

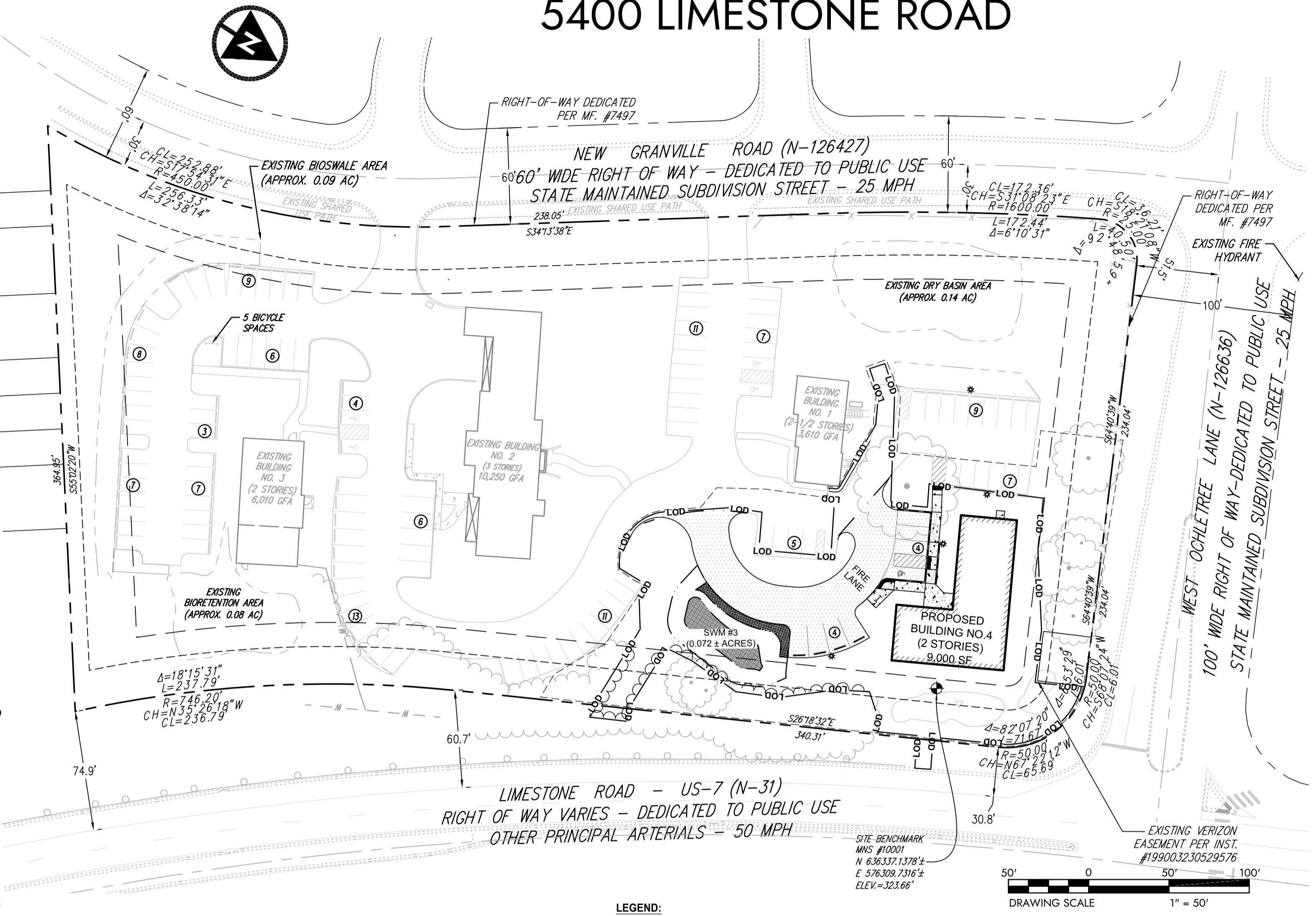
CONSTRUCTION IMPROVEMENT PLAN

LIME CREEK PROFESSIONAL CENTER

5400 LIMESTONE ROAD

NOTES:

- THE PURPOSE OF THIS MINOR LAND DEVELOPMENT PLAN IS TO CONSTRUCT A 9,000 SF OFFICE BUILDING WITH ASSOCIATED PARKING, LANDSCAPING, AND STORMWATER MANAGEMENT.
- THIS PLAN SUPERSEDES, IN PART, THE PLAN OF RECORD MINOR LAND DEVELOPMENT PLAN FOR LANDS OF LIME CREEK PROFESSIONAL CENTER DATED AUGUST 24, 2004 AND RECORDED ON JUNE 21, 2005 IN THE RECORDER OF DEEDS IN AND FOR NEW CASTLE COUNTY, STATE OF DELAWARE, INSTRUMENT NO. 20050621-0060349.
- THE PROPERTY LINES AND TOPOGRAPHY DEPICTED ON THIS PLAN ARE TAKEN FROM TOPOGRAPHIC INFORMATION, PREPARED BY VERDANTAS LLC, DATED MAY 2022 AND ADDITIONAL FIELD INFORMATION TAKEN JUNE 2022.
- A FEMA FLOODPLAIN DOES NOT EXIST ON THIS SITE, PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 10003C0130L, EFFECTIVE DATE FEBRUARY 01, 2020.
- ACCORDING TO NEW CASTLE COUNTY WATER RESOURCE PROTECTION AREA MAP 1 OF 3, DATED 2022, THIS SITE DOES NOT LIE WITHIN A RECHARGE WATER RESOURCE PROTECTION AREA (WRPA).
- ACCORDING TO DATA COMPILED BY DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL 2006, THE SITE DOES NOT LIE WITHIN A CRITICAL NATURAL AREA.
- THIS SITE WAS EVALUATED IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TO IDENTIFY THE PRESENCE OF WETLANDS, AND WETLANDS WERE NOT FOUND TO EXIST ON THE SITE. A LETTER OF NO FINDINGS HAS BEEN PREPARED BY VERDANTAS LLC, DATED JUNE 23, 2022.
- A LANDSCAPE PLAN, PREPARED BY VERDANTAS LLC, LAST DATED JULY 8, 2022 OR AS AMENDED AND APPROVED IN WRITING BY THE DEPARTMENT OF LAND USE, IS HEREBY CONSIDERED PART OF THE RECORD PLAN.
- NO DEBRIS IS TO BE BURIED ON THIS SITE.
- THIS PLAN IS SUBJECT TO THE IMPACT FEE PROVISIONS OF CHAPTER 40, ARTICLE 14 OF THE NEW CASTLE COUNTY CODE, AS MAY BE AMENDED BY NEW CASTLE COUNTY COUNCIL.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED AND MAINTAINED IN ACCORDANCE WITH THE STATE OF DELAWARE FIRE PROTECTION REGULATIONS.
- STORMWATER MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (DNREC) DELAWARE SEDIMENT AND STORMWATER REGULATIONS EFFECTIVE DATE FEBRUARY 2019 (OR AS LATER AMENDED), AND NEW CASTLE COUNTY DRAINAGE CODE.
- UNLESS OTHERWISE SPECIFIED ON THE PLAN, SIDEWALKS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THIS PLAN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SIDEWALKS SHALL BE FIVE (5) FEET IN WIDTH AND CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
- ALL IMPROVEMENTS REQUIRED BY THIS PLAN AND THE NEW CASTLE COUNTY CODE SHALL BE SUBJECT TO THE LAND DEVELOPMENT IMPROVEMENT AGREEMENT (LDIA), AND THE PERFORMANCE GUARANTEE INCORPORATED THEREIN. THE LDIA IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR NEW CASTLE COUNTY ON _____ AS INSTRUMENT NO. _____.
- NEW CASTLE COUNTY HAS THE RIGHT OF ACCESS TO THE SITE FOR THE PURPOSES OF OPENING MAINTAINING AND REPAIRING THE SANITARY SEWER LINES CONTAINED WITHIN THE SEWER EASEMENTS SHOWN ON THIS PLAN.
- ALL COMMON FACILITIES, INCLUDING, BUT NOT LIMITED TO PAVED AREAS, SIDEWALKS, CURBING, LANDSCAPING, OPEN SPACE, STORMWATER MANAGEMENT AREAS AND/OR DRAINAGE FACILITIES SHALL BE KEPT IN GOOD REPAIR AND MAINTAINED IN A SAFE AND SANITARY CONDITION IN ACCORDANCE WITH THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE.
- THE OWNER SHALL PAY, TO NEW CASTLE COUNTY, FUNDS FOR NON-RESIDENTIAL STORM WATER MANAGEMENT FACILITY MAINTENANCE PURSUANT TO SECTION 40.27.240 OF THE COUNTY CODE. THE FUNDS SHALL BE USED FOR THE COSTS ASSOCIATED WITH FACILITY MAINTENANCE AND INSPECTIONS. AN AMOUNT OF \$4,800.00 SHALL BE FUNDED PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY. THE DEPARTMENT OF LAND USE SHALL WITHHOLD THE ISSUANCE OF ANY BUILDING PERMIT UNTIL THE DEPARTMENT OF LAND USE IS FURNISHED WITH SATISFACTORY WRITTEN PROOF THAT THE FUNDS HAVE BEEN PAID TO NEW CASTLE COUNTY IN ACCORDANCE WITH THE REQUIREMENTS.
- PROPOSED LANDSCAPING SHALL NOT INTERFERE WITH SIGHT DISTANCE LINES.
- A STORMWATER MANAGEMENT ACCESS EASEMENT IN FAVOR OF NEW CASTLE COUNTY, ITS AGENTS AND ASSIGNS IS HEREBY CREATED ON, OVER, UNDER AND ACROSS THE ENTIRE AREA OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDING, STORMWATER CONVEYANCE SYSTEMS, BASINS, AND ALL COMPONENTS THEREOF, IDENTIFIED ON THE PLAN AND ALL WATERCOURSES FOR THE PURPOSE OF INSPECTING, EVALUATING AND MAINTAINING THE STORMWATER MANAGEMENT FACILITIES AND WATERCOURSES. THE EASEMENT SHALL EXTEND 15' FROM THE OUTER EDGES OF EACH SUCH STORMWATER MANAGEMENT FACILITY. A GENERAL ACCESS EASEMENT IS HEREBY CREATED OVER AND ACROSS THE PROPERTY SHOWN ON THIS PLAN GRANTING NEW CASTLE COUNTY, ITS AGENTS AND ASSIGNS THE RIGHT, PRIVILEGE AND AUTHORITY TO ENTER UPON AND TRAVEL ACROSS THE PROPERTY TO EACH STORMWATER MANAGEMENT FACILITY. THE EASEMENTS HEREIN CREATED SHALL BE FOR PEDESTRIAN, VEHICULAR AND EQUIPMENT USE. IF NEW CASTLE COUNTY, ITS AGENTS OR ASSIGNS DETERMINES THAT MAINTENANCE IS REQUIRED TO A STORMWATER MANAGEMENT FACILITY, NEW CASTLE COUNTY SHALL PROVIDE NOTICE OF THE REQUIRED MAINTENANCE AND THE TIME FRAME IN WHICH SUCH MAINTENANCE SHALL BE COMPLETED TO THE PROPERTY OWNER OR RESPONSIBLE PARTY. NO NOTICE SHALL BE REQUIRED WHERE NEW CASTLE COUNTY PERFORMS MAINTENANCE WHERE THERE IS IMMINENT THREAT TO LIFE, HEALTH OR PROPERTY. IN THE EVENT NEW CASTLE COUNTY ELECTS TO MAINTAIN THE STORMWATER MANAGEMENT FACILITIES, ALL EXPENSES SHALL BE ASSESSED JOINTLY AND SEVERALLY AGAINST THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN.
- DRAINAGE, EROSION AND SEDIMENT CONTROL, AND STORMWATER MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW CASTLE COUNTY DRAINAGE CODE.
- THE TOTAL LAND DISTURBANCE BY THIS PLAN IS 33,739 SF (0.77 ACRES).
- FOR RESTRICTIONS BINDING THE LOTS SHOW ON THIS PLAN SEE DEED OF RESTRICTIONS BY WILHELMINA DUPONT ROSS, DATED JULY 21, 1980, AND RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR NEWCASTLE COUNTY, STATE OF DELAWARE, DEED RECORD E, VOLUME 112, PAGE, 112, AND AMENDED SEPTEMBER 15, 1989, AND OCTOBER 18, 1984, AND RECORDED IN THE RECORDER OF DEEDS IN AND FOR NEW CASTLE COUNTY IN DEED RECORD G, VOLUME 116, PAGE 310 AND VOLUME 206, PAGE 265, RESPECTIVELY.
- CURB AND DEAD-END PARKING WAIVERS HAVE BEEN GRANTED FOR STORMWATER MANAGEMENT PURPOSES FOR THIS SITE PER PREVIOUS RECORD PLAN INSTRUMENT NO. 20050621-0060349.

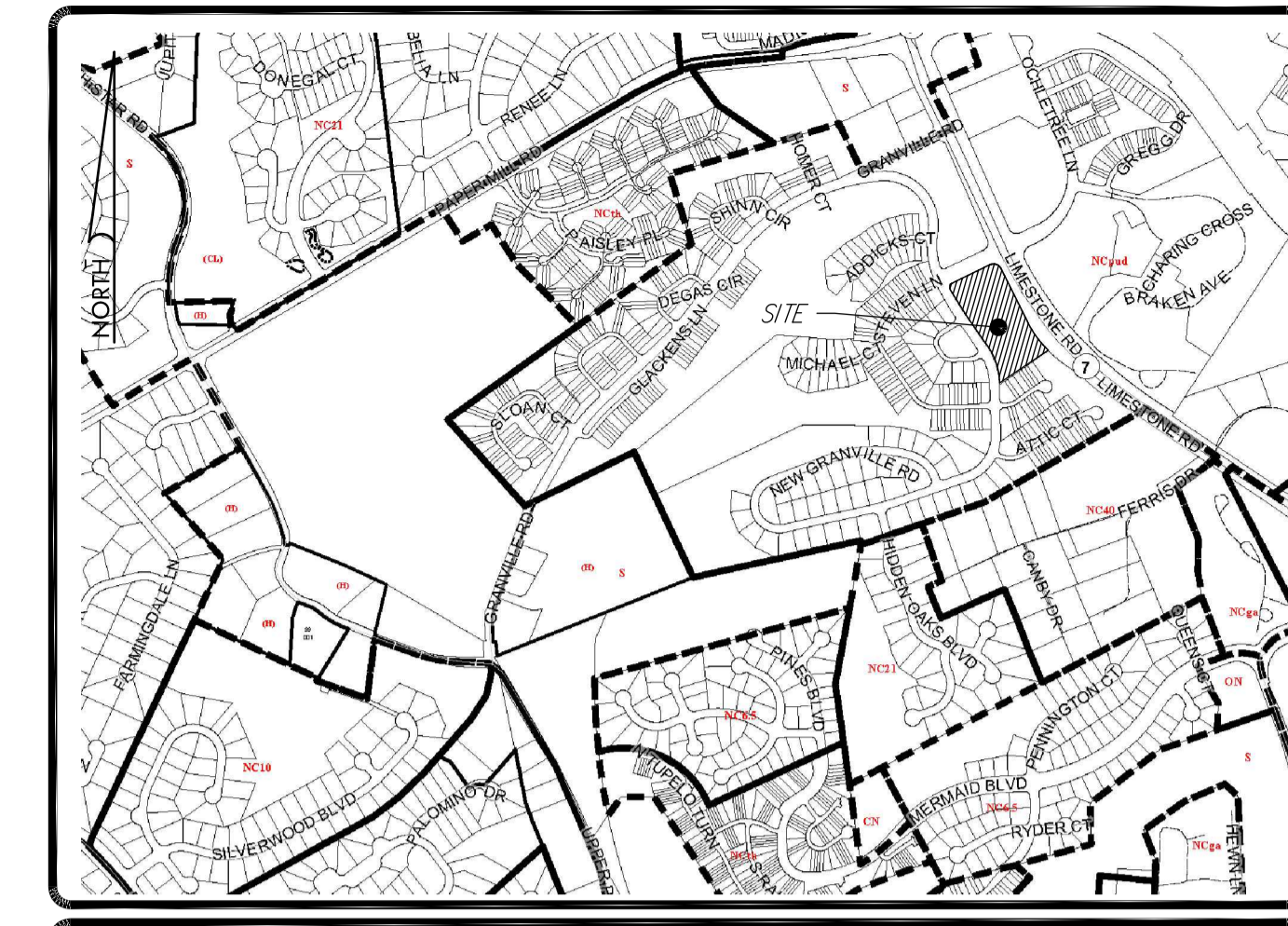


LEGEND:

	RIGHT-OF-WAY LINE		PR. BUILDING SETBACK LINE
	PROPERTY LINE		PR. PAVING SETBACK LINE
	ADJACENT PROPERTY LINE		PR. BUILDINGS
	BENCHMARK		PR. ON-SITE CURB
	CONCRETE MONUMENT FOUND		PR. ON-SITE ASPHALT
	BUILDING SETBACK LINE		PR. ON-SITE CONCRETE
	EASEMENT LINE		PR. ON-SITE CONCRETE
	BUILDINGS		PR. ON-SITE STRIPING
	FENCES		
	ON-SITE CURB		
	OFF-SITE CURB		

INDEX OF SHEETS

SHEET 1	INDEX SHEET
SHEET 2	EXISTING CONDITIONS/ DEMO PLAN
SHEET 3	SITE PLAN
SHEET 4	UTILITY PLAN
SHEET 5	GRADING PLAN
SHEET 6	GRADING PLAN
SHEET 7	CONSTRUCTION DETAILS
SHEET 8	CONSTRUCTION DETAILS



MAP/ZONING MAP 27 LOCATION MAP SCALE: 1" = 500'

- SITE DATA:
- APPLICATION NO.: 2022-0474
 - TAX PARCEL NUMBER: 08-030.00-061
 - SITE ADDRESS: BUILDING 1, 2, 3: 5400 LIMESTONE ROAD, WILMINGTON, DE 19808
BUILDING 4: 5420 LIMESTONE ROAD, WILMINGTON, DE 19808
 - SOURCE OF TITLE: DEED 20220721 0073690
 - OWNER/DEVELOPER: DORJUL AT 5400 LLC
3301 LANCASTER PIKE
SUITE 11
WILMINGTON, DE 19805
 - ZONING: NCPUD (OTHER PERMITTED USES)
 - PROPOSED USE: OFFICE COMPLEX
 - NUMBER OF LOTS: EXISTING: 1 PROPOSED: 1
 - BENCHMARK: MAG NAIL SET #10001
N: 636337.1378'
E: 576309.7316'
ELEV: 323.66'
 - DATUM: HORIZONTAL: NAD 83 DE STATE PLANE
VERTICAL: N.A.V.D. 88
 - SITE ACREAGE: GROSS: 4.6610 AC (203,032 SF)
NET: 4.6610 AC (203,032 SF)

12. DISTRICT BULK STANDARDS:

	REQUIRED
MIN. LOT AREA:	1.00 AC
MIN. LOT WIDTH:	150 FT
MIN. STREET YARD SETBACK:	40 FT
MIN. SIDE YARD SETBACK:	30 FT
MIN. REAR YARD SETBACK:	40 FT
PAVING STREET/OTHER SETBACK:	25/10 FT
MAX. BUILDING HEIGHT:	45 FT
MIN. LSR:	0.50

13. AREA CALCULATIONS:

	SF	AC
EXISTING BUILDINGS:	10,782	0.25 ± (5.30%)
EXISTING OTHER IMPERVIOUS:	51,868	1.19 ± (25.5%)
EXISTING OPEN SPACE:	127,798	2.91 ± (62.5%)
EXISTING STORMWATER MANAGEMENT:	13,584	0.31 ± (6.7%)
EXISTING FOREST:	0	0.00 ± (0.00%)
TOTAL:	203,032	4.66 ± (100%)
PROPOSED BUILDINGS/CANOPY:	15,282	0.35 ± (7.5%)
PROPOSED OTHER IMPERVIOUS:	57,442	1.32 ± (28.3%)
PROPOSED OPEN SPACE:	113,573	2.61 ± (56.0%)
PROPOSED STORMWATER MANAGEMENT:	16,735	0.38 ± (8.2%)
REMAINING FOREST:	0	0.00 ± (0.00%)
TOTAL:	203,032	4.66 ± (100.0%)

- 11. GROSS FLOOR AREA:**
- | | |
|----------------------------------|-----------|
| EXISTING BUILDING NO. 1 (OFFICE) | 3,610 SF |
| EXISTING BUILDING NO. 2 (OFFICE) | 10,250 SF |
| EXISTING BUILDING NO. 3 (OFFICE) | 6,010 SF |
| PROPOSED BUILDING NO. 4 (OFFICE) | 9,000 SF |
| TOTAL | 28,870 SF |
- NOTE: A TOTAL GFA OF 21,200 SF WAS APPROVED UNDER COUNCIL RESOLUTION NO. 01-092 DATED 07/10/2001. AN ADDITIONAL 8,200 SF WAS APPROVED UNDER COUNCIL RESOLUTION NO. 04-236 DATED 12/07/04 FOR A TOTAL OF 29,400 SF APPROVED TO DATE.

- 12. PARKING RATIONALE:**
- | | |
|--|---------------------------|
| 28,870 SF @ 3.5 P.S. PER 1,000 SF GFA (GENERAL OFFICE) = | 102 P.S. REQUIRED (5 ADA) |
| EXISTING PARKING SPACES | 121 |
| ADDITIONAL PARKING PROVIDED | 8 |
| PARKING SPACES TO BE REMOVED | 9 |
| TOTAL PARKING PROVIDED | 120 |
- 13. BICYCLE PARKING:** REQUIRED PARKING: 102 X 1 PER 10 SPACES = 10 SPACES
EXISTING PARKING: 5 SPACES
PROPOSED PARKING: 5 SPACES (10 SPACES TOTAL)

- 14. WATER SUPPLY:**
ARTESIAN WATER COMPANY - WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DEPARTMENT OF PUBLIC HEALTH.

- 15. SANITARY SEWER:**
NEW CASTLE COUNTY - SEWERAGE IS SUBJECT TO THE APPROVAL OF THE NEW CASTLE COUNTY DEPARTMENT OF PUBLIC WORKS. AT THE TIME OF APPROVAL OF THIS PLAN, SEWER CAPACITY EXISTED TO ACCOMMODATE THE ANTICIPATED FLOWS GENERATED BY THIS ADDITIONAL DEVELOPMENT. NEW CASTLE COUNTY HAS COMMITTED TO PROVIDE SEWER SERVICE IN ACCORDANCE WITH THE LAND DEVELOPMENT IMPROVEMENT AGREEMENT FOR THIS DEVELOPMENT. THE OWNER OF THIS PROPERTY, HIS SUCCESSORS OR ASSIGNS, SHALL BE RESPONSIBLE FOR EXTENDING SEWER SERVICE TO EACH LOT SHOWN ON OR CREATED BY THIS PLAN.

- ANTICIPATED SEWAGE: EXISTING: AVG: 19,870 SF @ 0.1 GPD PER SF = 1,987 GPD
PEAK: AVG X 4 = 7,948 GPD
PROPOSED: AVG: 9,000 SF @ 0.1 GPD PER SF = 900 GPD
PEAK: AVG X 4 = 3,600 GPD
TOTAL: AVG: 28,870 SF @ 0.1 GPD PER SF = 2,887 GPD
PEAK: AVG X 4 = 11,520 GPD
- 16. BUILDING HEIGHT:** 40 FT (2 STORY BUILDING)
THIS BUILDING WILL NOT CONTAIN AN AUTOMATIC SPRINKLER SYSTEM.

CERTIFICATION OF OWNERSHIP:

I, Dorjul At 5400 LLC, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY WHICH IS SUBJECT OF THIS PLAN AND THAT THE LAND USE ACTION PROPOSED BY THIS PLAN IS MADE AT MY DIRECTION AND THAT I AUTHORIZE THIS PLAN TO BE RECORDED IN ACCORDANCE WITH THE REGULATIONS OF THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE.

DATE: 11/16/2022
DORJUL AT 5400 LLC

CERTIFICATION OF PLAN ACCURACY:

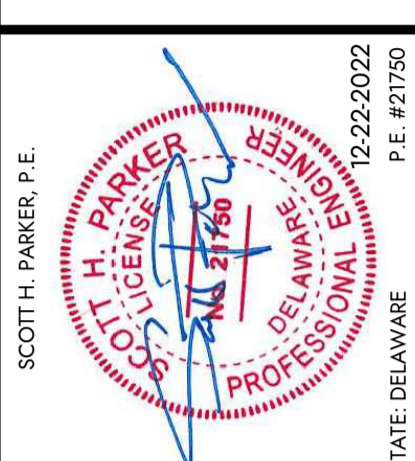
I, MARNI SKLODOWSKI, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH A BACKGROUND IN LAND SURVEYING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE.

11/16/2022
DATE
MARNI SKLODOWSKI
REGISTRATION #S6-0010854
VERDANTAS, INC.

CERTIFICATION OF PLAN ACCURACY:

I, SCOTT H. PARKER, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE.

12/22/2022
DATE
SCOTT H. PARKER, P.E.
REGISTRATION #21750
VERDANTAS, INC.

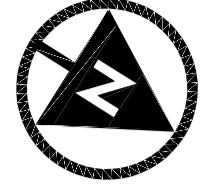


CHK'D BY	DATE	REVISION
SMC	11/17/22	1
SMC	11/22/22	2
SMC	12/21/2022	3

DESIGNED BY: SMC
DRAWN BY: SMC
CHECKED BY: ZDH
PROJECT NO.: 15045
DATE: 12-22-2022
P.E. #21750

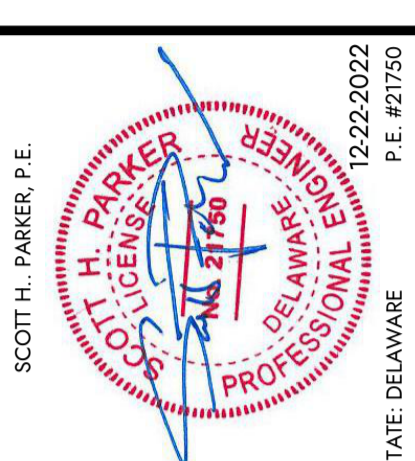
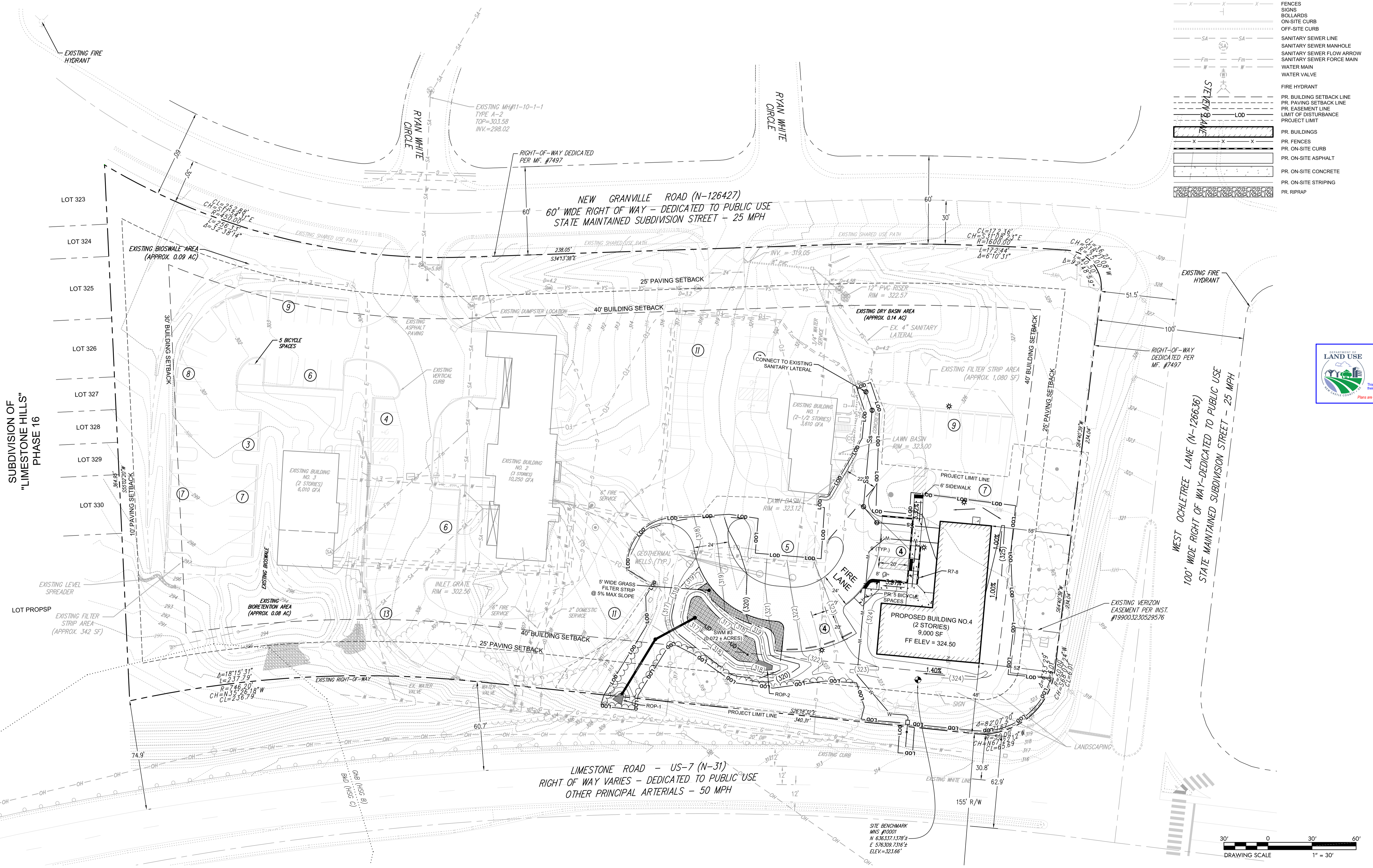
MILL CREEK HUNDRED ~ NEW CASTLE COUNTY ~ DELAWARE
LIME CREEK PROFESSIONAL CENTER
5400 LIMESTONE ROAD
CONSTRUCTION IMPROVEMENT PLAN
INDEX SHEET

APPLICATION NO. 2022-0474
DATE: SEPTEMBER 16, 2022
SCALE: 1" = 50'
SHEET: 1 OF 8



LEGEND:

	RIGHT-OF-WAY LINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	GOVERNMENTAL BOUNDARY LINE
	BENCHMARK
	CONCRETE MONUMENT FOUND
	CAPPED REBAR FOUND
	IRON PIPE FOUND
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	EASEMENT LINE
	BUILDINGS
	FENCES
	SIGNS
	BOLLARDS
	ON-SITE CURB
	OFF-SITE CURB
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER FLOW ARROW
	SANITARY SEWER FORCE MAIN
	WATER MAIN
	WATER VALVE
	FIRE HYDRANT
	PR. BUILDING SETBACK LINE
	PR. PAVING SETBACK LINE
	PR. EASEMENT LINE
	LIMIT OF DISTURBANCE
	PROJECT LIMIT
	PR. BUILDINGS
	PR. FENCES
	PR. ON-SITE CURB
	PR. ON-SITE ASPHALT
	PR. ON-SITE CONCRETE
	PR. ON-SITE STRIPING
	PR. RIPRAP



DESIGNED BY:	SJC
DATE:	10/20/2022
DRAWN BY:	ZDH
CHECKED BY:	SHP
PROJECT NO.:	15065

CHK'D BY	DATE	REVISION
		1 PER NCCDLU COMMENTS
		2 PER NCCDLU COMMENTS
		3 PER NCCDLU COMMENTS



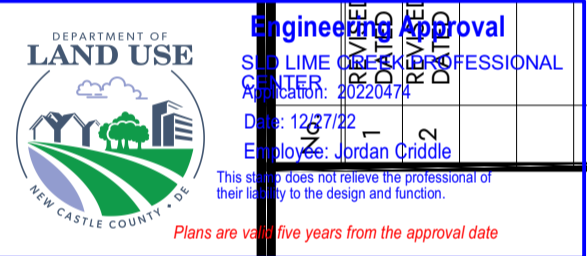
MILL CREEK HUNDRED ~ NEW CASTLE COUNTY ~ DELAWARE
LIME CREEK PROFESSIONAL CENTER
5400 LIMESTONE ROAD
CONSTRUCTION IMPROVEMENT PLAN
GRADING PLAN

APPLICATION NO.:	2022-0474
DATE:	SEPTEMBER 16, 2022
SCALE:	1" = 30'
SHEET:	5 OF 8

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NOTE: ELEVATIONS AT CURB ARE LISTED AS BOTTOM OF CURB UNLESS OTHERWISE NOTED.



Engineered and sealed by
SCOTT H. PARKER, P.E.
Professional Engineer
No. 11779
State of Delaware
Date: 10/20/2022
Per: Jordan Diddle

DESIGNED BY: SMC
DRAWN BY: ZDH
CHECKED BY: SHP
PROJECT NO. 15065

DATE: 10/20/2022
REVISION: 1
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 2
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 3
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 4
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 5
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 6
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 7
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 8
COMMENTS: PER NCCDU COMMENTS

DATE: 10/20/2022
REVISION: 9
COMMENTS: PER NCCDU COMMENTS

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COMMENTS: PER NCCDU COMMENTS

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REVISION: 11
COMMENTS: PER NCCDU COMMENTS

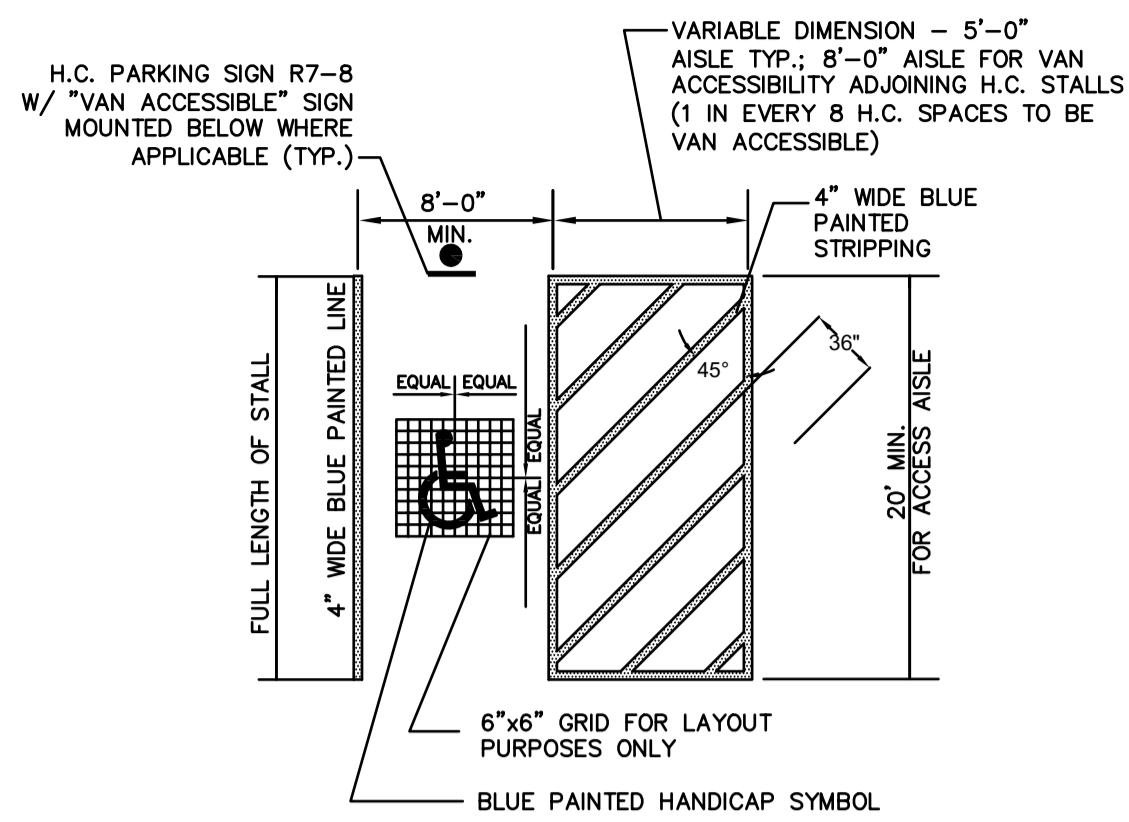
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DATE: 10/20/2022
REVISION: 13
COMMENTS: PER NCCDU COMMENTS

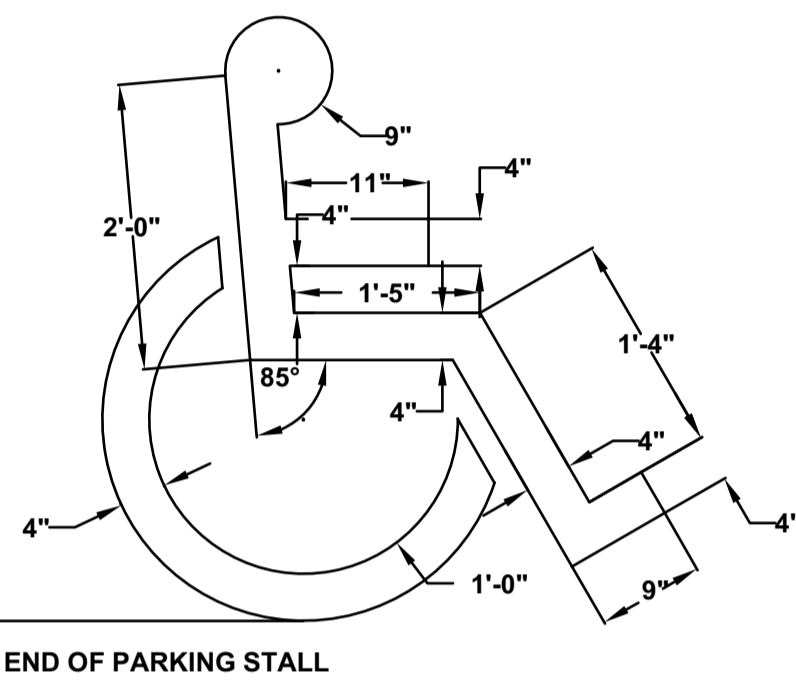
MILL CREEK HUNDRED ~ NEW CASTLE COUNTY ~ DELAWARE
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APPLICATION NO. 2022-0474
DATE: SEPTEMBER 16, 2022
SCALE: 1" = 10'
SHEET: 6 OF 8

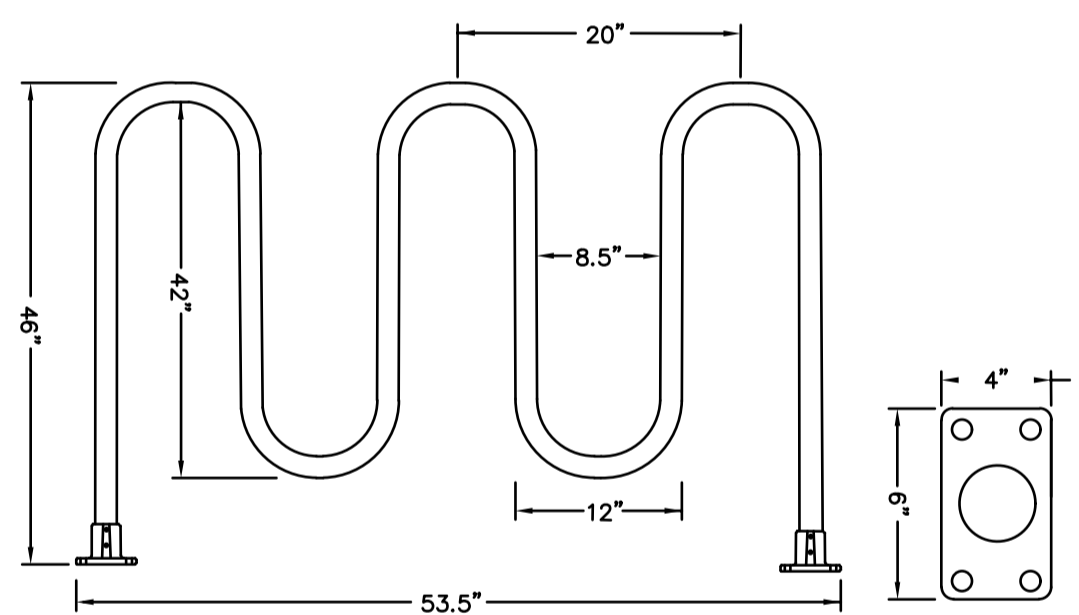
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DETAIL: ACCESSIBLE PARKING STALL
SCALE: NOT TO SCALE



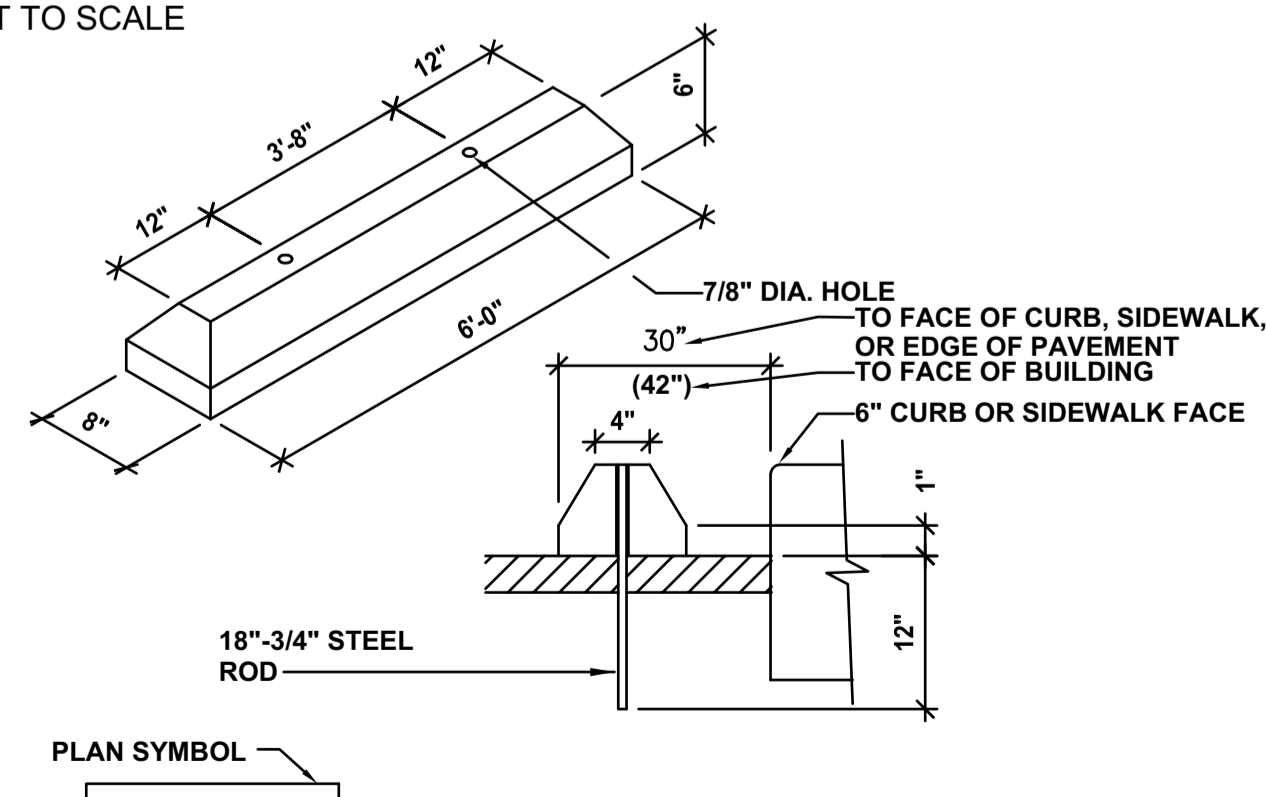
DETAIL: ACCESSIBLE PARKING SYMBOL
SCALE: NOT TO SCALE



MADE OF ROLLED ALUMINUM: 1 1/2" SCHEDULE 40 ALUMINUM WITH 1 7/8" O.D.
STANDARD LENGTHS: 60" SECTION FITS UP TO 5 BIKES
STANDARD HEIGHT: 46"
INSTALLATION OPTIONS: SURFACE MOUNT
FINISHING OPTIONS: STANDARD CLEAR ANODIZED
MANUFACTURED BY: IDEAL SHIELD
 2525 CLARK ST
 DETROIT, MI 48209
 PHONE: 1-866-825-8659

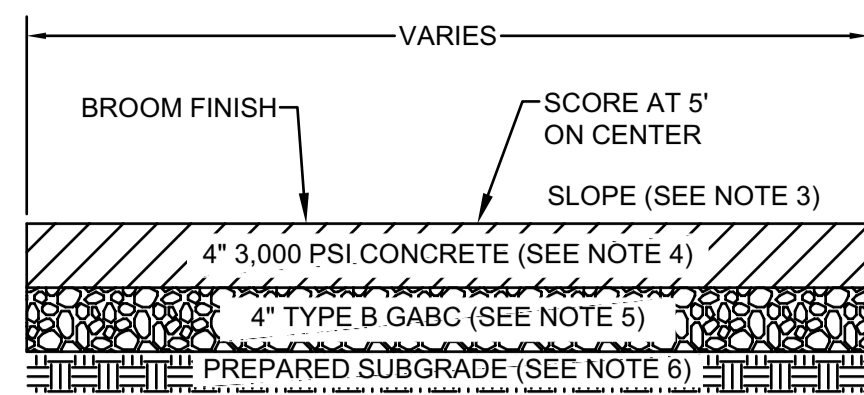
DETAIL: BICYCLE RACK

SCALE: NOT TO SCALE



DETAIL: BUMPER BLOCKS

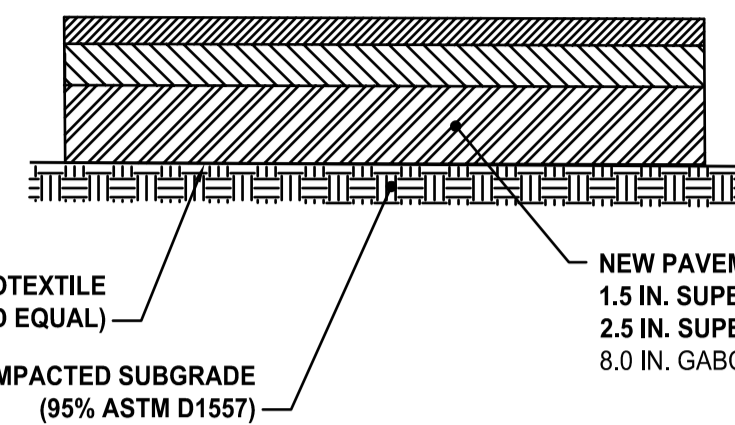
SCALE: NOT TO SCALE



- NOTES:**
1. MARK IN 5-FOOT SQUARES, USE CORK EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 20 FEET.
 2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.
 3. MINIMUM SIDEWALK CROSS SLOPE = 1%
MAXIMUM SIDEWALK CROSS SLOPE = 2%
TYPICAL SIDEWALK CROSS SLOPE = 1.5%
 4. STANDARD SIDEWALK SHALL BE 4 INCHES THICK. DEPRESSED AND TRANSITION SIDEWALK SHALL BE 6 INCHES THICK.
 5. STONE AGGREGATE BELOW CONCRETE SIDEWALK SHALL BE TYPE B GABC. THICKNESS OF GABC SHALL BE 4 INCHES FOR STANDARD SIDEWALK AND 6 INCHES FOR DEPRESSED AND TRANSITION SIDEWALK.
 6. PROOF ROLL SUBGRADE, COMPACT TO 95% DENSITY (ASTM D-1557)

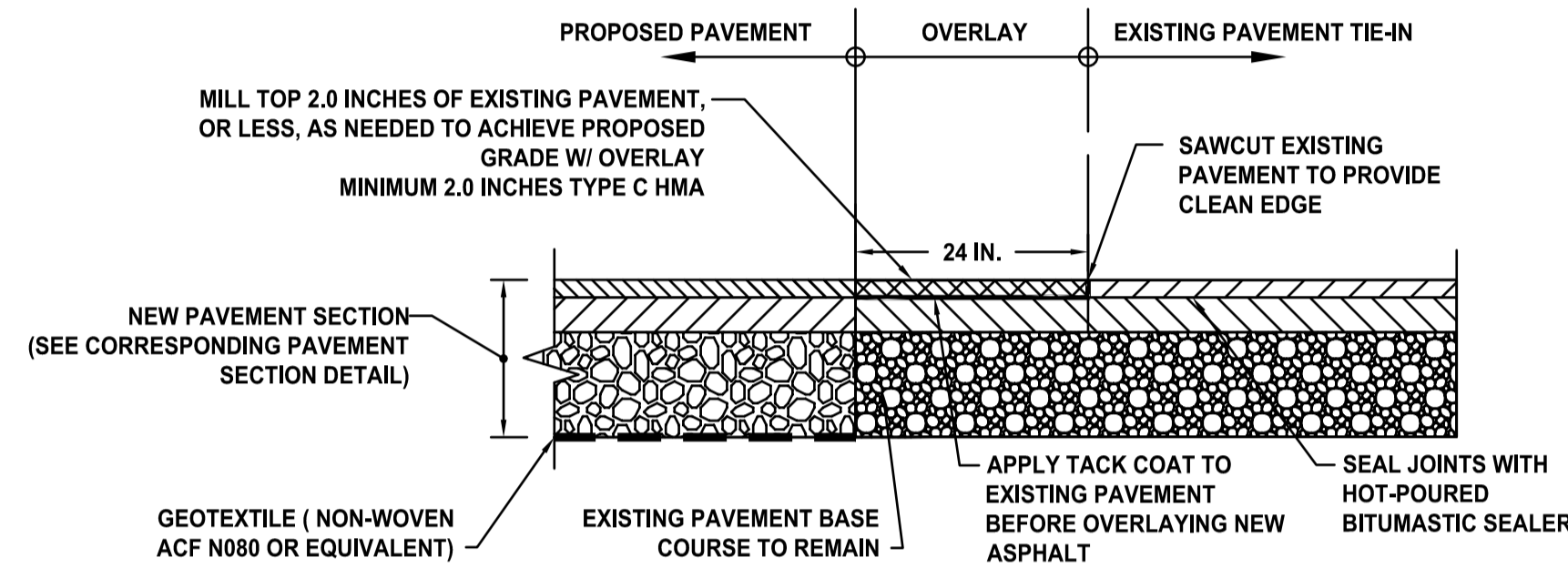
DETAIL: SIDEWALK SECTION

SCALE: NOT TO SCALE



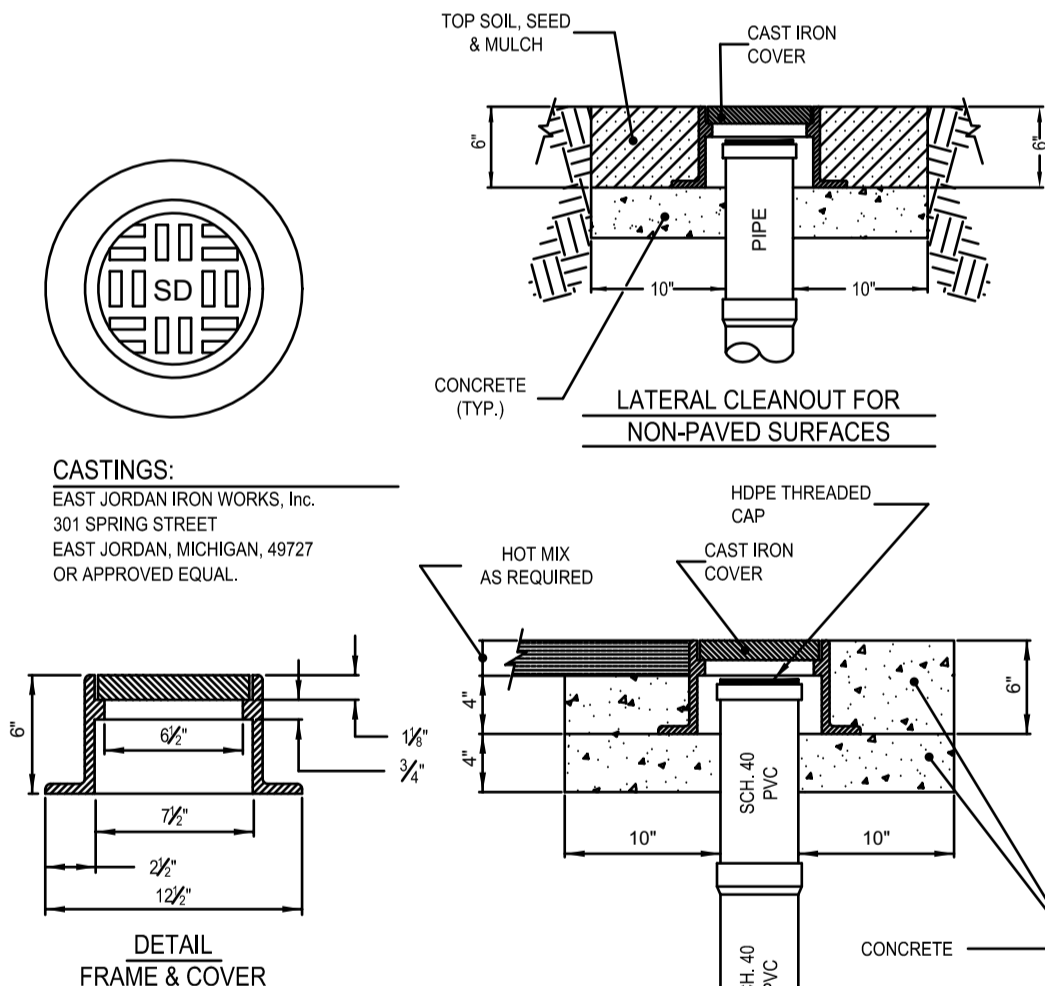
DETAIL: ASPHALT SECTION

SCALE: NOT TO SCALE



DETAIL: PAVEMENT SECTION TIE-IN

SCALE: NOT TO SCALE



NOTES:

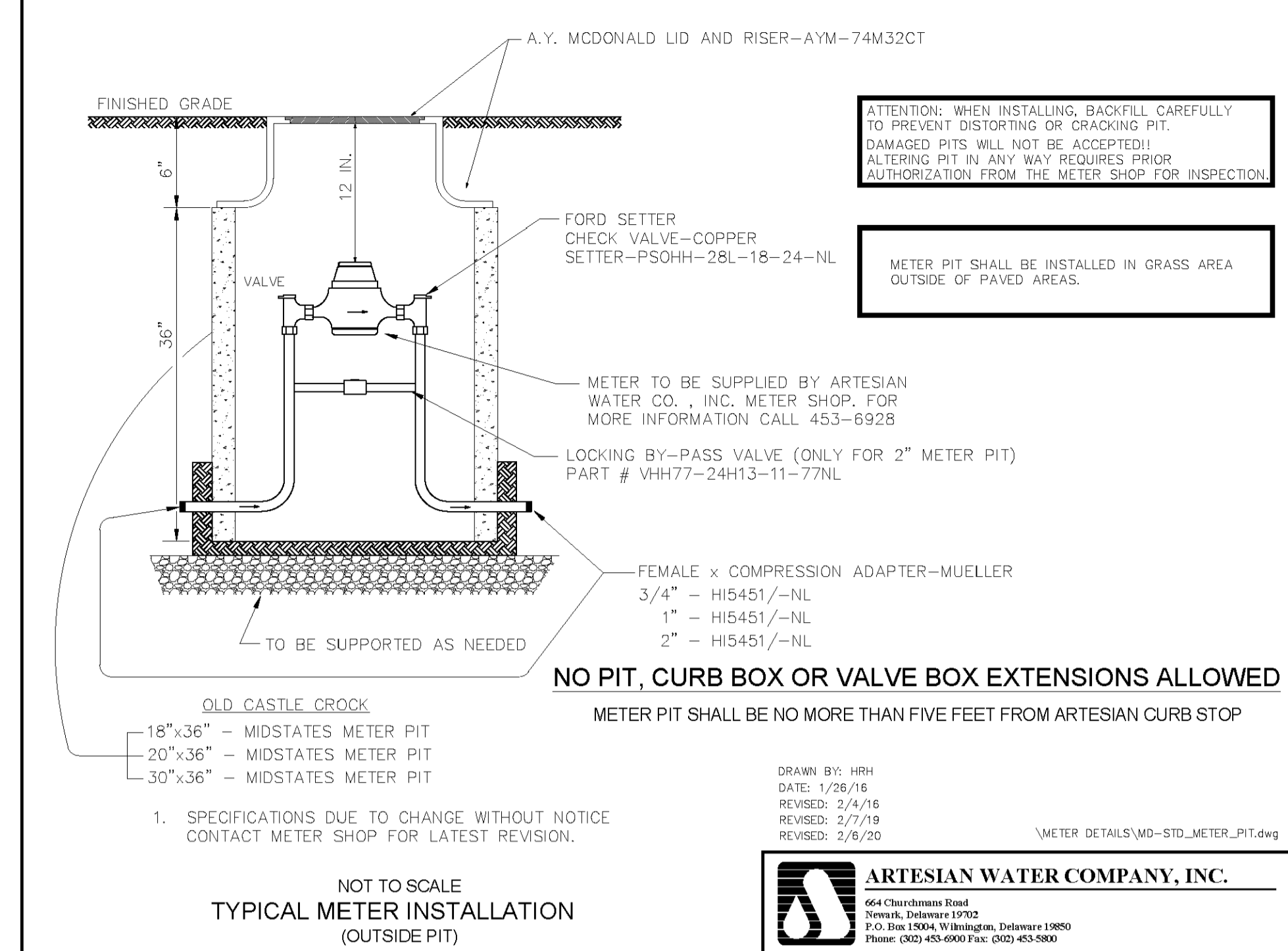
1. CLEANOUTS PLACED AT PROPERTY LINE OR AS DIRECTED BY ENGINEER.
2. MATERIAL: SCH 40 PVC PIPE AND FITTINGS
3. CAST IRON LID SHALL BE STAMPED 'SD'.

MAINTENANCE AND INSPECTION FOR ROOF DRAIN SYSTEM

1. ROOF DRAIN SYSTEM (PIPE CLEANOUTS, STILLING WELLS, BUILDING GUTTERS/DOWNSPOUTS) SHALL BE INSPECTED SEMI-ANNUALLY.
2. ROOF DRAIN SYSTEM SHALL ALSO BE INSPECTED AFTER STORM EVENTS EXCEEDING A 2-INCH RAINFALL TOTAL.
3. VISIBLE ACCUMULATIONS OF SEDIMENT OBSERVED IN ROOF DRAIN SYSTEM AT CLEANOUTS AND GUTTERS SHALL BE REMOVED BY TYPICAL DRAIN CLEANING PROCEDURES (VACUUM, FLUSH, ETC.)
4. ACCUMULATED SEDIMENT SHALL BE DISPOSED AT THE LOCATION DEPICTED ON THE APPROVED LANDSCAPE PLAN.

DETAIL: ROOF DRAIN CLEANOUT

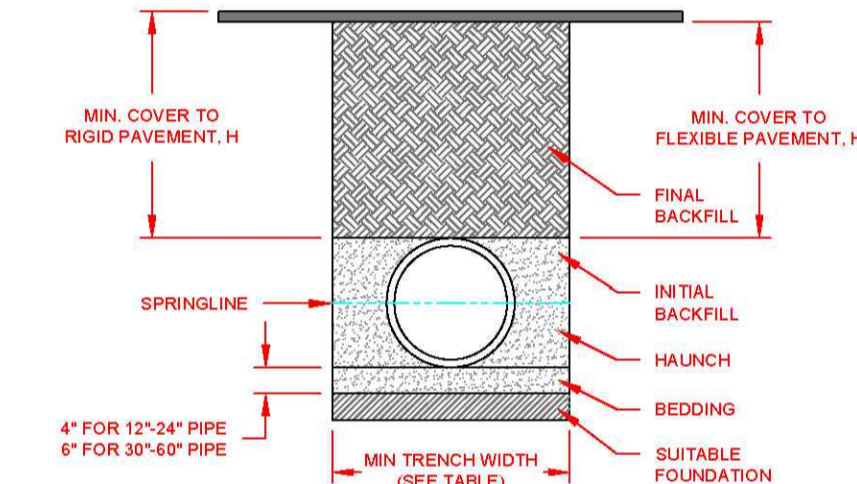
SCALE: NOT TO SCALE



DETAIL: ARTESIAN METER PIT

SCALE: NOT TO SCALE

HP STORM TRENCH INSTALLATION DETAIL



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS," LATEST EDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321. CLASS IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" (305mm-600mm) DIAMETER PIPE; 6" (150mm) FOR 30"-60" (760mm-1500mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER MATERIALS SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
6. MINIMUM COVER: MINIMUM COVER, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS: CLASS I OR II MATERIAL COMPACTED TO 90% SPD AND CLASS III COMPACTED TO 90% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) UP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
7. FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

TABLE 1. RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIA. (300mm)	MIN. TRENCH WIDTH (762mm)
12"	18"
15"	21"
18"	24"
24"	30"
30"	36"
36"	42"
42"	48"
48"	54"
60"	66"
72"	78"
84"	90"
96"	102"
108"	114"
120"	126"
132"	138"
144"	150"
156"	162"
168"	174"
180"	186"
192"	198"
204"	210"
216"	222"
228"	234"
240"	246"

TABLE 2. MINIMUM RECOMMENDED COVER BASED ON SURFACE LIVE LOADING CONDITIONS (75T AXLE LOAD)

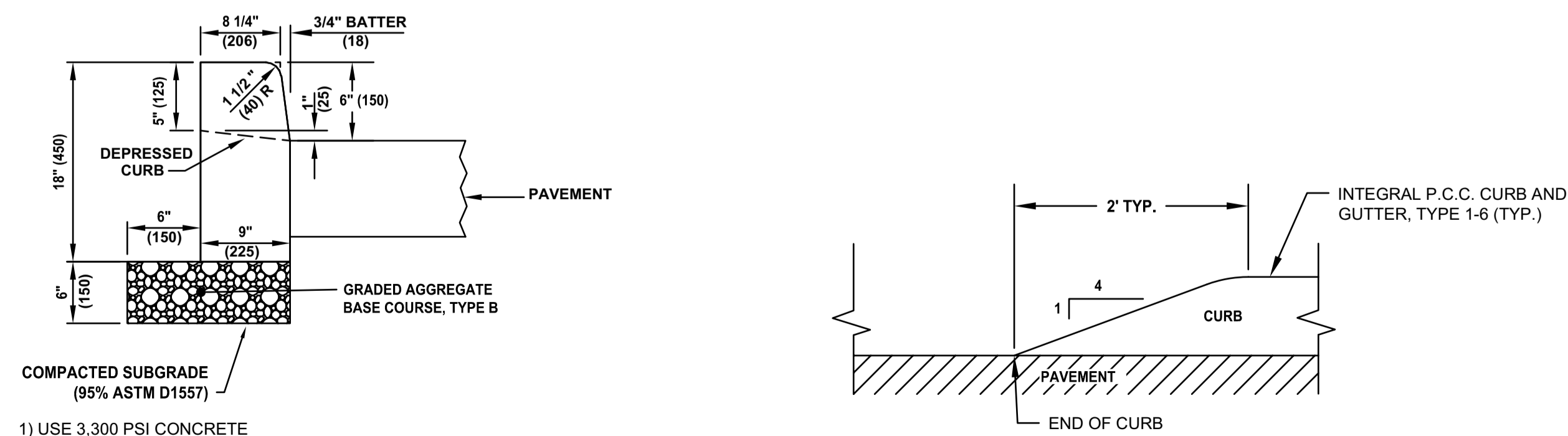
PIPE DIA.	H-20	HEAVY CONSTRUCTION (5T AXLE LOAD)
12"	12"	48"
15"	12"	48"
18"	12"	48"
24"	12"	48"
30"	12"	48"
36"	12"	48"
42"	12"	48"
48"	12"	48"
60"	12"	48"
72"	12"	48"
84"	12"	48"
96"	12"	48"
108"	12"	48"
120"	12"	48"
132"	12"	48"
144"	12"	48"
156"	12"	48"
168"	12"	48"
180"	12"	48"
192"	12"	48"
204"	12"	48"
216"	12"	48"
228"	12"	48"
240"	12"	48"

TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE

PIPE DIA.	CLASS I				CLASS II				CLASS III				CLASS IV			
	95%	90%	85%	80%	95%	90%	85%	80%	95%	90%	85%	80%	95%	90%	85%	80%
12"	41	28	21	16	29	16	16	16	16	16	16	16	16	16	16	16
15"	42	29	21	16	21	16	16	16	16	16	16	16	16	16	16	16
18"	44	30	21	16	22	17	16	16	16	16	16	16	16	16	16	16
24"	37	26	18	14	19	14	14	14	14	14	14	14	14	14	14	14
30"	39	27	19	14	19	15	14	14	14	14	14	14	14	14	14	14
36"	28	20	14	10	14	11	10	10	10	10	10	10	10	10	10	10
42"	30	21	14	10	15	11	10	10	10	10	10	10	10	10	10	10
48"	29	20	14	9	14	10	10	10	10	10	10	10	10	10	10	10
60"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
72"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
84"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
96"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
108"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
120"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
132"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
144"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
156"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
168"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
180"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
192"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
204"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
216"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
228"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9
240"	29	20	14	9	14	10	9	9	9	9	9	9	9	9	9	9

DETAIL: ADS TRENCH INSTALLATION

SCALE: NOT TO SCALE



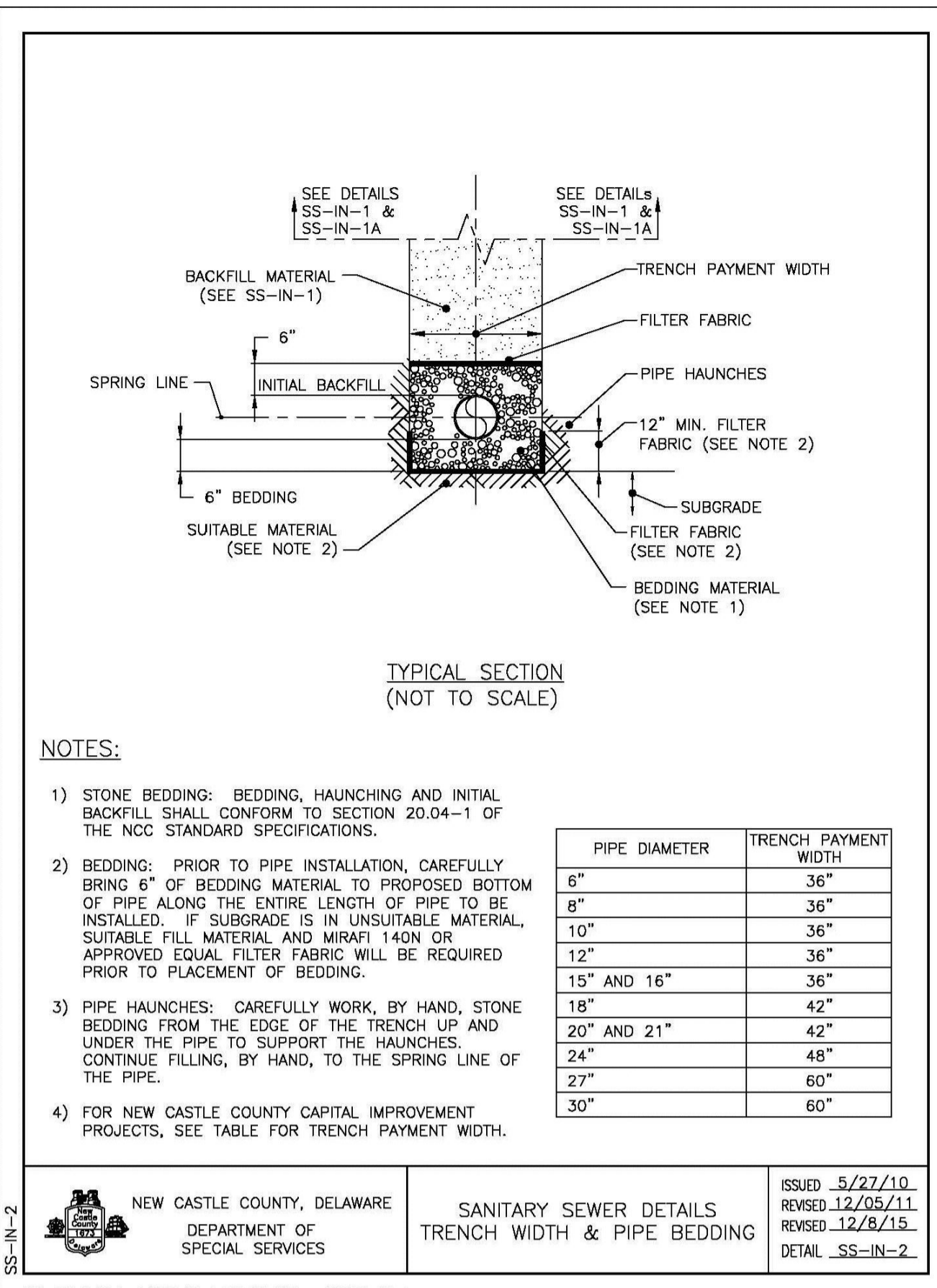
- 1) USE 3,300 PSI CONCRETE
- 2) CURB IS TO BE PLACED OVER 6 INCHES OF GABC-TYPE B OVER PROOF ROLLED AND COMPACTED SUBGRADE, 95% ASTM D1557.
- 3) THE GABC SHALL EXTEND 6 INCHES FROM BACK OF CURB.

DETAIL: PCC CURB, TYPE 1-6

SCALE: NOT TO SCALE

DETAIL: CURB END TRANSITION

SCALE: NOT TO SCALE

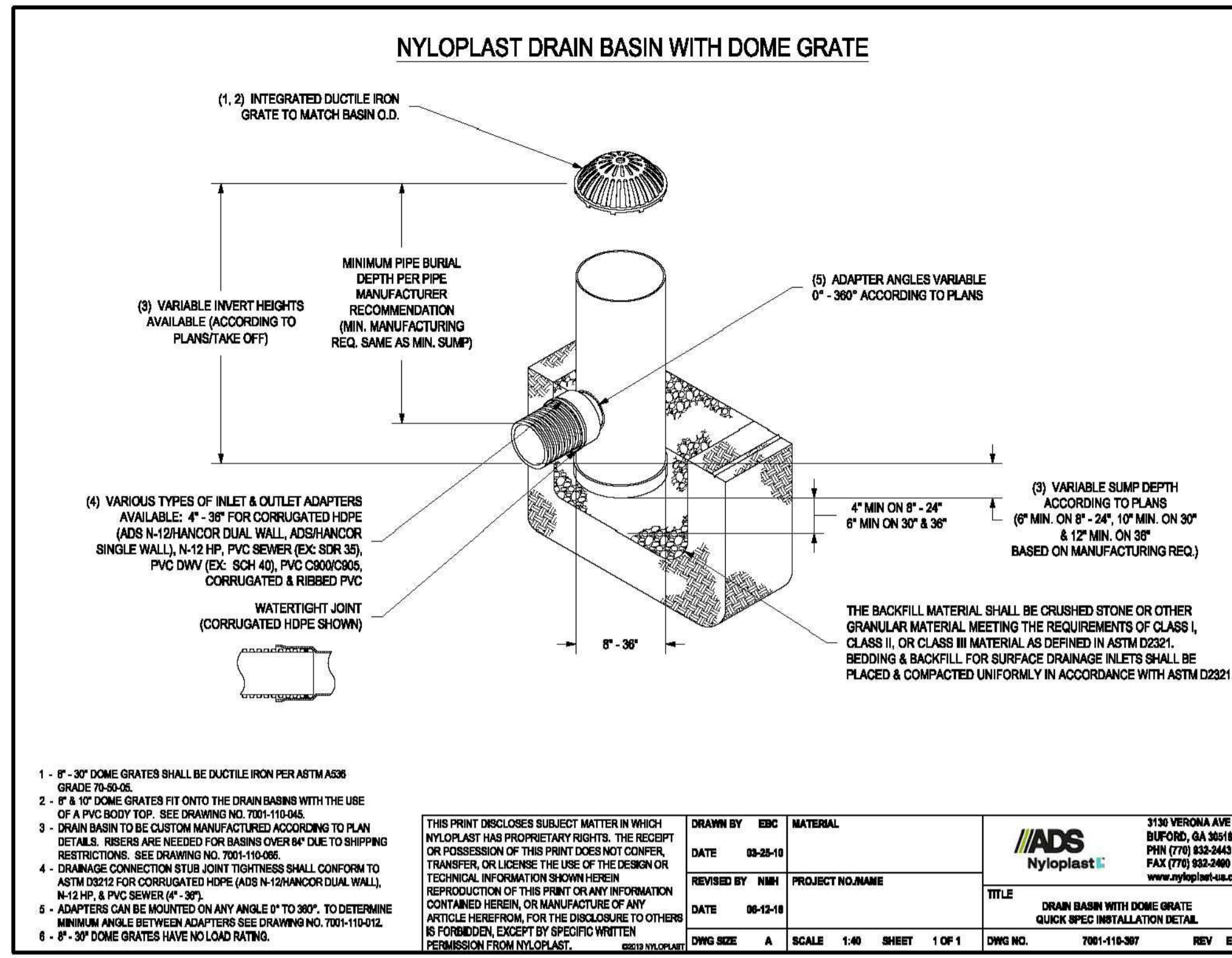


NOTES:

- STONE BEDDING: BEDDING, HAUNCHING AND INITIAL BACKFILL SHALL CONFORM TO SECTION 20.04-1 OF THE NCC STANDARD SPECIFICATIONS.
- BEDDING: PRIOR TO PIPE INSTALLATION, CAREFULLY BRING 6\"/>

PIPE DIAMETER	TRENCH PAYMENT WIDTH
6"	36"
8"	36"
10"	36"
12"	36"
15" AND 16"	36"
18"	42"
20" AND 21"	42"
24"	48"
27"	60"
30"	60"

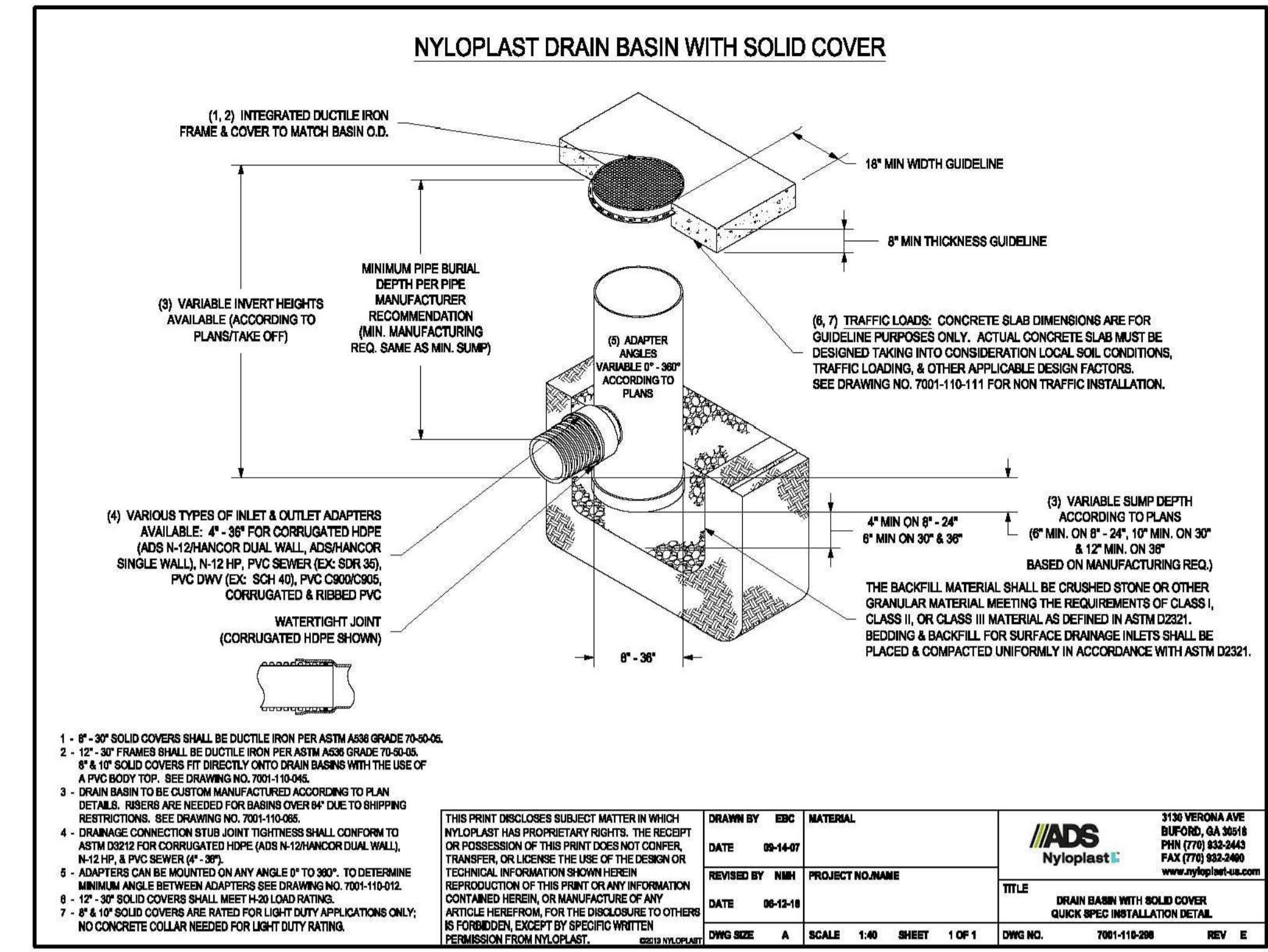
ISSUED 5/27/10
 REVISION 12/05/11
 REVISION 12/8/15
 DETAIL SS-IN-2



NOTES:

- 8\"/>

ISSUED 03-25-13
 REVISION 06-13-13
 DWG NO. 7001-110-387 REV E



NOTES:

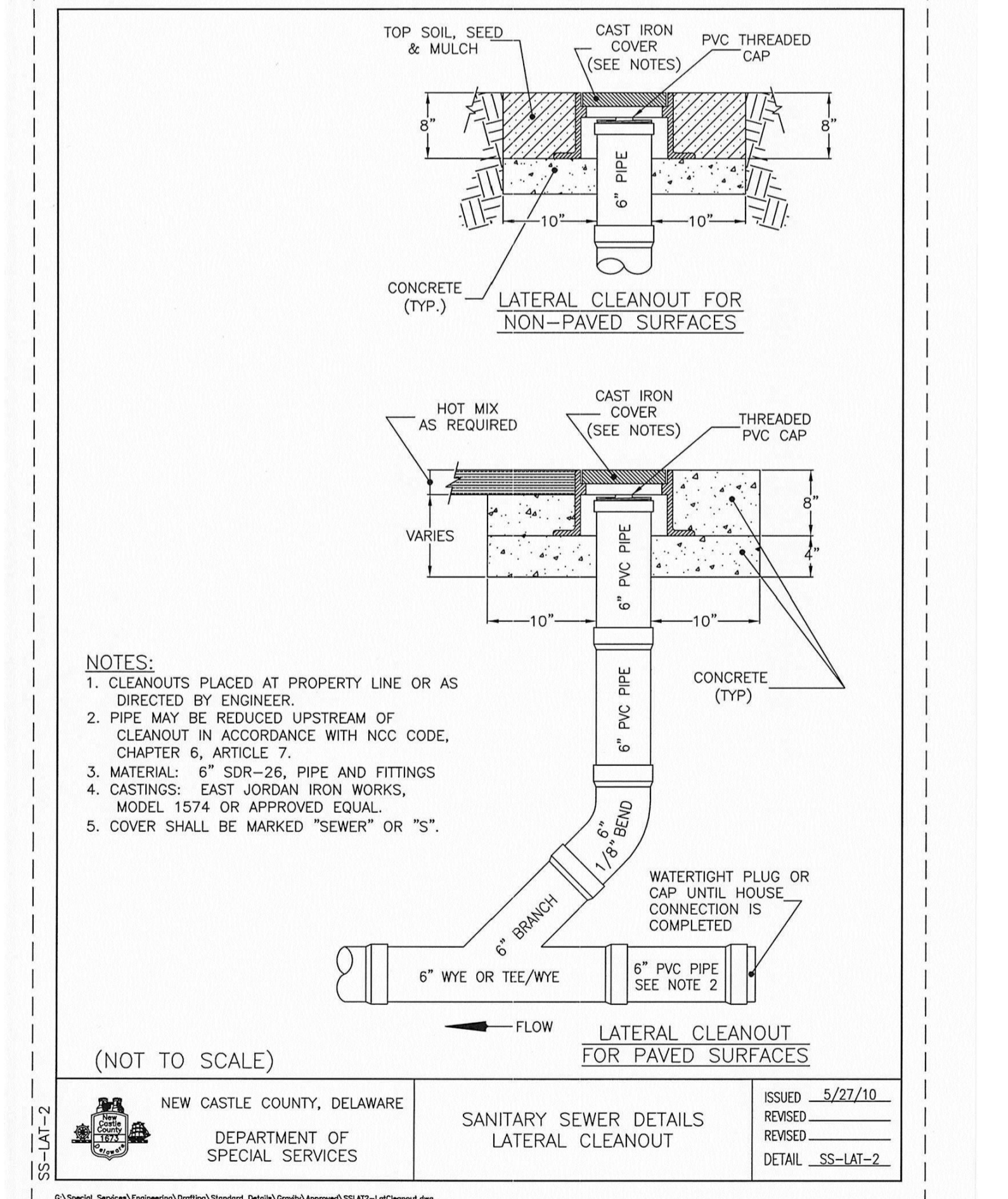
- 8\"/>

ISSUED 03-25-13
 REVISION 06-13-13
 DWG NO. 7001-110-388 REV E

DETAIL: TRENCH WIDTH & PIPE BEDDING
 SCALE: NOT TO SCALE

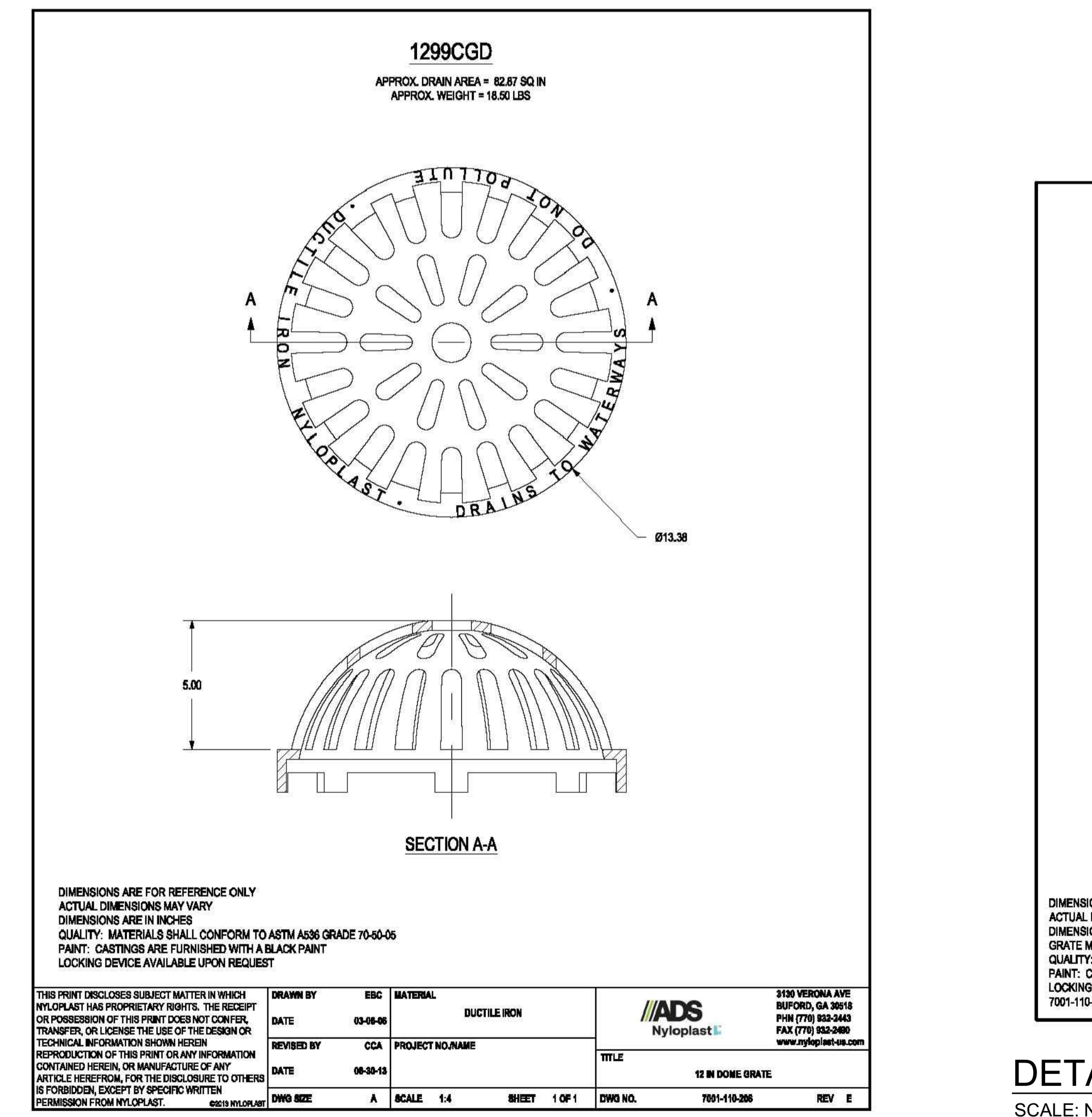
DETAIL: NYLOPLAST DRAIN BASIN WITH DOME GRATE
 SCALE: NOT TO SCALE

DETAIL: NYLOPLAST DRAIN BASIN WITH SOLID COVER
 SCALE: NOT TO SCALE



- NOTES:**
- CLEANOUTS PLACED AT PROPERTY LINE OR AS DIRECTED BY ENGINEER.
 - PIPE MAY BE REDUCED UPSTREAM OF CLEANOUT IN ACCORDANCE WITH NCC CODE, CHAPTER 6, ARTICLE 7.
 - MATERIAL: 6\"/>

ISSUED 5/27/10
 REVISION 12/05/11
 REVISION 12/8/15
 DETAIL SS-LAT-2

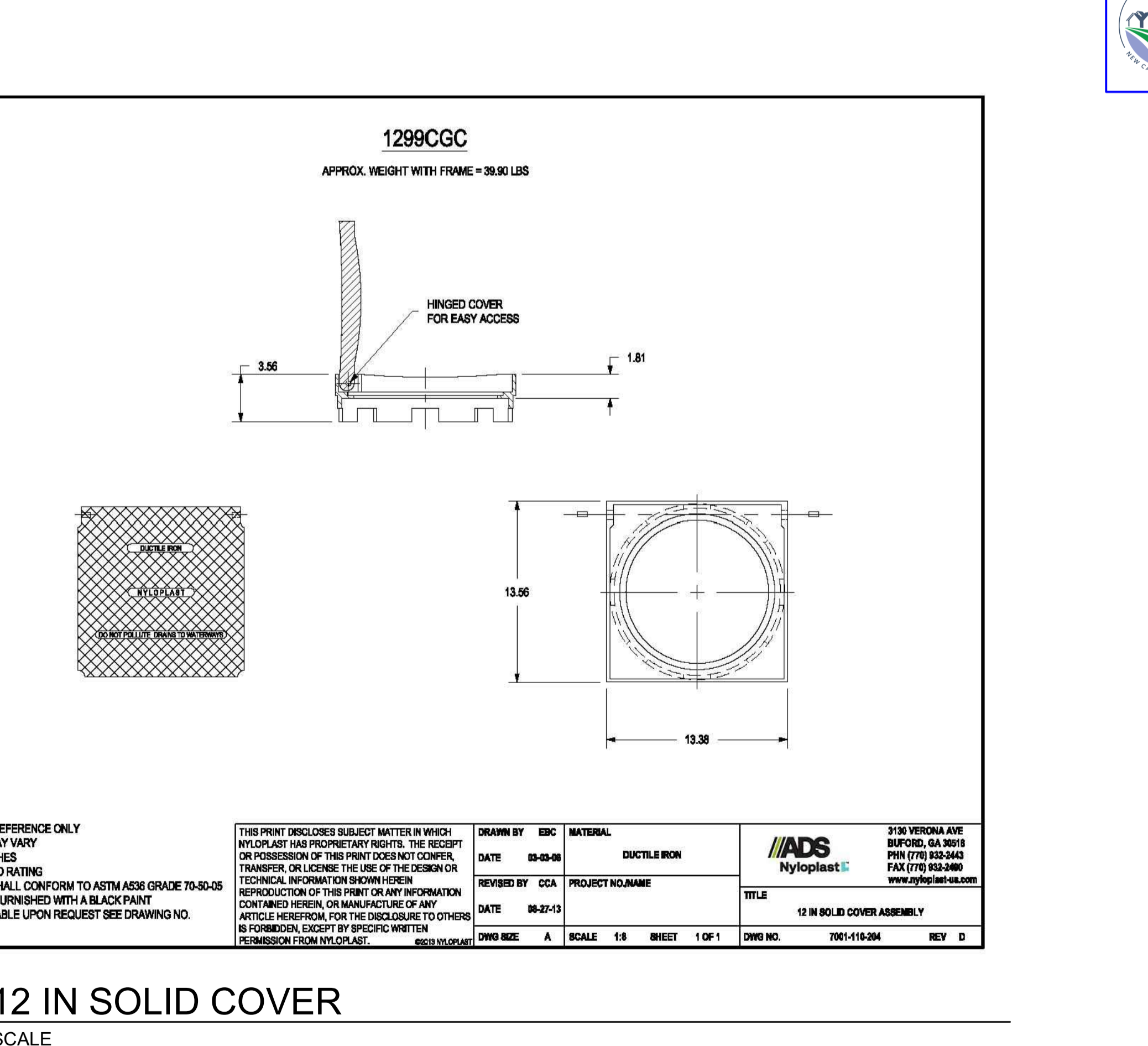


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DESIGNED BY: EBC	DATE: 03-25-13	MATERIAL: DUCTILE IRON	3130 VERONA AVE BURLINGTON, GA 30618 PHN (770) 833-2443 FAX (770) 833-2460 www.nyloplast-us.com
REVISIONED BY: CCA	DATE: 06-13-13	PROJECT NO: NAME	
DWG NO.:	A	SCALE: 1:4	SHEET: 1 OF 1
TITLE: 12 IN DOME GRATE		DWG NO.:	7001-110-386
		SCALE:	REV: E

DETAIL: 12 IN DOME GRATE
 SCALE: NOT TO SCALE

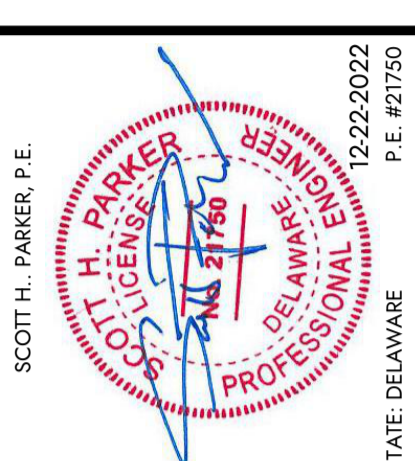


NOTES:

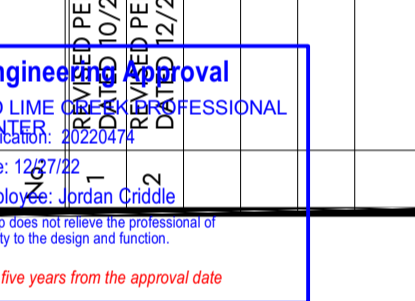
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REVISIONED BY: CCA	DATE: 06-27-13	PROJECT NO: NAME	
DWG NO.:	A	SCALE: 1:4	SHEET: 1 OF 1
TITLE: 12 IN SOLID COVER ASSEMBLY		DWG NO.:	7001-110-384
		SCALE:	REV: D

DETAIL: 12 IN SOLID COVER
 SCALE: NOT TO SCALE



DESIGNED BY: SWC	DATE: 03-25-13	PROJECT NO: 15065
DRAWN BY: ZSH	DATE: 03-25-13	
CHECKED BY: SHP	DATE: 03-25-13	
PROJECT NO: 15065		



MILL CREEK HUNDRED ~ NEW CASTLE COUNTY ~ DELAWARE
LIME CREEK PROFESSIONAL CENTER
5400 LIMESTONE ROAD
 CONSTRUCTION IMPROVEMENT PLAN
 CONSTRUCTION DETAILS

APPLICATION NO.:	2022-0474
DATE:	SEPTEMBER 16, 2022
SCALE:	1" = 30'
SHEET:	8 OF 8

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