WC 1 FT" DETERMINED BY GPS OBSERVATION TO BEAR NORTH 58°13'28" EAST, A DISTANCE OF 281.78 FEET.

LOT 1, CHEYENNE VIEW APARTMENTS FILING NO. 1

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DEVELOPMENT PLAN

TITLE SHEET
SUMMER 2024



SHEET INDEX

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All Springs Utilities comments have been addressed for this proposed development plan, except for the distance separation of trash enclosure from water main which will be addressed with the Variance request submittal. Further comments will be provided at time of construction plan submittal. From a Springs Utilities perspective only, approval is recommended for this proposed development plan.

BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 1, BLOCK 1 OF OLYMPIC VILLAGE FILING NO. 1 RECORDED IN PLAT BOOK H-6 AT PAGE 50;

THENCE, ON THE EXTERIOR OF SAID LOT 1, BLOCK 1 THE FOLLOWING EIGHT (8) COURSES:

1. THENCE NORTH 40°49'19" WEST A DISTANCE OF 178.70 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 75.00 FEET, WHOSE CENTER BEARS NORTH 21°21'55" WEST;
2. THENCE WESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 20°18'49", AN ARC DISTANCE OF 26.59 FEET;
3. THENCE SOUTH 88°56'54" WEST A DISTANCE OF 265.90 FEET TO A TANGENT CURVE, HAVING A RADIUS OF 200.00 FEET, WHOSE CENTER BEARS SOUTHEASTERLY;
4. THENCE WESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 19°35'51", AN ARC DISTANCE OF 68.41 FEET;
5. THENCE SOUTH 69°21'03" WEST A DISTANCE OF 109.62 FEET;
6. THENCE SOUTH 31°01'24" EAST A DISTANCE OF 67.82 FEET;
7. THENCE SOUTH 42°43'48" EAST A DISTANCE OF 24.96 FEET;
8. THENCE SOUTH 46°58'13" WEST A DISTANCE OF 24.99 FEET TO THE EASTERLY BOUNDARY OF PARCEL 27 OF U.S. HIGHWAY 24 BYPASS RECORDED JANUARY 28, 1984 IN BOOK 6369 AT PAGE 721;

THENCE NORTH 42°45'51" WEST, ON SAID EASTERLY BOUNDARY, A DISTANCE OF 25.08 FEET TO THE EASTERLY BOUNDARY OF THAT CERTAIN PARCEL DESCRIBED IN A WARRANTY DEED TO THE CITY OF COLORADO SPRINGS RECORDED MAY 1, 1981 IN BOOK 3429 PAGE 360;

THENCE NORTH 31°01'24" WEST, ON THE SAID EASTERLY BOUNDARY OF BOOK 3429 PAGE 360, A DISTANCE OF 86.12 FEET TO THE EASTERLY BOUNDARY OF THAT CERTAIN PARCEL DESCRIBED IN A DEED TO THE CITY OF COLORADO SPRINGS RECORDED DECEMBER 31, 1986 IN BOOK 5295 PAGE 701;

THENCE ON THE SAID EASTERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 5295 PAGE 701 THE FOLLOWING (2) TWO COURSES;

1. THENCE NORTH 23°15'21" WEST A DISTANCE OF 10.09 FEET;
2. THENCE SOUTH 66°44'39" WEST A DISTANCE OF 1.38 FEET TO THE EASTERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 3429 PAGE 360;

THENCE NORTH 31°01'24" WEST, ON SAID EASTERLY BOUNDARY, A DISTANCE OF 29.65 FEET TO THE EASTERLY BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 5295 PAGE 701 AND A TANGENT CURVE, HAVING A RADIUS OF 440.00 FEET, WHOSE CENTER BEARS NORTHEASTERLY;

THENCE NORTHERLY ON THE EAST BOUNDARY OF SAID PARCEL DESCRIBED IN BOOK 5295 PAGE 701 THE FOLLOWING (8) EIGHT COURSES;

1. THENCE NORTHWESTERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 07°17'30", AN ARC DISTANCE OF 56.00 FEET TO A NON-TANGENT CURVE, HAVING A RADIUS OF 775.00 FEET, WHOSE CENTER BEARS NORTH 76°13'40" EAST;
2. THENCE NORTHERLY, ON SAID CURVE, THROUGH A CENTRAL ANGLE OF 12°42'31", AN ARC DISTANCE OF 171.90 FEET;
3. THENCE NORTH 01°33'40" WEST A DISTANCE OF 66.60 FEET;
4. THENCE NORTH 43°13'45" EAST A DISTANCE OF 28.64 FEET;
5. THENCE NORTH 01°33'49" WEST A DISTANCE OF 85.00 FEET;
6. THENCE SOUTH 88°56'11" WEST A DISTANCE OF 10.00 FEET;
7. THENCE NORTH 27°04'01" WEST A DISTANCE OF 22.81 FEET;
8. THENCE NORTH 01°33'49" WEST A DISTANCE OF 135.60 FEET TO THE SOUTHWESTERLY CORNER OF LOT 1 OF CHEYENNE VIEW APARTMENTS FILING NO. 2;

THENCE ON THE EXTERIOR OF SAID LOT 1 THE FOLLOWING FOUR (4) COURSES:

1. THENCE NORTH 88°56'53" EAST A DISTANCE OF 295.78 FEET;
2. THENCE NORTH 01°02'52" WEST A DISTANCE OF 122.76 FEET;
3. THENCE NORTH 43°57'09" EAST A DISTANCE OF 56.36 FEET;
4. THENCE NORTH 01°02'52" WEST A DISTANCE OF 59.40 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF FOUNTAIN BOULEVARD AS DEDICATED IN PROSPECT PARK SUBDIVISION NO. 1 RECORDED IN PLAT BOOK F-2 AT PAGE 48;

THENCE NORTH 88°59'34" EAST, ON SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 538.20 FEET TO THE NORTHWESTERLY CORNER OF LOT 1, BLOCK 1 OF PROSPECT PARK SUBDIVISION NO. 7 RECORDED JULY 1, 1981 IN PLAT BOOK N-3 AT PAGE 116;

THENCE ON THE EXTERIOR OF SAID LOT 1, BLOCK 1 OF PROSPECT PARK SUBDIVISION NO. 7 THE FOLLOWING (3) THREE COURSES:

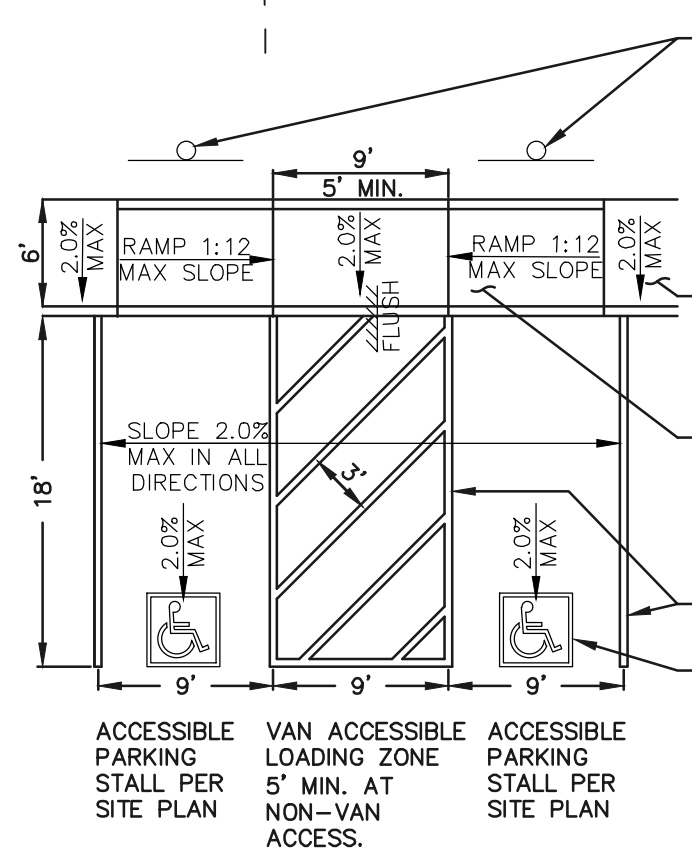
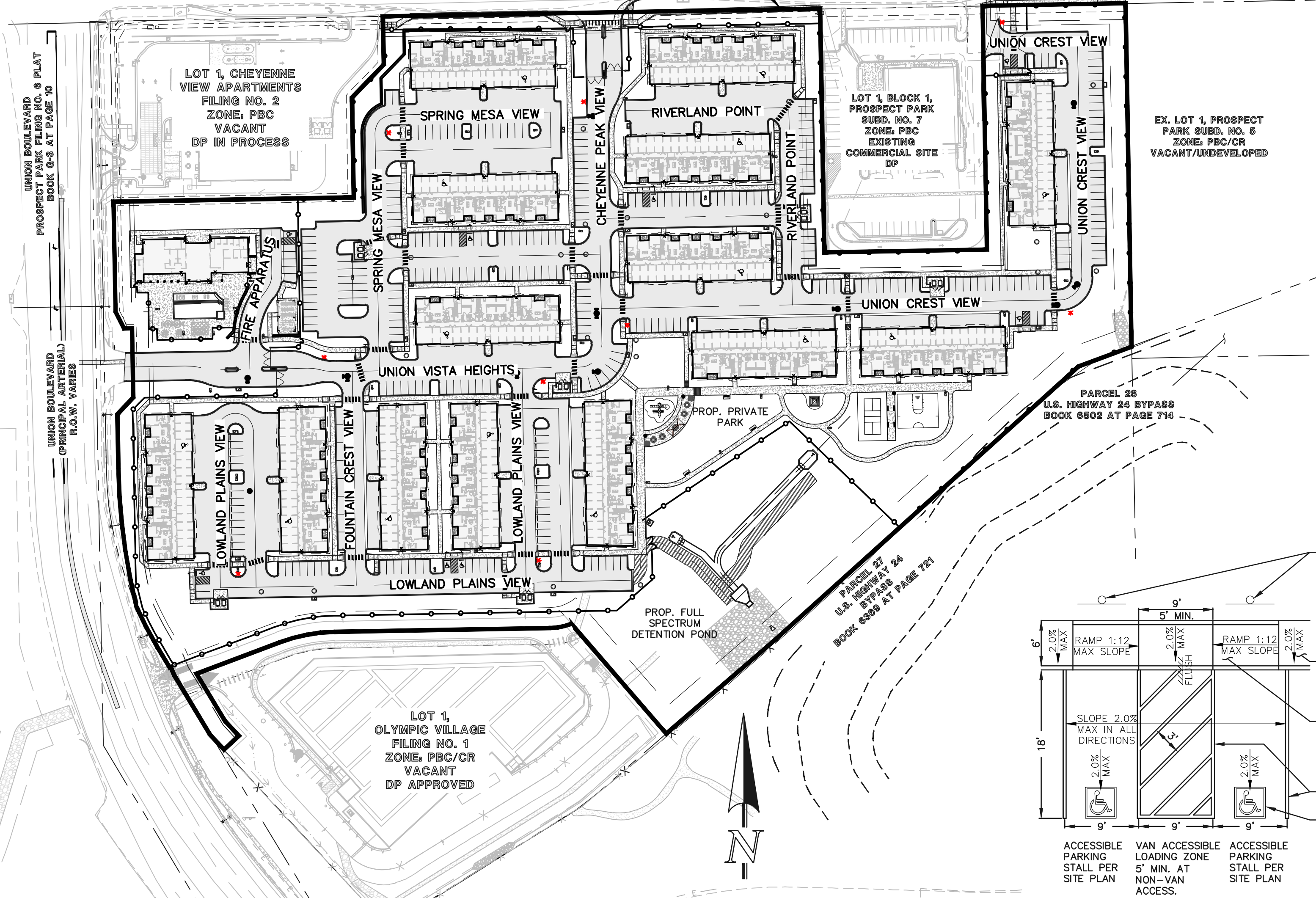
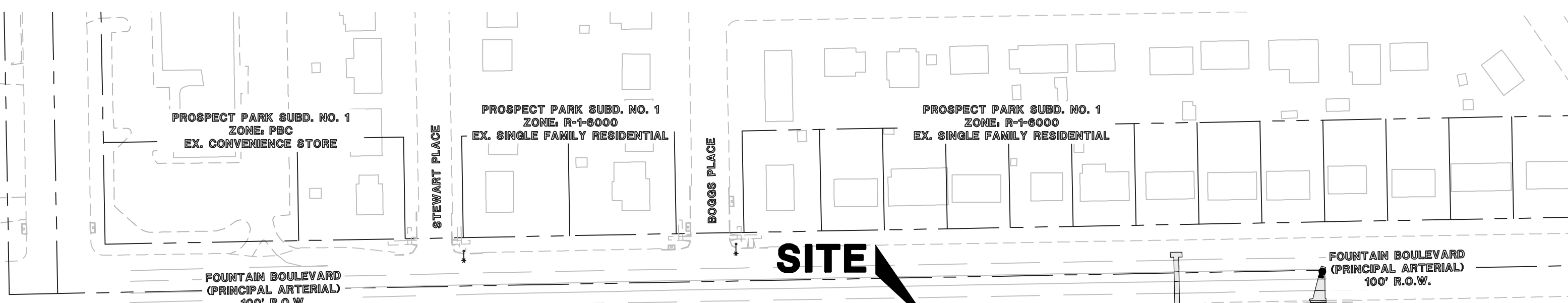
1. THENCE SOUTH 01°00'26" EAST A DISTANCE OF 300.03 FEET;
2. THENCE NORTH 88°56'59" EAST A DISTANCE OF 199.98 FEET;
3. THENCE NORTH 01°00'26" WEST A DISTANCE OF 300.00 FEET TO THE SAID SOUTHERLY RIGHT OF WAY LINE OF FOUNTAIN BOULEVARD;

ADA STATEMENT:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

1. NO DIRECT VEHICULAR ACCESS FROM LOT 1 SHALL BE PERMITTED TO FOUNTAIN BOULEVARD, EXCEPT AS SHOWN.
2. ALL ON-SITE UTILITIES ARE PRIVATE.
3. ALL INTERNAL DRIVEWAYS, PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
4. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 OR TYPE 1 CURB & GUTTER OR AS SPECIFIED ON PLANS.
5. A MINIMUM OF 3-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.
6. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENTS OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
7. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
8. ALL PEDESTRIAN RAMPS TO BE CITY STANDARD D-8 DETAILS.
9. ALL TRAFFIC CONTROL MEASURES TO MEET MUTCD STANDARDS.
10. STORMWATER QUALITY AND DETENTION TO BE PROVIDED IN PROPOSED ON-SITE PRIVATE FULL SPECTRUM POND TO BE OWNED AND MAINTAINED BY THE OWNER OF LOT 1. SEE PREVIOUSLY APPROVED MASTER DEVELOPMENT DRAINAGE PLAN AND FINAL DRAINAGE REPORT FOR CHEYENNE VIEW APARTMENTS FIL. NO. 1" (STM-REV21-1423) FOR OVERALL APPROVED DRAINAGE PATTERNS. A DRAINAGE MEMO HAS ALSO BEEN PREPARED SUPPORTING THE PROPOSED DEVELOPMENT PLAN (STM-REV23-1300). AN AMENDMENT TO THE FOR WILL BE PROCESSED WITH THE CD'S. ALL REQUIRED GREEN INFRASTRUCTURE TO BE PROVIDED IN THE BASE OF THE PROPOSED FULL SPECTRUM DETENTION FACILITY.
11. ALL "STOP" SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS AND MARKINGS AT 719-385-6720 FOR ASSISTANCE
12. SITE LIGHTING TO BE BUILDING MOUNTED AND SITE POLE MOUNTED PER SHEET 17.
13. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
14. THE DEVELOPER OF LOT 1, FILING NO. 2 IS REQUIRED TO STRIPE A SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF UNION BOULEVARD/UNION VISTA HEIGHTS (ACCESS B IN THE TRAFFIC STUDY) TO PROVIDE A BACK TO BACK LEFT TURN LANE WITH 120-FOOT SOUTHBOUND LEFT-TURN WITH 25-FOOT TAPER, AND 200-FOOT NORTHBOUND LEFT-TURN WITH 25-FOOT TAPER AT FOUNTAIN BOULEVARD/UNION BOULEVARD INTERSECTION.
15. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
16. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY ADJUTING PROPERTY OWNER.
17. ACCESS WITH LOT 1, OLYMPIC VILLAGE FILING NO. 1 IS NOT PROPOSED. THE EXISTING ACCESS EASEMENT IS IN THE PROCESS OF BEING VACATED. SHARED ACCESS AT UNION CREST VIEW AND FOUNTAIN BOULEVARD TO BE FORMALIZED WITH A PRIVATE SHARED ACCESS EASEMENT.
18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY.



SITE DATA:

TAX SCHEDULE NO.:	6421300022
ADDRESS:	TBD
AREA:	761,123 SF / 17.473 ACRES
EXISTING ZONING:	MX-M/CR/SS-O
MASTER PLAN:	PROSPECT PARK (CPC MP 81-16-A2M20)
CONCEPT PLAN:	FOUNTAIN AND UNION (AS AMENDED UNDER CPC 20-00041-A1M21)
EXISTING USE:	VACANT LAND
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL (322 UNITS)
PROPOSED DENSITY:	18.43 DU/ACRE
DEVELOPMENT SCHEDULE:	SPRING 2024
MAXIMUM BUILDING HEIGHT ALLOWED:	50'
PROPOSED BUILDING HEIGHT:	SEE ELEVATION SHEETS 13 - 16
TYPICAL DRIVE AISLE:	26' UNLESS OTHERWISE NOTED
PROPOSED LOT COVERAGE:	
APARTMENT BUILDINGS (144,013 SF)	18.92%
ASPHALT/CONCRETE (336,202 SF)	44.17%
LANDSCAPING AREA (280,908 SF)	36.91%
GREEN SPACE REQUIREMENTS:	YES
ACTIVE GREEN SPACE REQUIRED/PROVIDED 10%:	76,113 SF / *62,182 SF
NON-ACTIVE GREEN SPACE REQUIRED/PROVIDED 5%:	38,057 SF / 64,886 SF
ACTIVE GREEN SPACE DESIGN ELEMENTS:	PRIVATE POCKET PARK, TRAIL, OPEN SPACE, CLUBHOUSE

*ALTERNATIVE COMPLIANCE REQUESTED FOR THE REDUCTION OF THE REQUIRED ACTIVE GREEN SPACE.

LANDSCAPE SETBACKS:	
ALONG FOUNTAIN AND UNION BLVD:	25' MINIMUM
BUILDING SETBACKS:	
ALONG FOUNTAIN/UNION BLVD:	20' MINIMUM
PARKING REQUIREMENTS:	
182 - 1 BEDROOM X 1.0	= 182 SPACES
122 - 2 BEDROOMS X 1.5	= 183 SPACES
18 - 3 BEDROOMS X 2.0	= 36 SPACES
322 TOTAL UNITS	= 401 SPACES REQUIRED
HC SPACES REQUIRED = 9 SPACES	
PARKING PROVIDED:	
ON-SITE PARKING SPACES PROVIDED:	332 SPACES PROVIDED
GARAGE PARKING SPACES:	221 SPACES PROVIDED
TOTAL PARKING	553 SPACES PROVIDED
HC SPACES PROVIDED:	8 SPACES (W/ 2 VAN SPACES)
TYPICAL PARKING SPACE:	8'X18'
TYPICAL HANDICAP SPACE:	8'X18'
TYPICAL HANDICAP ZONE:	8'X18' (8' WIDE FOR VAN)
BICYCLE PARKING:	
FORMULA: 0.5 STALLS / 1,000 GSF, (20% SHALL BE SECURE LONG TERM)	
REQUIRED RACKS:	501,246 SF (5)/1,000 = 250 (50 RACKS WITH 5 BIKE CAPACITY)
REQUIRED LONG-TERM STORAGE:	20% = 50 SPACES, 221 GARAGE UNITS
PLD TABLE:	
# OF UNITS PER STRUCTURE	20-49
STRUCTURES PER CATEGORY	14
TOTAL UNITS	322
AC OF DEDICATION PER UNIT	0.0097
DEDICATION TOTAL AC	3.1

NOTE: THE PARKING DEDICATION ORDINANCE WILL BE MET BY FEES IN LIEU OF LAND.

FLOODPLAIN STATEMENT:
THIS SITE FALLS WITHIN FLOOD ZONE "X". NO PORTION OF THIS SITE (21.05 ACRES) IS WITHIN A DESIGNATED F.E.M.A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP NUMBER 08041 C07336, EFFECTIVE DATE, DECEMBER 7, 2016.

HANDICAP PARKING SPACE DESIGN CRITERIA:

1. RAMPS SHALL NOT BE PLACED IN HANDICAPPED ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE ADJOINING SIDEWALKS
2. ACCESS AISLES MAY NOT EXCEED A 2% SLOPE IN ANY DIRECTION
3. HANDICAPPED RAMPS MAY NOT EXCEED A SLOPE OF 8%
4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES
5. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL
6. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AN ADA CODE REQUIREMENTS
7. SIGNAGE IS REQUIRED FOR ACCESSIBLE SPACES AS SHOWN IN DETAIL, HOWEVER ONLY ONE SPACE NEEDS TO BE SIGNED AS VAN ACCESSIBLE.
8. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

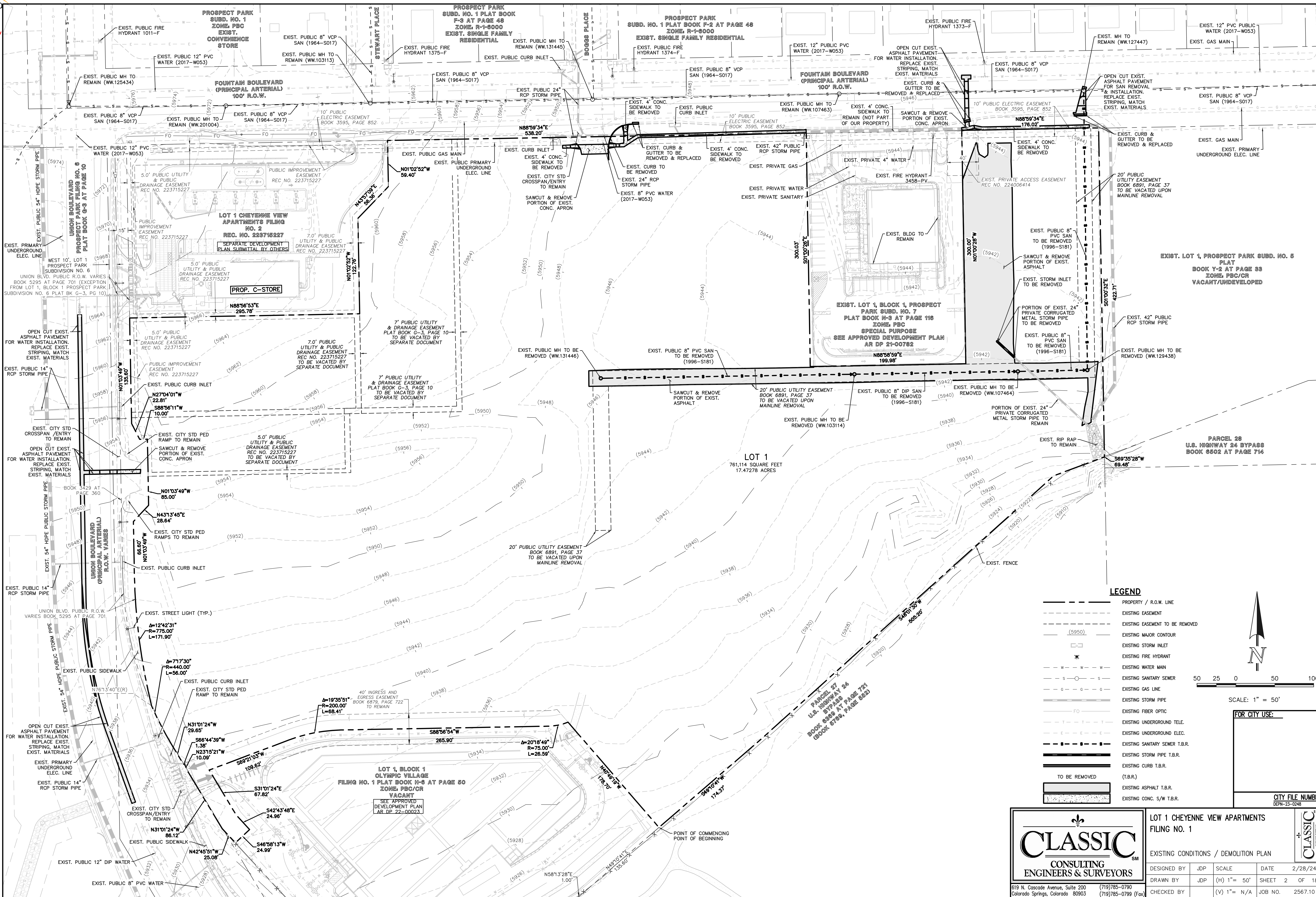
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799 (Fax)

LOT 1, CHEYENNE VIEW APARTMENTS
FILING NO. 1

TITLE SHEET

DESIGNED BY	JDP	SCALE	DATE	2/28/24
DRAWN BY	JDP	(H) 1"= N/A	SHEET	1 OF 18
CHECKED BY	(V) 1"= N/A	JOB NO.	2567.10	

CITY FILE NUMBER
DEPN-23-0248



LEGEND

- PROPERTY / R.O.W. LINE
- - - - - EXISTING EASEMENT
- - - - - EXISTING EASEMENT TO BE REMOVED
- (5950) EXISTING MAJOR CONTOUR
- EXISTING STORM INLET
- ⊙ EXISTING FIRE HYDRANT
- w — w — w — EXISTING WATER MAIN
- s — s — s — EXISTING SANITARY SEWER
- g — g — g — EXISTING GAS LINE
- FO — EXISTING STORM PIPE
- T — T — T — EXISTING FIBER OPTIC
- E — E — E — EXISTING UNDERGROUND TELE.
- E — E — E — EXISTING UNDERGROUND ELEC.
- S — S — S — EXISTING SANITARY SEWER T.B.R.
- S — S — S — EXISTING STORM PIPE T.B.R.
- S — S — S — EXISTING CURB T.B.R.
- S — S — S — EXISTING ASPHALT T.B.R.
- S — S — S — EXISTING CONC. S/W T.B.R.

TO BE REMOVED

50 25 0 50 100

SCALE: 1" = 50'

FOR CITY USE:

CITY FILE NUMBER
DEPN-23-0248

CLASSIC CONSULTING ENGINEERS & SURVEYORS

LOT 1 CHEYENNE VIEW APARTMENTS
FILING NO. 1

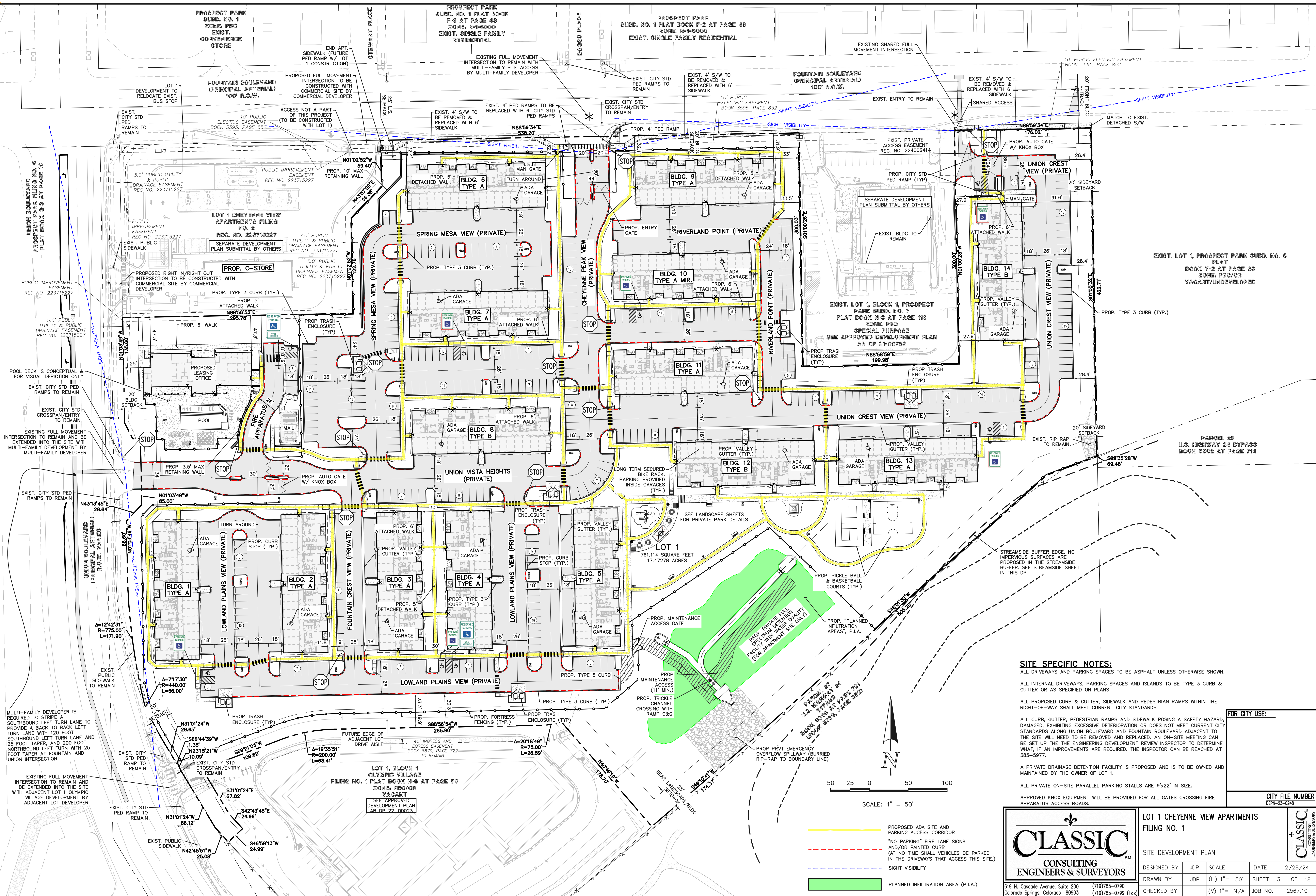
EXISTING CONDITIONS / DEMOLITION PLAN

DESIGNED BY	JDP	SCALE	DATE	2/28/24
DRAWN BY	JDP	(H) 1" = 50'	SHEET	2 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2567.10	

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

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SITE SPECIFIC NOTES:

- ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
- ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.
- ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE RIGHT-OF-WAY SHALL MEET CURRENT CITY STANDARDS.
- ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ALONG UNION BOULEVARD AND FOUNTAIN BOULEVARD ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 385-5977.
- A PRIVATE DRAINAGE DETENTION FACILITY IS PROPOSED AND IS TO BE OWNED AND MAINTAINED BY THE OWNER OF LOT 1.
- ALL PRIVATE ON-SITE PARALLEL PARKING STALLS ARE 9'x22' IN SIZE.
- APPROVED KNOX EQUIPMENT WILL BE PROVIDED FOR ALL GATES CROSSING FIRE APPARATUS ACCESS ROADS.

FOR CITY USE:

CITY FILE NUMBER
DEPN-23-0248

CLASSIC CONSULTING ENGINEERS & SURVEYORS

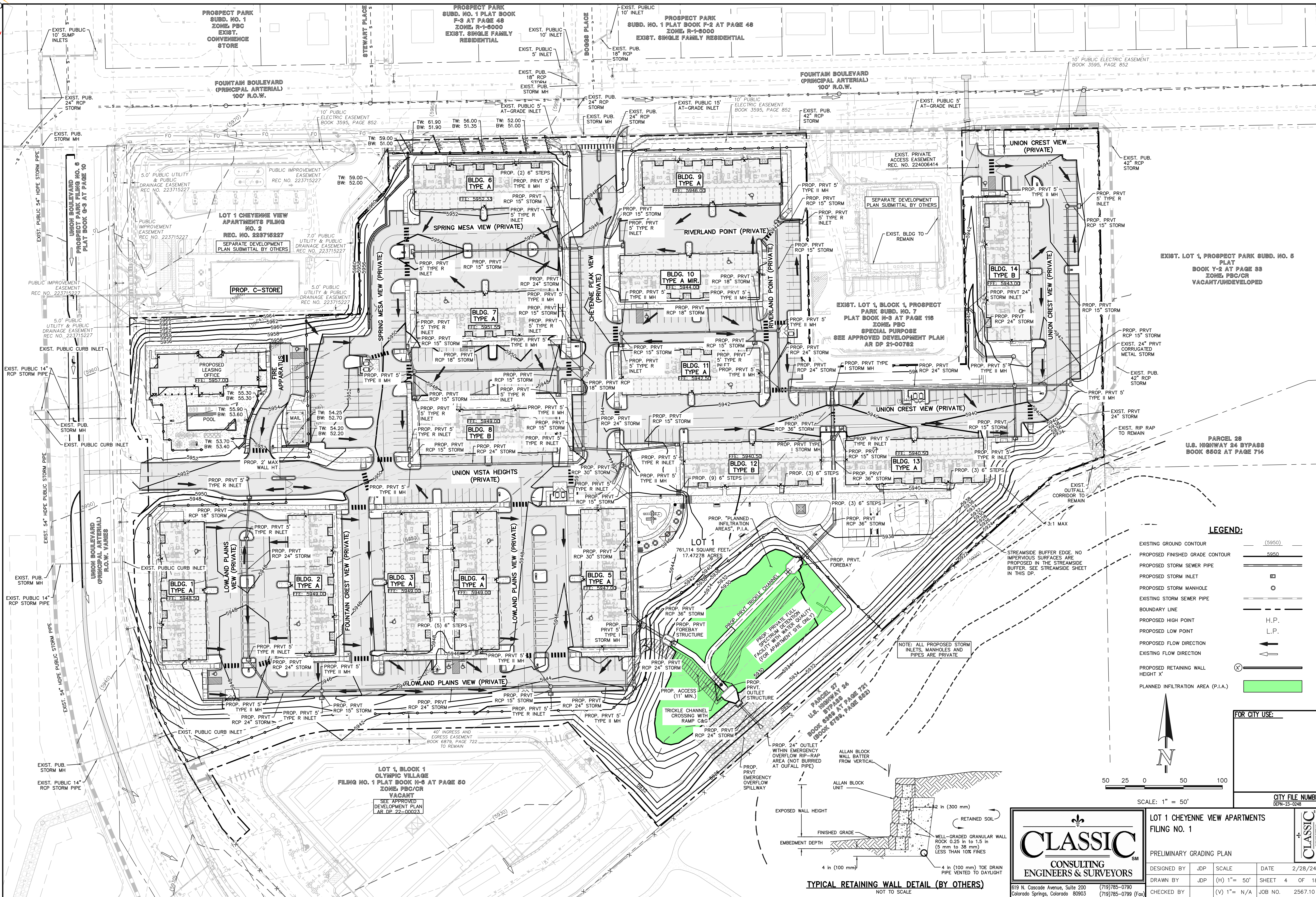
LOT 1 CHEYENNE VIEW APARTMENTS
FILING NO. 1

SITE DEVELOPMENT PLAN

DESIGNED BY	JDP	SCALE	DATE	2/28/24
DRAWN BY	JDP	(H) 1" = 50'	SHEET	3 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2567.10	

719-785-0790
719-785-0799 (Fax)

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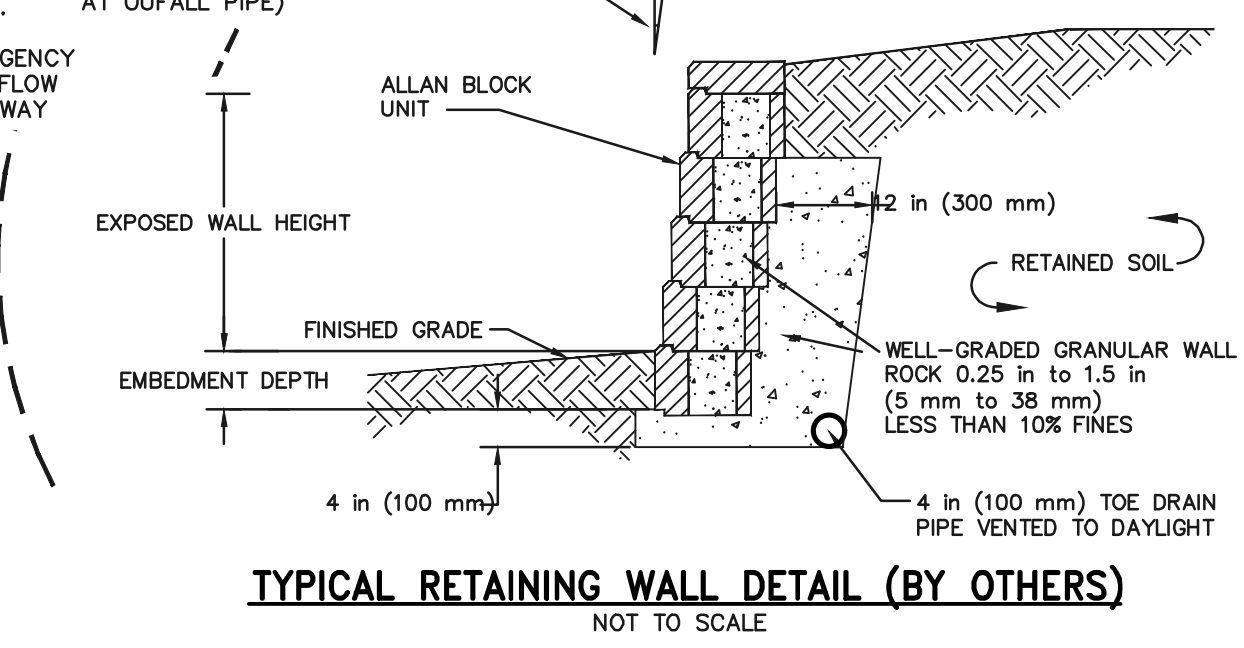
LEGEND:

- EXISTING GROUND CONTOUR (5950)
- PROPOSED FINISHED GRADE CONTOUR (5950)
- PROPOSED STORM SEWER PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM SEWER PIPE
- BOUNDARY LINE
- PROPOSED HIGH POINT (H.P.)
- PROPOSED LOW POINT (L.P.)
- PROPOSED FLOW DIRECTION
- EXISTING FLOW DIRECTION
- PROPOSED RETAINING WALL HEIGHT 'X'
- PLANNED INFILTRATION AREA (P.I.A.)

FOR CITY USE:

SCALE: 1" = 50'

CITY FILE NUMBER
DEPN-23-0248



CLASSIC CONSULTING ENGINEERS & SURVEYORS

LOT 1 CHEYENNE VIEW APARTMENTS
FILING NO. 1
PRELIMINARY GRADING PLAN

DESIGNED BY	JDP	SCALE	DATE	2/28/24
DRAWN BY	JDP	(H) 1" = 50'	SHEET	4 OF 18
CHECKED BY	(V) 1" = N/A	JOB NO.	2567.10	

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