

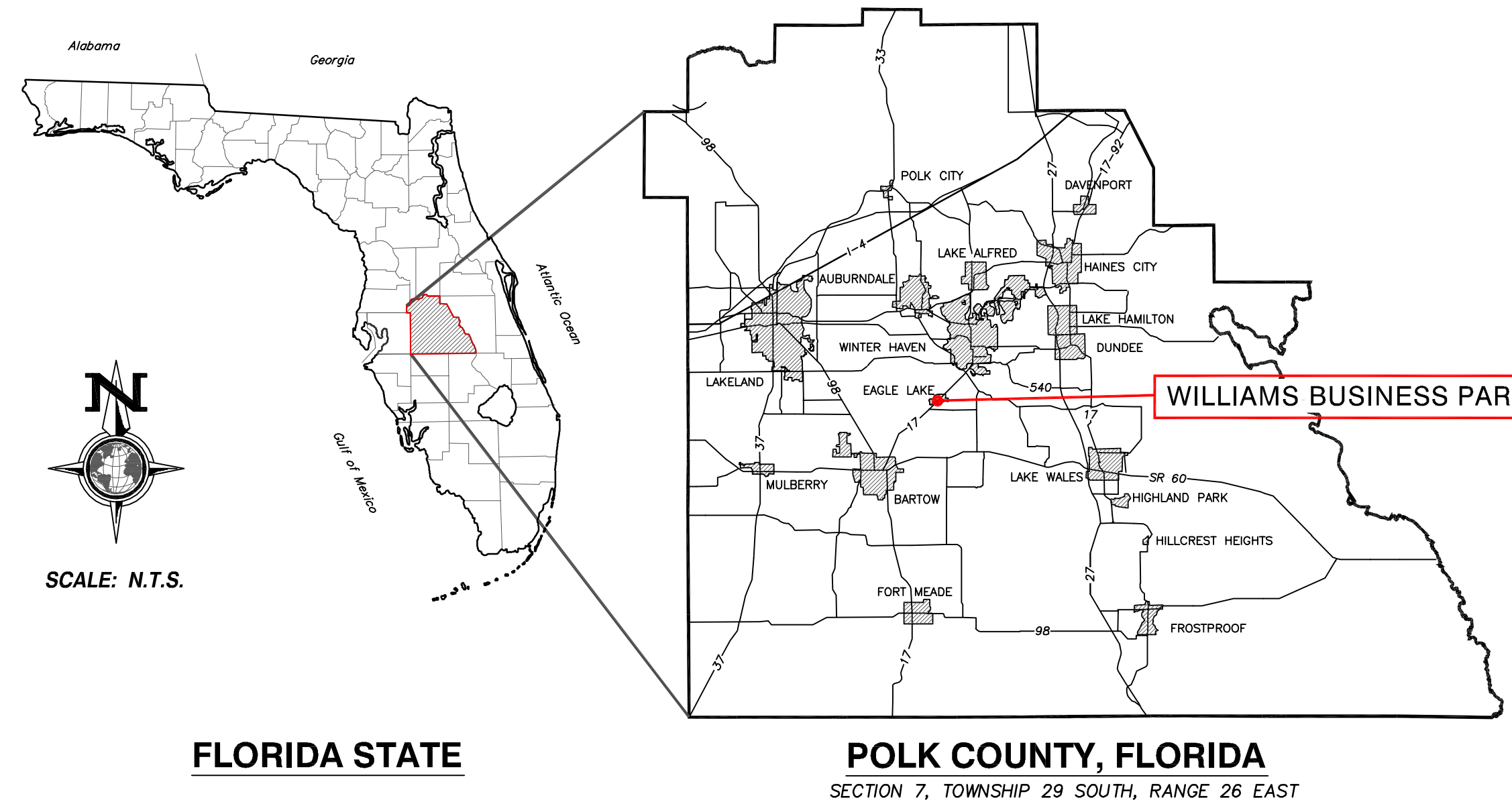
CONSTRUCTION DRAWINGS FOR WILLIAMS BUSINESS PARK

564 BROOKINS AVENUE E., EAGLE LAKE, FLORIDA 33839

THE PAVEMENT & STORMWATER SYSTEMS WILL BE PRIVATELY MAINTAINED

GENERAL NOTES:

- ALL MATERIAL AND WORKMANSHIP USED DURING THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM WITH THE CITY OF EAGLE LAKE, SWFWMD, FDEP AND FDOT STANDARDS AND SPECIFICATIONS.
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF EAGLE LAKE, ENGINEERING SERVICES DIVISION, IS REQUIRED PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES. THE PRE-CONSTRUCTION MEETING CANNOT BE SCHEDULED UNTIL ALL REQUIRED PERMITS, LOCAL, STATE AND FEDERAL ARE ISSUED. THE ENGINEER OF RECORD SHALL PROVIDE COPIES OF ALL ISSUED PERMITS TO THE CITY.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL EXISTING TIE-IN LOCATIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND THE FIELD CONDITIONS.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS. ANY DELAY OR INCONVENIENCE CAUSED BY THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION, AND NOTIFY ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CONTRACTOR IS TO RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTING.
- EXISTING WELLS (IF APPLICABLE) SHALL BE ABANDONED BY A LICENSED WATER WELL CONTRACTOR ACCORDANCE WITH RULES 40D-3 & 17-21.10(4), F.A.C.
- CONTRACTOR TO DISPOSE OF ALL SITE DEMOLITION IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR (NOT THE ENGINEER) IS SOLELY AND ENTIRELY RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT OSHA, STATE AND LOCAL REGULATIONS REGARDING CONSTRUCTION SAFETY ON THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY SERVICES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE AND TO THE CITY AND/OR OWNER'S SATISFACTION.
- UPON COMPLETION OF CONSTRUCTION, THE OWNER WILL REQUIRE ONE SET OF COMPLETE "AS-BUILTS". CONTRACTOR TO SUPPLY CERTIFIED "AS-BUILTS" TO THE ENGINEER OF RECORD.
- THE SITE SHALL BE INITIALLY GRADED SUCH THAT NO OFF-SITE AREA WILL BE ADVERSELY AFFECTED BY THE STORMWATER RUNOFF. RUNOFF TO THE ADJACENT RIGHTS-OF-WAY SHALL BE PREVENTED. THE EXISTING DRAINAGE FACILITIES WITHIN THE RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES BY THE USE OF SILT FENCING, TEMPORARY GRADING, RE-VEGETATION, ETC. ANY DISTURBED AREA WITHIN THE RIGHT-OF-WAY SHALL BE SEED.
- PLEASE BE ADVISED THAT ANY CONSTRUCTION ACTIVITIES THAT DISTURB (INCLUDES CLEARING, GRADING AND EXCAVATION) ONE (1) ACRE OR MORE OF LAND (TOTAL PLAN OF DEVELOPMENT) AND THAT MAY RESULT IN A STORMWATER DISCHARGE TO WATERS OF THE STATE OR MUNICIPAL SEPARATE STORM SYSTEM WILL REQUIRE COVERAGE UNDER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT, INCLUDING A STORMWATER POLLUTION PREVENTION PLAN. INFORMATION ABOUT NPDES STORMWATER PROGRAM CAN BE OBTAINED BY CALLING THE FDEP NPDES STORMWATER PROGRAM AT 850-245-7522 OR VISITING THEIR WEBSITE AT: WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES/.



OWNER/DEVELOPER:

SAW PROPERTIES, LLC
P.O. BOX 280
EAGLE LAKE, FLORIDA 33839
Phone: 863-294-2808

Contact: STEVE WILLIAMS

CONTRACTOR:

WILLIAMS CONSTRUCTION COMPANY
4100 SPIRIT LAKE ROAD, SUITE 1
WINTER HAVEN, FLORIDA 33880
Phone: 863-294-2808

Contact: STEVE WILLIAMS

ENGINEER:

LP ENGINEERING SERVICES, LLC
205 CENTURY BOULEVARD
BARTOW, FLORIDA 33830
Phone: 863-519-3470

Contact: KENDALL S. PHILLIPS, P.E.

SOIL SCIENTIST:

UNIVERSAL ENGINEERING SCIENCES
9802 PALM RIVER ROAD
TAMPA, FLORIDA 33619
Phone: 813-740-8506

Contact: PAVAN KOLUKULA, P.E.

SURVEYOR:

30 SOUTH, LLC
425 SOUTH FIRST AVENUE
BARTOW, FLORIDA 33830
Phone: 863-800-3539

Contact: SHERRY GRYMKO, P.S.M.



REVISION	DATE	DESCRIPTION
1	10-16-23	REVISED PER CITY & FDOT COMMENTS
2	1-10-24	REVISED BLDG 3-4 PER CLIENT COMMENT

LEGEND

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & BMP PLAN
3	SITE GEOMETRY PLAN
4	UTILITY & DEMOLITION PLAN
5	DRAINAGE & GRADING PLAN
6	ROADWAY & DRAINAGE DETAILS
7	UTILITY DETAILS
8	LANDSCAPE PLAN



Know what's below.
Call before you dig.

Kendall S. Phillips, P.E.
2024.06.14
10:17:26 -04'00'

This item has been digitally signed and sealed by Kendall S. Phillips, State of Florida Professional Engineer, License No. 16930 on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FDOT PERMIT APPLICATION Nos.
DRAINAGE: 2023-D-190-00057
DRIVEWAY: 2023-A-190-00070

SURVEYOR'S NOTES:

- North, the Bearings and the Coordinates shown hereon are referenced to the West Zone of the Florida State Plane Coordinate System, North American Datum of 1983 (NAD 83) CORS 2011. The bearing of North 44°51'08" West along the east right of way line of Laurel Avenue as shown hereon is held as a bearing reference.
- All measurements are in U.S. Survey Feet.
- Underground improvements, encroachments, foundations and/or utilities were not located as a part of this survey. Above ground evidence of utilities (paint, pin flags, risers, signs, etc.), when observed, has been located as shown. No investigation was made as to how utilities may be connected below the surface.
- There is a 14' platted alley between Lots 1, 2, 3, 4, 5 and 10, 9, 8, 7, 6 per Worden's Re-Subdivision recorded in Plat Book 9, Page 38. The Polk County Property Appraiser shows the alley as part of the property. No vacating document for the 14' alley was provided or found in the public record.
- The legal description for "PARCEL 1" shown hereon was taken from the Owner's Policy referenced in Note #5 above and is also described in Official Records Book 12604, Pages 2084-2086 of the Public Records of Polk County, Florida. The overall parcel as surveyed contains 1.72 acres.
The legal description for "PARCEL 2" shown hereon was taken from Official Records Book 6020, Pages 1958-1959 of the Public Records of Polk County, Florida. Said description has language including the "R/W vacated Fifth Street lying between...". Typically vacated right of ways are split evenly between adjoining. As the "Easterly 1/2 of vacated Fifth Street" is included in the legal description language for Parcel 1, this survey holds only that portion of the Westerly 1/2 of vacated Fifth Street as being a part of Parcel 2. The overall parcel as surveyed contains 0.21 acres.
- When field measurements differ from plat or description courses, the plat or description dimensions are shown in parentheses ().
- The adjoining landowner information shown hereon is taken from the Polk County Property Appraiser's records.
- A determination of jurisdictional wetlands, if any, within the subject property was not performed as a part of this survey.

BENCHMARK

Elevations are to North American Vertical Datum of 1988 (NAVD88) and are based on National Geodetic Survey (NGS) Control Mark K038 (PID AF7591), Elevation = 143.30 feet.

SOIL CHARACTERISTICS

As described by the United States Department of Agriculture, Soils Conservation Service for Polk County, Florida, this project lies within the below listed soils:

#3 CANDLER SAND 0-5 PERCENT SLOPES	HYDROLOGIC GROUP "A"	HIGH WATER TABLE > 80"
#50 CANDLER URBAN LAND 0-5 PERCENT SLOPES	HYDROLOGIC GROUP "A"	HIGH WATER TABLE > 80"

FLOOD ZONE

Property shown hereon appears to be located in Flood Zone "X", per flood insurance rate map No. 12105C0510 G, Dated 12/22/2016.

There may be map amendments or revisions that were filed after the effective date of the map that were not found or provided, this surveyor makes no guarantee as to the accuracy of the above information, local federal emergency management agency should be contacted for verification.

LEGAL DESCRIPTION

PARCEL 1
Lot(s) 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, Block 5, Tier 9, Worden's Resubdivision, according to the map or plat thereof, as recorded in Plat Book 9, Page(s) 38, of the Public Records of Polk County, Florida, together with Easterly 1/2 of vacated Fifth Street lying between Laurel Avenue and Brookins Ave.

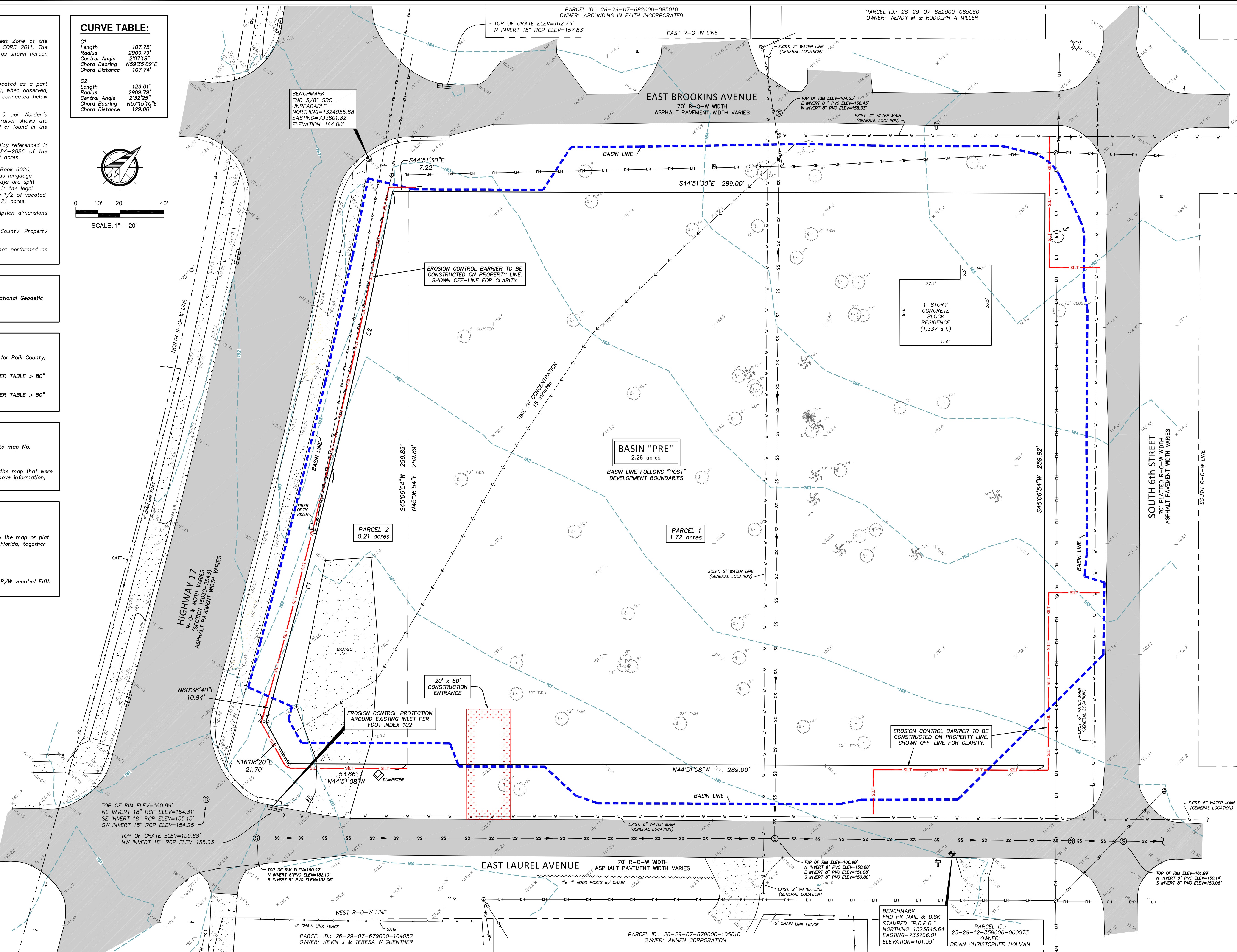
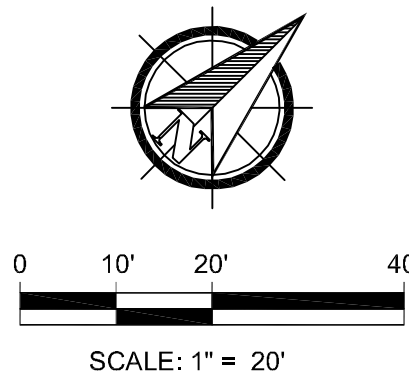
PARCEL 2
Worden's Resub PB 9 PG 38 Tier 9 Blk 4 Lots 6, 7, and 8 all lying sly of SR - S-555 R/W vacated Fifth St. lying between Laurel Ave. and Brookins Ave.

LEGEND

[Symbol] EXISTING PAVEMENT SURFACE	[Symbol] ELECTRIC RISER
[Symbol] EXISTING CONCRETE SURFACE	[Symbol] TELEPHONE RISER
[Symbol] PROPOSED GRAVEL CONSTRUCTION ENTRANCE	[Symbol] WATER METER
[Symbol] OVERHEAD POWER LINE	[Symbol] LIGHT POLE
[Symbol] CHAIN LINK FENCE	[Symbol] UTILITY POLE
[Symbol] WOOD POSTS w/ CHAINS	[Symbol] GUY ANCHOR
[Symbol] WATER MAIN (general location)	[Symbol] FIRE HYDRANT
[Symbol] SANITARY SEWER LINE	[Symbol] SANITARY MANHOLE
[Symbol] UNDERGROUND FIBER OPTIC	[Symbol] DRAINAGE MANHOLE
[Symbol] EXISTING CONTOUR	[Symbol] CURB INLET
[Symbol] R-O-W LINE	[Symbol] MAILBOX
[Symbol] DIRECTION OF FLOW	[Symbol] DOUBLE POST SIGN
[Symbol] BASIN LINE	[Symbol] SIGN
[Symbol] EROSION CONTROL BARRIER	[Symbol] DECID TREE
[Symbol] EXISTING GRADE	[Symbol] PALM TREE
[Symbol] BENCHMARK	[Symbol] PINE TREE
	[Symbol] OAK TREE

CURVE TABLE:

C1	Length 107.75'
	Radius 2909.79'
	Central Angle 2°07'18"
	Chord Bearing N59°35'02"E
	Chord Distance 107.74'
C2	Length 129.01'
	Radius 2909.79'
	Central Angle 2°32'25"
	Chord Bearing N5°15'10"E
	Chord Distance 129.00'



No.	DATE	APPROVED	REVISION
1	10-16-23	KSP	REVISED per CITY & FDOT COMMENTS

LP ENGINEERING SERVICES, LLC
 205 Century Boulevard
 Bartow, Florida 33830
 phone: 863-221-2298 fax: 863-533-3376
 Certificate of Authorization No. 28840

Filename:	23005 BASE	Horizontal Scale:	1" = 20'
View:	EXIST	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	6-7-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
 Existing Conditions & BMP Plan
 564 E. Brookins Avenue, Eagle Lake, Florida 33839

Kendall S. Phillips, P.E.
 2024.06.14
 10:17:26 -0400
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PROJECT No.	23005	SHEET No.	2
			OF 8

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WILLIAMS BUSINESS PARK

SITE SUMMARY

PARCEL No.: 262907-682000-094061
 262907-682000-095010

ADDRESS: 564 BROOKINS AVENUE E.
 EAGLE LAKE, FLORIDA 33839

CITY: EAGLE LAKE
 COUNTY: POLK
 ZONING: CG (COMMERCIAL-GENERAL)

MIN. SETBACKS: FRONT = 15'
 SIDE = 10'
 REAR = 10'

MAX. BUILDING HEIGHT: 35'

PROPERTY AREA: 84,398 s.f. 1.94 ACRES

IMPERVIOUS SURFACES:

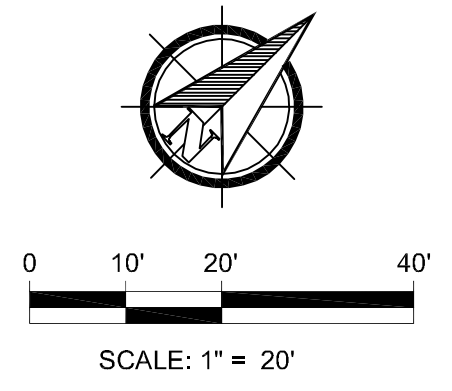
BUILDINGS	20,650 s.f.
ROADWAYS (VSA)	32,723 s.f.
CONCRETE WALKWAYS	6,008 s.f.
	59,381 s.f.

FLOOR AREA RATIO:
 $(20,650 \text{ s.f.} / 84,398 \text{ s.f.}) \times 100 = 24.5\%$

IMPERVIOUS SURFACE RATIO: MAX. = 70%
 $(59,381 \text{ s.f.} / 84,398 \text{ s.f.}) \times 100 = 70.4\%$

PARKING:
 OFFICE - 1 SPACE per 250 S.F. GFA
 $(24,650 \text{ s.f.} / 250) = 98.6 \text{ SPACES}$
 REQUIRED SPACES = 99
 PROVIDED SPACES = 115 (116% of required)

ON-SITE REGULAR = 73
 ON-SITE HANDICAP = 4
 OFF-SITE REGULAR = 38



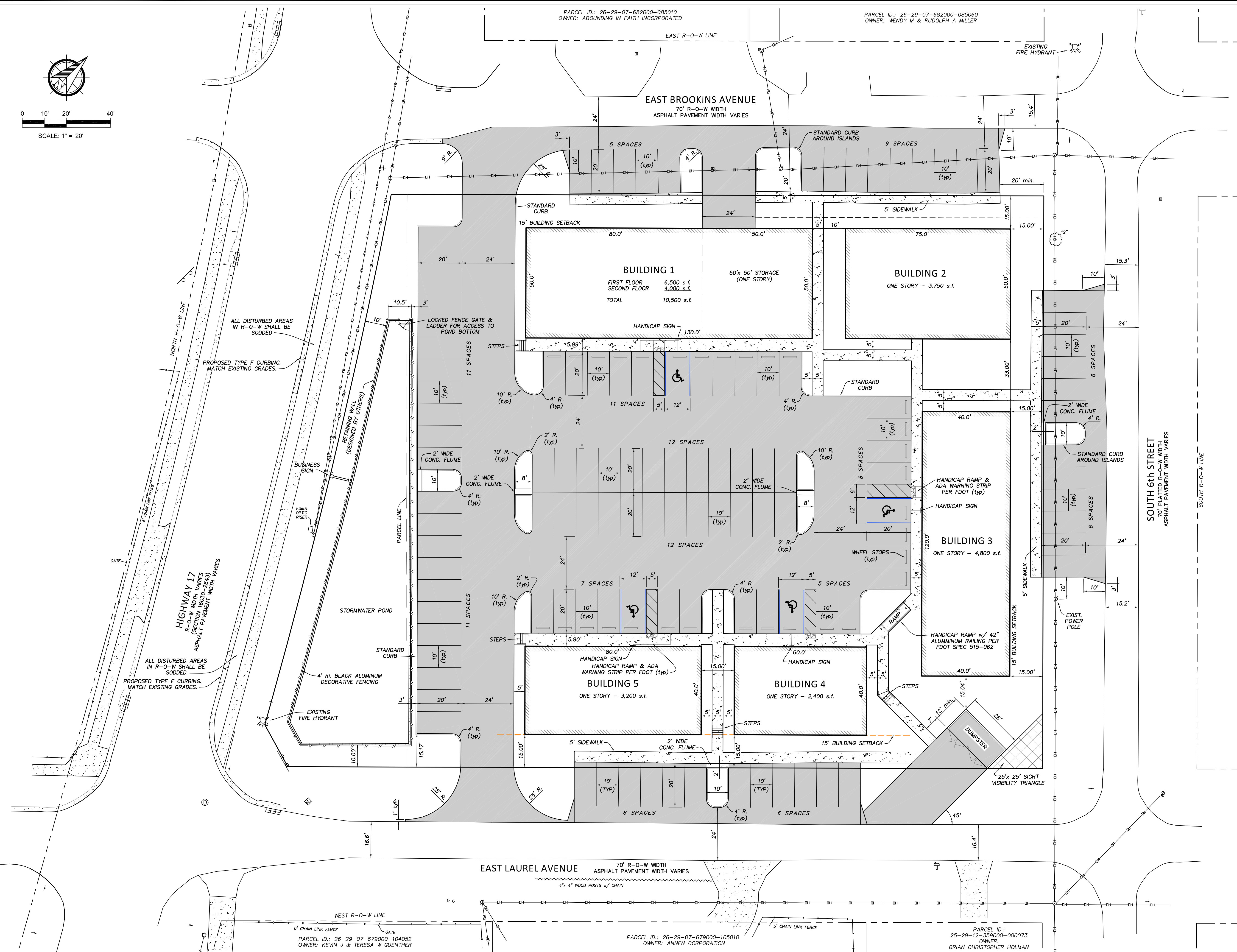
PERMITTING

BEFORE CONSTRUCTION ACTIVITIES COMMENCE, PERMITS FROM THE FOLLOWING AGENCIES ARE REQUIRED:

AGENCY	PERMIT	PERMIT #
CITY OF EAGLE LAKE	ENGINEERING	
F.D.O.T.	DRAINAGE	
FDEP 10/2 SELF CERTIFICATION	STORMWATER	

LEGEND

- PROPOSED BUILDING
- PROPOSED CONCRETE ROADWAY
- PROPOSED CONCRETE WALKWAYS
- EXISTING CONCRETE SURFACE
- R-O-W LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC
- CHAIN LINK FENCE
- WOOD POSTS w/ CHAINS
- PROPOSED OPAQUE FENCING
- ELECTRIC RISER
- TELEPHONE RISER
- WATER METER
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- FIRE HYDRANT
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- CURB INLET
- MAILBOX
- DOUBLE POST SIGN
- SIGN
- DECID TREE
- PALM TREE
- PINE TREE
- OAK TREE



No.	DATE	APPROVED	REVISION
1	1-10-24	KSP	REVISED BUILDING 3-4 per CLIENT COMMENTS

No.	DATE	APPROVED	REVISION

LP ENGINEERING SERVICES, LLC
 205 Century Boulevard
 Bartow, Florida 33830
 phone: 863-221-2298 fax: 863-533-3376
 Certificate of Authorization No. 28840

Filename:	23005 BASE	Horizontal Scale:	1" = 20'
View:	SITE	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	6-8-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
 Site Geometry Plan
 564 E. Brookins Avenue, Eagle Lake, Florida 33839

Parcel ID: 25-29-12-359000-000073
 OWNER: BRIAN CHRISTOPHER HOLMAN

Kendall S. Phillips, P.E.
 2024.06.14
 10:17:26 -0400'

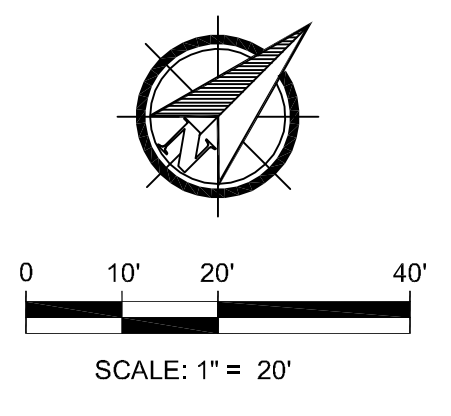
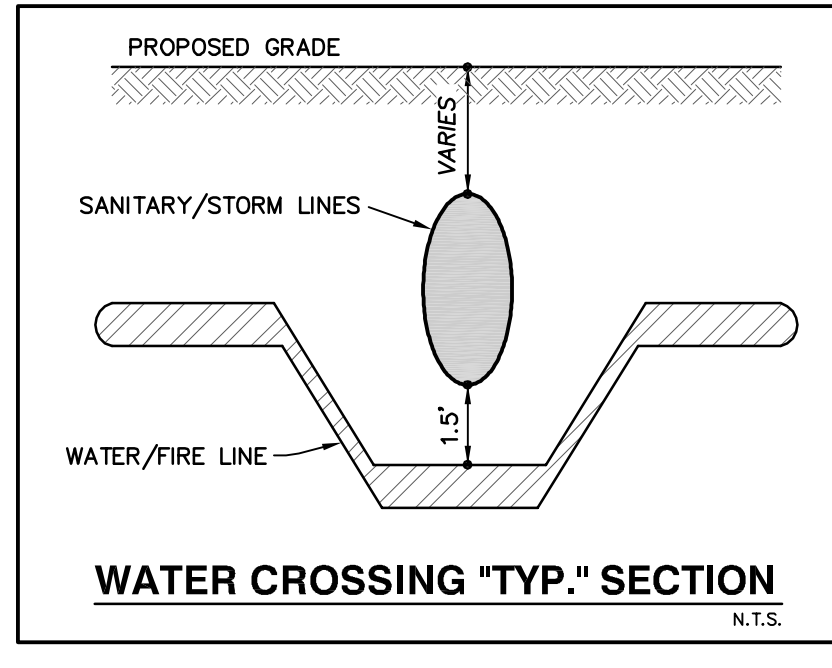
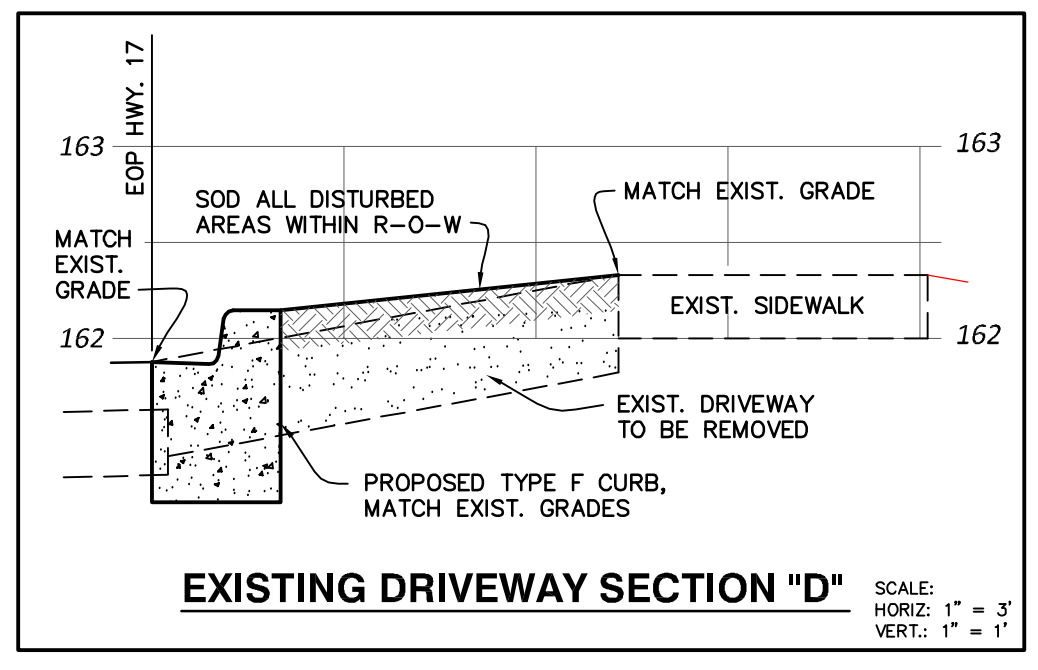
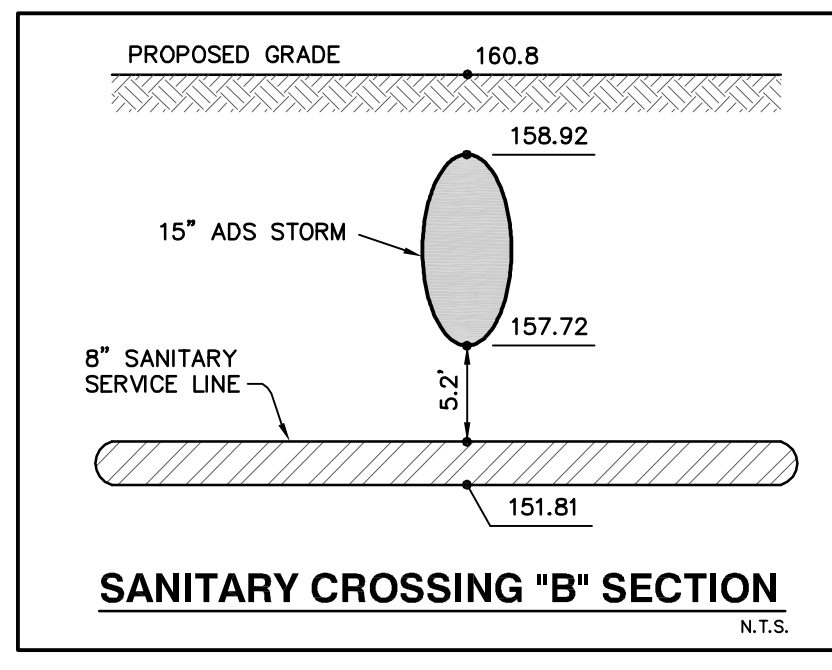
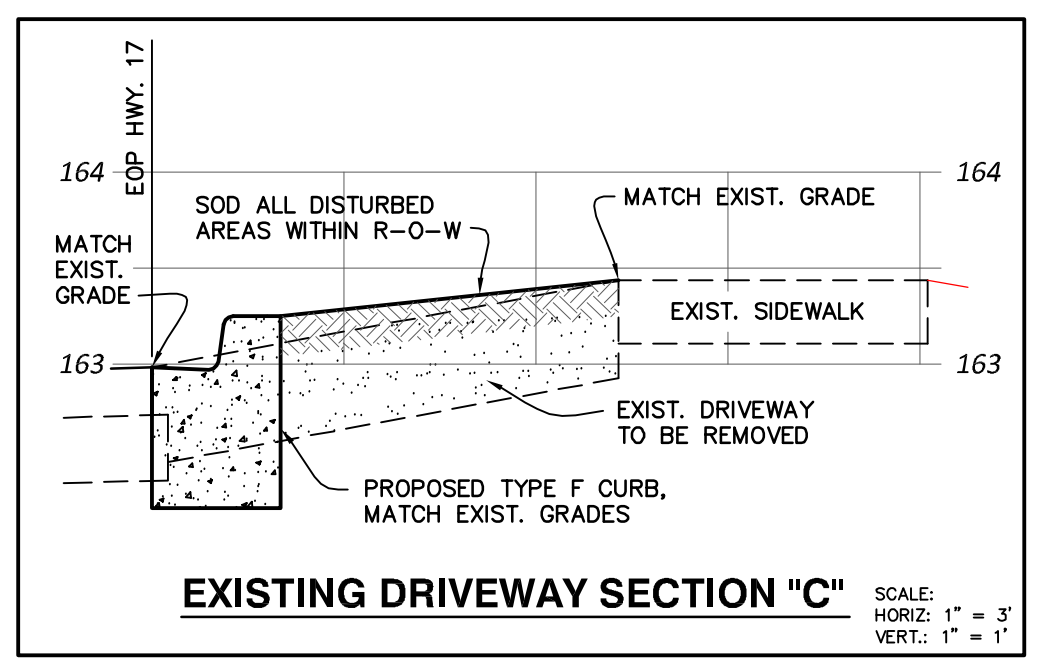
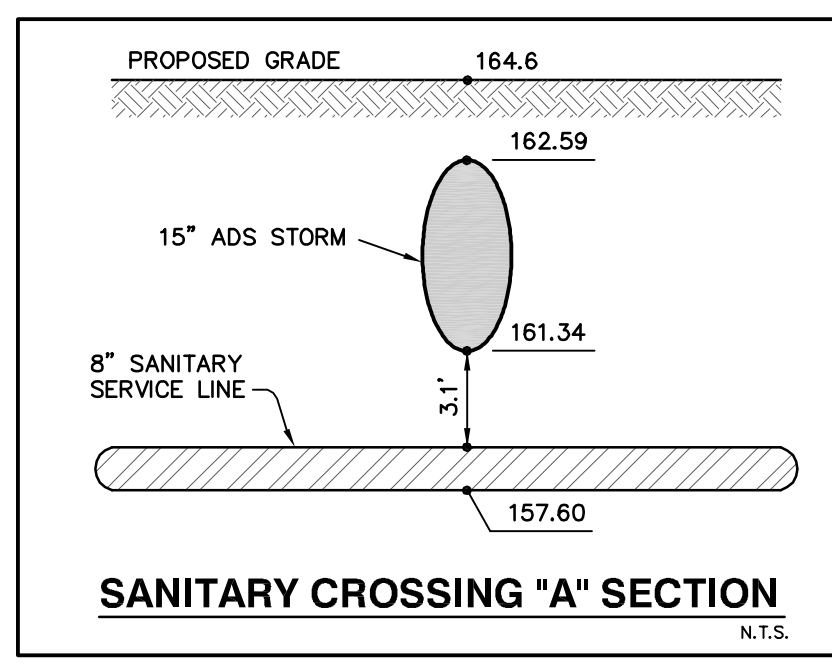
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PROJECT No. **23005**

SHEET No. **3** OF **8**

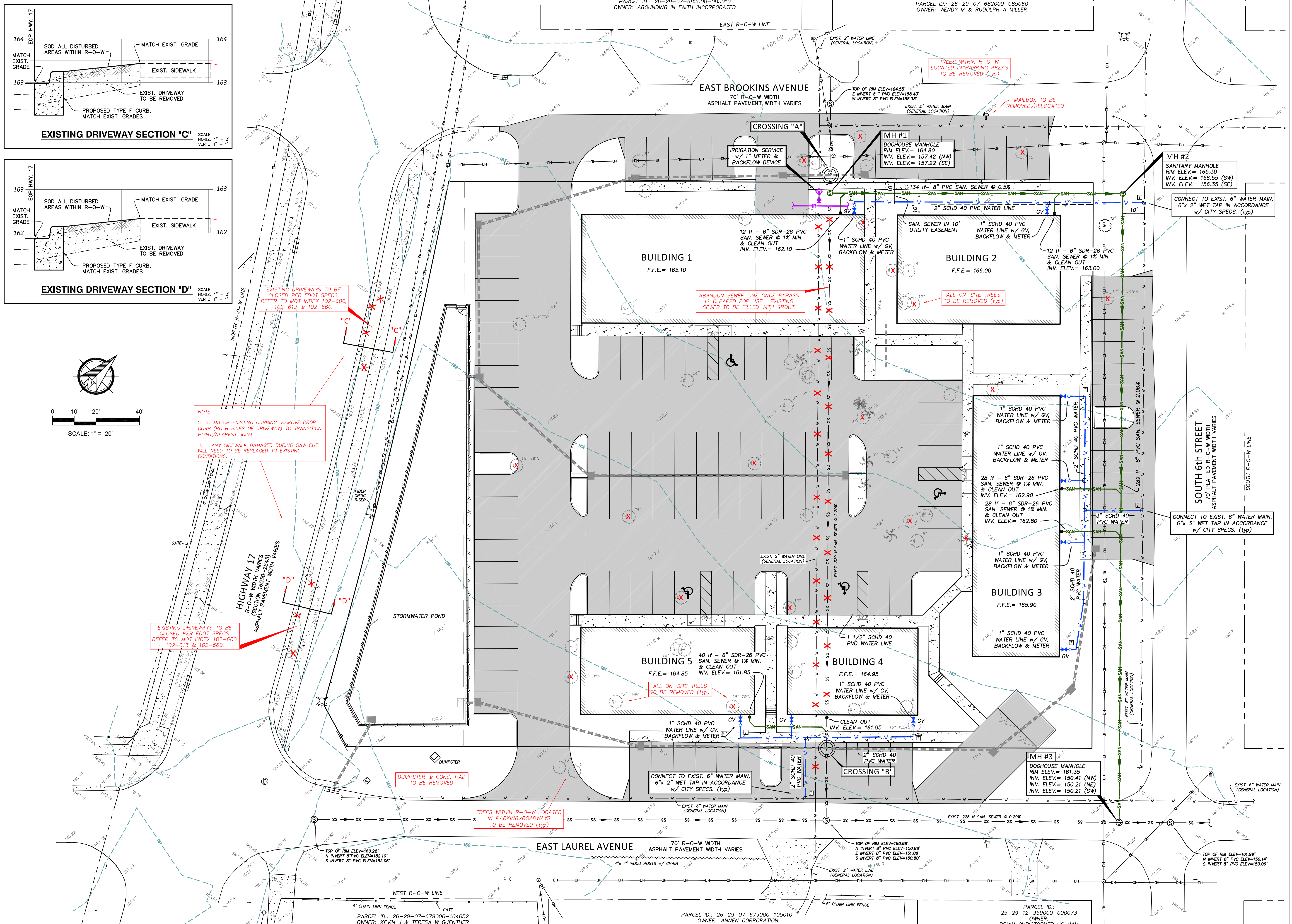
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WILLIAMS BUSINESS PARK



LEGEND

- PROPOSED BUILDING
- PROPOSED CONCRETE ROADWAY
- PROPOSED CONCRETE WALKWAYS
- EXISTING CONCRETE SURFACE
- R-O-W LINE
- EXISTING CONTOUR
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC
- PROPOSED OPAQUE FENCING
- WATER LINE - TO BE REMOVED
- PROPOSED WATER LINES
- PROPOSED IRRIGATION LINE
- SANITARY SEWER - TO BE REMOVED
- PROPOSED SANITARY SEWER
- PROPOSED BACKFLOW & METER
- PROPOSED SAMPLE POINT
- PROPOSED GATE VALVE
- ELECTRIC RISER
- TELEPHONE RISER
- WATER METER
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- FIRE HYDRANT
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- CURB INLET
- MAILBOX
- SIGN
- DECID TREE, TO BE REMOVED
- PALM TREE
- PINE TREE
- OAK TREE, TO BE REMOVED



No.	DATE	APPROVED	REVISION
1	10-23-23	KSP	REVISED per CITY COMMENTS
2	12-1-23	KSP	REVISED per CITY COMMENTS
3	1-11-24	KSP	REVISED BUILDING 3-4 per CLIENT COMMENTS

LP ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-221-2298 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	23005 BASE	Horizontal Scale:	1" = 20'
View:	UTIL	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	6-8-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
Utility & Demolition Plan
564 E. Brookins Avenue, Eagle Lake, Florida 33839

Parcel ID: 25-29-12-359000-000073
OWNER: BRIAN CHRISTOPHER HOLMAN

Kendall S. Phillips, P.E.
2024.06.14
10:17:26 -0400'

PROJECT No. **23005** SHEET No. **4** OF **8**

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STRUCTURE SCHEDULE

STRUCTURE No.	TYPE	RIM/GRATE ELEV.	INVERT ELEV. UPSTREAM	INVERT ELEV. DOWNSTREAM	DOWNSTREAM PIPE
S-1	TYPE 'C' INLET	164.14	-	161.39	35" - 15" ADS HD @ 0.91%
S-2	TYPE 'F' INLET	164.07	161.07	161.07	64" - 15" ADS HD @ 1.22%
S-3	TYPE 'C' INLET	163.29	160.29	160.29	73" - 15" ADS HD @ 1.22%
S-4	TYPE 'C' INLET	162.40	159.40	159.40	67" - 15" ADS HD @ 1.87%
S-5	TYPE 'C' INLET	161.15	158.15	156.15	4" - 15" ADS HD @ 3.75%
INV. ELEV. = 156.00 w/ 4" x 4" CONC SPLASH PAD @ POND BOTTOM					
S-6	TYPE 'C' INLET	163.55	-	160.55	115" - 15" ADS HD @ 0.80%
S-7	TYPE 'C' INLET	162.60	159.85	159.85	67" - 15" ADS HD @ 2.54%
S-9	TYPE 'C' INLET	162.95	-	159.95	64" - 15" ADS HD @ 2.42%
S-10	TYPE 'C' INLET	161.40	158.40	158.40	43" - 15" ADS HD @ 0.93%
S-11	TYPE 'F' INLET	161.00	158.00	158.00	160" - 15" ADS HD @ 0.36%
S-12	TYPE 'C' INLET	160.17	157.17	157.17	75" - 18" ADS HD @ 0.56%
S-13	TYPE 'C' INLET	160.50	156.75	155.75	4" - 18" ADS HD @ 6.25%
INV. ELEV. = 155.50 w/ 4" x 4" CONC SPLASH PAD @ POND BOTTOM					

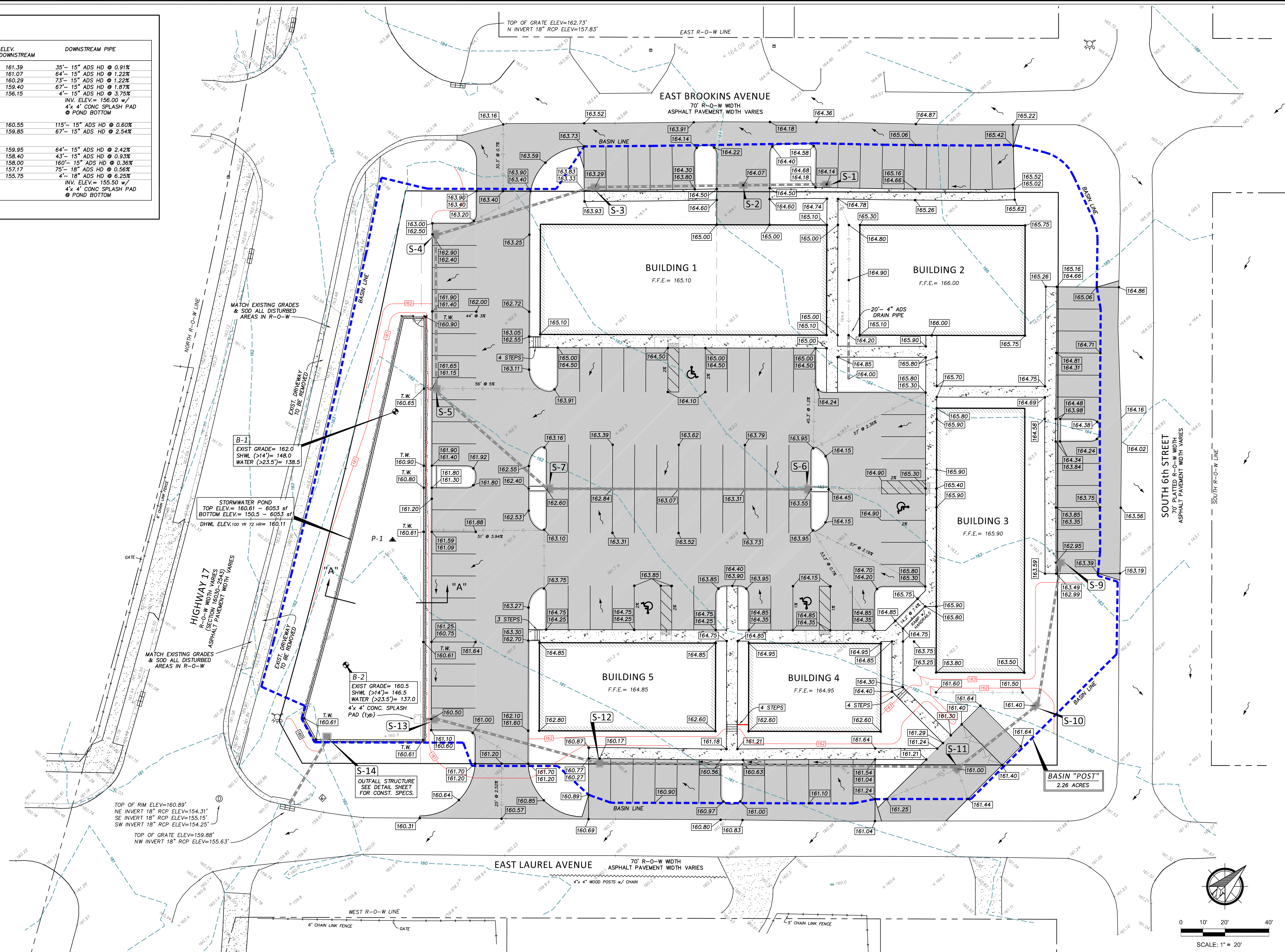
TYPE 'C' INLETS PER FDOT INDEX 425-052
TYPE 'F' INLETS PER FDOT INDEX 425-053

LEGEND

- PROPOSED CONCRETE ROADWAY SURFACE
- PROPOSED CONCRETE WALKWAYS/DUMPSTER
- EXISTING CONCRETE SURFACE
- R-O-W LINE
- BASIN LINE
- PROPOSED CONTOUR
- DIRECTION OF FLOW
- EXISTING CONTOUR
- PROPOSED STORM PIPE
- CHAIN LINK FENCE
- WOOD POSTS w/ CHAINS
- STRUCTURE NUMBER
- SOIL BORING
- PROPOSED ROADWAY - WALKWAY GRADE
- PROPOSED TOP OF CURB & ROADWAY GRADE
- EXISTING ELEVATION
- FIRE HYDRANT
- DRAINAGE MANHOLE
- CURB INLET

FILL PLACEMENT

ALL FILL PLACED FOR SITE BERMING SHALL BE FREE OF ORGANICS, NON-PLASTIC GRANULAR SOIL (CLEAN SANDS). FILL SHALL BE PLACED IN MAX. OF 12" LIFTS AND COMPACTED TO A MINIMUM 95% per ASTM SPEC D-1557. TO OBTAIN BERM STABILITY, CLAY CORES MAY BE REQUIRED.



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No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	10-23-23	KSP	REVISED per CITY & FDOT COMMENTS				
2	1-11-24	KSP	REVISED BUILDING 3-4 per CLIENT COMMENTS				
3	6-13-24	KSP	REVISED POND DESIGN per CLIENT COMMENTS				

LP ENGINEERING SERVICES, LLC
 205 Century Boulevard
 Bartow, Florida 33830
 phone: 863-221-2298 fax: 863-533-3376
 Certificate of Authorization No. 28840

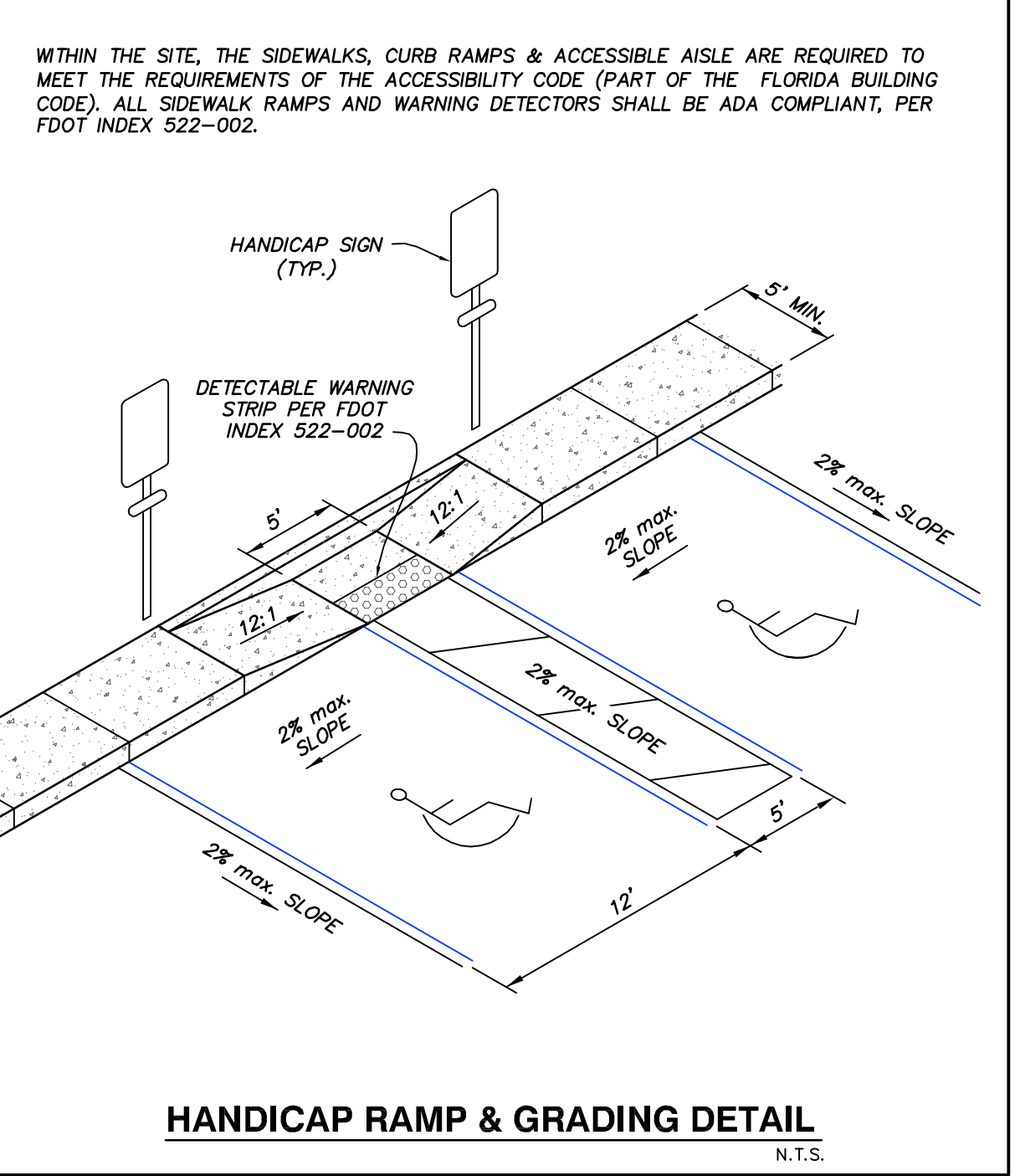
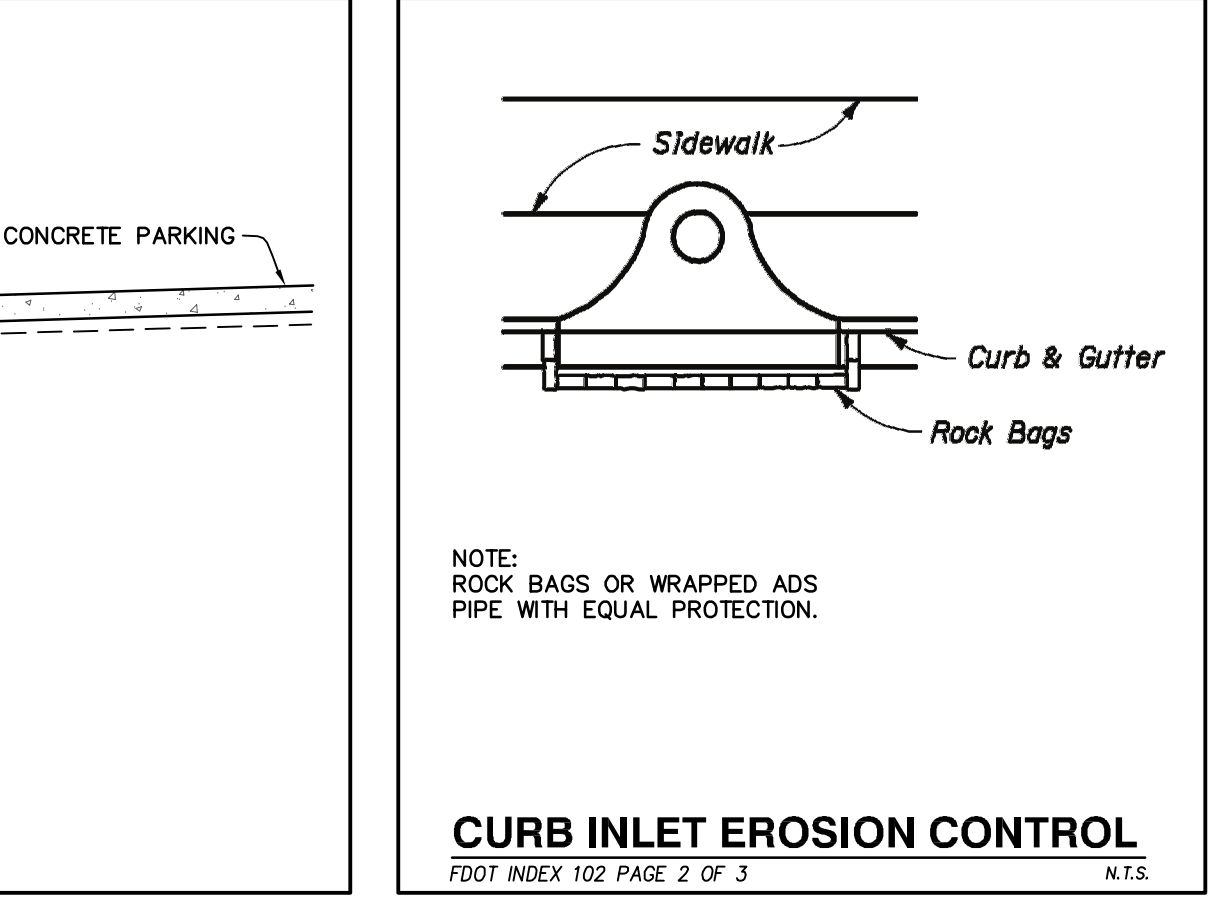
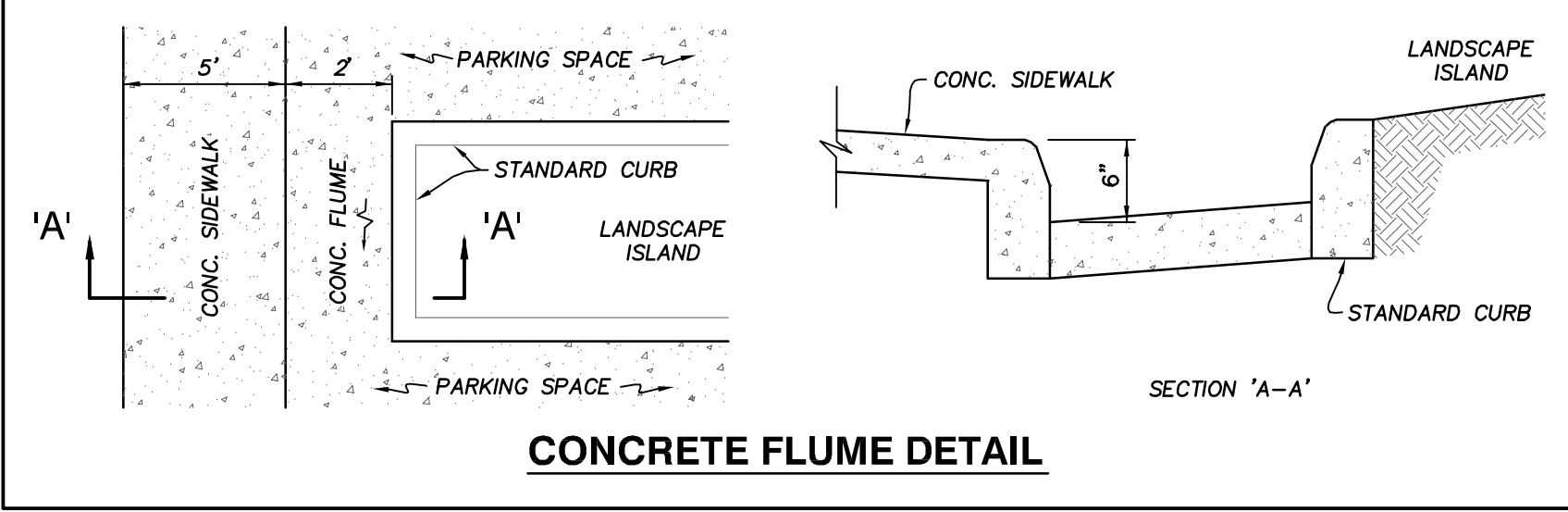
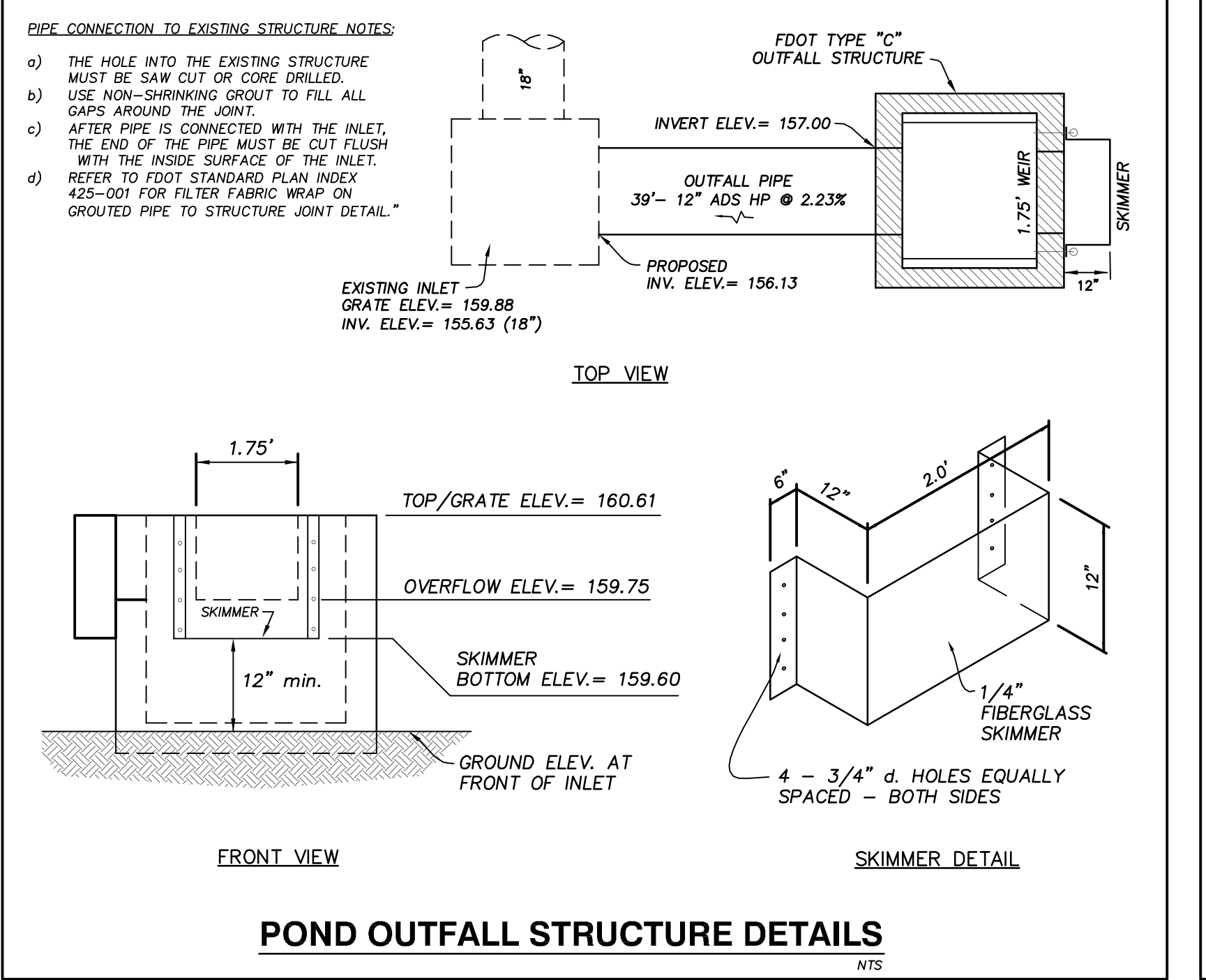
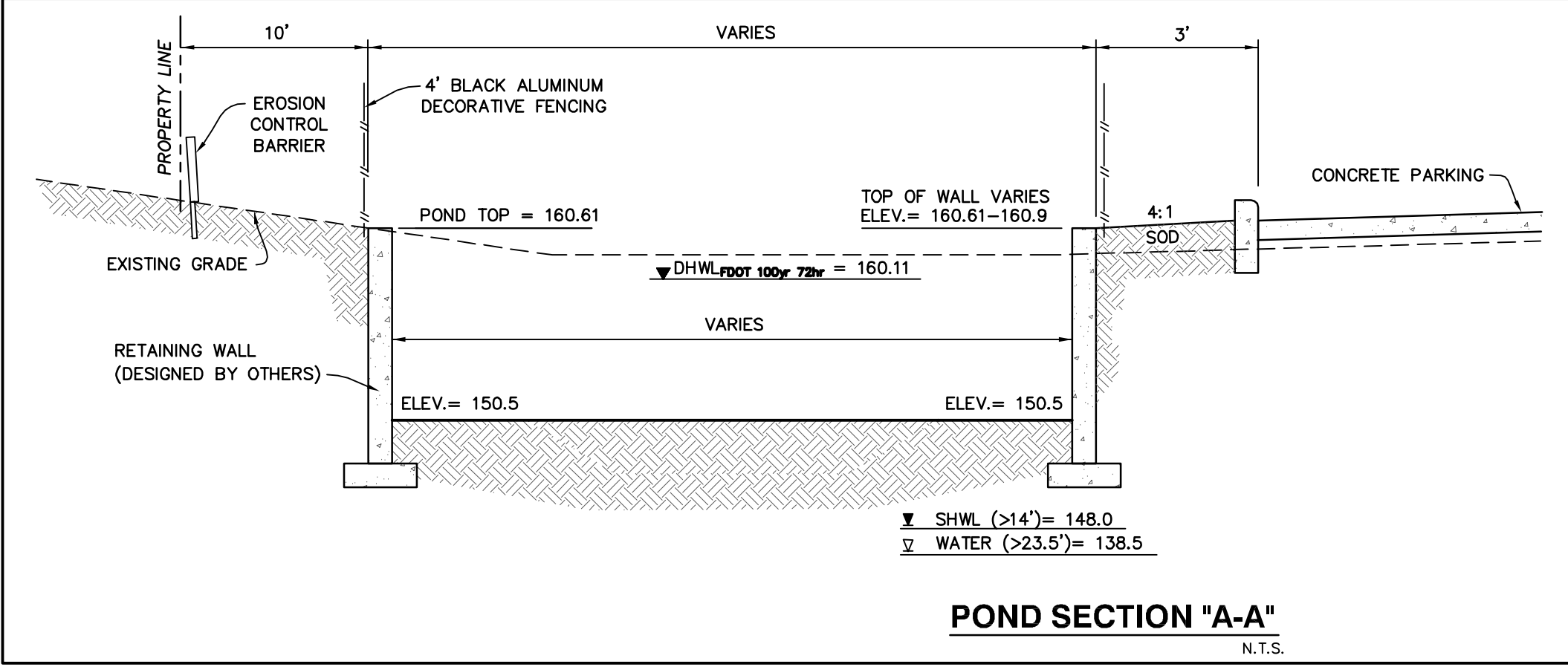
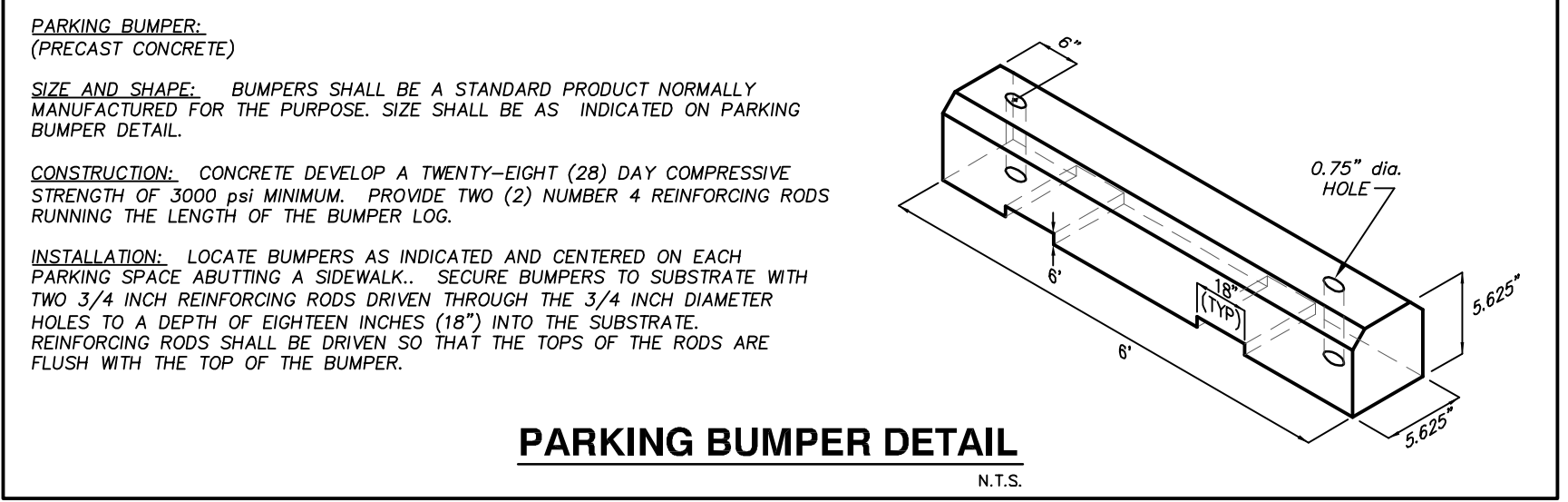
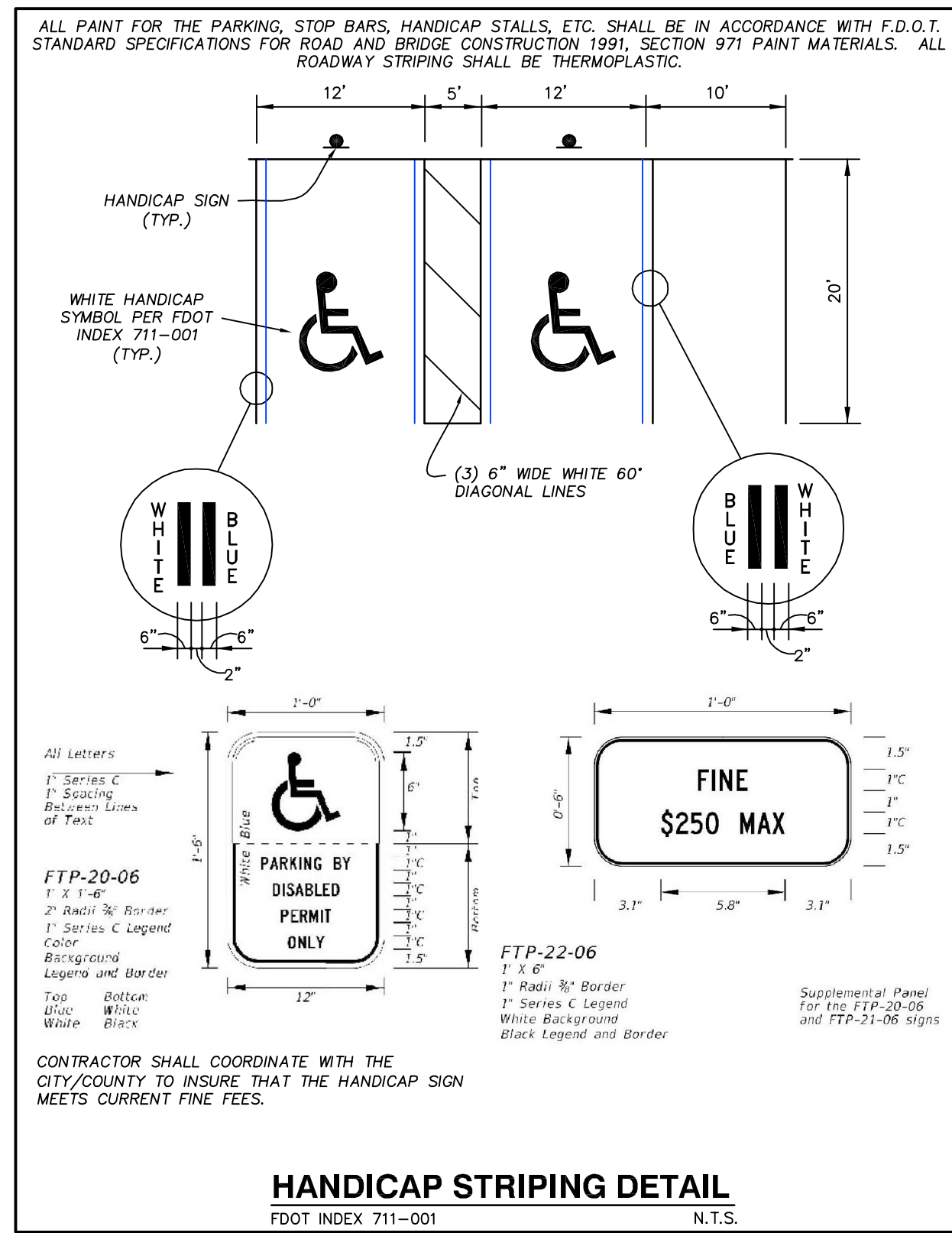
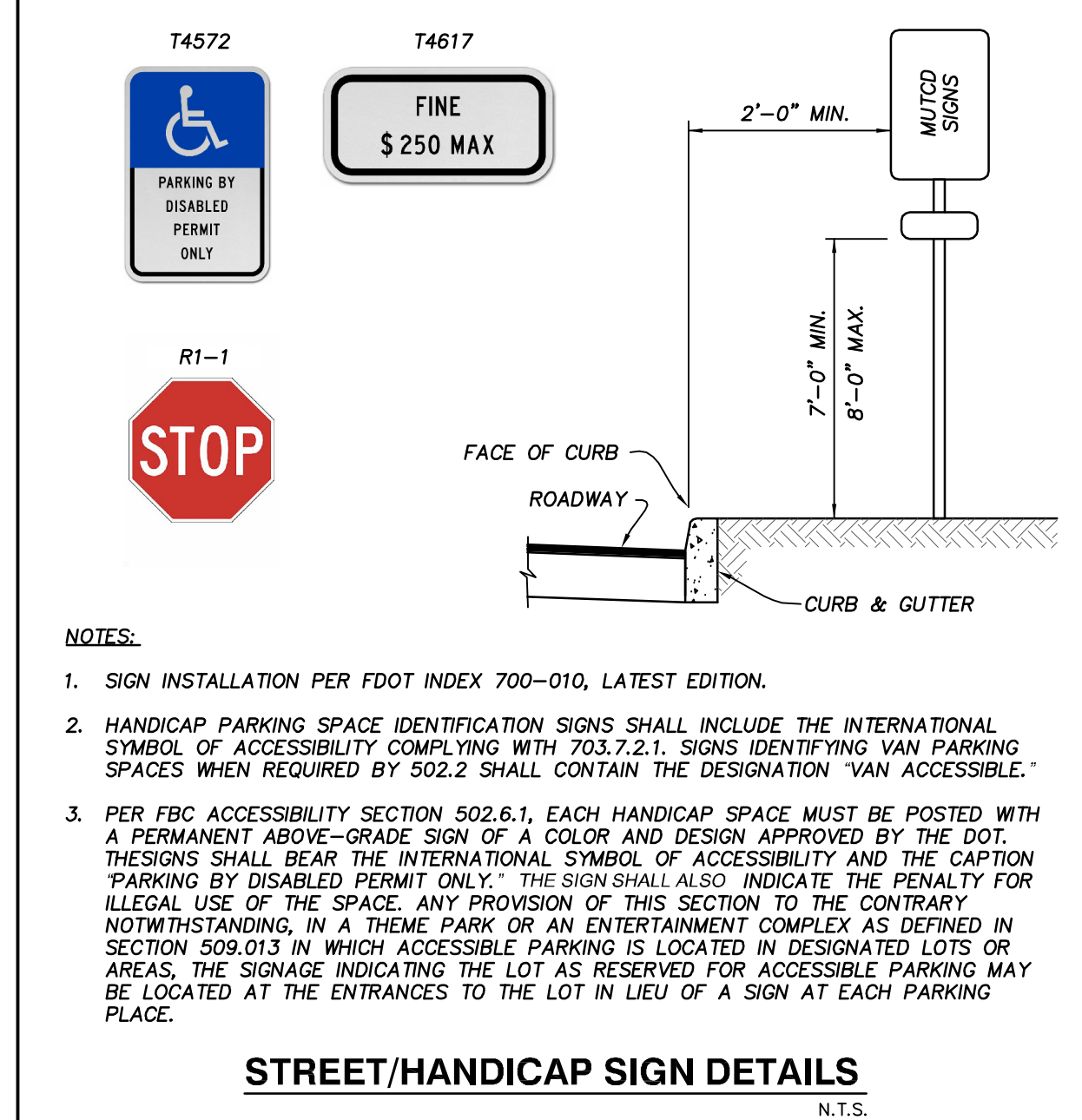
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Drawing date:	6-12-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
 Drainage & Grading Plan
 564 E. Brookins Avenue, Eagle Lake, Florida 33839

Kendall S. Phillips, P.E.
 2024.06.14
 10:17:26 -0400
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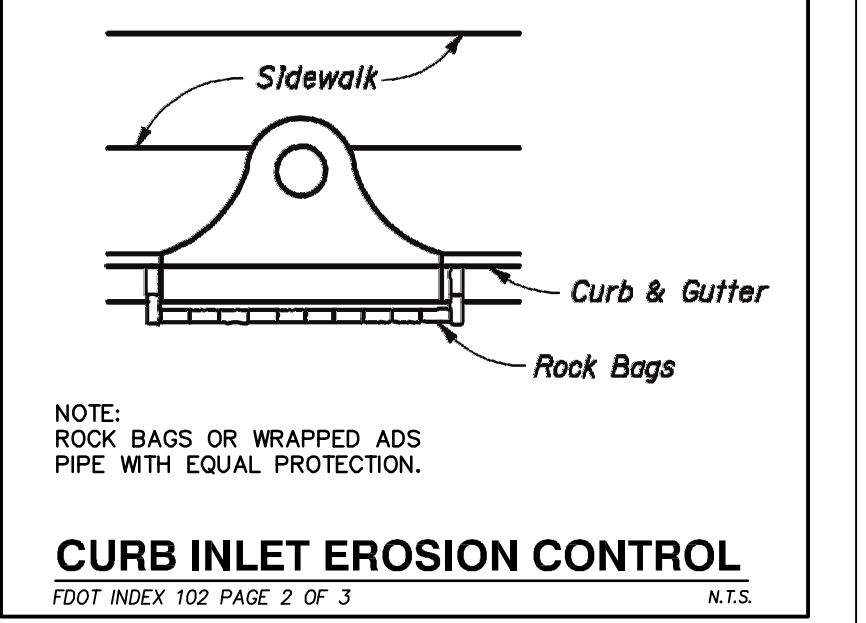
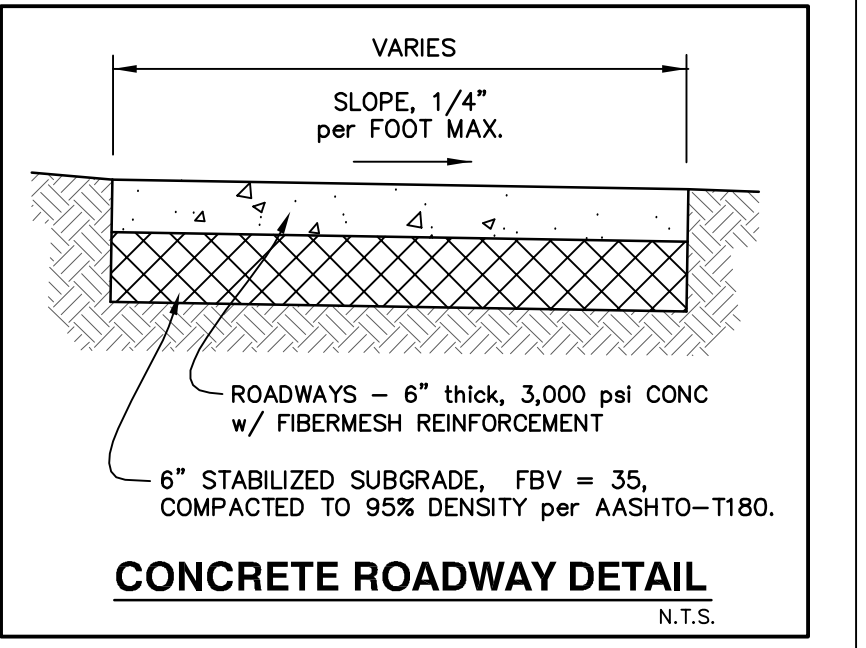
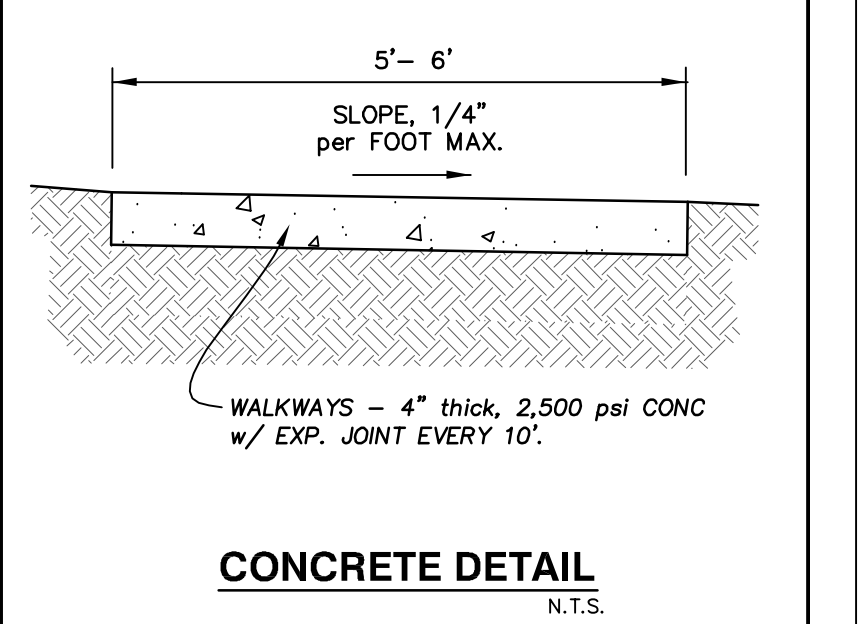
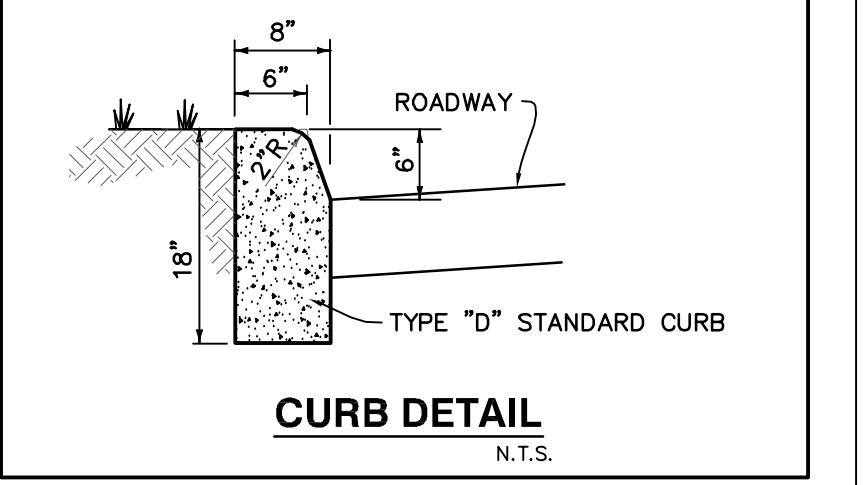
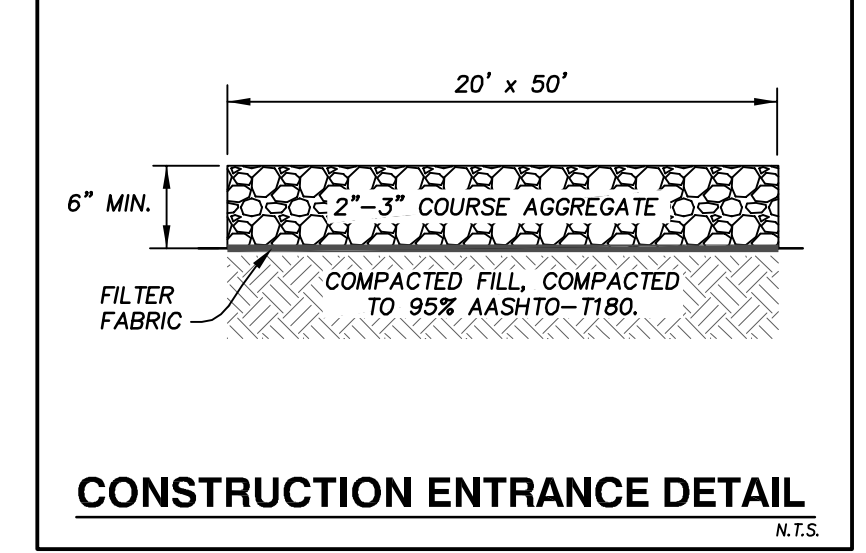
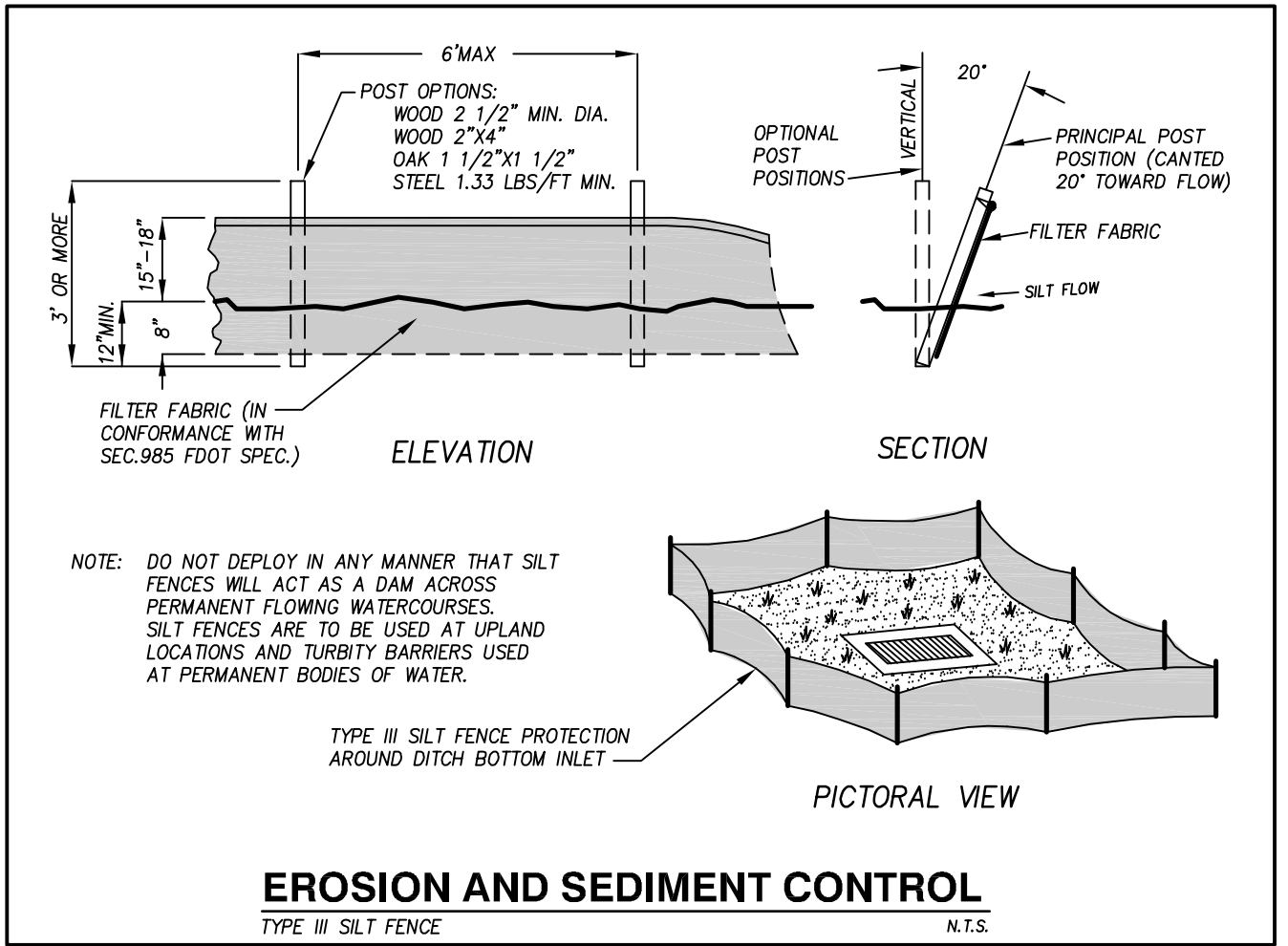
PROJECT No. **23005** SHEET No. **5**
 OF **8**

WILLIAMS BUSINESS PARK



DRAINAGE NOTES

- ALL STORMWATER RUNOFF FROM THIS SITE SHALL BE VISUALLY MONITORED DURING CONSTRUCTION BY THE CONTRACTOR TO ASSURE WATER QUALITY AND QUANTITY ARE GENERALLY MAINTAINED TO THE PRE-DEVELOPMENT LEVELS. THE FOLLOWING SHALL BE USED TO ACCOMPLISH MITIGATION OF ADVERSE QUANTITY AND QUALITY IMPACTS TO OFF-SITE PROPERTIES DURING CONSTRUCTION:
 - DRAINAGE SWALES AND RETENTION SHOULD BE ROUGH CONSTRUCTED FIRST TO AVOID ANY INCREASE IN RUNOFF DUE TO THE CONSTRUCTION.
 - TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED TO PROTECT EXISTING DRAINAGE SYSTEMS AND WATER QUALITY DURING CONSTRUCTION.
 - WHERE WORK IS PERFORMED IN A WATER COURSE OR WATER BODY, SILK CURTAINS AND SILT SCREENS SHALL BE USED TO CONTROL SILTATION AND TURBIDITY.
 - DISTURBED AREAS AS A MINIMUM REQUIREMENT SHALL BE SEEDED AND MULCHED. IN FDOT R-0-W, DISTURBED AREAS SHALL BE SODDED.
 - IF SPECIAL CONDITIONS EXIST REQUIRING UNANTICIPATED MEASURES TO CONTROL STORMWATER RUNOFF, THESE MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.
- PIPE LENGTHS ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENTS IN THE FIELD.
- THE CONTRACTOR IS TO VERIFY LOCATIONS AND ELEVATIONS OF ALL OUTFALLS BEFORE CONSTRUCTION, AND IF FOUND TO BE INADEQUATE, SHALL NOTIFY THE ENGINEER.
- THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE DESIGN.
 - THE STORMWATER MANAGEMENT SYSTEM SHALL BE PERIODICALLY INSPECTED DURING STORMS TO DETERMINE THAT IT IS OPERATING PROPERLY.
 - CUTTING/MOWING BELOW NORMAL WATER LEVELS AND WITHIN THE LITTORAL ZONES (WET PONDS) SHALL BE PROHIBITED. CHEMICALS OR GRASS CARP IN THE LITTORAL ZONES SHALL NOT BE USED.
 - THE DETENTION AREA SHALL BE PERIODICALLY CLEANED OF DEBRIS OR SILTATION AS NECESSARY. ORIFICES/WEIRS SHALL BE CLEARED OF DEBRIS TO PREVENT CLOGGING.
 - SWALES AND DITCHES SHALL BE CLEANED AS REQUIRED TO MAINTAIN FLOWS AND RESODDED WHEN NECESSARY.



No.	DATE	APPROVED	REVISION	No.	DATE	APPROVED	REVISION
1	10-16-23	KSP	REVISED per CITY & FDOT COMMENTS				
2	6-14-24	KSP	REVISED POND DESIGN per CLIENT COMMENTS				

LP ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-221-2298 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	23005 BASE	Horizontal Scale:	N.A.
View:	DDET	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	6-12-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
Roadway & Drainage Details
564 E. Brookins Avenue, Eagle Lake, Florida 33839

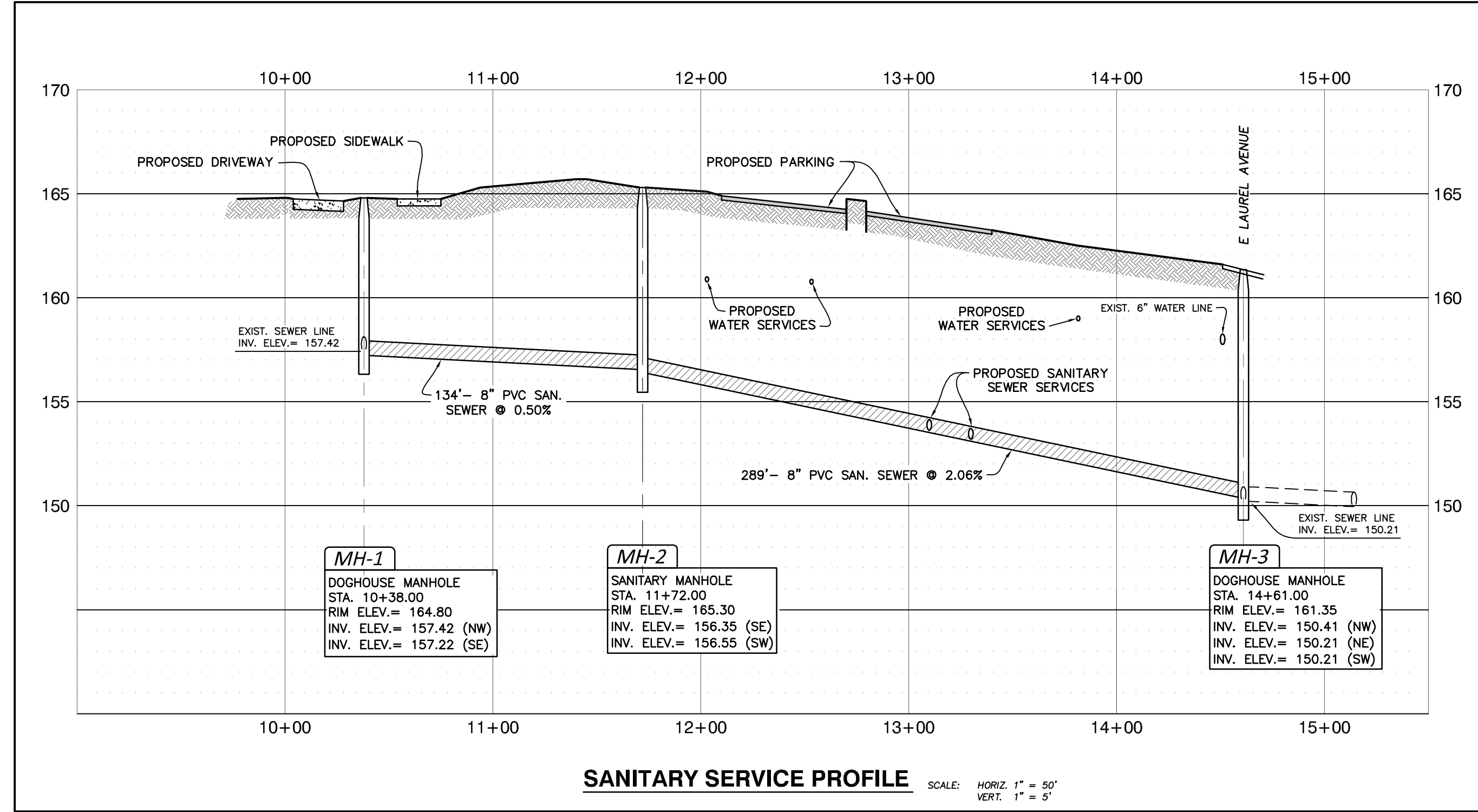
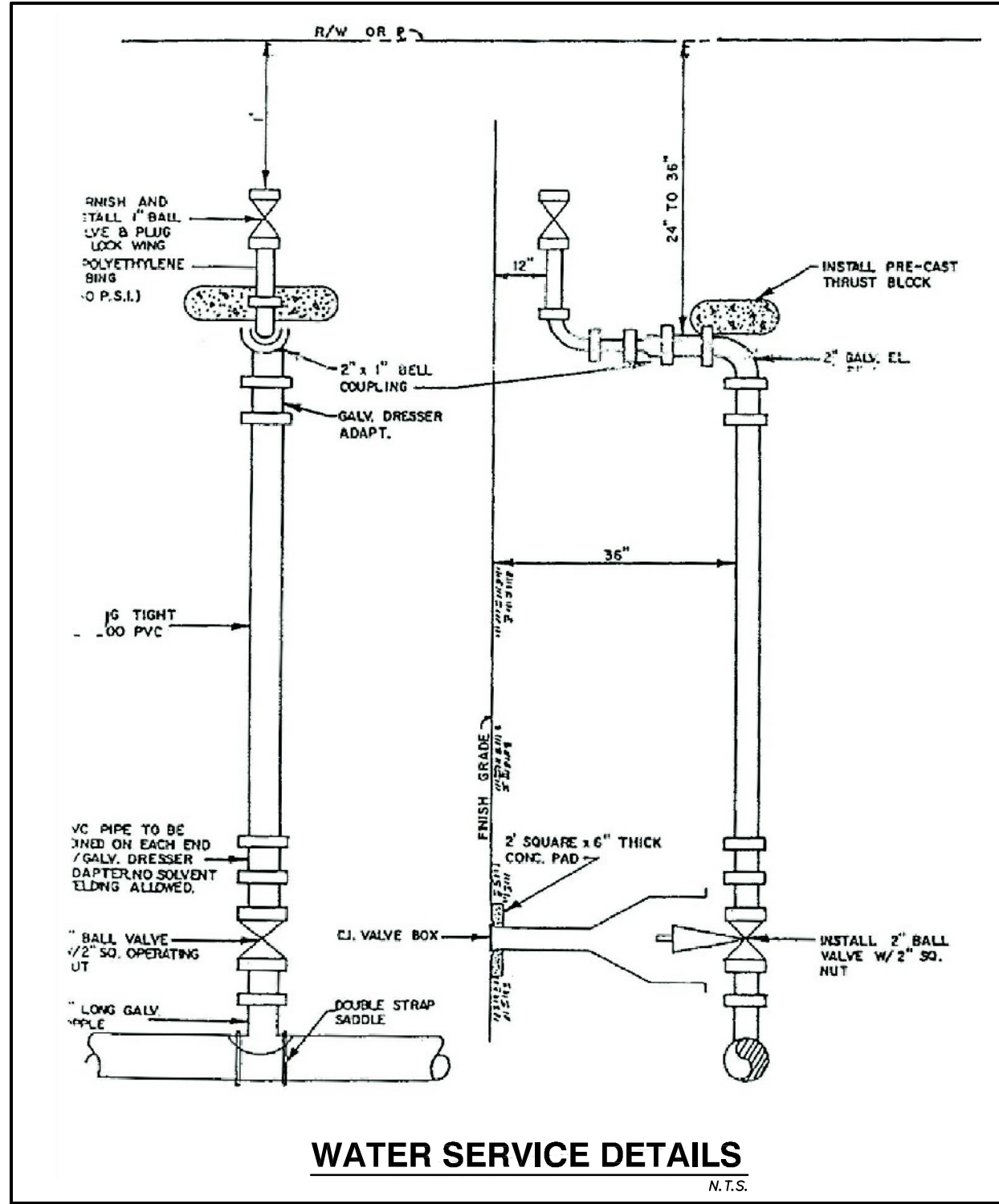
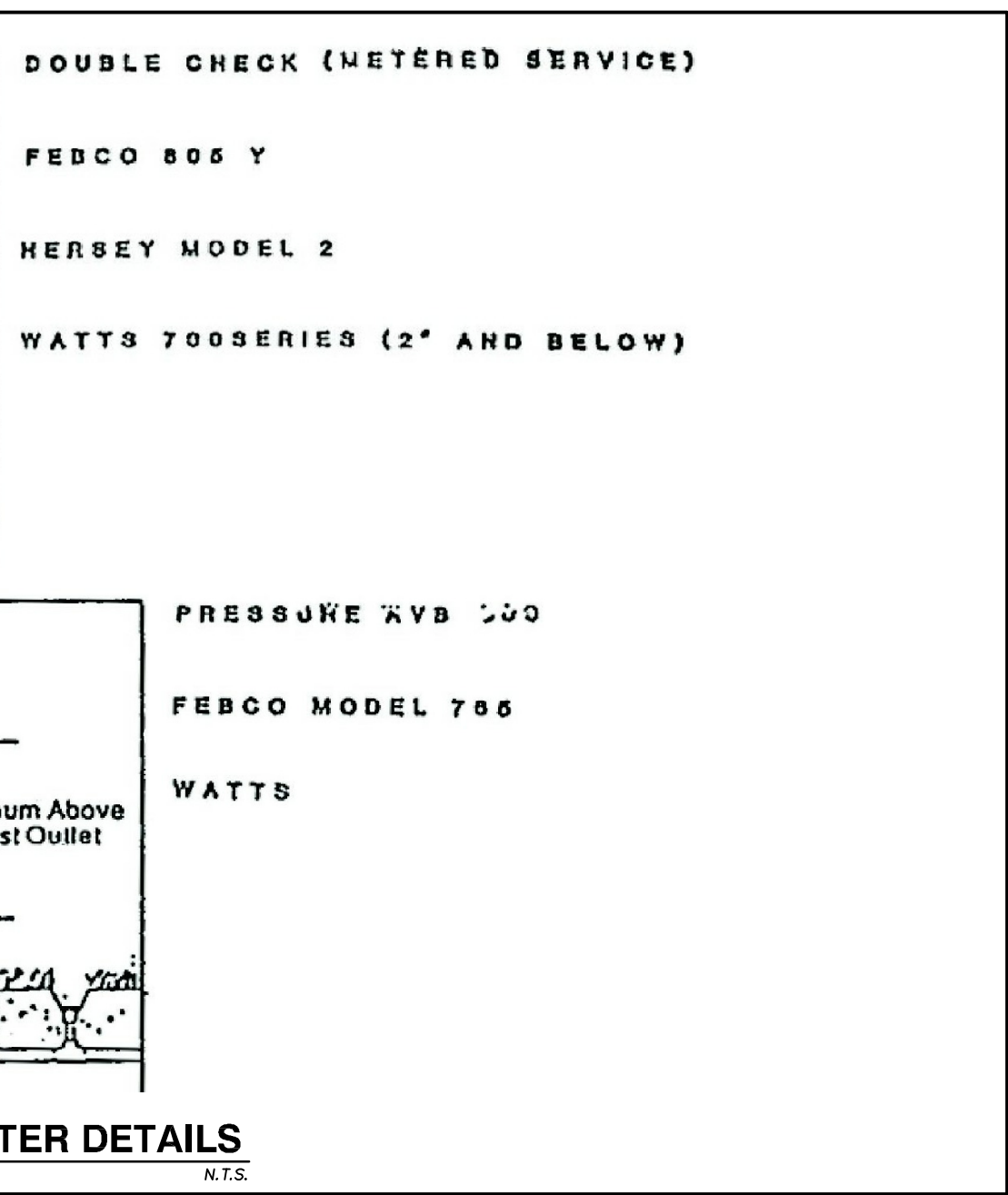
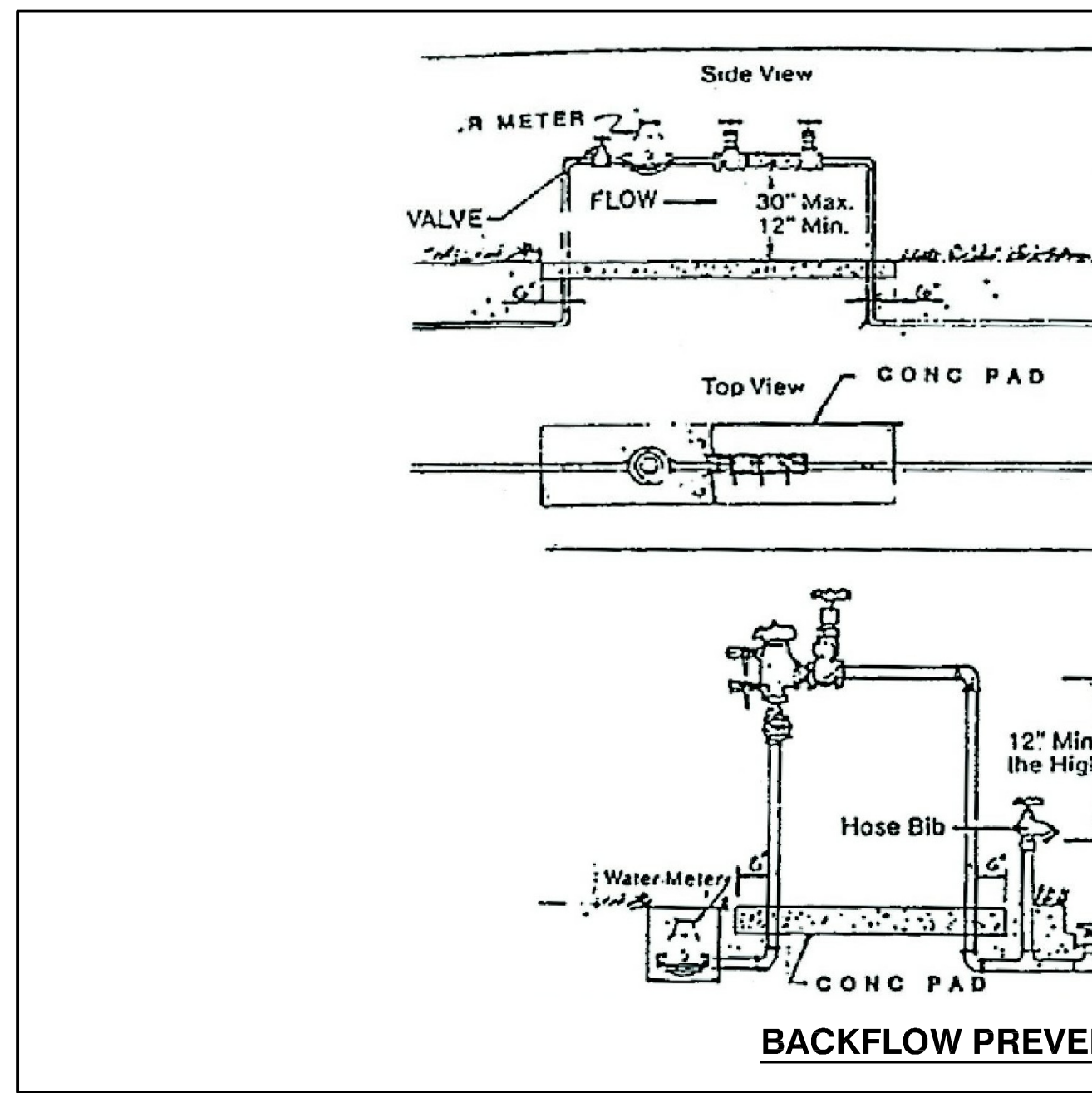
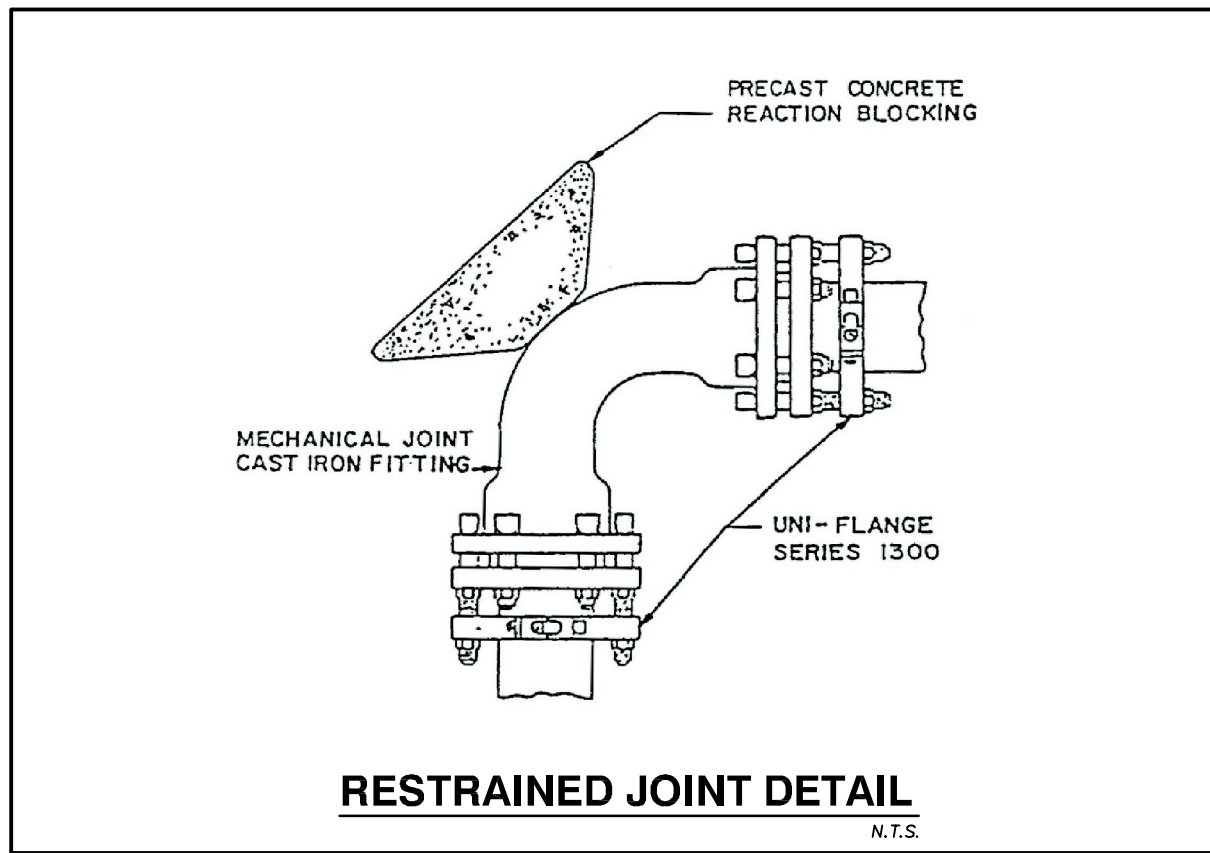
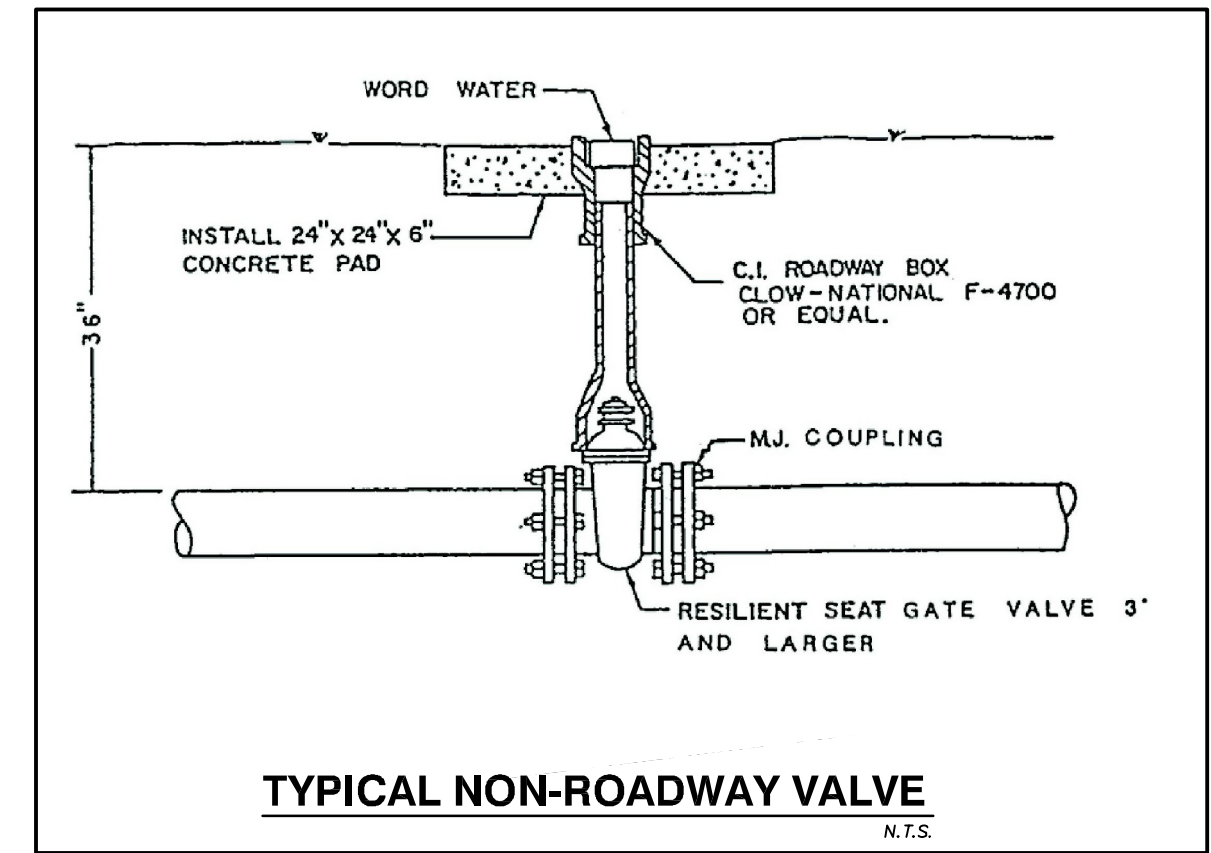
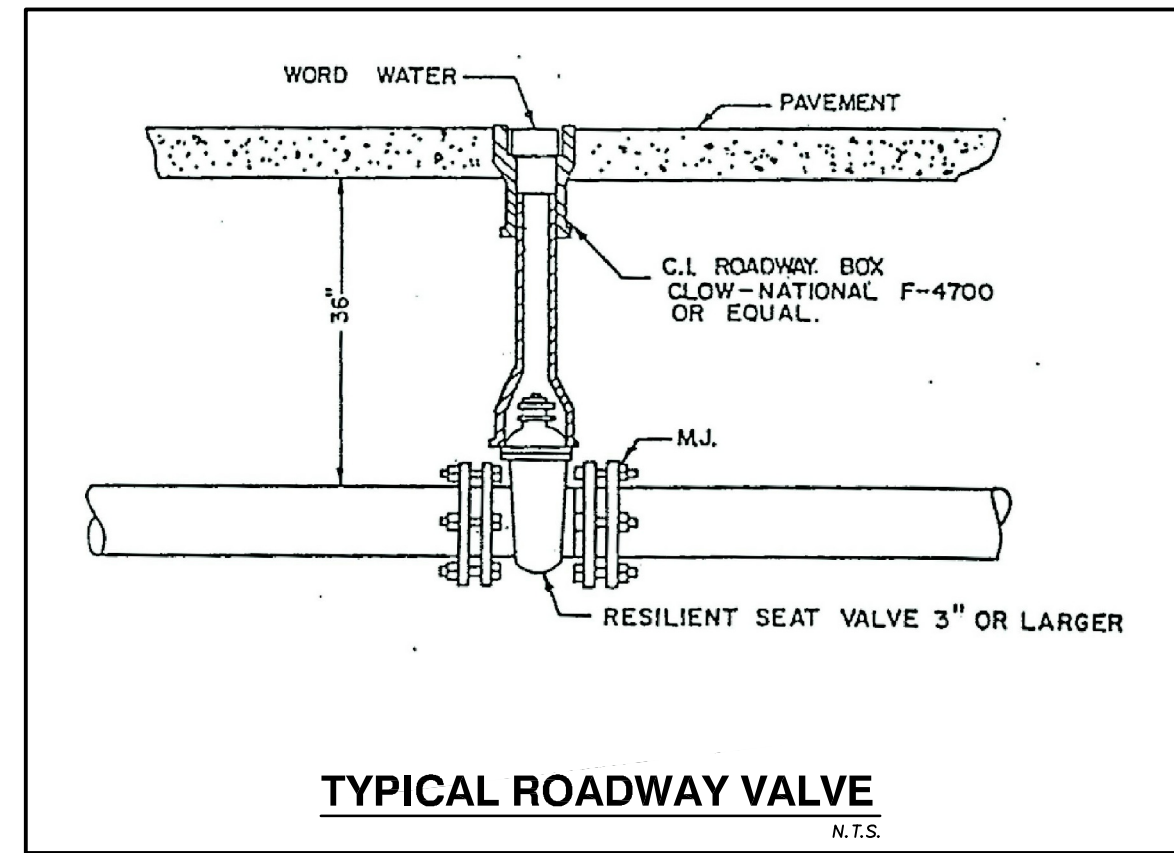
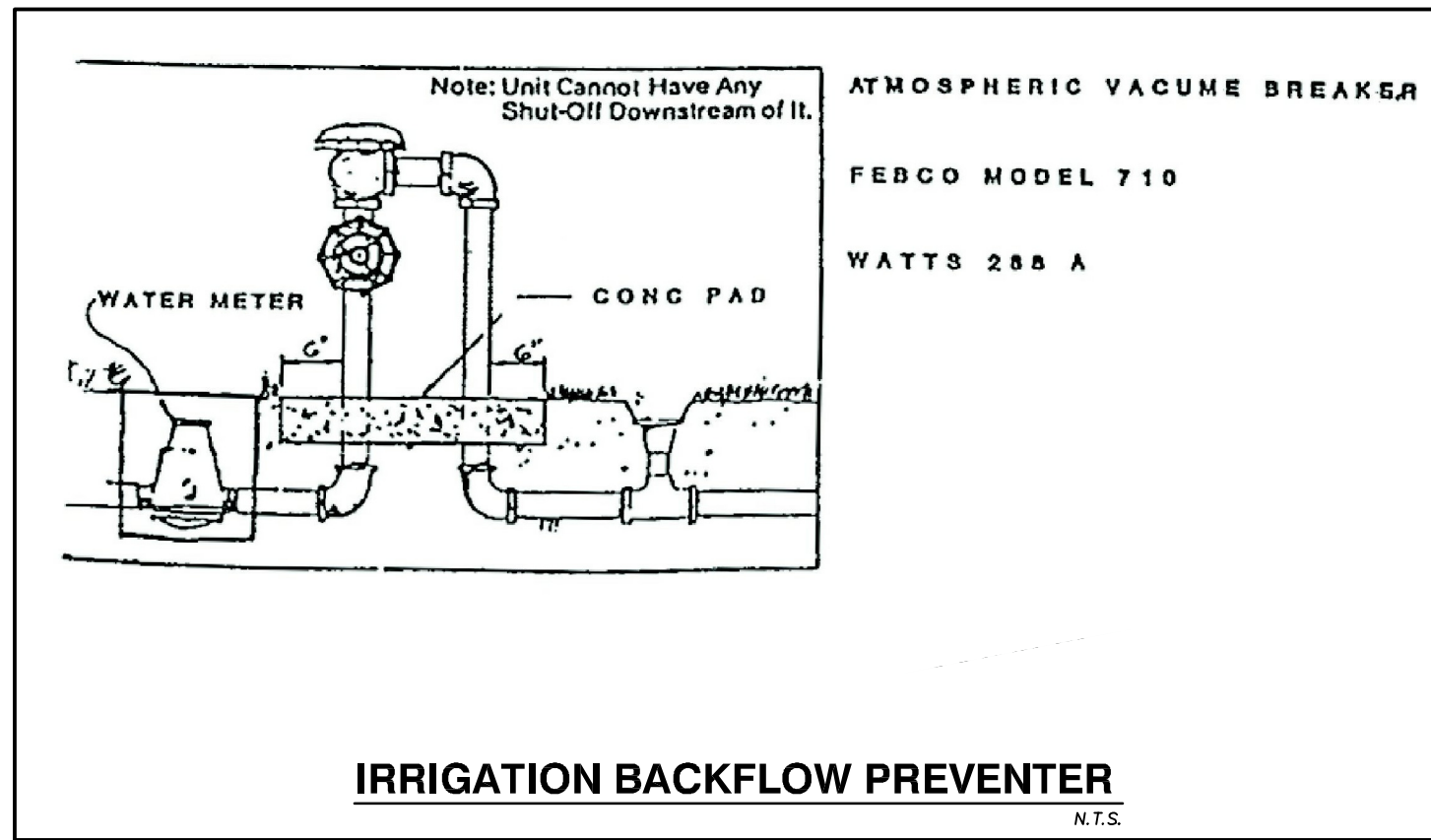
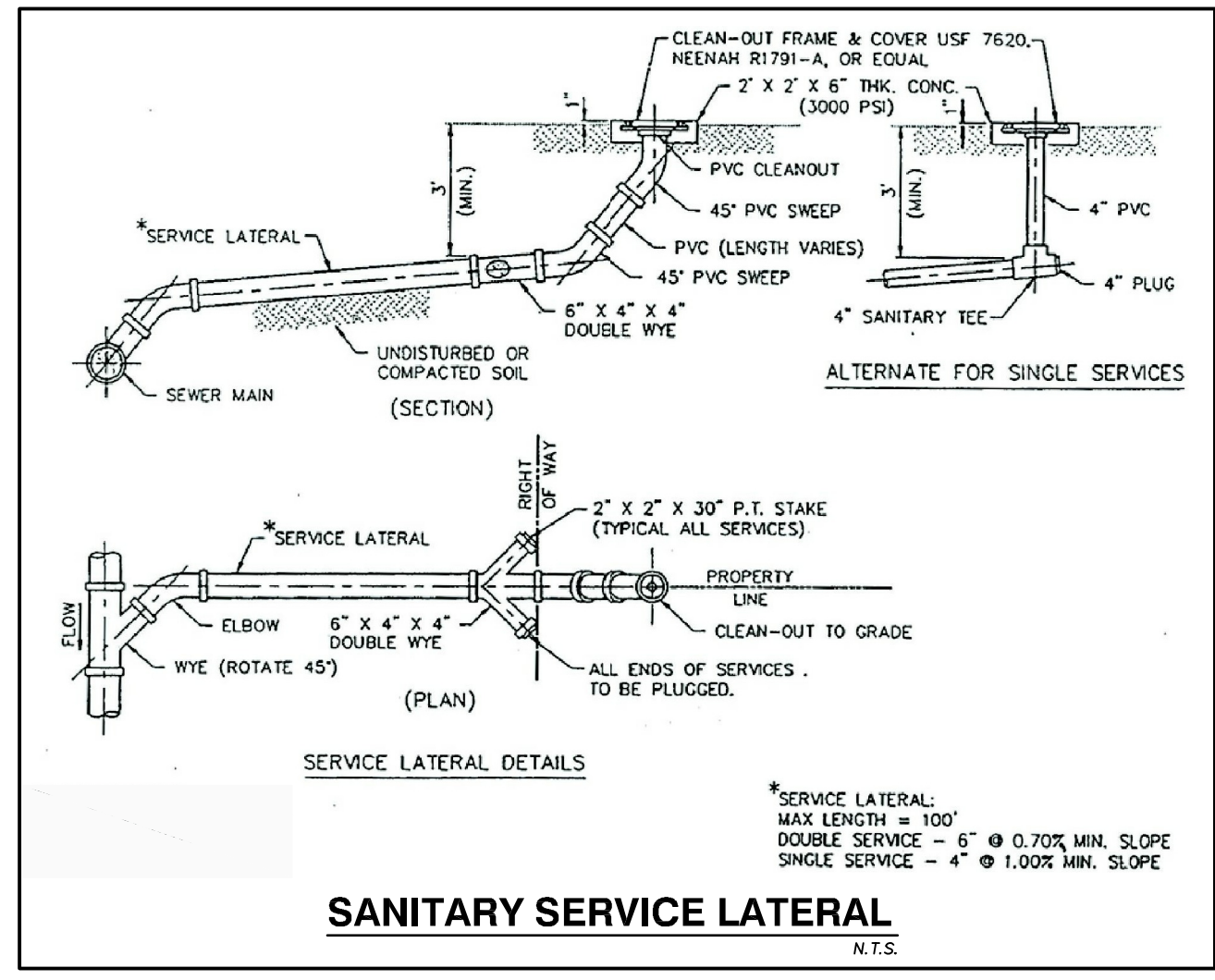
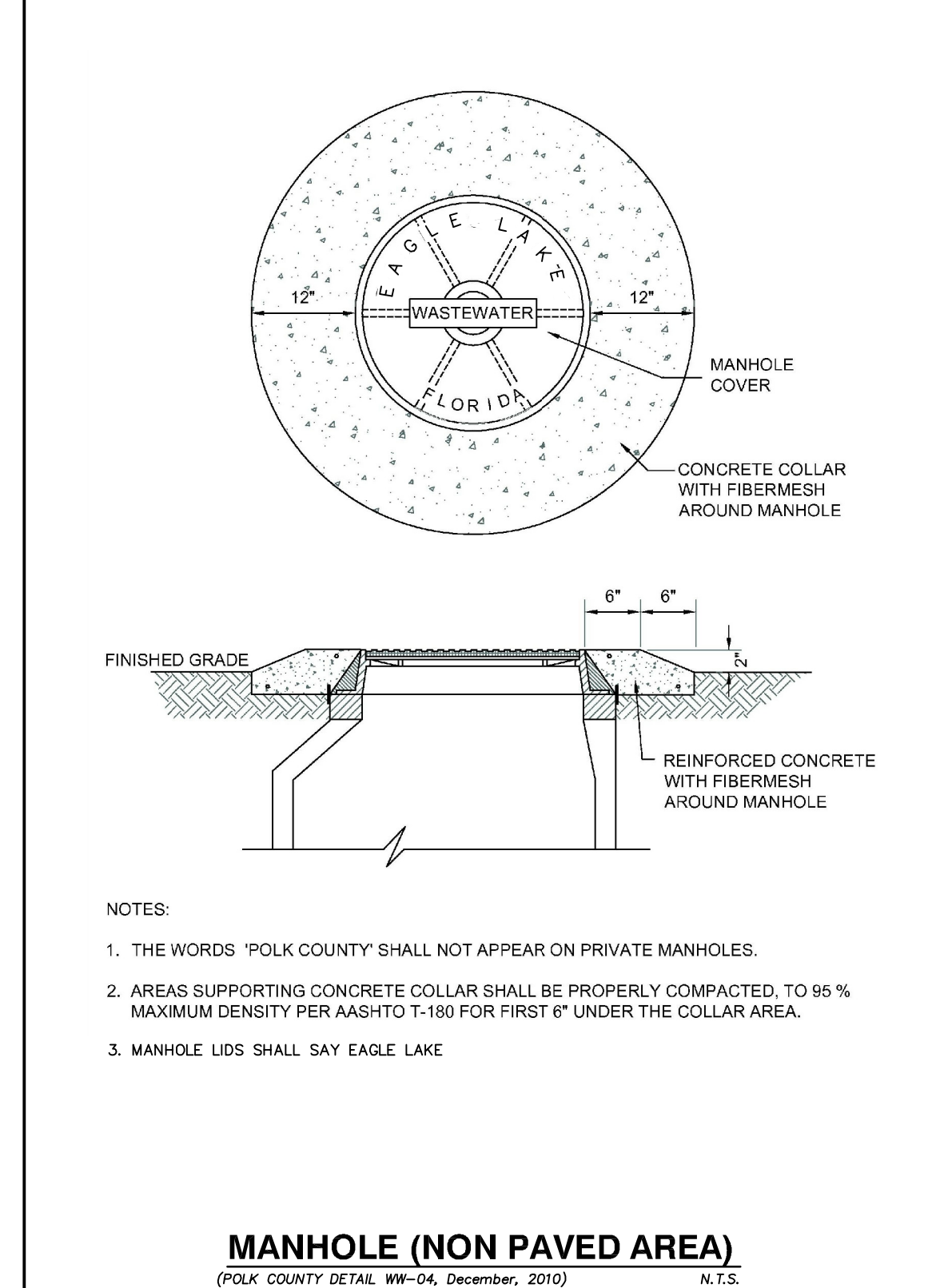
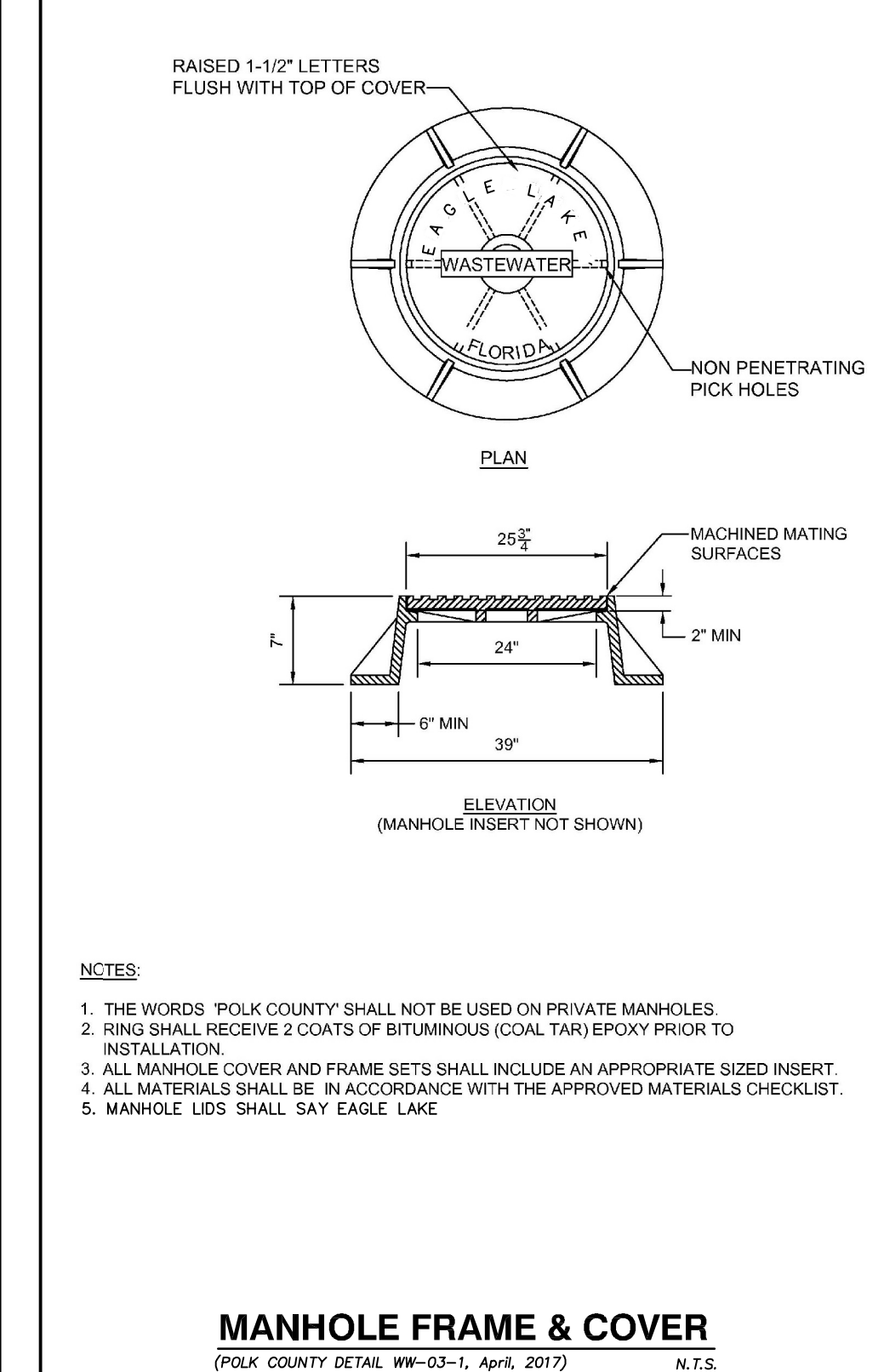
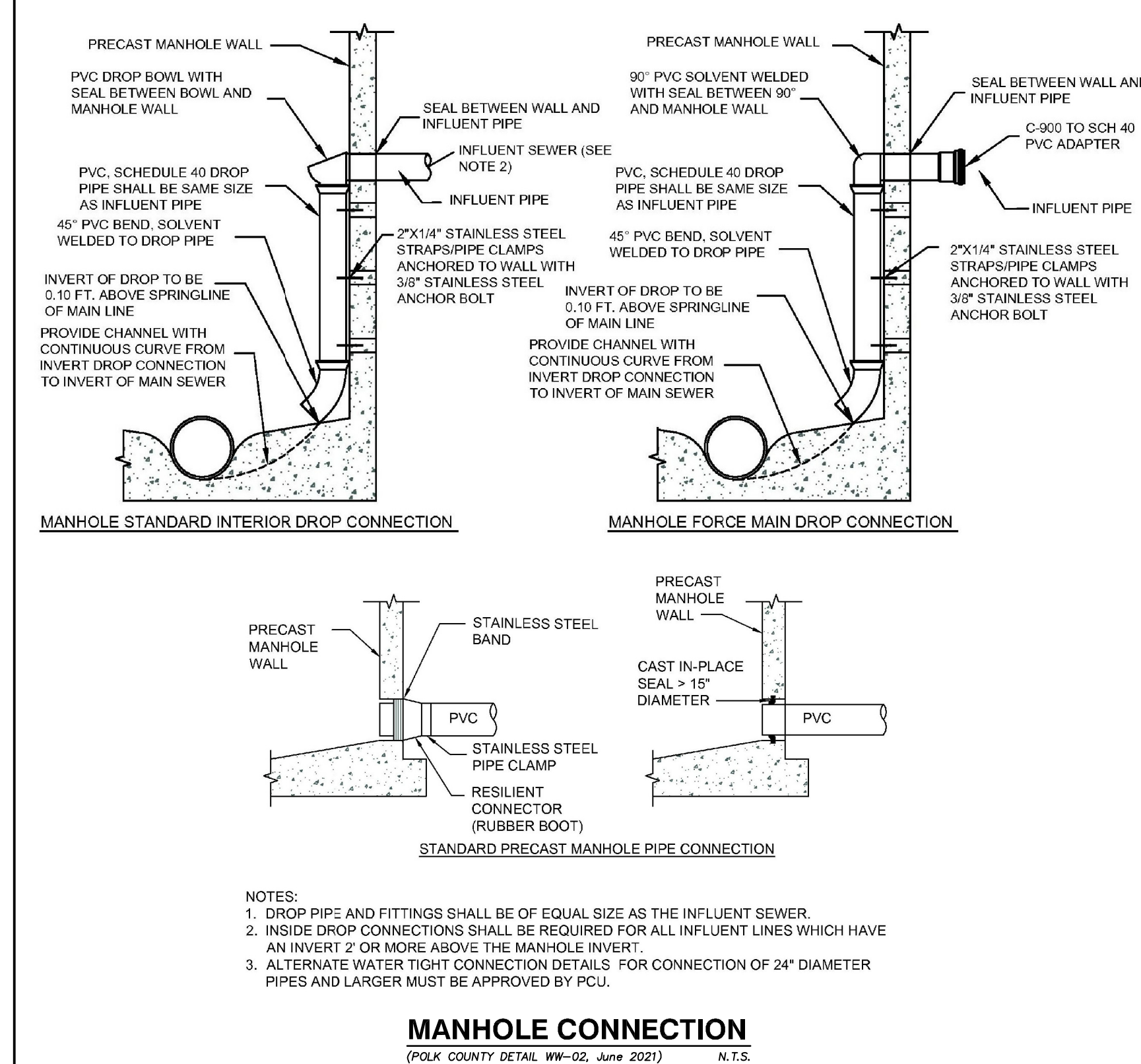
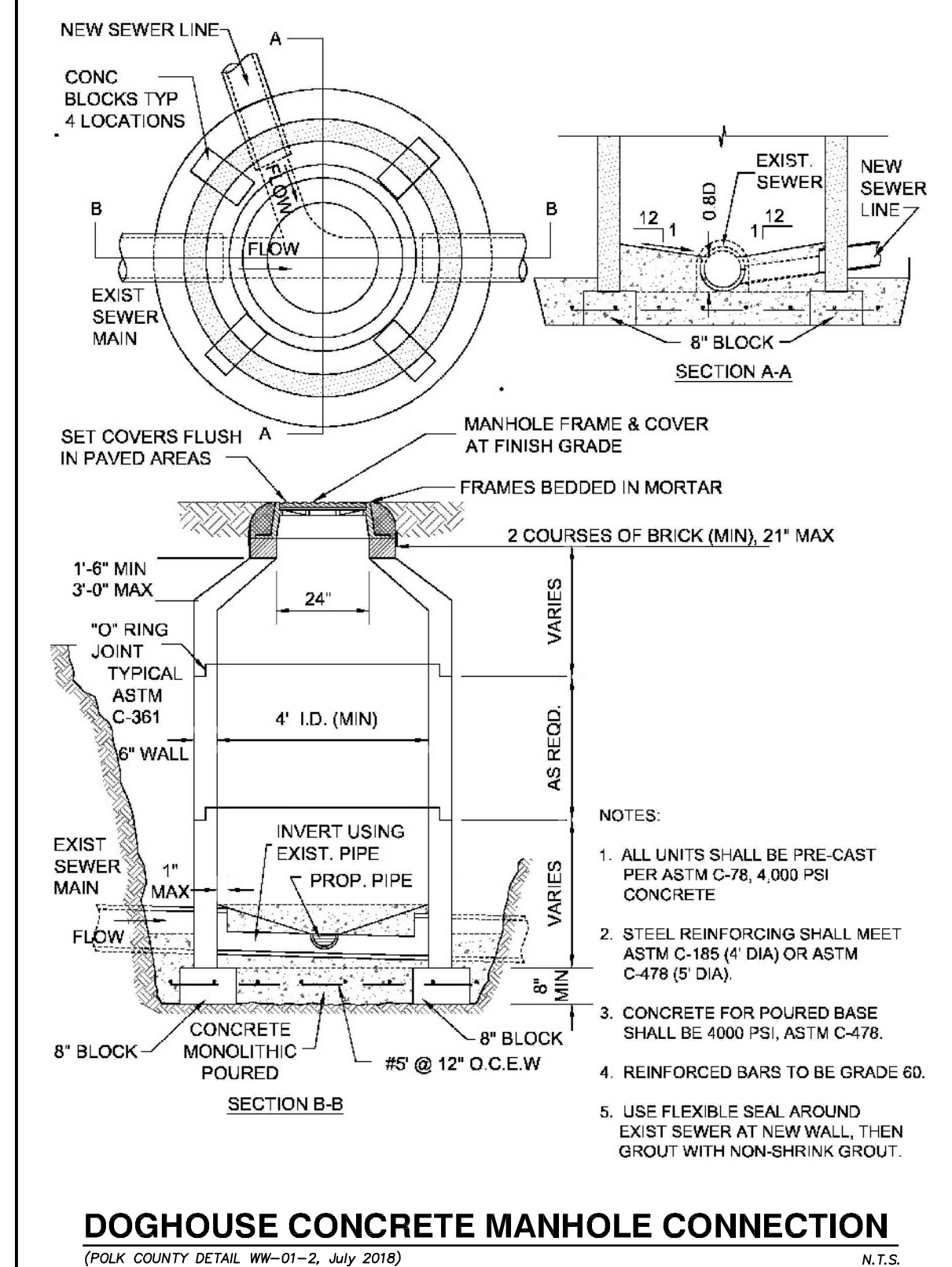
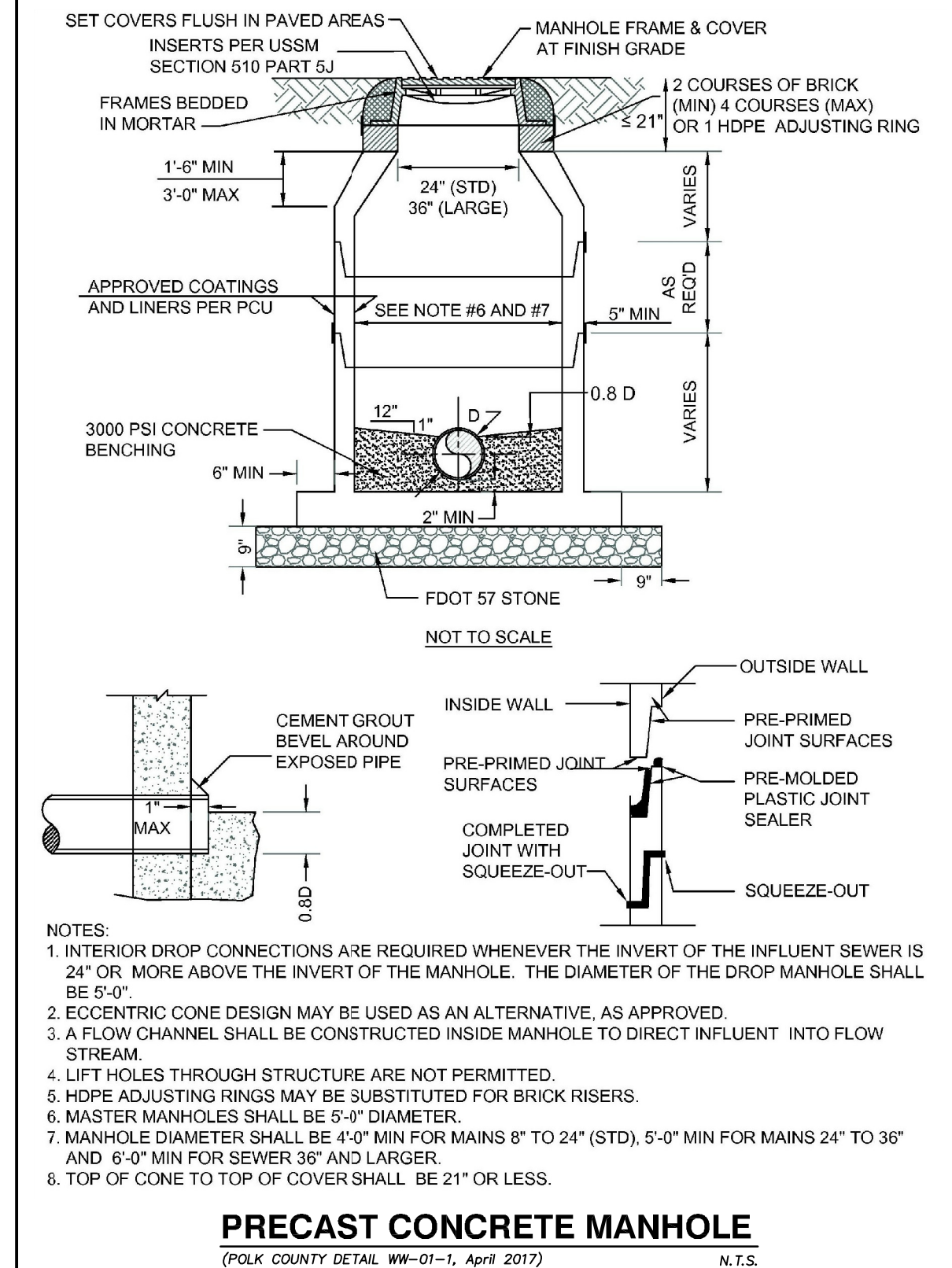
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PROJECT No.	23005	SHEET No.	6
		OF	8

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WILLIAMS BUSINESS PARK



No.	DATE	APPROVED	REVISION
1	10-25-23	KSP	REVISED per CITY COMMENTS

ENGINEERING SERVICES, LLC
205 Century Boulevard
Bartow, Florida 33830
phone: 863-221-2298 fax: 863-533-3376
Certificate of Authorization No. 28840

Filename:	23005 BASE	Horizontal Scale:	N.A.
View:	UDET	Vertical Scale:	N.A.
X-Ref:	N.A.	Designed/Drawn by:	DRW
Drawing date:	6-20-23	Checked by:	KSP

WILLIAMS BUSINESS PARK
Utility Details
564 E. Brookins Avenue, Eagle Lake, Florida 33839

Kendall S. Phillips, P.E.
2024.06.14
10:17:26 -0400
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PROJECT No. **23005**
SHEET No. **7** OF **8**

PLANT LEGEND

TREES AND SHRUBS TO BE PLANTED SHALL BE SELECTED FROM THIS LIST. PLANTS HAVE BEEN SELECTED FOR THIS SITE BASED ON SITE CHARACTERISTICS SUCH AS OVERHEAD/BURIED UTILITIES, WATER TABLE DEPTH & THE CITY LANDSCAPE ORDINANCE.

CANOPY TREES - 40 REQUIRED

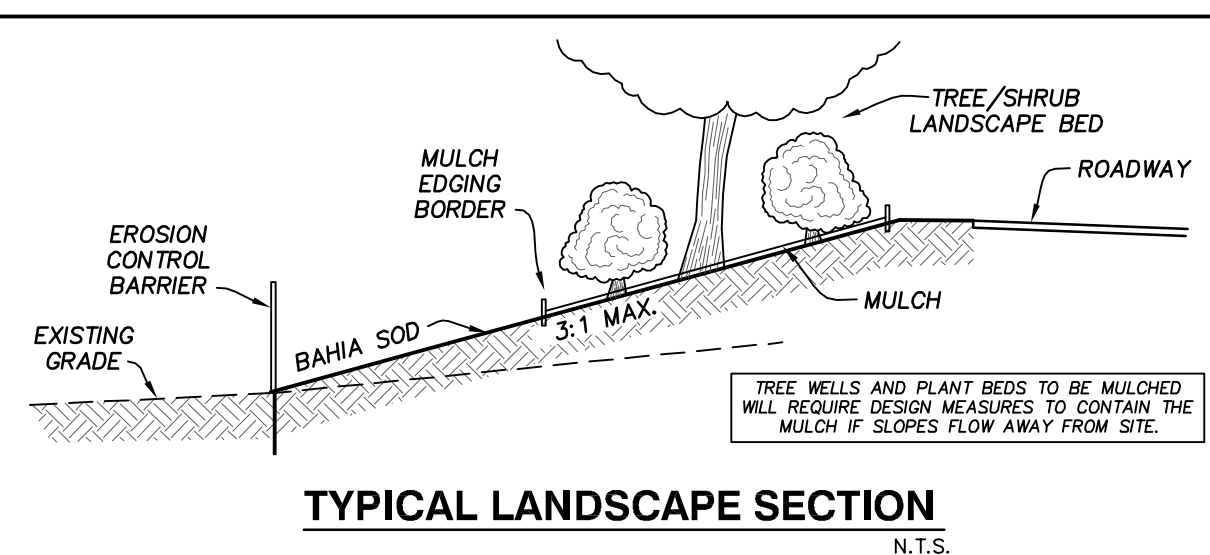
CANOPY AREA	SITE CLASS	PLANT HEIGHT	SPREAD	DISTANCE FROM POWER LINE	
ACER RUBRUM, Red Maple	500 D	H-M	6'	4'-6'	15' - 30'
ILEX ATTENUATAS, East Palatka Holly	201 E	-	6'	4'-6'	15' - 30'
ILEX OPACA, American Holly	201 E	M-Z	6'	4'-6'	15' - 30'
JUNIPERUS SILICICOLA, Southern Red Cedar	113 E	M-Z	6'	4'-6'	15' - 30'
LIGUSTRUM LUCIDUM, Ligustrum	314 E	M-H	6'	4'-6'	15' - 30'
MAGNOLIA GRANDIFLORA, Southern Magnolia	491 E	M-H	6'	4'-6'	30'+
MAGNOLIA VIRGINIANA, Sweet Bay Magnolia	201 E	M-H	6'	4'-6'	15' - 30'
PNUS CLAUDIA, Sand Pine	491 E	M-Z	6'	4'-6'	15' - 30'
PLANTANUS OCCIDENTALIS, Sycamore	707 D	H-M	6'	4'-6'	30'+
PODOCARPUS MACROPHYLLUS, Podocarpus	113 E	M	6'	4'-6'	15' - 30'
ULMUS AMERICANA, Sycamore	707 D	M	6'	4'-6'	30'+

PARKING UNDERSTORY TREES - 27 REQUIRED

CANOPY AREA	SITE CLASS	PLANT HEIGHT	SPREAD	DISTANCE FROM POWER LINE	
CALLISTEMON VIMINALIS, Weeping Bottlebrush	79 E	H-M	6'	4'-6'	0' - 15'
ILEX ATTENUATAS, East Palatka Holly	201 E	-	6'	4'-6'	15' - 30'
ILEX CASSINE, Dahoon Holly	201 E	H-M	6'	4'-6'	15' - 30'
ILEX VOMITORIA, Yaupon Holly	50 E	H-M-Z	6'	4'-6'	0' - 15'
LAGERSTROEMIA INDICA, Crape Myrtle	113 D	M	6'	4'-6'	0' - 15'
LIGUSTRUM JAPONICUM, Wax Leaf Ligustrum	28 E	M	6'	4'-6'	0' - 15'
MYRICA CERIFERA, Wax Myrtle	28 E	M	6'	4'-6'	30'+
QUERCUS GEMINATA, Sand Live Oak	120 E	M-Z	6'	4'-6'	0' - 15'
QUERCUS MYRTIFOLIA, Myrtle Oak	79 E	M-Z	6'	4'-6'	0' - 15'
TABEBUIA IMPETIGINOSA, Pink Tabebuia	300 E	M-Z	6'	4'-6'	15' - 30'
TAXODIUM DISTICHUM, Bald Cypress	314 E	H-M	6'	4'-6'	15' - 30'
ULMUS SLATA, Winged Elm	491 D	M	6'	4'-6'	15' - 30'

x x x SHRUBS - 434 PROVIDED

MEDIUM / LARGE SHRUBS	MATURITY HEIGHT	SOILS CLASS	SIZE (height) SPREAD
ILEX CORNUTA 'BUFORD', Dwarf Burford Holly	M	M	2 gal. @ 36" O.C.
LIGUSTRUM JAPONICUM, Ligustrum	L	M	1 gal. @ 36" O.C.
PITTIOSPORUM TOBRIA, Pittosporum Variegata	M	M	2 gal. @ 36" O.C.
PODOCARPUS MACROPHYLLUS, Podocarpus	L	M	2 gal. @ 36" O.C.
RAPHIOLEPIS INDICA, India Hawthorn	M	M	1 gal. @ 36" O.C.
SCHAEFFERA ARBORICOLA, Schefflera Variegated	M	M	1 gal. @ 36" O.C.
VBURNUM SUSPENSUM, Sandankwa Vburnum	M	M	1 gal. @ 36" O.C.
SMALL SHRUBS	MATURITY HEIGHT	SOILS CLASS	SIZE (height) SPREAD
CARRISSA, Boxwood Beauty	S	M	1 gal. @ 36" O.C.
GARBERIA HETEROPHYLLA, Garberia	S	Z	1 gal. @ 36" O.C.
HYPERICUM HYPERICOIDIS, St. Andrews Cross	S	H-M-Z	1 gal. @ 36" O.C.
ILEX VOMITORIA 'NANA', Shillings Holly	S	M	1 gal. @ 36" O.C.
JUNIPERUS CONFERTA, Dwarf Shore Juniper	S	M-Z	1 gal. @ 36" O.C.
ZAMIA FLORIDANA, Coontie	S	M	1 gal. @ 36" O.C.



LANDSCAPE REQUIREMENTS:

TREE PLANTING:
 PLANT 1 TREE FOR EVERY 3,000 s.f. DEVELOPMENT AREA.
 DEVELOPMENT AREA = 84,398 s.f.
 84,398 s.f. / 3,000 s.f. = 28 TREES REQUIRED

PERIMETER LANDSCAPE STRIP:
 1 TREE FOR EACH 30 IF FRONTAGE
 HIGHWAY 17 270'
 BROOKINS 297'
 6th STREET 260'
 LAUREL 343', 1169'

1169 IF FRONTAGE / 30 IF = 39 TREES REQUIRED

PLANT 28 + 39 = 67 TREES w/ 60% BEING SHADE TREE.
 67 x 0.60 = 40
 PLANT 40 OF 67 TREES CLASSIFIED AS SHADE TREES.

LANDSCAPE ISLANDS:
 PARKING SPACES: 115 PROPOSED
 15 s.f. LANDSCAPING FOR EACH PARKING SPACE
 15 s.f. x 115 spaces = 1725 s.f. REQUIRED LANDSCAPING

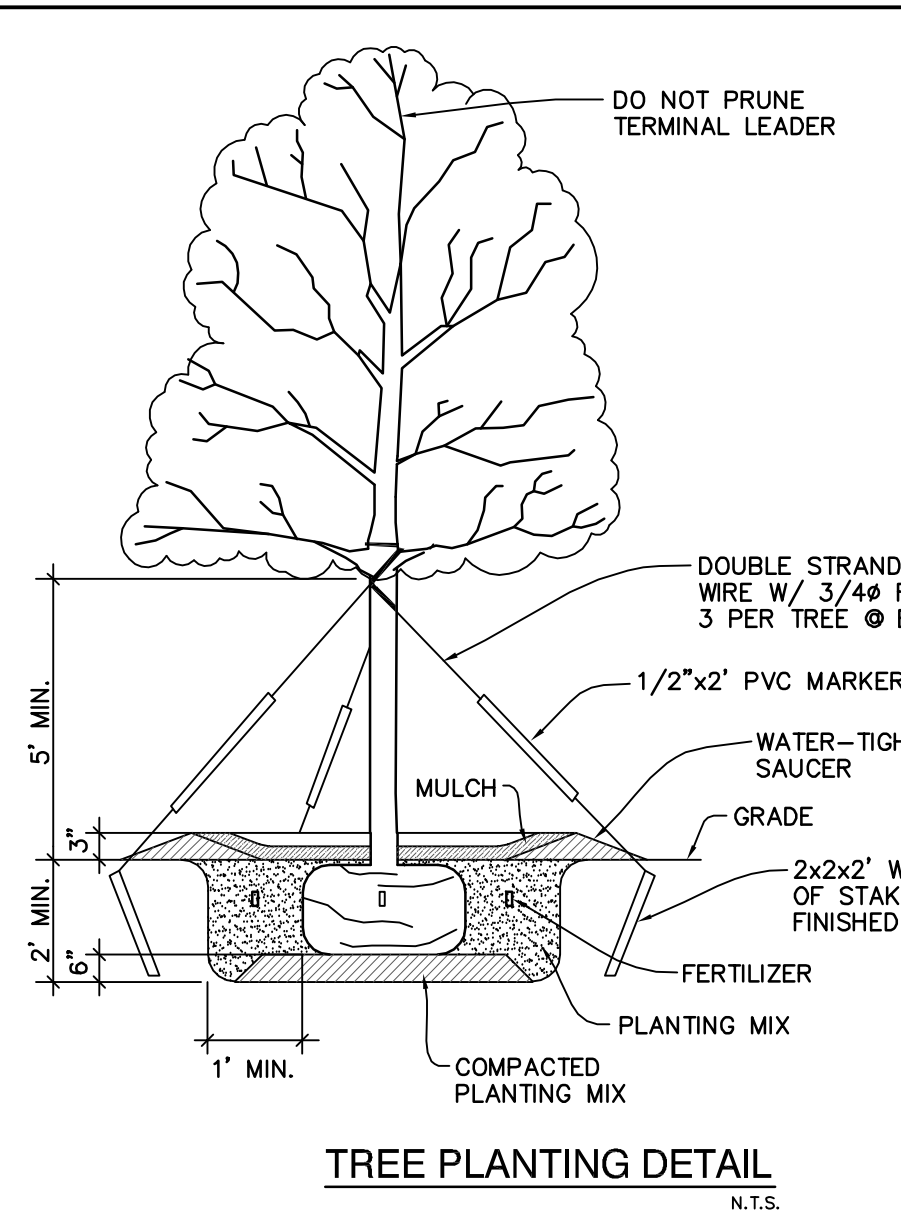
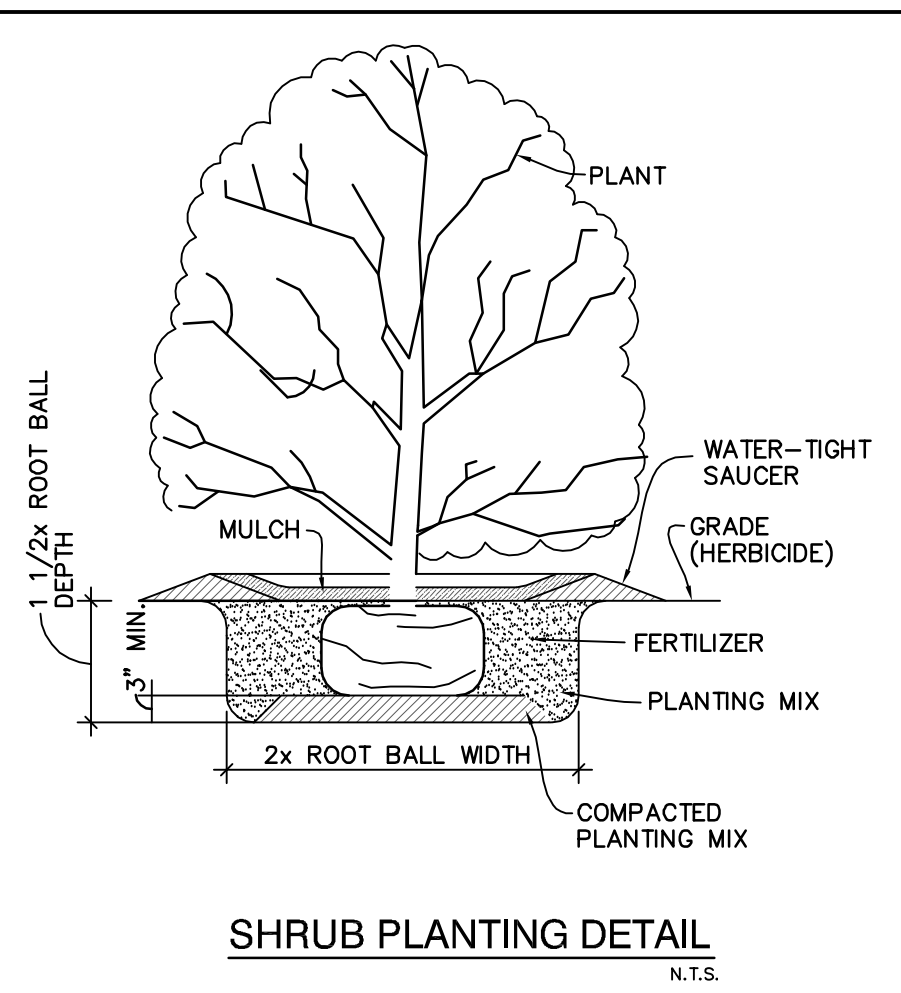
PLANTING 1 TREE IN EACH ISLAND

ON-SITE VEHICLE USE AREA:
 CONC PARKING AREA/ROADWAY = 32,723 s.f.
 PROVIDE 8% LANDSCAPE AREA
 32,723 s.f. x 0.08 = 2,618 s.f. REQUIRED LANDSCAPING

TOTAL REQUIRED LANDSCAPE ISLANDS:
 1725 s.f. + 2,618 s.f. = 4,343 s.f.

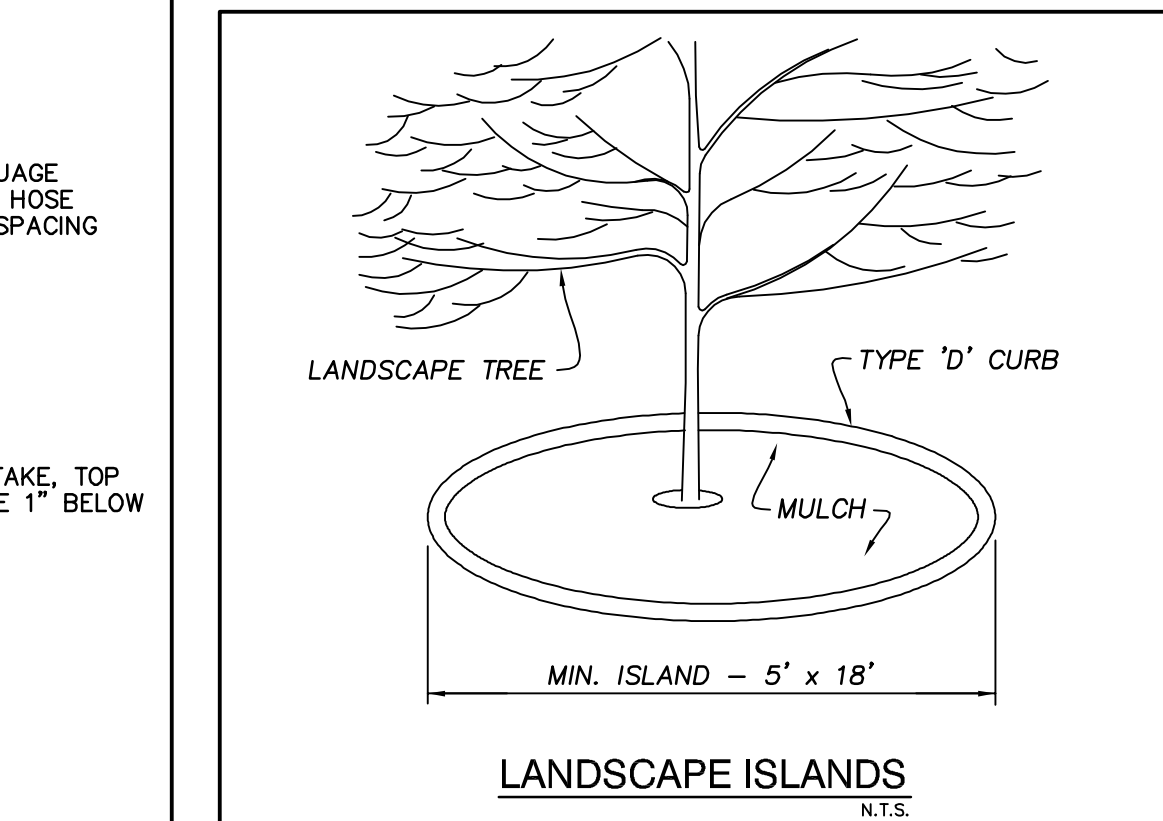
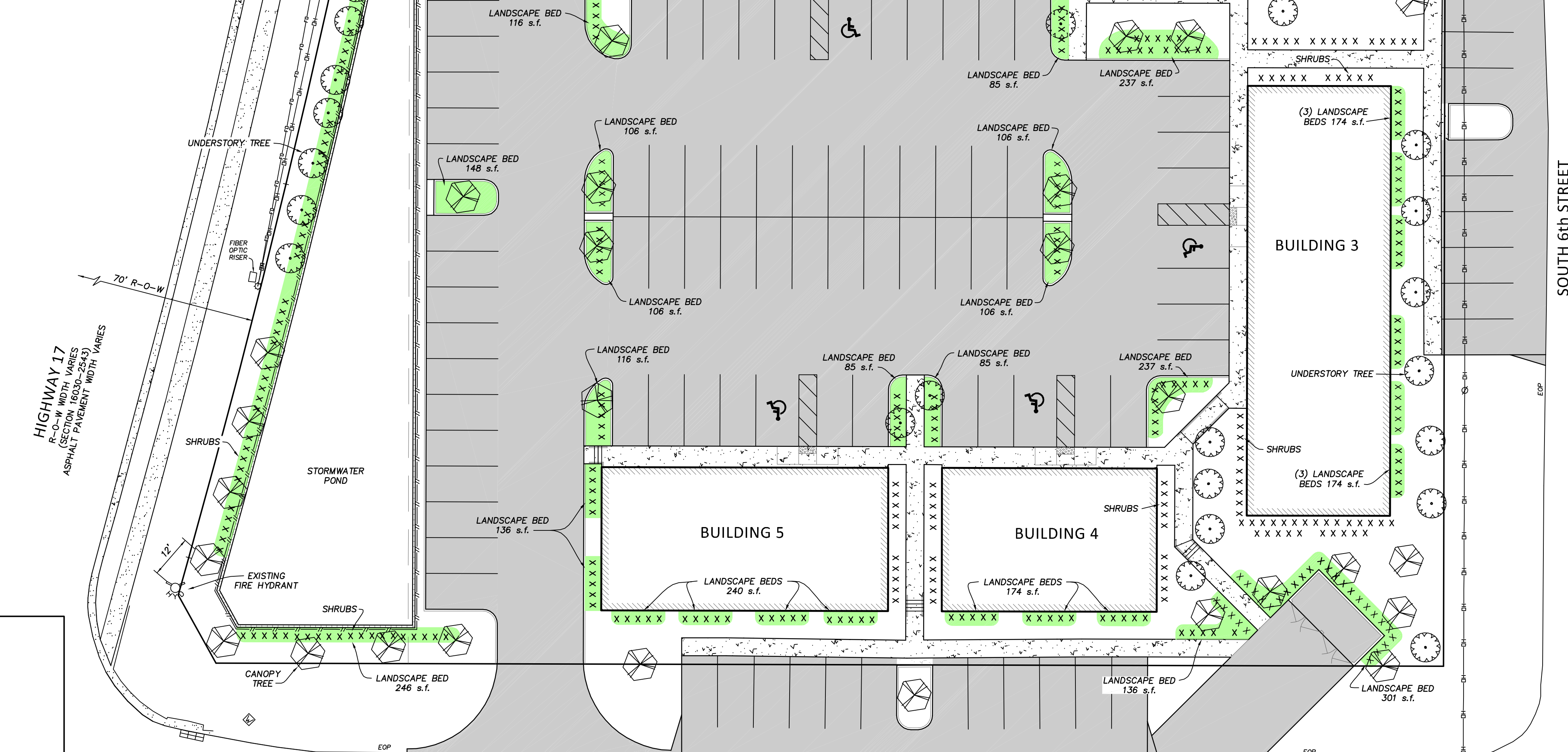
PROVIDED LANDSCAPE ISLANDS/BEDS:
 THE HIGHLIGHTED BEDS SHOWN ARE ADJACENT TO ROADWAY & PARKING AREAS. THESE AREAS MEET THE CITY MINIMUM. ADDITIONAL BEDS AROUND THE BUILDINGS WILL MEET THE SHRUBS REQUIREMENTS. THESE BEDS WILL BE MULCHED BUT NOT CALCULATED.
 PROVIDED LANDSCAPE BEDS (AS HIGHLIGHTED) = 4,579 s.f.

SHRUB PLANTINGS:
 1 SHRUB SHALL BE PLANTED FOR EVERY 10 s.f. OF REQUIRED LANDSCAPING = 4,343 s.f. / 10 = 434 SHRUBS



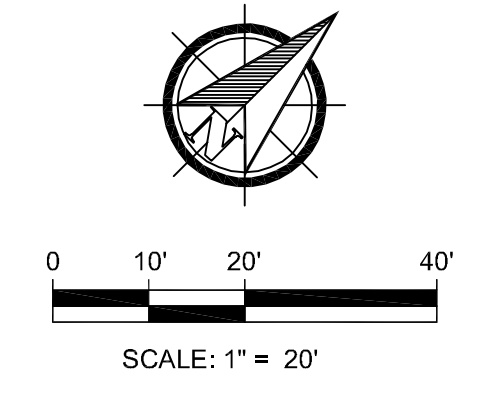
LEGEND

- PROPOSED BUILDING
- CONCRETE ROADWAY
- PROPOSED CONCRETE SURFACE
- EXISTING CONCRETE
- LANDSCAPE BEDS per CITY MIN. REQUIREMENT
- U.G. FIBER OPTIC
- OVERHEAD POWER LINE
- PROPOSED FENCE
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- FIRE HYDRANT
- DECID TREE
- CANOPY TREE
- UNDERSTORY TREE
- SHRUBS



- NOTES:**
- CANOPY/OVERSTORY TREES MUST BE LOCATED MORE THAN 12 FEET FROM ANY WATER, SEWER, ELECTRIC, COMMUNICATION AND GAS LINE.
 - CANOPY (BUFFER) TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM ANY PAVED SURFACE.
 - ALL AREAS WITH NEW SHRUB PLANTINGS SHALL BE MULCHED WITH 2" THICK GRADE "A" CYPRESS MULCH OR APPROVED EQUIVALENT.
 - AREAS NOT PLANTED WITH TREES OR SHRUBS SHALL BE SODED WITH BAHIA SOD. SOD ALL DISTURBED AREAS WITH BAHIA SOD.
 - THE PLANTS SPECIFIED HAVE BEEN SELECTED BY THERE SOILS CLASSIFICATION. NATIVE MESC (M) OR ZERIC (Z) PLANTS SHALL BE USED PER THE CITY & COUNTY XERISCAPE LISTINGS.
 - CONTRACTOR SHALL INSTALL AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSORS. SYSTEM SHALL BE ZONED TO WATER TREES, SHRUBS & GRASS SEPARATELY TO CONSERVE WATER.

- ADDITIONAL LANDSCAPING:**
 THIS LANDSCAPE PLAN PRESENTS CANOPY AND BUFFER PLANTINGS AS REQUIRED BY THE CITY OF EAGLE LAKE.
 ADDITIONAL PLANTINGS AROUND THE BUILDING PERIMETERS ARE ANTICIPATED BUT NOT PROVIDED. ANY ADDITIONAL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CITIES LAND DEVELOPMENT CODE.
- SITE LIGHTING:**
 ALL PARKING AND LOADING AREAS DESIGNATED OR INTENDED FOR PUBLIC USE AFTER DARK SHALL HAVE LIGHTING. THE ILLUMINATION FOR AND GLARE FROM THESE FACILITIES SHALL BE DESIGNATED SO THAT THE LIGHTING IS SHIELDED OR AIMED AWAY FROM ADJACENT PROPERTIES AND ROADWAYS.



No.	DATE	APPROVED	REVISION
1	1-10-24	KSP	REVISED BUILDING 3-4 PER CLIENT COMMENTS

ENGINEERING SERVICES, LLC
 205 Century Boulevard
 Bartow, Florida 33830
 phone: 863-221-2298 fax: 863-533-3376
 Certificate of Authorization No. 28840

Filename: 23005 BASE
 View: LAND
 X-Ref: N.A.
 Drawing date: 6-12-23

Horizontal Scale: 1" = 20'
 Vertical Scale: N.A.
 Designed/Drawn by: DRW
 Checked by: KSP

WILLIAMS BUSINESS PARK
 Landscape Plan
 564 E. Brookins Avenue, Eagle Lake, Florida 33839

Kendall S. Phillips, P.E.
 2024.06.14
 10:17:26 -0400

PROJECT No. **23005**
 SHEET No. **8**
 OF **8**

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