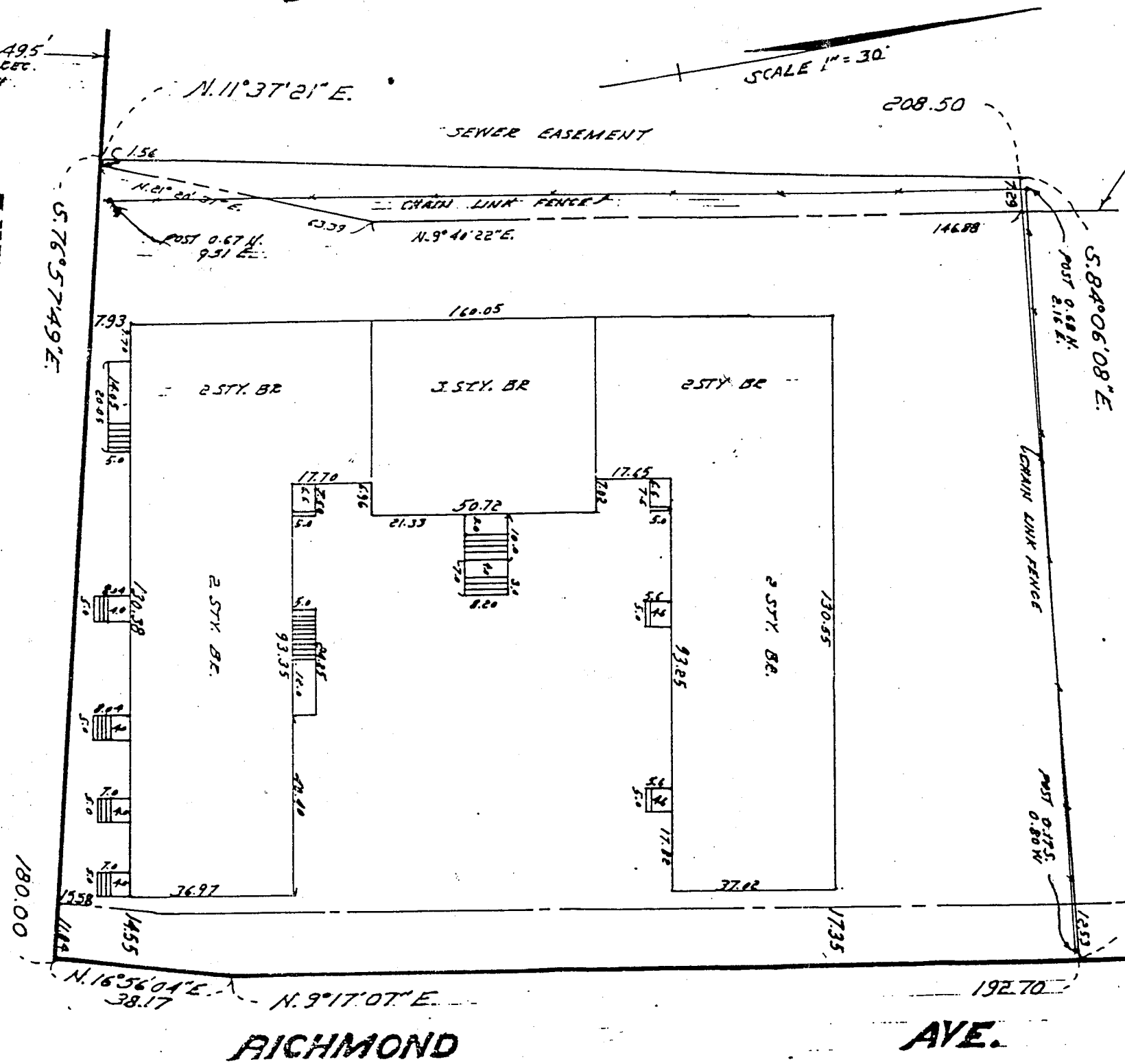


ADOPTED WIDENING LINE BY THE CITY OF NEW YORK AUG. 21, 1969  
 EASTERLY LINE OF 20' WIDE SEWER EASEMENT  
 TITLE VESTED TO THE CITY OF NEW YORK

80'  
 ADPTD. & DEC.  
 WIDTH

SCALE 1" = 30'



DIXON

AVE.

RICHMOND

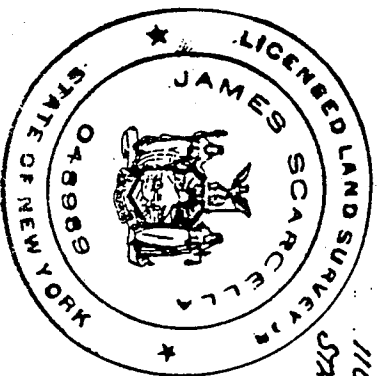
AVE.

CERTIFIED TO COLUMBIA SAVINGS AND LOAN ASSOCIATION

*James Scarpella*

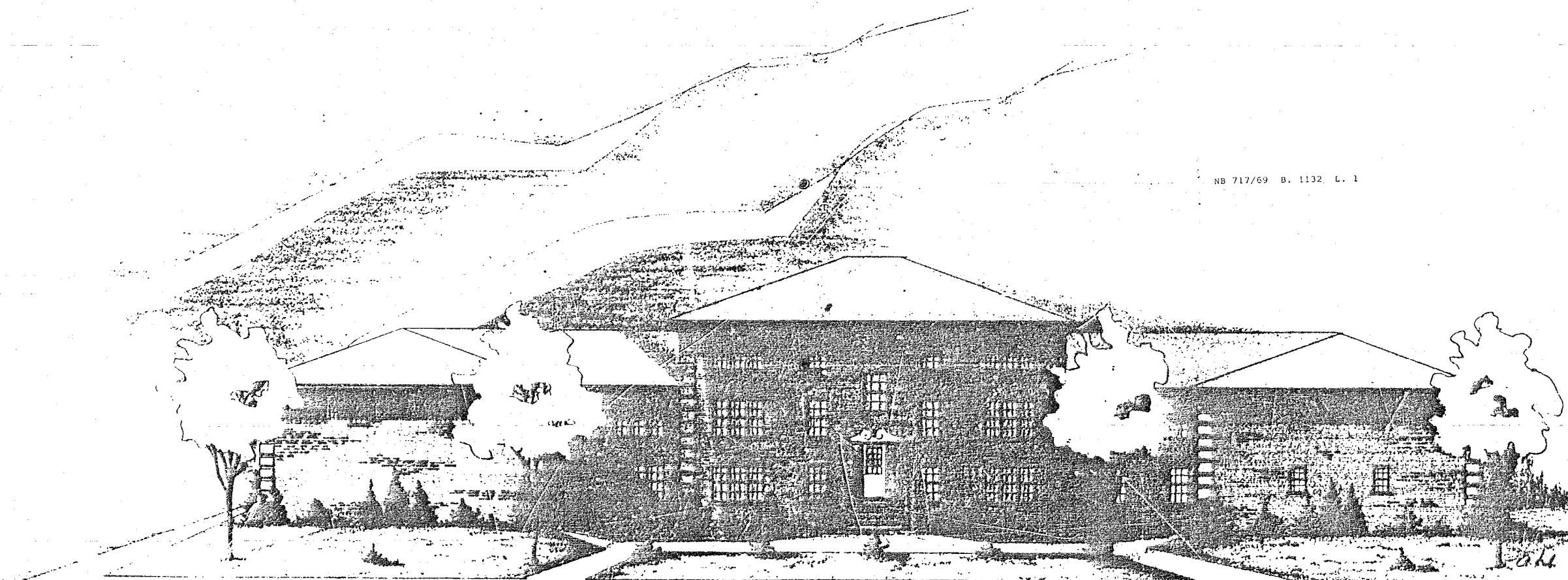
PORT RICHMOND  
 JULY 28, 1986  
 TAX LOT 1  
 BLOCK 1132

SURVEYED BY  
 JAMES SCARPELLA  
 110 WILLIAM AVE.  
 STATEN ISLAND, NY 10308  
*James Scarpella*



# THE EMERALD CREST GARDENS

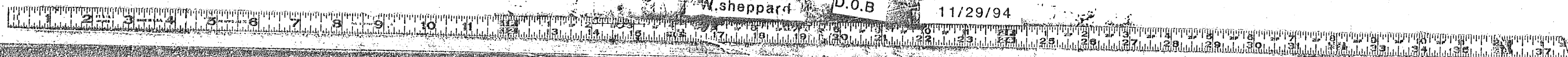
656 RICHMOND AVE., STATEN ISLAND, N.Y.



NO 717/69 B. 1132 L. 1

NO.	DATE	BRIENZA & DEVINO PROFESSIONAL ENGINEERS & ARCHITECTS 210 W. 42ND STREET, NEW YORK, N.Y.	
OWNER	JOEGL HOLDING CORP.		
LOCATION	RICHMOND AVE & TUXON AVE.		A-24
DATE	11/29/94		

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Bldg. Dept. Microfilm  
DR II



W. Sheppard

D.O.B.

11/29/94

DIXON AVE.

RICHMOND AVE.

**WADSWORTH BR 4B**

BLK # 1132  
LOT # 1

LOT AREA 39,531.3 SF

FLOOR AREA (MESSAGE)

FIRST FLOOR AREA 11,757.95 SF

SECOND FLOOR AREA 15,185.73 SF

THIRD FLOOR AREA 2,129.04 SF

TOTAL FLOOR AREA 29,072.72 SF

COMM. FACILITY FLOOR AREA (MESSAGE)

FLOOR AREA 1,448.38 SF

REQ. LOT AREA 7,241.9 SF

REMAINING LOT AREA FOR RES. = 2,290.4 SF

OPEN SPACE 3,253.14 - 15,185.73 = 26,345.57 SF

REQ. OPEN SPACE = 21,724.69 SF

FAR = 38.20% = 69.97% REQ. MIN. 15%

NSR = 26,345.57 = 97.03% REQ. MIN. 20%

NUMBER OF ROOMS & APIS

2 1/2 APTS @ 2 1/2 ROOMS = 10 ROOMS

20 1/2 RM @ 1/2 = 70 ROOMS

2 1/2 RM @ 1 1/2 = 40 ROOMS

TOTAL 41 APARTMENTS 142.5 ROOMS

LOT AREA PER ROOM = 38,936.8 / 142.5 = 273.21 SF REQ. MIN. 214 SF

PARKING REQUIREMENT PARKING SPACE PER APT = 2 SPACES

MIN. REQ. PARKING 82 SPACES PER 41 APTS

REQ. PARKING & PARKING AREA

21.41 PARKING SPACES @ 300 SF = 6,423 SF

ACTUAL = 40 PARKING SPACES @ 300 SF

ALLOWED ENCROACHMENT IN REQ. OPEN SPACE

21,724.69 - 21,724.69 = 0.00 SF

26,345.57 - 0.00 = 26,345.57 SF

10,820.84 - 4,023.88 = 6,796.96 SF (CALCULATED BY 1/2 IN OPEN SPACE)

REQ. LOT AREA AS PER 24-21 Z.O.C.  
REFERENCE: 1965 ZONING ORDINANCE, ART. 6, SEC. 24-21.1  
LESS: 1.5% OPEN SPACE = 7,241.9 SF  
LESS: 1.5% OPEN SPACE = 7,241.9 SF  
LESS: 1.5% OPEN SPACE = 7,241.9 SF  
TOTAL REQ. LOT AREA = 21,724.69 SF

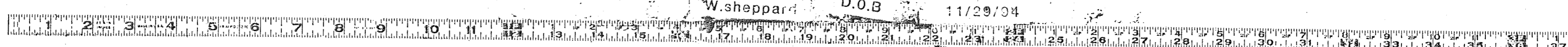
COMMUNITY FACILITY FLOOR AREA  
LINE AREA  
AS PER 24-21 Z.O.C. REQ. 1.5% OPEN SPACE  
COMMUNITY FACILITY FLOOR AREA = 1,448.38 SF  
REQ. 1.5% OPEN SPACE = 21,724.69 SF



BRIENZA & DEVINO	
REGISTERED ARCHITECT & ENGINEER	
21 W. CEDAR AVE., STAMFORD, CT 06907	
OWNER	JOHEL HOLDING COOP.
LOCATION	RICHMOND AVE & DIXON AVE
DATE	4/17/2004
SCALE	AS SHOWN
SHEET NO.	1 OF 17

QUALITY POOR

W. Sheppard D.O.B. 11/29/04



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1.0 GENERAL NOTES: The provisions of the Multiple Dwellings Act, 1962, the Multiple Dwellings Code and the Rules and Regulations of the Building Department shall apply.

1.1 FOUNDATION: The foundation shall be constructed with a unit stress (f) of 1500 psi for concrete and shall be designed to carry the full load of the structure. The foundation shall be constructed with a minimum of 12" diameter reinforcement bars. The foundation shall be constructed with a minimum of 12" diameter reinforcement bars. The foundation shall be constructed with a minimum of 12" diameter reinforcement bars.

1.2 CONCRETE: The concrete shall be of the strength specified on the drawings. The concrete shall be of the strength specified on the drawings. The concrete shall be of the strength specified on the drawings.

1.3 STEEL: The steel shall be of the grade specified on the drawings. The steel shall be of the grade specified on the drawings. The steel shall be of the grade specified on the drawings.

F. FLOORING: The floor shall be constructed with a minimum of 2" concrete. The floor shall be constructed with a minimum of 2" concrete. The floor shall be constructed with a minimum of 2" concrete.

G. GAS PIPING: The gas piping shall be of the grade specified on the drawings. The gas piping shall be of the grade specified on the drawings. The gas piping shall be of the grade specified on the drawings.

H. STAIRS: The stairs shall be constructed with a minimum of 2" concrete. The stairs shall be constructed with a minimum of 2" concrete. The stairs shall be constructed with a minimum of 2" concrete.

I. VENTILATION: The ventilation shall be constructed with a minimum of 2" concrete. The ventilation shall be constructed with a minimum of 2" concrete. The ventilation shall be constructed with a minimum of 2" concrete.

J. FIRE STOPPING: The fire stopping shall be constructed with a minimum of 2" concrete. The fire stopping shall be constructed with a minimum of 2" concrete. The fire stopping shall be constructed with a minimum of 2" concrete.

2.0 INTERIOR FINISHES:

1. Public Halls: (a) every public hall shall be equipped with a minimum of 100 sq. ft. of floor area. (b) provide 1/2" sheetrock fire code #50 in entire public hall ceiling and stud partitions both sides and extend 1' under side of roof sheathing as per Sec. 26-19.3. (c) provide artificial lighting at each landing, one 40 watt bulb as req. per Sec. 19 sub. 1 and 26-19.3. (d) provide one 50 watt light at each entrance door, connected to the public hall circuit; see 25, 26 and 26-19.3. (e) Provide bells and callboxes (See 27 MCL). (f) Doors from the street to the public hall to have a min. of five sq. ft. of glass at each door. (See 25 MCL). (g) Provide floor general signs on all floors, each sign to be 4" high and 6" wide above the finished floor as per Sec 26-21. (h) Provide window in each public hall as per Sec 26 MCL.

2. Bathrooms and Lavatories: (a) Bathrooms and lavatories shall have ceramic tile floors and 4" high wall coverings; wallcovering at the bathtub and stall shower to be 5' 8" high. Wallcovering to comply with Sec 4 MCL.

3. Cellar: (a) The entire cellar ceiling to be fireproofed with 1/2" sheetrock fire code #50; cellar walls and ceiling to be painted white as per Sec. 26-4 MCL. (b) The boiler room shall be enclosed with 1" solid concrete block walls and 1 hour FRP dr & jamb entire ceiling covered with 5/8" P.C. #60. (c) Provide central heat and hot water system as per Sec 26-10, if applicable. Boilers and furnaces to comply with Sec 26-69.3. (d) Laundry room shall be for the tenants' use only; sufficient light will be provided and shall be kept burning continuously day and night as per Sec 26-70.3 MCL.

K. WINDOWS: The windows shall be constructed with a minimum of 2" concrete. The windows shall be constructed with a minimum of 2" concrete. The windows shall be constructed with a minimum of 2" concrete.

L. ROOFS: The roofs shall be constructed with a minimum of 2" concrete. The roofs shall be constructed with a minimum of 2" concrete. The roofs shall be constructed with a minimum of 2" concrete.

M. SIGNAGE: The signage shall be constructed with a minimum of 2" concrete. The signage shall be constructed with a minimum of 2" concrete. The signage shall be constructed with a minimum of 2" concrete.

**DOOR SCHEDULE**

NO.	SIZE	TYPE	MATERIAL	FINISH	MARKING	REMARKS
1	3'-0" x 7'-0"	SWING	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
2	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
3	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
4	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
5	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
6	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
7	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
8	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
9	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
10	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	

**WINDOW SCHEDULE**

NO.	SIZE	TYPE	MATERIAL	FINISH	MARKING	REMARKS
1	3'-0" x 7'-0"	SWING	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
2	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
3	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
4	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
5	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
6	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
7	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
8	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
9	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	
10	3'-0" x 7'-0"	GLASS	1" SOLID CONCRETE BLOCK	PAINTED WHITE	NO MARKING	

**WALL SCHEDULE**

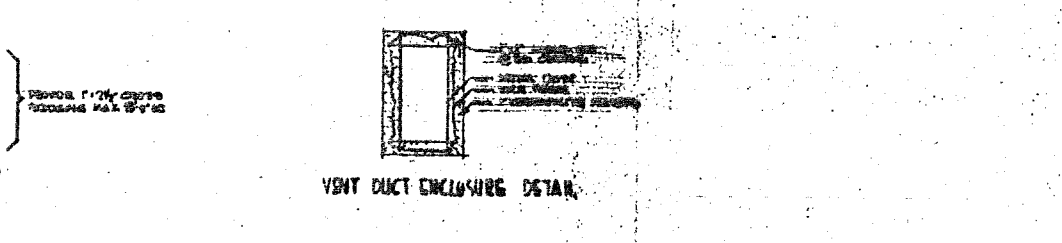
NO.	TYPE	REMARKS
1	1" SOLID CONCRETE BLOCK	
2	1" SOLID CONCRETE BLOCK	
3	1" SOLID CONCRETE BLOCK	
4	1" SOLID CONCRETE BLOCK	
5	1" SOLID CONCRETE BLOCK	

**WOOD FINISH SCHEDULE**

NO.	TYPE	REMARKS
1	1" SOLID CONCRETE BLOCK	
2	1" SOLID CONCRETE BLOCK	
3	1" SOLID CONCRETE BLOCK	
4	1" SOLID CONCRETE BLOCK	
5	1" SOLID CONCRETE BLOCK	

**SYMBOLS DESIGNATION**

SYMBOL	DESIGNATION
[Symbol]	CONCRETE
[Symbol]	BRICK
[Symbol]	WOOD
[Symbol]	GLASS
[Symbol]	STEEL
[Symbol]	ROOF
[Symbol]	CEILING
[Symbol]	FLOOR
[Symbol]	WALL
[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	VENT DUCT



**BRIENZA & DE VINO**  
 ARCHITECTS  
 11 W. COOK STREET, CHICAGO, ILL. 60601

OWNER: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

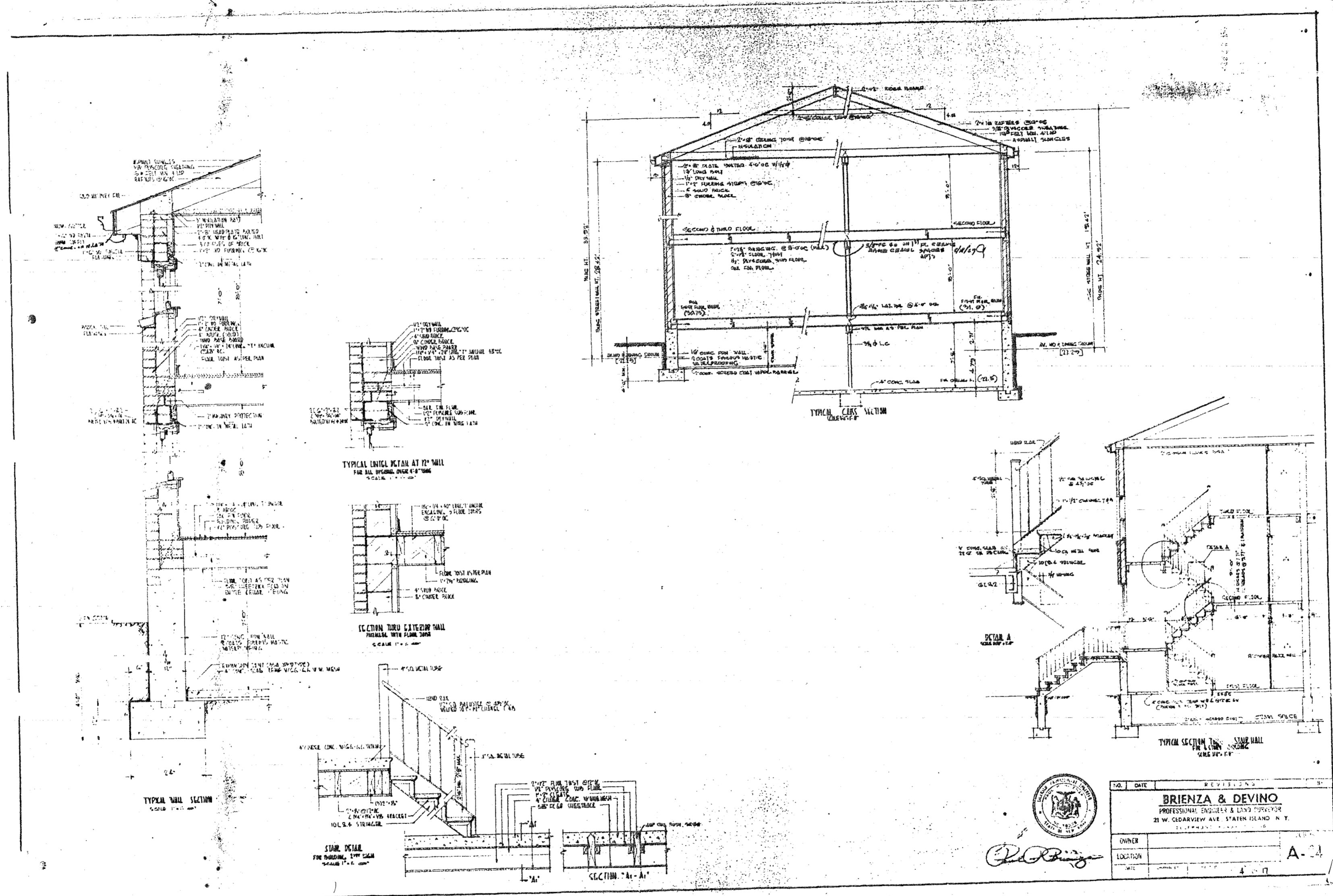
DATE: 11/29/94

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NO.	DATE	REVISION
1		

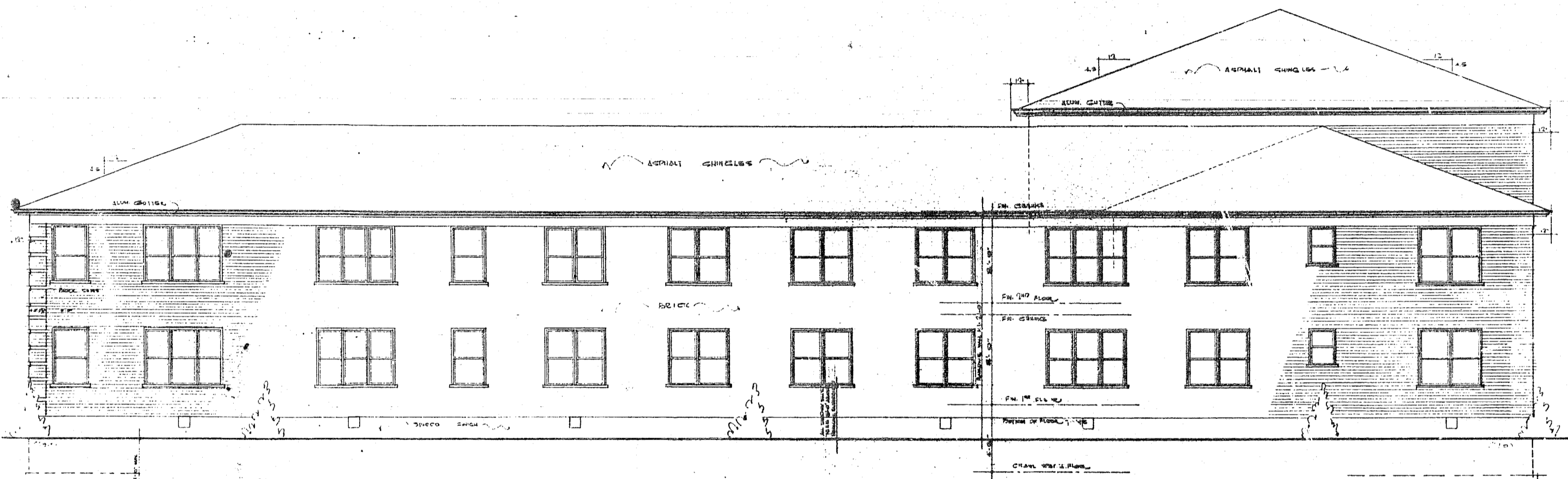
**BRIENZA & DEVINO**  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
21 W. CEDARVIEW AVE. STATEN ISLAND, N.Y.

OWNER: \_\_\_\_\_  
LOCATION: \_\_\_\_\_

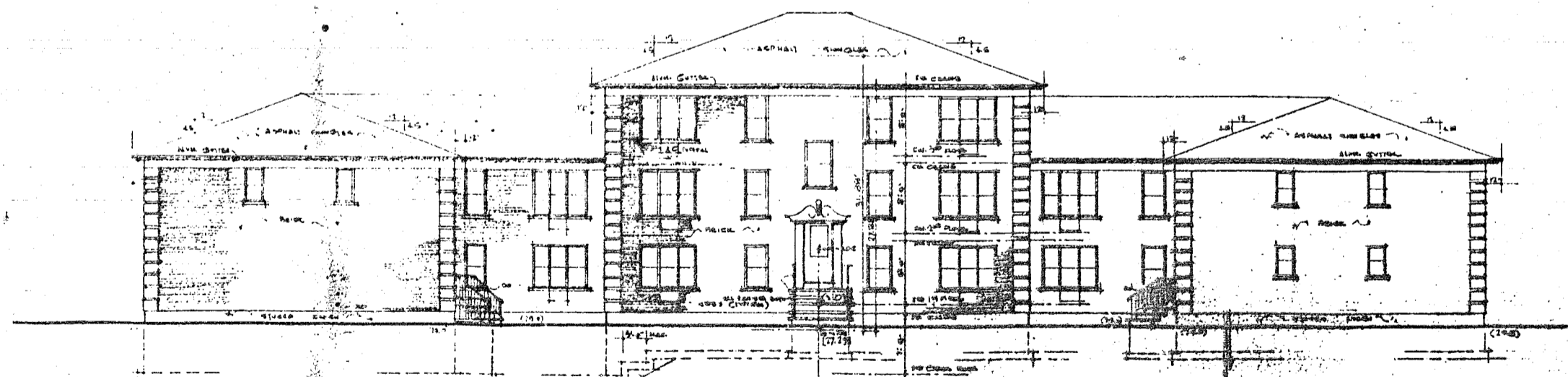
A-1

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- RIGHT SIDE ELEVATION -  
SCALE 1/8" = 1'-0"

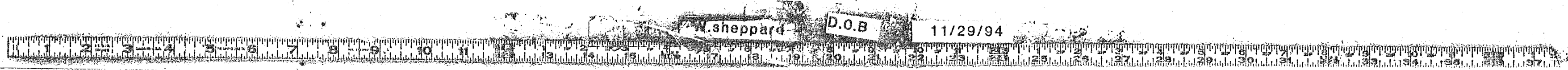


- FRONT ELEVATION -  
SCALE 1/8" = 1'-0"



NO.	DATE	REVISED
<b>BRIENZA &amp; DEVINO</b>		
PROPERTY: 1 BUREAU & 2ND STORY 21 W. CLEVELAND AVE. STATEN ISLAND		
OWNER	708R. HOLDING CORP.	
LOCATION	RICHMOND AVE & DIXON AVE	
DATE	5/11	A-24

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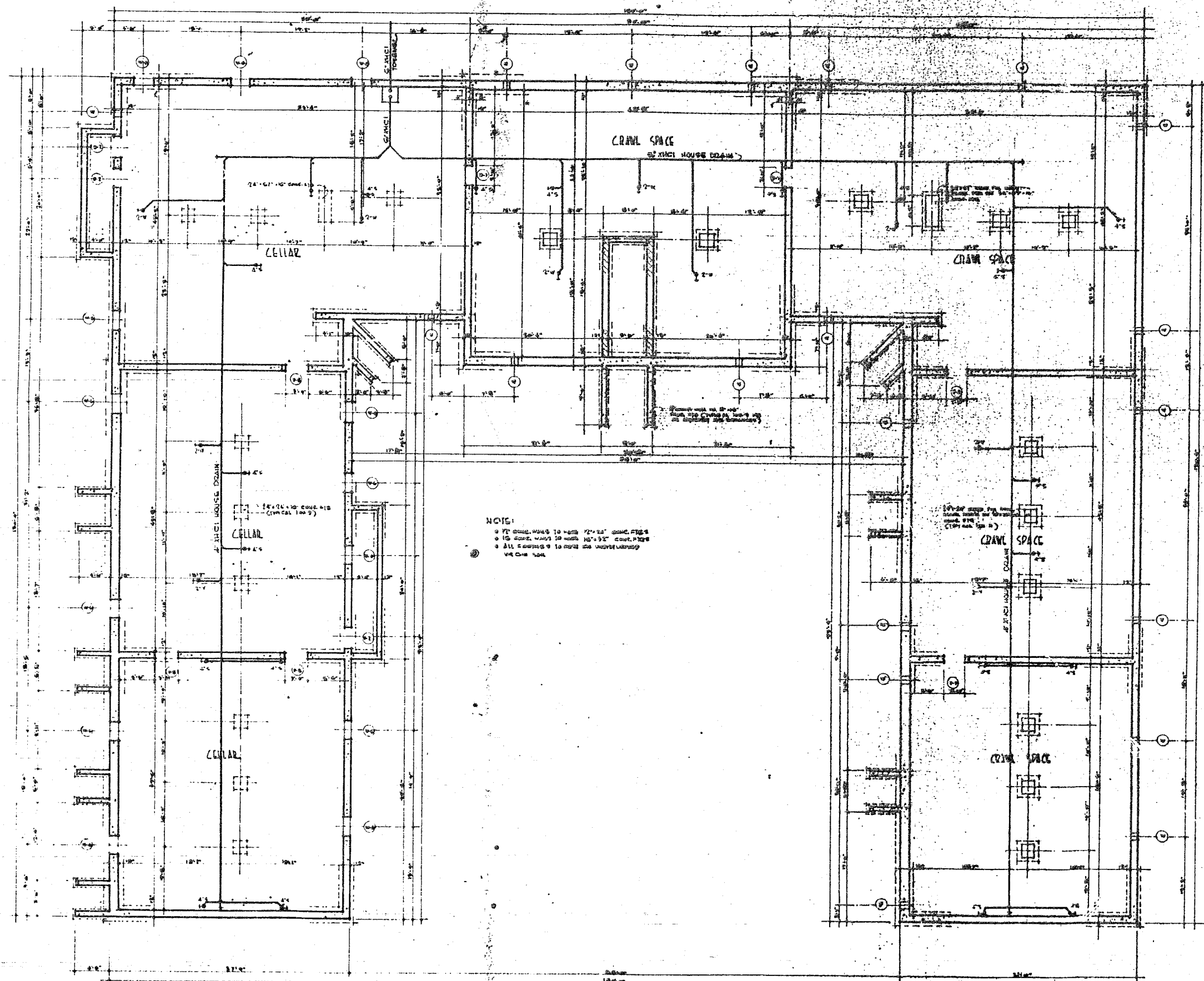
W. Sheppard D.O.B 11/29/94

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NOTES:  
 1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED  
 2. ALL CONCRETE TO BE CAST AND FINISHED TO THE FINISH LINE  
 3. ALL REINFORCEMENT TO BE CAST AND FINISHED TO THE FINISH LINE

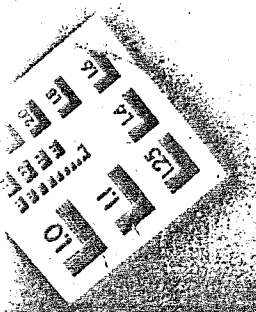
- FOUNDATION PLAN -



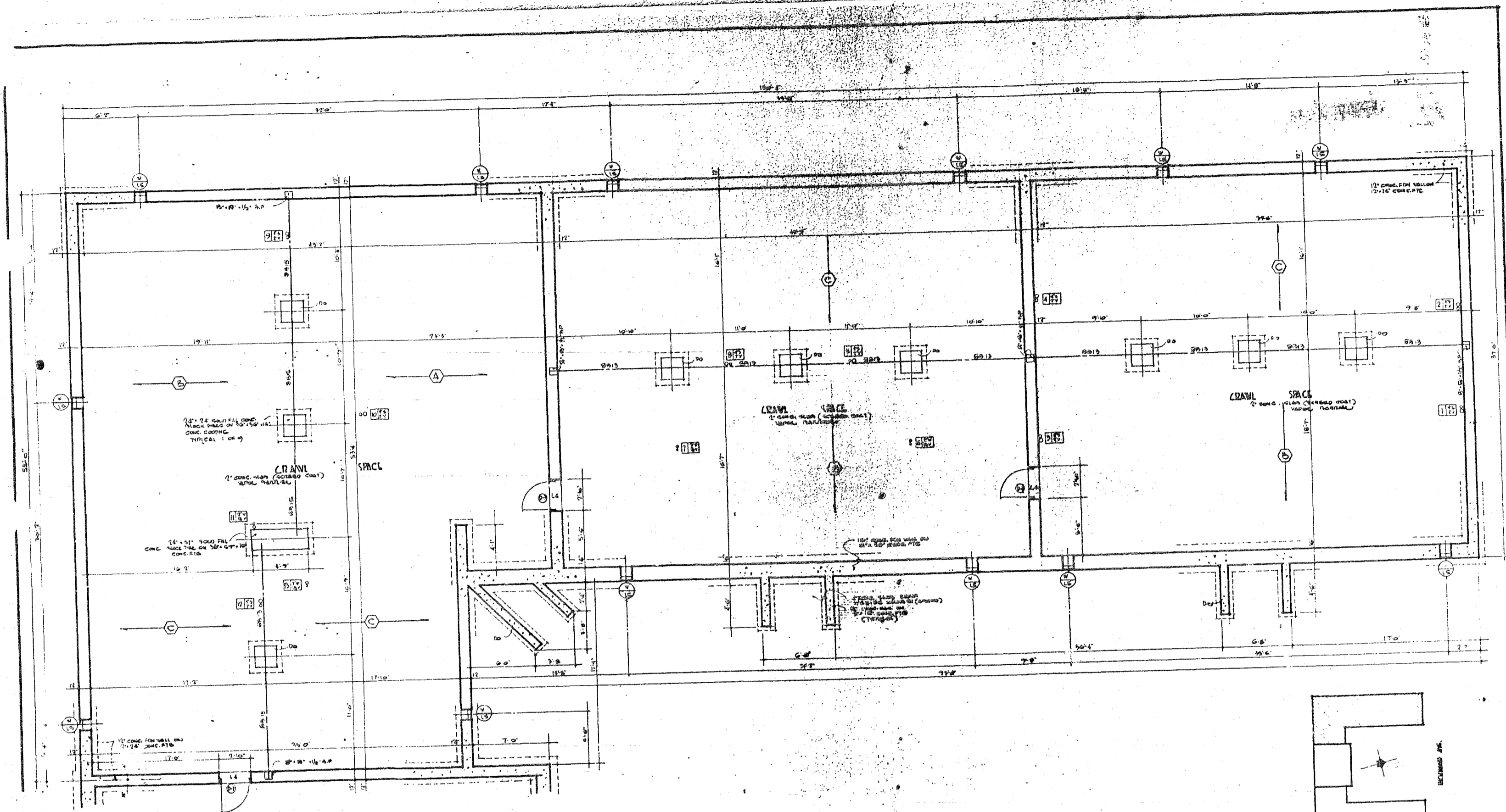
*Brienza & Devino*

DATE	REVISION	BY
<b>BRIENZA &amp; DEVINO</b> PROFESSIONAL ENGINEER & LAND SURVEYOR 21 W. CEDARVIEW AVE., STATEN ISLAND, N.Y. TELEPHONE 366-2121		
OWNER	JOB NO.	JOB NO.
LOCATION	RICHMOND AVE. & 51ST AVENUE	A-24
DATE	SCALE	DATE
11/29/94	AS SHOWN	11/29/94

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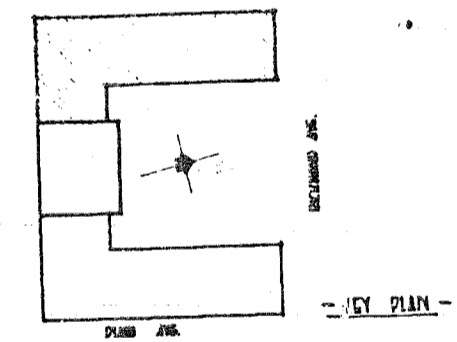
sheppard D.O.B 11/29/94



SYMBOLS DESIGNATION

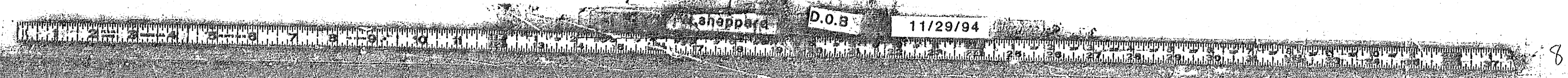
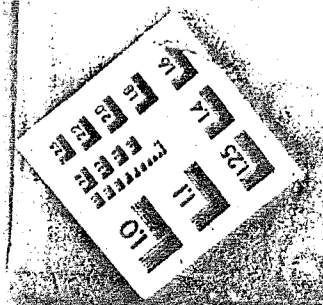
(A)	2nd FLOOR WALL @ 12" O.C.	FOUNDATION WALL CONSTRUCTION SEE D.O.B.
(B)	2nd FLOOR WALL @ 16" O.C.	
(C)	2nd FLOOR WALL @ 20" O.C.	

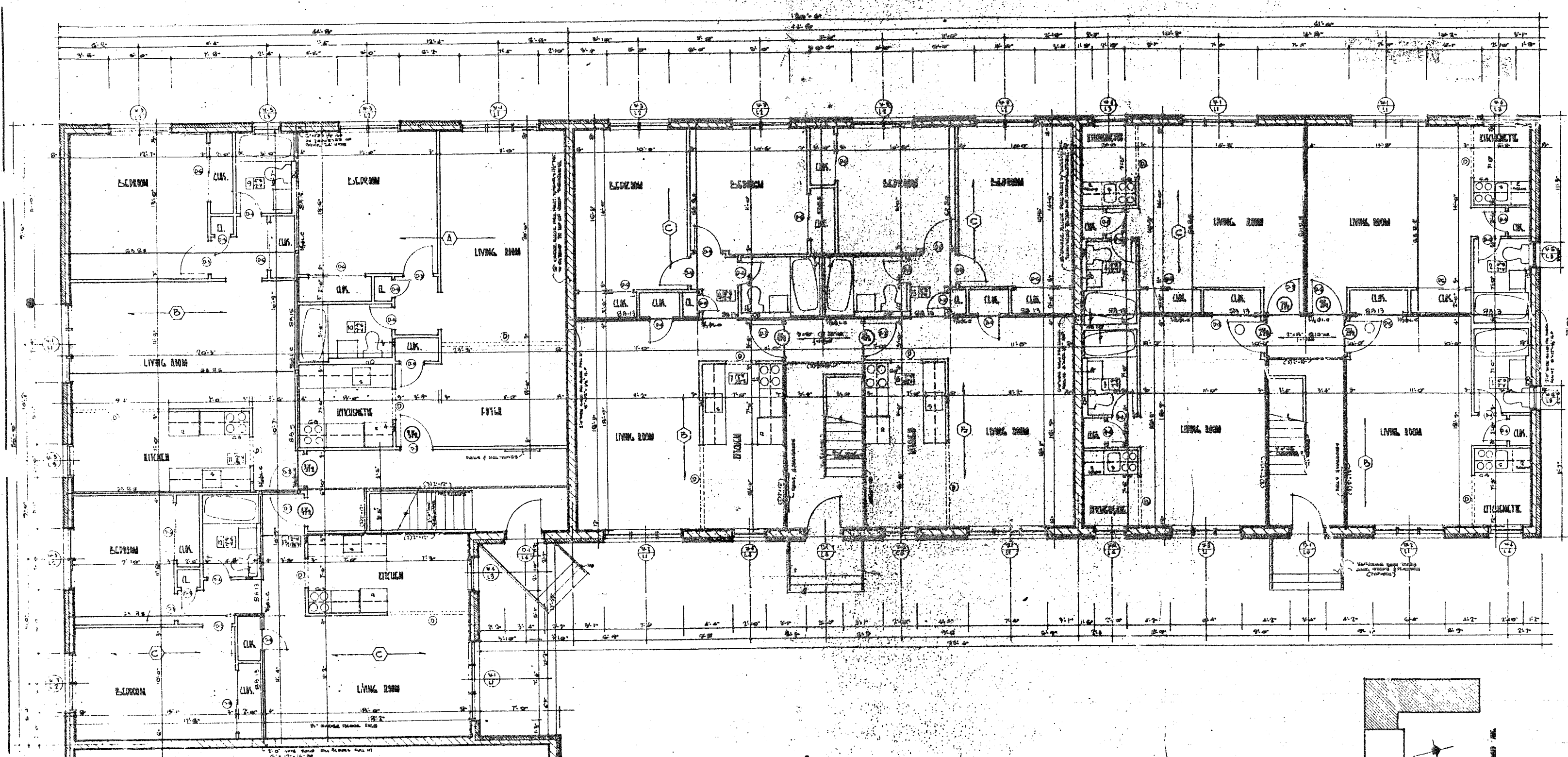
- FOUNDATION & CRAWL SPACE PLAN -



DATE	11/29/94	JOB NO.	A-24
BRIANZA & DEVINO PROFESSIONAL ENGINEERS 21 W. CEDAR ST. 11TH FLOOR NEW YORK, N.Y. 10038			
OWNER	TOPAL HOLDING CORP.		
LOCATION	RICHMOND AVE & 124th ST.		
ARCHITECT	KLING STUBBINS		

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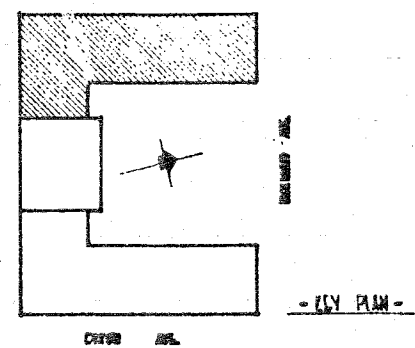




SYMBOLS DESIGNATION

- (A) 2" x 4" STUDS @ 16" O.C.
- (B) 2" x 6" STUDS @ 16" O.C.
- (C) 2" x 8" STUDS @ 16" O.C.

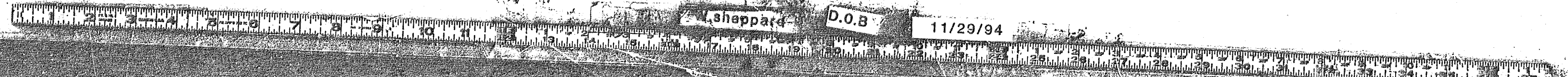
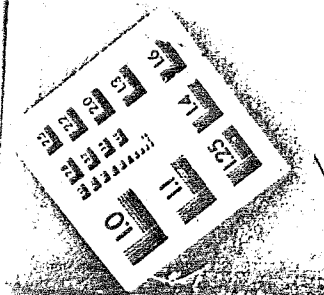
- FIRST FLOOR PLAN -

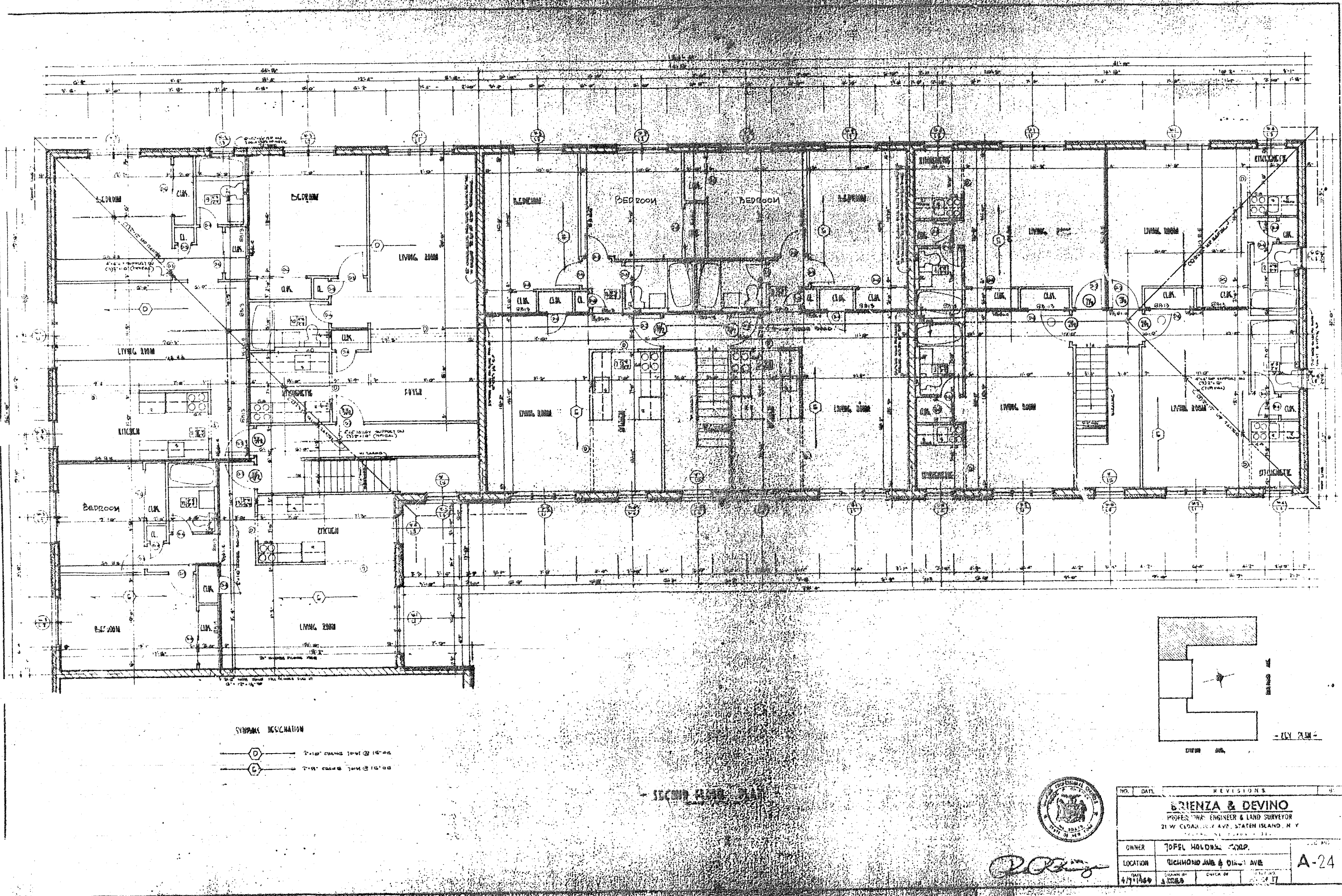


*Roby*

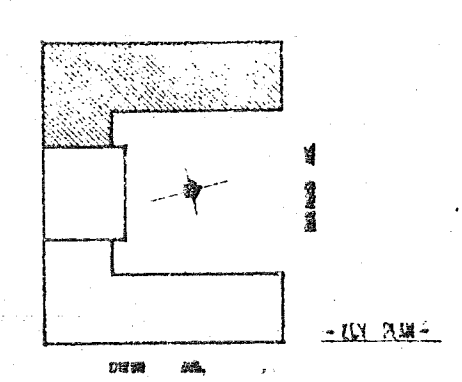
NO.	DATE	REVISIONS	BY
<b>BRIENZA &amp; DEVINO</b> PROFESSIONAL ENGINEER & LAND SURVEYOR 21 W. CEDARVIEW AVE., STATEN ISLAND, N. Y.			
OWNER	70 FBL HOLDING CORP.		JOB NO.
LOCATION	LICHMOND AVE. & DUNAM ANN.		A-24
DATE	4/7/1989	CHECK BY	2 OF 11

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SYMBOLS DESIGNATION  
 ○ 2'-0" CASES 10'0" @ 15'-0"  
 ⊙ 2'-0" CASES 10'0" @ 15'-0"



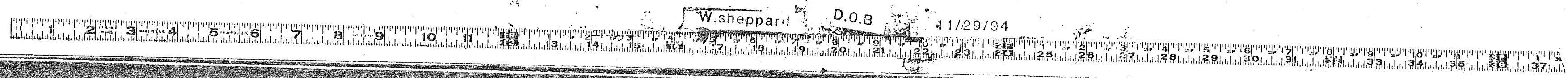
REVISIONS	
NO.	DATE
<b>BRIENZA &amp; DEVINO</b>	
PROFES. ENG. & LAND SURVEYOR	
21 W. CLIFTON AVE. 4th FL. STAMEN ISLAND, N. Y.	
OWNER	TOPSEL HOLDINGS CORP.
LOCATION	RICHMOND AVE. & 101st AVE.
DATE	4/7/1999
SCALE	AS SHOWN
NO.	17

*Handwritten signature or initials.*

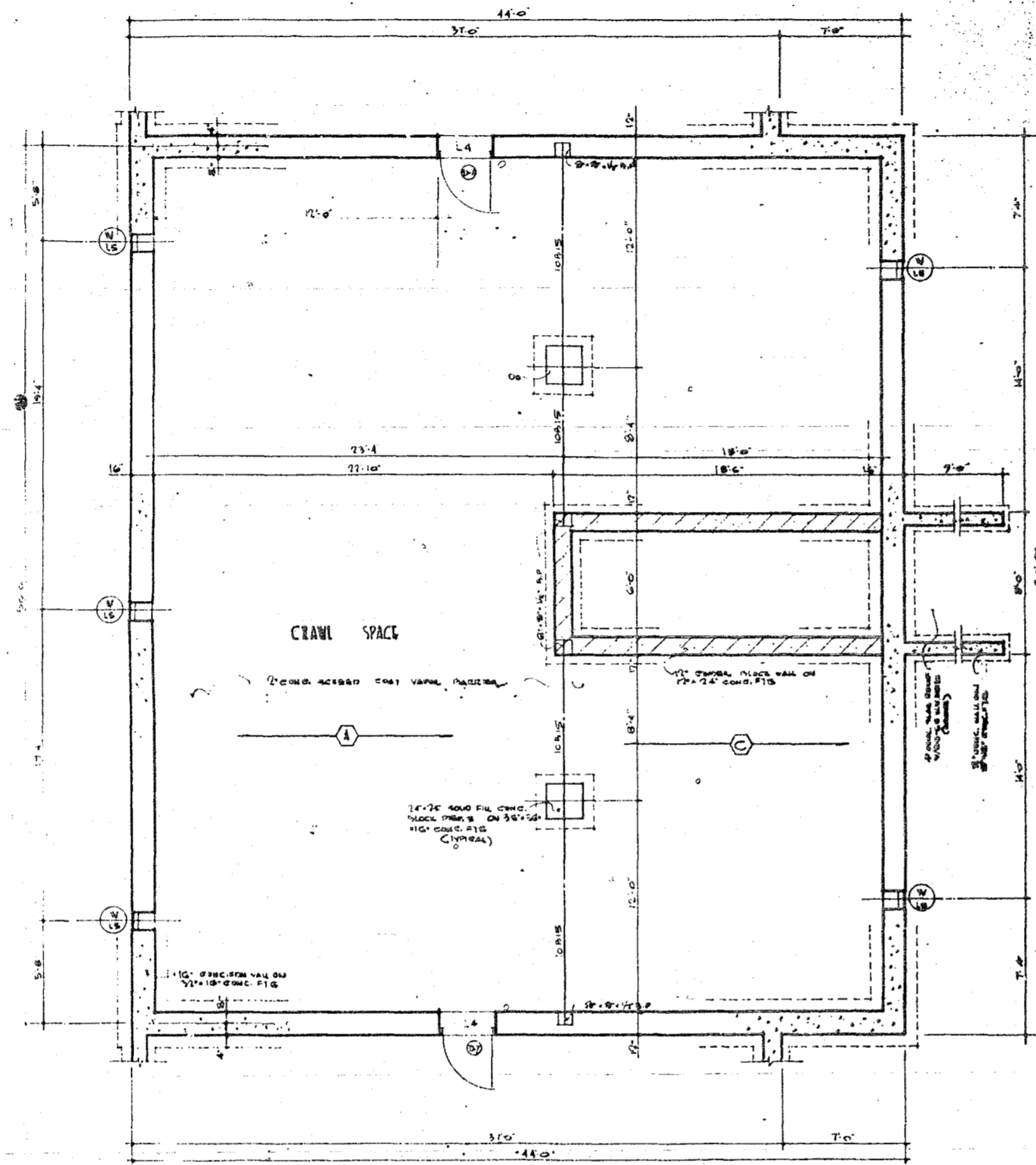
QUALITY POOR

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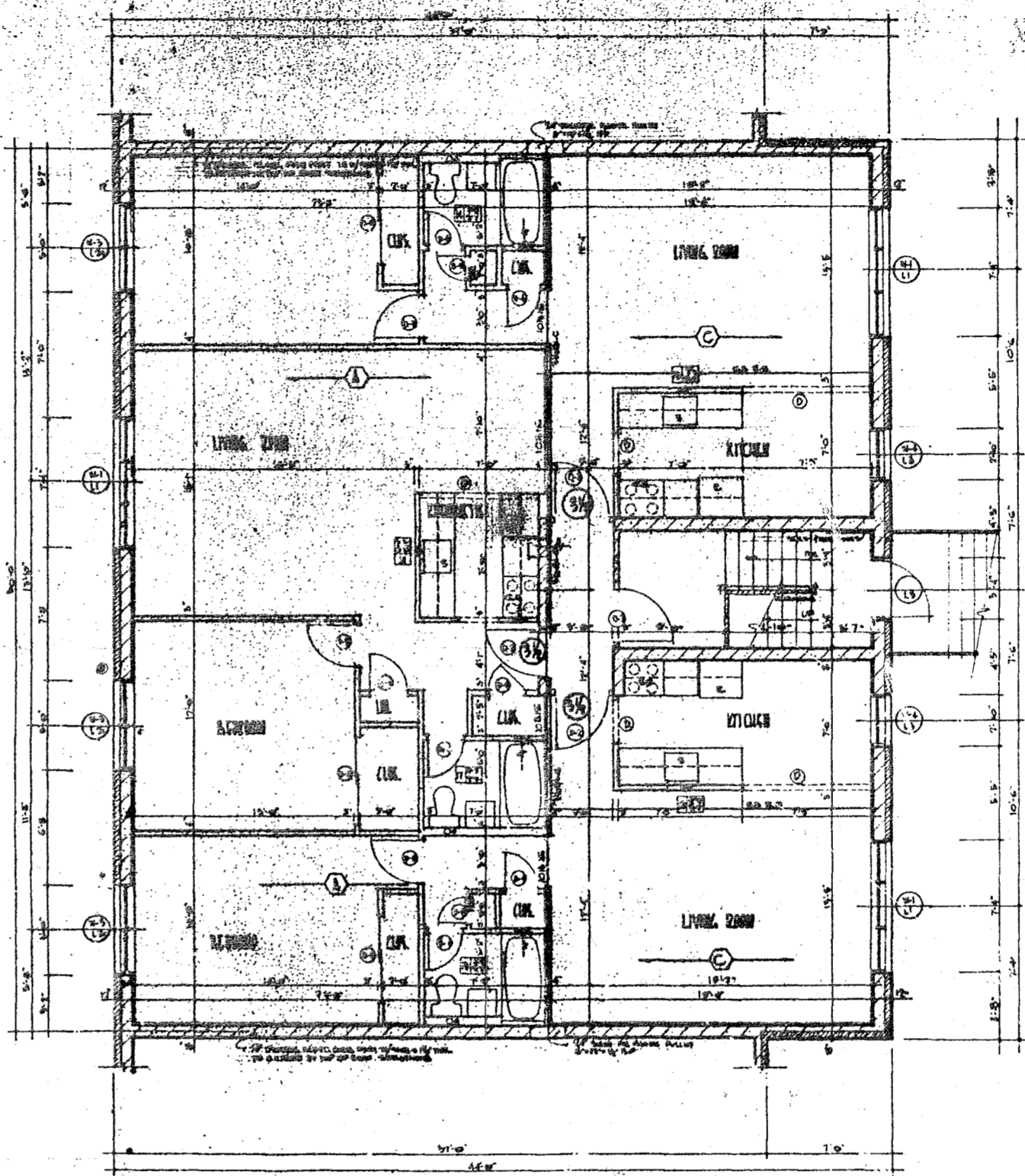
W. Sheppard D.O.B. 11/29/94



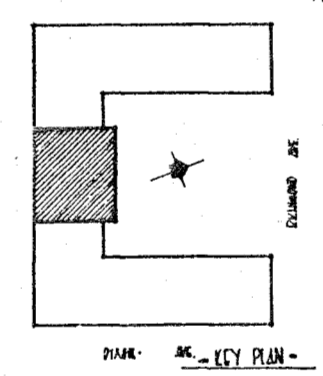
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- FOUNDATION & CRAWL SPACE PLAN -  
SCALE 1/4" = 1'-0"



- FIRST FLOOR PLAN -  
SCALE 1/4" = 1'-0"



*Brianza & Devino*

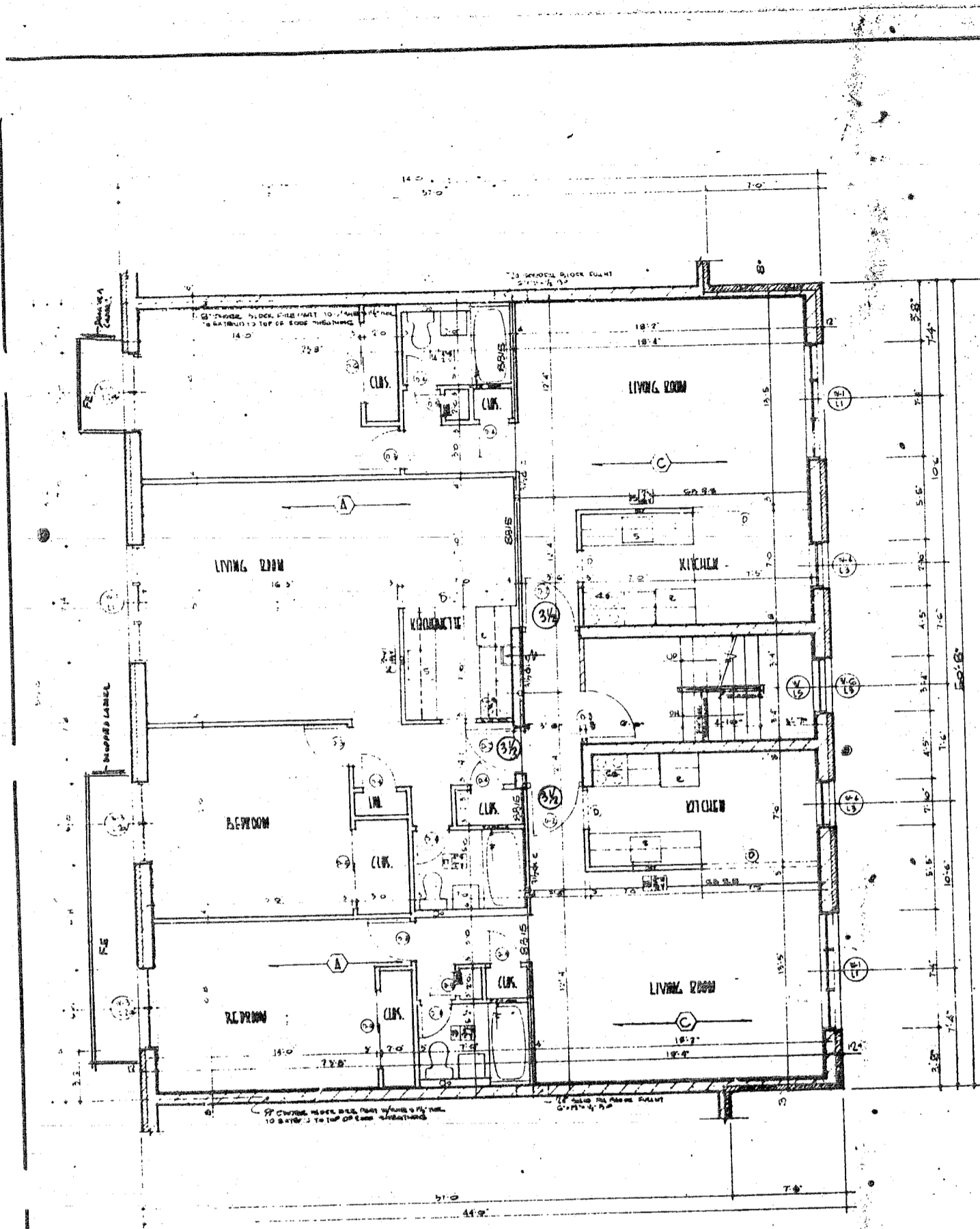
NO. DATE		PROJECT NO.	
<b>BRIANZA &amp; DEVINO</b>			
PROFESSIONAL ENGINEERS & LAND SURVEYORS			
21 W. CEDAR ST. 14TH FLOOR NEW YORK, N.Y. 10038			
OWNER	TOPSEL HOLDING CORP.	PROJECT NO.	
LOCATION	RICHMOND AVE & DIXON AVE	DATE	11/29/94
DATE	11/29/94	SCALE	AS SHOWN
			A-24

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DR II

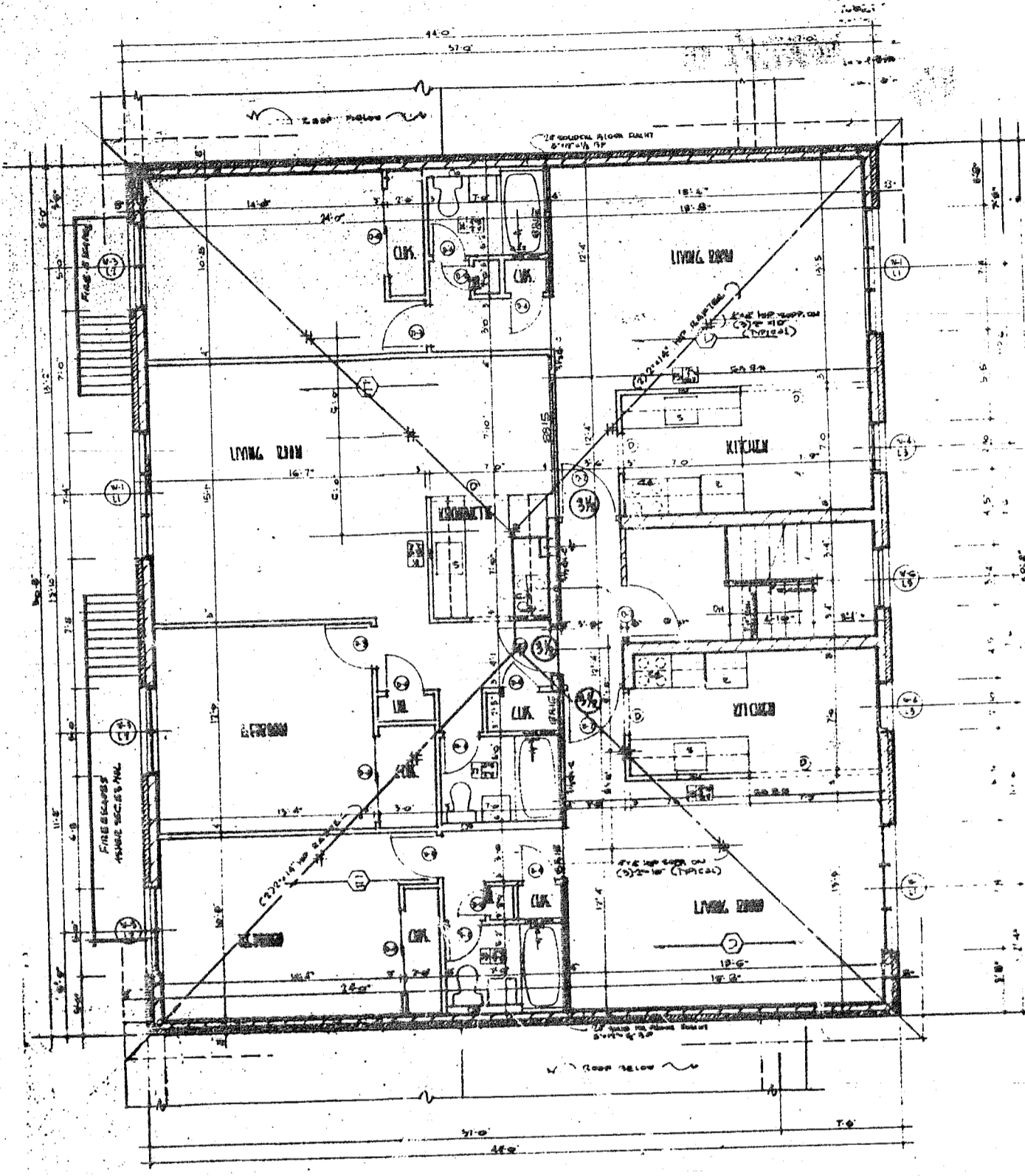
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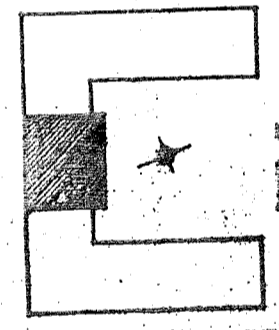
K. Sheppard D.O.B. 11/29/94



- SECOND FLOOR PLAN -  
SCALE 1/8" = 1'-0"



- THIRD FLOOR PLAN -  
SCALE 1/8" = 1'-0"

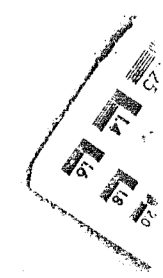


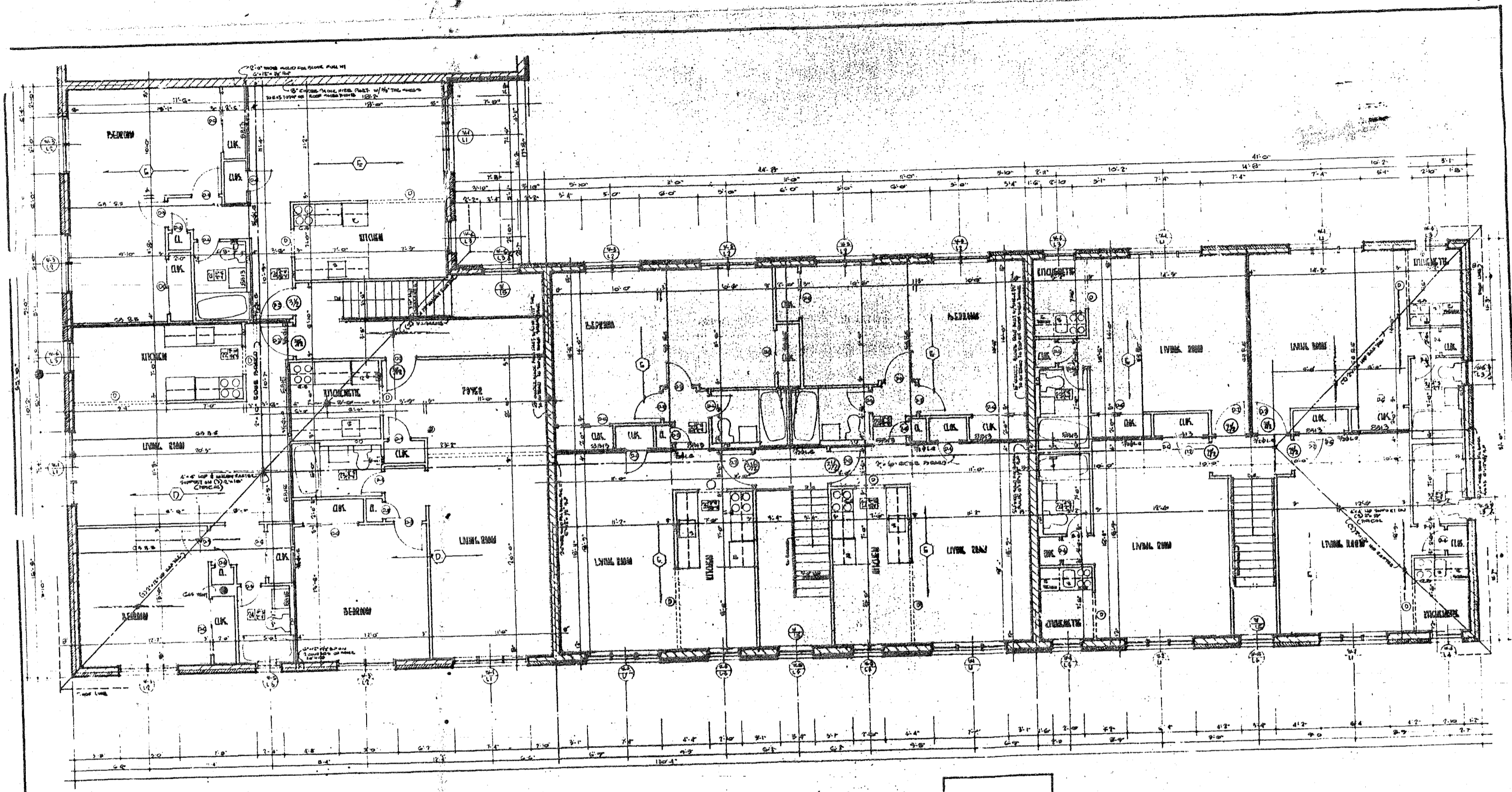
DATE	11/29/94
<b>BRIENZA &amp; DEVINO</b>	
PROFESSIONAL ENGINEERS & ARCHITECTS	
200 W. COCHRAN AVE. FAYETTEVILLE, AR 72701	
OWNER	70 FEL HOLDING CORP.
LOCATION	RICHMOND AVE. & 94TH AVE.
NO.	471-499
DATE	12 7

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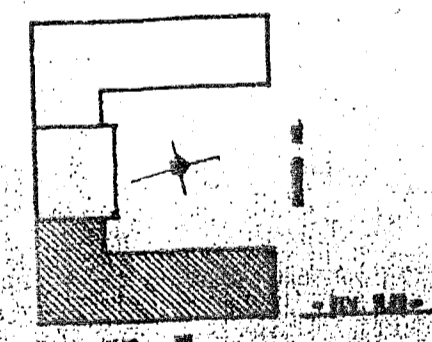


W. Sheppard D.O.B. 11/29/94

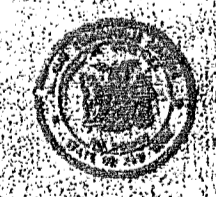




SYMBOLS NOTATION  
 (D) 2" x 4" CRANE TRAIL @ 4'-0" ON CENTER  
 (C) 2" x 4" CRANE TRAIL @ 8'-0" ON CENTER



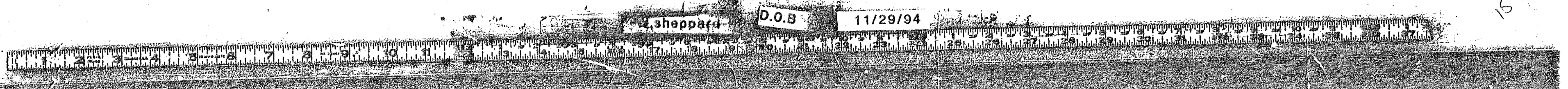
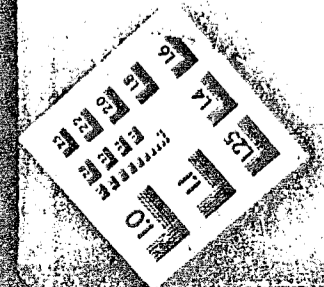
SECOND FLOOR PLAN



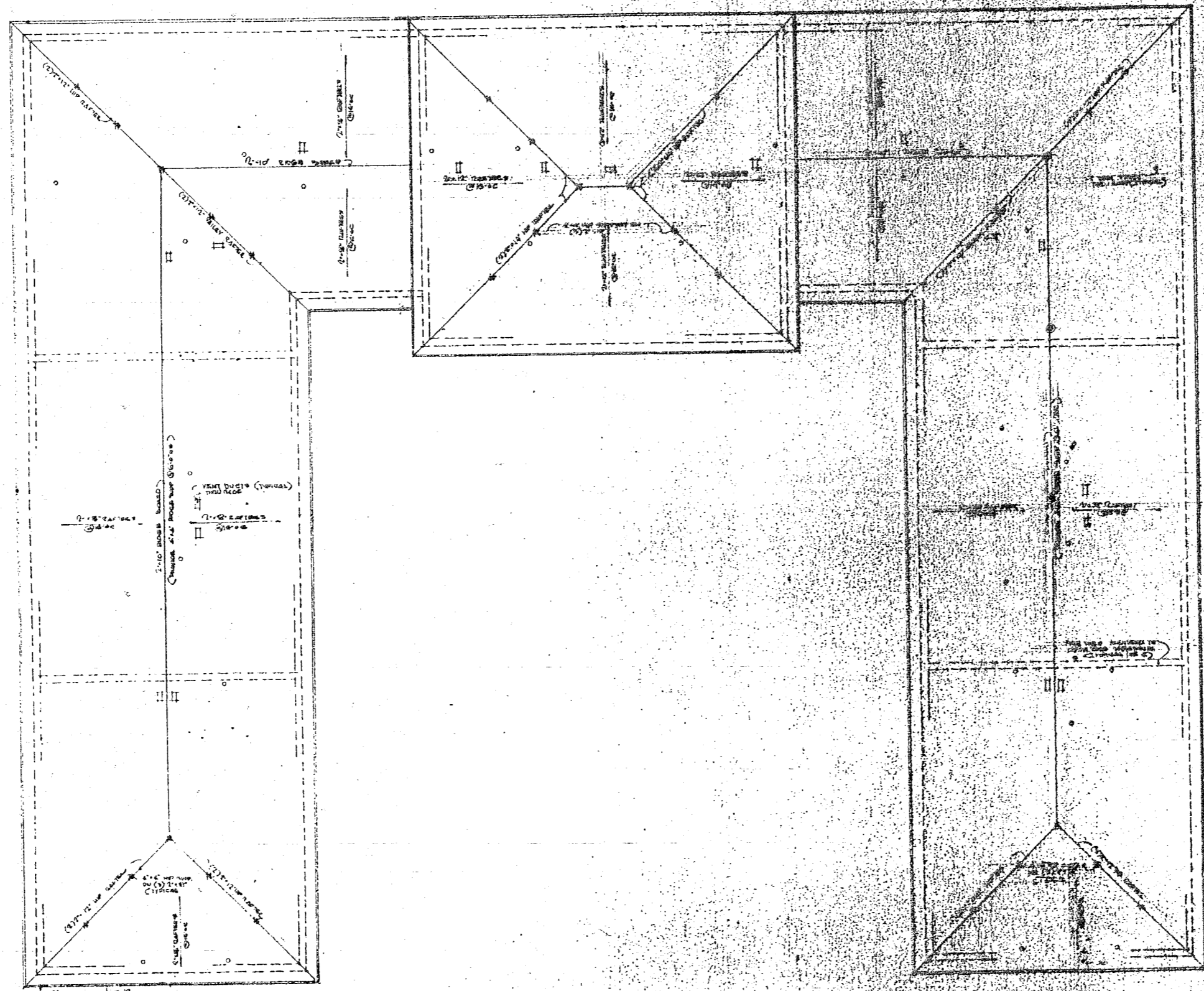
BRUNO A. DEVINO	
PROFESSIONAL ARCHITECT	
28 W. CEDARWOOD AVENUE, STAMPA ISLAND, A.F.	
OWNER	TRIPLE HOLDINGS CO.
ADDRESS	28 W. CEDARWOOD AVE & DIXON ST.
DATE	11/29/94
SCALE	1/8" = 1'-0"

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 DR II

QUALITY POOR







— FLOOR PLAN —  
 drawn for

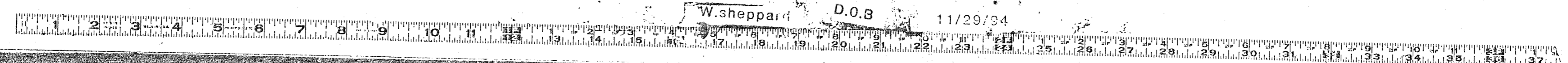
ALL REVISIONS TO BE MADE BY 2/1/63



NO.	DATE	BRIENZA & DEVINO	
		PROFESSIONAL ENGINEERS	
OWNER	TOTAL HOLDING	A-1	
LOCATION	DISCOUNT ARE	A-1	
4769	AREA		

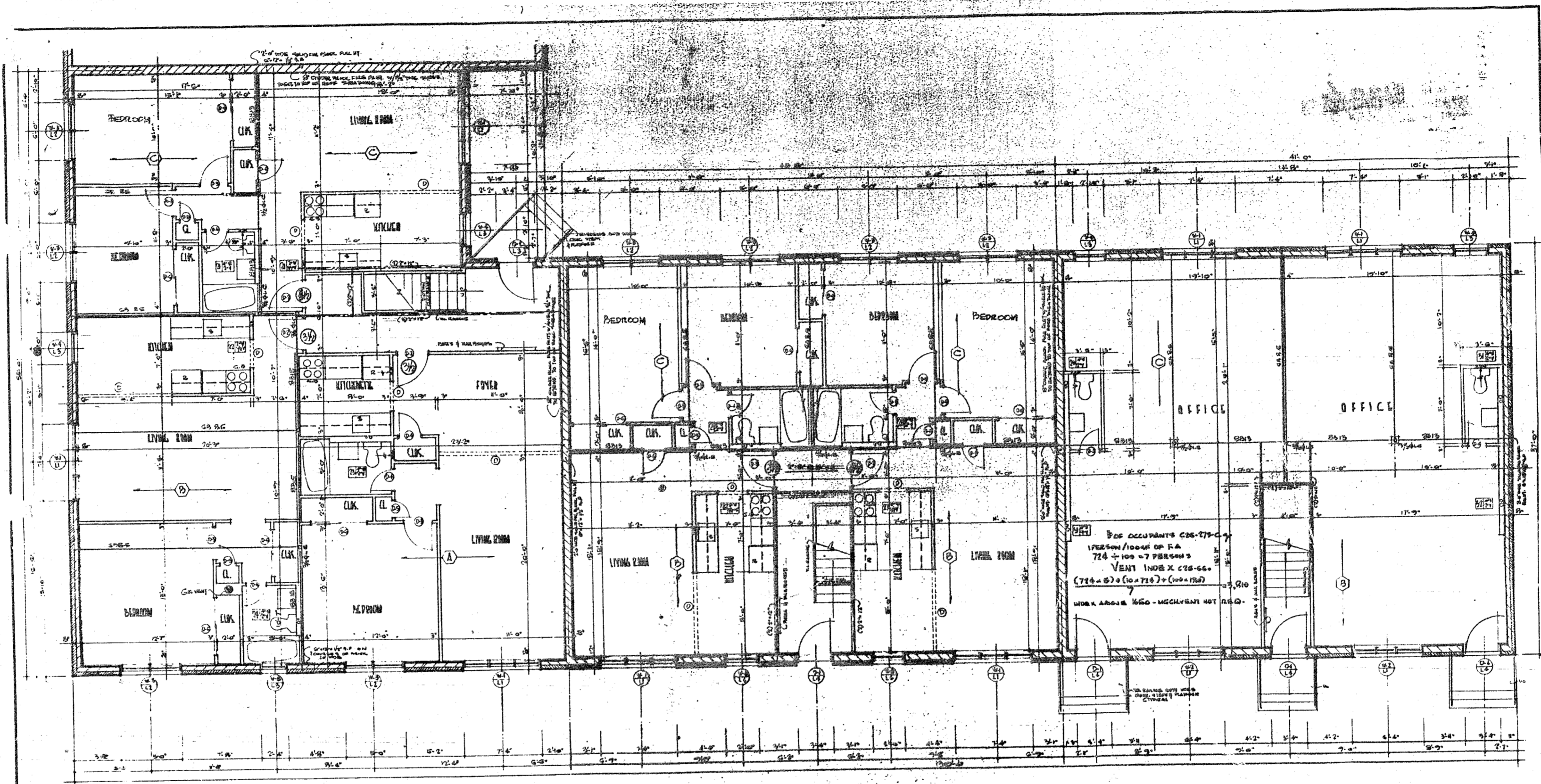
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QUALITY POOR



W. Sheppard D.O.B. 11/29/34

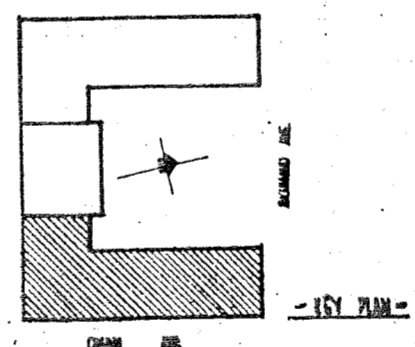
17



SYMBOLS DESIGNATION

(A) → 2" x 4" STUDS @ 16" O.C.  
 (B) → 2" x 6" STUDS @ 16" O.C.  
 (C) → 2" x 8" STUDS @ 16" O.C.

- FIRST FLOOR PLAN -

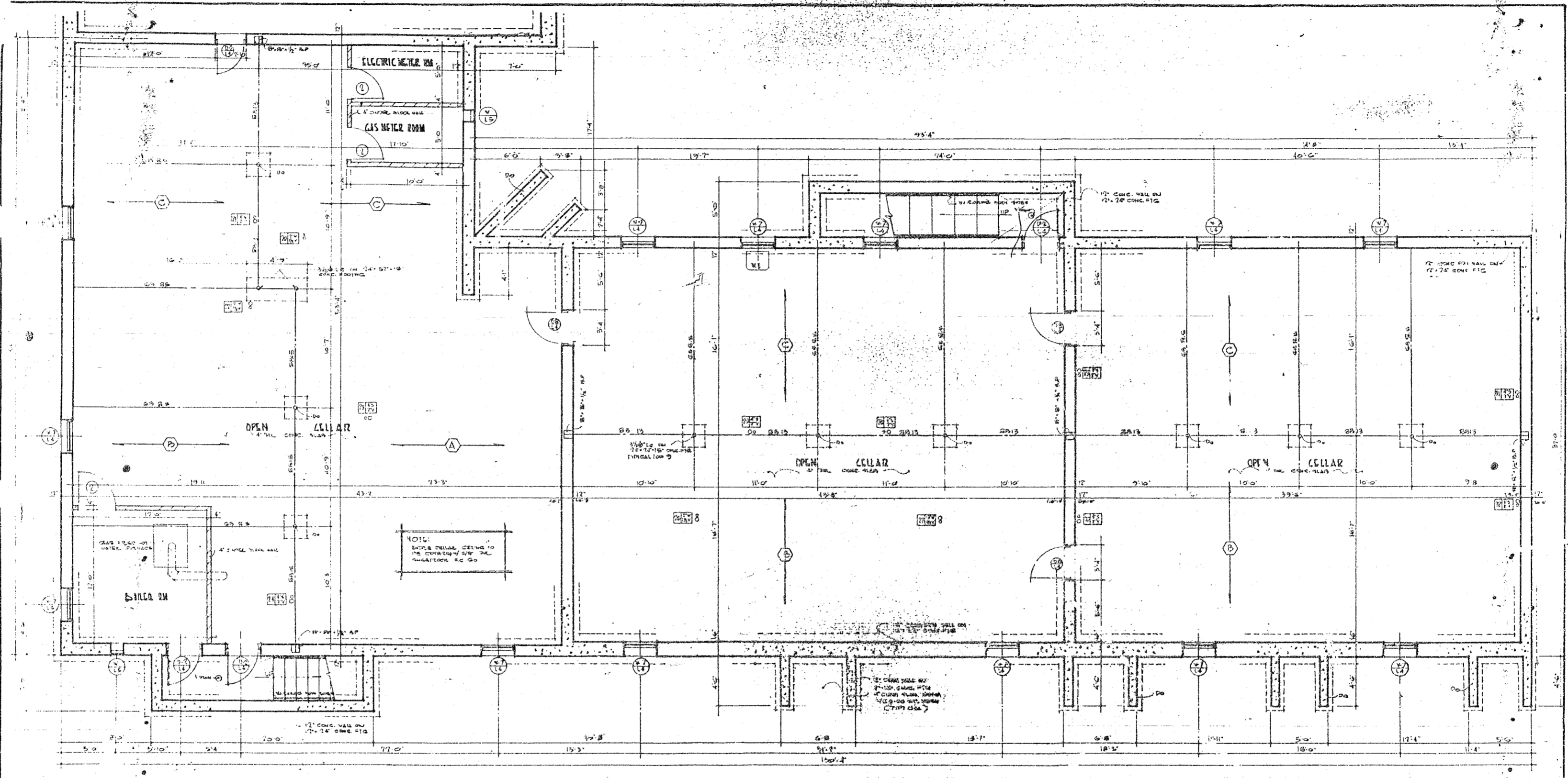


NO.	DATE
BRIENA A. DEVINO ARCHITECT 200 WEST 100th STREET NEW YORK, N.Y. 10025	
OWNER	JOPEL HOLDINGS CORP.
LOCATION	RICHMOND AVE. & BROAD AVE.
DATE	11/29/94

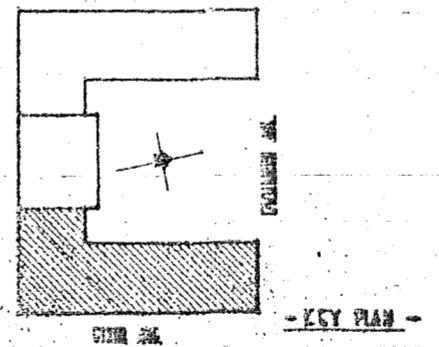
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D.O.B 11/29/94



SYMBOLS	DESIGNATION
(A) →	2" x 4" COLD AIR, 8" COLD WATER, 1" COLD WATER
(B) →	2" x 4" COLD AIR, 8" COLD WATER, 1" COLD WATER
(C) →	2" x 4" COLD AIR, 8" COLD WATER, 1" COLD WATER

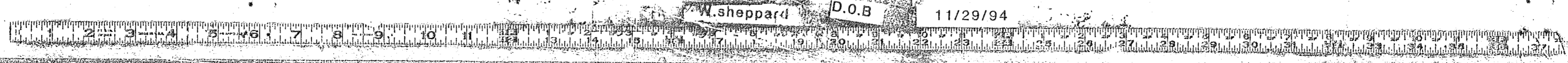


- SHEPPARD & CELIA PLAN -



NO.	DATE	REVISIONS
<b>BRIENZA &amp; DEVINO</b>		
PROFESSIONAL ENGINEER & ARCHITECT		
21 W. CEDARVIEW AVE. STATEN IS. N.Y.		
TELEPHONE 333-2111		
OWNER	TOPAL HOLDING CORP.	
LOCATION	DELOAN AVE & DELOAN AVE	
DATE	SCALE	1/8" = 1'-0"
4/11/94	AS SHOWN	13 OF 17

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W. sheppard D.O.B 11/29/94