

NOTES

DEMOLITION NOTES

- GENERAL
- 1.1 SUMMARY
- A. This Section includes procedural requirements for cutting and patching, and selective demolition.
- 1.2 DEFINITIONS
- A. Cutting: Removal of existing construction necessary to permit installation or performance of other work.
- B. Patching: Filling and repair work required in preparation for new finish work or to restore surfaces to original conditions after installation of other work.
- C. Remove: Detach items from existing construction and legally dispose of them off-site, unless indicated to be removed and salvaged or removed and reinstalled.
- D. Remove and Salvage: Detach items from existing construction and deliver them to Owner ready for reuse.
- E. Remove and Reinstall: Detach items from existing construction, prepare them for reuse, and reinstall them where indicated.
- F. Existing to Remain: Existing items of construction that are not to be removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled. Contractor shall protect all areas to remain, adjacent properties and the general public from damage at all times during the demolition phase of work.
- 1.3 QUALITY ASSURANCE
- A. Structural Elements: Do not cut and patch structural elements in a manner that could change their load-carrying capacity or load-deflection ratio.
- B. Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety.
- C. Visual Requirements: Do not alter, cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not alter, cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Architect's opinion, reduce the aesthetic qualities of the site. Remove and replace construction that has been altered, cut and patched in a visually unsatisfactory manner.
- 1.4 PROJECT CONDITIONS
- A. NOT USED

- PART 2 - PRODUCTS
- 2.1 MATERIALS
- A. Patching Materials: Use patching materials identical to existing materials and which visually match existing adjacent surfaces.
- PART 3 - EXECUTION
- 3.1 PREPARATION
- A. General: Comply with the Landlord's or Property Manager's Lease requirements, tenant work letter, and the building rules and requirements for using and protecting elevators, stairs, hallways, loading docks, building entries, and other building facilities during cutting and patching operations.
- B. Temporary Partitions: Erect dustproof partitions to limit spread of dust and dirt during cutting and demolition work. Map hard surfaced floors, and vacuum carpeted areas, to eliminate tracked dust, cutting, and demolition debris. Dust off ceiling and wall surfaces indicated to remain in areas where cutting and demolition operations have occurred.
- C. Cover and protect fixtures, furnishings, and equipment that are not to be removed in areas where cutting and demolition operations are to be prosecuted.
- D. Do not close or obstruct hallways, passageways, or stairways.
- E. Visual Requirements: Do not alter, cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not alter, cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Architect's opinion, reduce the aesthetic qualities of the site. Remove and replace construction that has been altered, cut and patched in a visually unsatisfactory manner.
- 3.2 PERFORMANCE
- A. General: Employ skilled workers to perform cutting and patching and demolition work. Proceed with cutting and patching and demolition work at the earliest feasible time, and complete without delay.
1. Cut existing construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.
2. Remove all debris as the cutting and demolition work progresses in a manner that will prevent spillage or damage to adjacent surfaces, areas in the building, and to the Owner occupied portions of the existing tenant space. Do not allow debris to accumulate on-site. Transport debris off Owner's property and legally dispose of it.
3. Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, removed materials shall become Contractor's property and shall be removed from Project site.
- B. Cutting and Demolition Work: Cut existing construction by sawing, drilling, breaking, chipping, grinding, and similar operations, using methods least likely to damage elements retained or adjoining construction.
1. In general, use hand or small power tools designed for sawing and grinding, not hammering and chipping. Cut holes and slots as small as possible, neatly to size required, and with minimum disturbance of adjacent surfaces.
2. Existing Finished Surfaces: Cut or drill from the exposed or finished side into concealed surfaces.
3. Cut off projecting anchorage and attachment items as required to properly provide for patching and repair of the respective finishes.
4. Concrete and Masonry: Cut using a cutting machine, such as an abrasive saw or a diamond-core drill.
5. Mechanical and Electrical Services and Utilities: Cut off ducts, pipe or conduit in walls or partitions to be removed. Cap, or plug and seal remaining portion of ducts, pipe or conduit to provide a watertight closure after cutting.
6. Removed and Salvaged Items: Remove and transport items to storage area designated by Owner unless otherwise indicated on the Drawings.
7. Removed and Reinstalled Items: Clean and repair items to functional condition adequate for intended reuse. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
8. Proceed with patching after construction operations requiring cutting are complete.
- C. Patching: Patch construction by filling, repairing, refreshing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as possible. Provide materials and comply with installation requirements specified in other Sections of these Specifications.
1. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will eliminate evidence of patching and refreshing.
2. Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform finish, color, texture, and appearance.
- a. Where patching occurs in a painted surface, apply primer and intermediate paint coats over the patch and apply final paint coat over entire unbroken surface containing the patch. Provide additional coats until patch blends with adjacent surfaces.
3. Ceilings: Patch, and repair, existing ceilings as necessary to provide an even-plane surface of uniform appearance.
- D. Workmanship: If a wall, or ceiling that has been patched is to be painted, the final 2 coats of paint shall be applied to the entire wall, corner to corner, or the entire ceiling wall to wall.

GENERAL NOTES

1. THE ARCHITECTURAL SCOPE OF WORK IS REFLECTED IN THE DRAWINGS INDICATED IN THE DRAWING LIST, ADDENDA, CONSTRUCTION CHANGE DIRECTIVES, CHANGE ORDERS, THE CONTRACT, THE OWNER AND ARCHITECT AND ANY OTHER INFORMATION WRITTEN AND MUTUALLY AGREED UPON BETWEEN THE OWNER AND ARCHITECT.
2. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR INSPECTIONS AND PAY ALL LAWFUL FEES AND PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY TAXES LEVIED FOR ALL LABOR AND MATERIALS ASSOCIATED WITH WORK ON THIS PROJECT.
3. THESE DRAWINGS ARE COMPLEMENTARY AND INTERRELATED. DRAWINGS ARE BASED ON OWNER-PROVIDED EXISTING BUILDING PLANS AND LIMITED FIELD INVESTIGATION. CONTRACTOR SHALL VISIT THE PROJECT SITE AND ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
4. IF DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS ARE DISCOVERED, NOTIFY THE ARCHITECT IMMEDIATELY.
5. ALL NECESSARY CONSTRUCTION TECHNIQUES, PROCEDURES, SEQUENCING, SCHEDULING, LABOR AND EQUIPMENT FOR ALL WORK INDICATED ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL CODES AND ORDINANCES IN EFFECT AT THE TIME THE PERMIT IS ISSUED. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUSPECTED VIOLATION.
7. ALL PENETRATIONS IN RATED CONSTRUCTION ARE TO BE SEALED WITH APPROPRIATE MATERIALS AS INDICATED BY THESE DOCUMENTS OR OTHERWISE REQUIRED BY INSPECTORS OR APPLICABLE CODES AND ORDINANCES.
8. DO NOT SCALE DRAWINGS; USE DIMENSIONS ONLY. NOTIFY ARCHITECT OF SIGNIFICANT DISCREPANCIES IMMEDIATELY UPON DISCOVERY.
9. ALL WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL ORDINANCES, INDUSTRY STANDARDS AND LIFE SAFETY CODES PERTAINING TO THIS SCOPE OF WORK.

MECHANICAL NOTES

- FINAL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION SCOPE TO BE PROVIDED AS DESIGN-BUILD SCOPE OF WORK BY GENERAL CONTRACTOR
1. CONTRACTOR SHALL SALVAGE EXISTING FIXTURES (EXHAUST FANS, VENTS, ETC) UNLESS DETERMINED UNUSABLE BY FIELD INVESTIGATION
2. ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF SMACNA STANDARDS.
3. HVAC CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS
4. THE HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE HVAC WORK COMPLETE AND READY FOR OPERATION.
5. ALL HVAC WORK SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS.

PLUMBING NOTES

- FINAL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION SCOPE TO BE PROVIDED AS DESIGN-BUILD SCOPE OF WORK BY GENERAL CONTRACTOR
1. ALL PLUMBING WORK SHALL COMPLY WITH THE 2006 INTERNATIONAL PLUMBING CODE WITH CURRENT GEORGIA AMENDMENTS
2. ALL PLUMBING WORK SHALL BE COORDINATED AND VERIFIED FOR INTERFERENCE WITH EXISTING STRUCTURE PRIOR TO FABRICATION AND INSTALLATION.
3. ALL PLUMBING FIXTURES AND EQUIPMENT CONNECTED TO THE SANITARY SEWER SYSTEM SHALL BE PROVIDED WITH TRAPS AND CLEANOUTS. EXPOSED PIPING SHALL BE CHROME PLATED.
4. CONTRACTOR TO SALVAGE AND RELOCATE EXISTING LAVATORIES PER ARCHITECTURAL PLAN.
5. CONTRACTOR TO EXTEND LAVATORY PLUMBING AS REQUIRED TO ACCOMMODATE NEW LAVATORY LOCATION
6. CONTRACTOR TO PROVIDE FIXTURE APPURTENANCES (SHUT-OFF VALVES, ETC) AS NECESSARY TO ENSURE PROPER INSTALLATION PER LOCAL CODE REQUIREMENTS.

ELECTRICAL NOTES

- FINAL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION SCOPE TO BE PROVIDED AS DESIGN-BUILD SCOPE OF WORK BY GENERAL CONTRACTOR
1. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE.
2. ALL EXISTING UN-USED CONDUIT THAT WILL BE EXPOSED AFTER CONSTRUCTION SHALL BE REMOVED; ALL OTHERS MAY BE ABANDONED ABOVE CEILING OR BELOW FLOOR. CONTRACTOR SHALL DISCONNECT WIRING FROM ALL POWER SOURCES AND REMOVE ALL WIRING FROM ABANDONED CONDUITS. PROVIDE BLANK COVER PLATES ON ALL ABANDONED FLUSH OUTLETS.
3. CONTRACTOR TO DISPOSE OF ALL UNUSABLE LIGHTING FIXTURES, SWITCHES, RECEPTACLES, ETC AS DIRECTED BY OWNER

PROJECT SUMMARY

PROJECT ADDRESS:
6319B JONESBORO ROAD
MORROW GA, 30260

EXISTING BUILDING CONSTRUCTION:
CONSTRUCTION TYPE IIB
SPRINKLERED

BUILDING OCCUPANCY
MERCANTILE

OWNER:
NEW FAITH, LLC
565 CYNTHIA LANE
FOREST PARK, GA 30297

PROJECT DESCRIPTION:
INTERIOR RENOVATION OF EXISTING 4,932 SQ FT TENANT SPACE

CITY OF MORROW APPLICABLE CODES

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC), 2006 EDITION WITH GEORGIA AMENDMENTS

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2005 EDITION WITH GEORGIA AMENDMENTS

FUEL CODE: INTERNATIONAL FUEL CODE (IFGC), 2006 EDITION WITH GEORGIA AMENDMENTS

MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE (IMC), 2006 EDITION WITH GEORGIA AMENDMENTS

PLUMBING CODE: INTERNATIONAL PLUMBING CODE (IPC), 2006 EDITION WITH GEORGIA AMENDMENTS

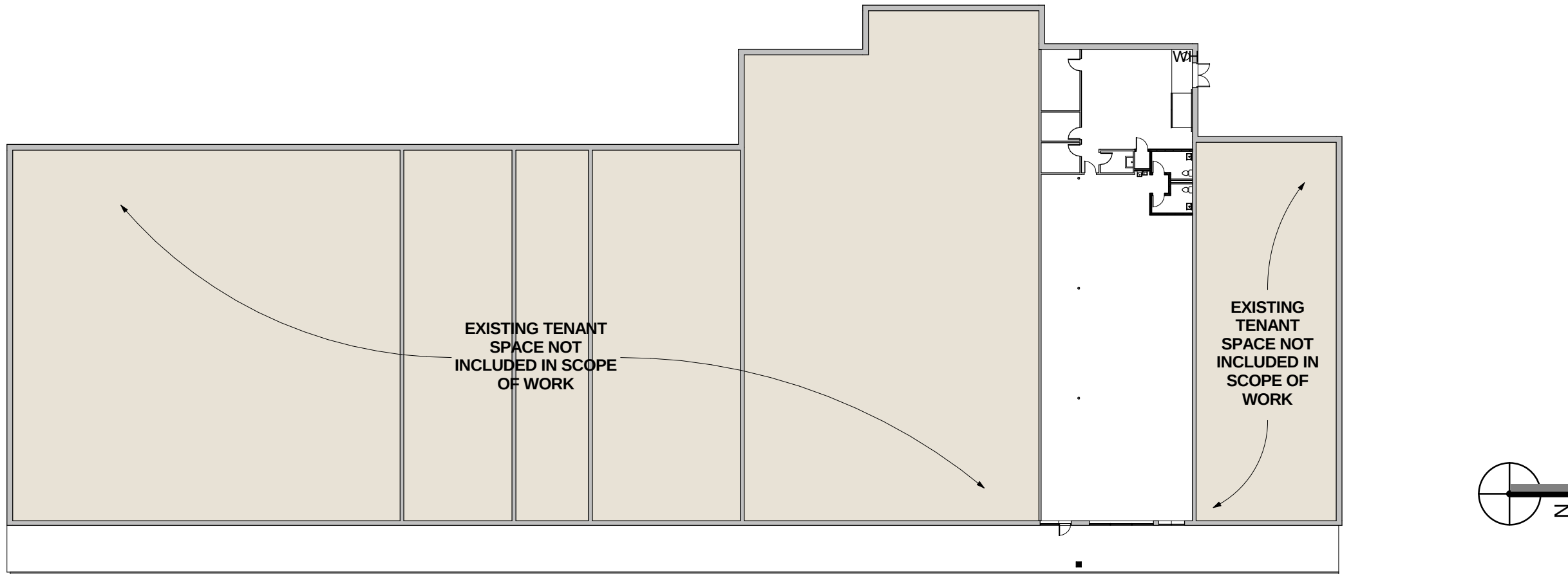
RESIDENTIAL CODE: INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE AND TWO FAMILY DWELLING, 2006 EDITION, WITH GEORGIA AMENDMENTS SPECIFICALLY EXCLUDING SECTION(S), ENTITLED SMOKE DETECTORS

ENERGY CODE: INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2000 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS

FIRE CODE: INTERNATIONAL FIRE CODE (IFC), 2006 EDITION WITH GEORGIA AMENDMENTS

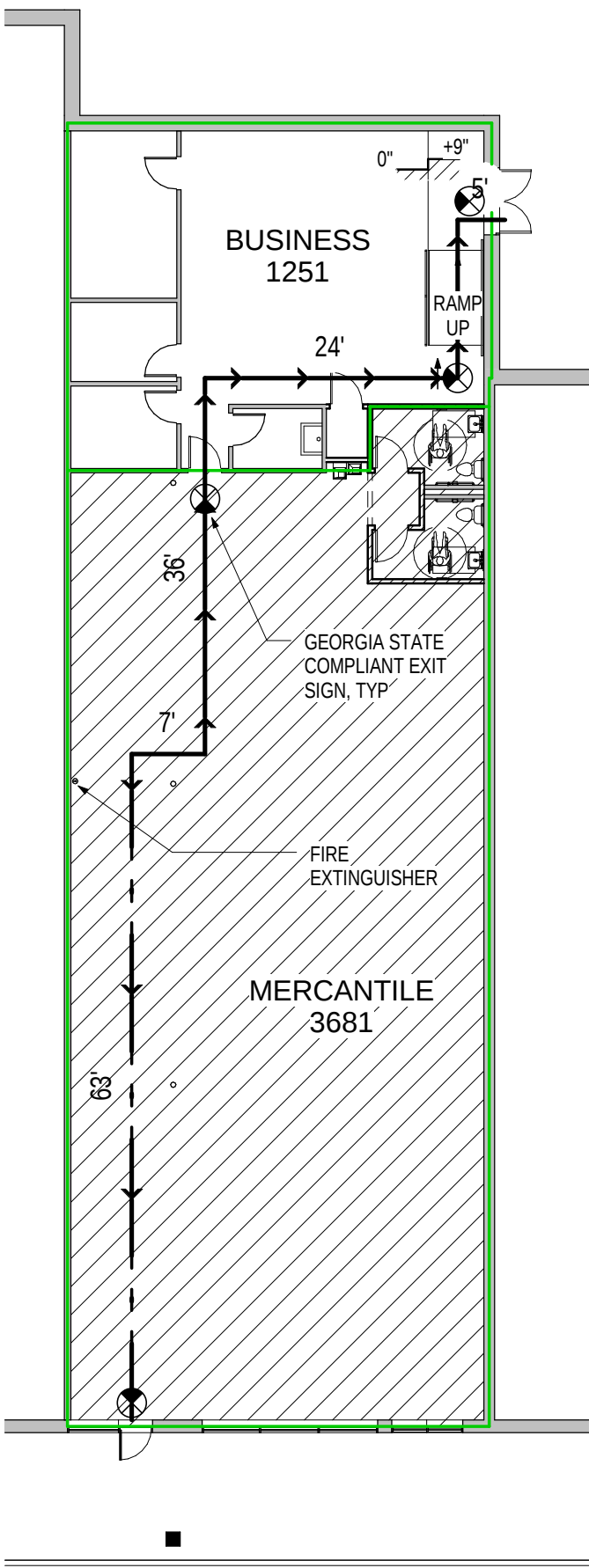
LIFE SAFETY CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE, 2000 EDITION WITH GEORGIA AMENDMENTS

ACCESSIBILITY CODE: GEORGIA ACCESSIBILITY CODE - GEORGIA FIRE MARSHAL RULES AND REGULATIONS, CHAPTER 120-3-20, ACCESSIBILITY
<http://www.gaisurance.org/FireMarshalRules%20and%20Regulations.aspx>



EXISTING OVERALL BUILDING PLAN

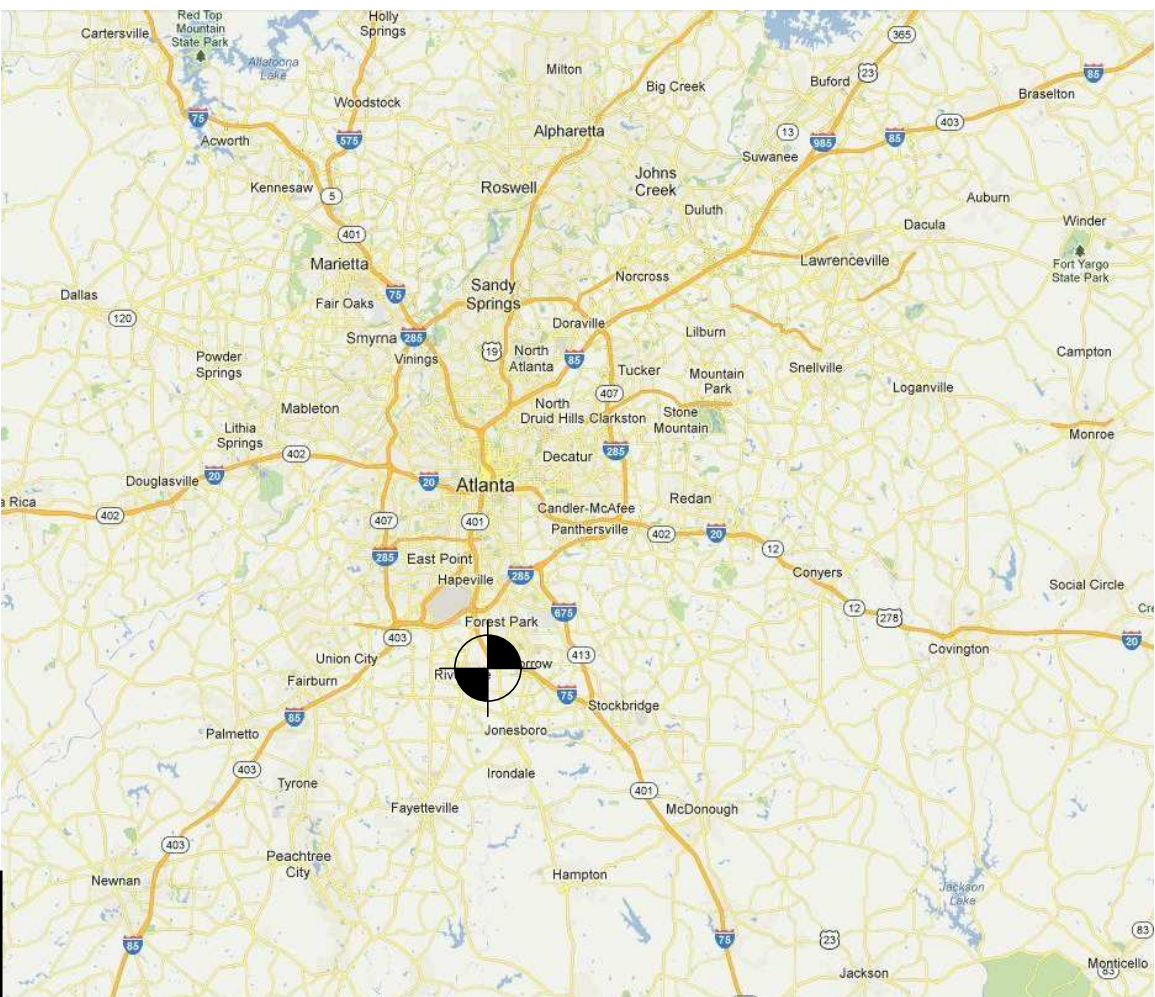
SCALE: 1/32" = 1'-0"



TENANT EGRESS PLAN

SCALE: 1/16" = 1'-0" REFERENCE SHEET: n/a

PROJECT SITE



PROJECT VICINITY

OCCUPANT LOAD			
OCCUPANCY TYPE	FLOOR AREA	SQ FT PER OCCUPANT	REQUIRED OVERALL EGRESS WIDTH (IN) (SPRINKLERED)
MERCANTILE	3681 SF	30	123
BUSINESS	1251 SF	100	13
	4932 SF	136	20

** AREA INDICATED IS AS MEASURED TO THE CENTERLINE OF THE ENCLOSING WALLS AND PARTITIONS

OWNER

NEW FAITH LLC
565 CYNTHIA LANE
FOREST PARK, GA 30297

Contact: 678.360.5999

ARCHITECT

FIVE LIONS DESIGN
BOX 768046
ROSWELL, GA 30076-8046

Contact: 770.712.8679
info@fivelionsdesign.com

ENGINEERING

FINAL MECHANICAL,
ELECTRICAL,
PLUMBING AND
FIRE PROTECTION
SCOPE TO BE PROVIDED
AS DESIGN-BUILD
SCOPE OF WORK BY
GENERAL CONTRACTOR

CONTRACTOR

Telephone:
Facsimile:

DRAWING LIST	
SHEET NUMBER	SHEET DESCRIPTION
A01	PROJECT INFORMATION
A02	DEMOLITION, CONSTRUCTION, REFLECTED CEILING PLAN
A03	ENLARGED CONSTRUCTION PLAN

ISSUED FOR CONSTRUCTION

REVISION		
No.	Date	Description

MORROW CROSSING
TENANT
6319B JONESBORO ROAD

FIVE LIONS DESIGN
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SHEET
PROJECT INFORMATION

SHEET NUMBER
A01

PROJECT NUMBER 0601_JC
PRINTED FOR ISSUED FOR CONSTRUCTION
DATE 06/26/2012
DRAWN BY FLD

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OVERALL NOTES

- | | |
|---|---|
|  | NEW FULL HEIGHT PARTITION TO UNDERSIDE OF
STRUCTURE ABOVE. SEE SHEET A03 FOR TYPICAL
PARTITION CONSTRUCTION |
|  | NEW PARTITION TO UNDERSIDE OF CEILING ABOVE.
SEE SHEET A03 FOR TYPICAL PARTITION
CONSTRUCTION |
|  | EXISTING PARTITION TO REMAIN |
|  | EXISTING CONSTRUCTION TO BE REMOVED |

- A. PATCH AND REPAIR EXISTING GYPSUM BOARD PARTITIONS TO REMAIN.
- B. UNLESS NOTED OTHERWISE, AT ALL PARTITIONS PROVIDE 4" RESILIENT COVE WALL BASE AND FLAT PAINT WALL FINISH- COLOR TO BE SELECTED BY OWNER.
- B. MAINTAIN FIRE RATING OF EXISTING DEMISED PARTITIONS TO REMAIN EXISTING FIRE RATING STAMPS TO REMAIN UNCOVERED. FIRE CAULK AND SEAL ANY PENETRATIONS CREATED OR UNCOVERED IN EXECUTION OF THIS SCOPE OF WORK TO MAINTAIN RATED TENANT SEPARATION

SHEET NOTES DEMOLITION PLAN

- | | |
|-----|--|
| D10 | EXTERIOR CONSTRUCTION INCLUDING STOREFRONT, MASONRY, SIDEWALK AND SIGNAGE NOT INCLUDED IN SCOPE OF WORK |
| D11 | EXISTING ELECTRICAL PANEL TO REMAIN, ELECTRICAL SCOPE TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT |
| D12 | EXISTING WATER HEATER TO REMAIN, PLUMBING WORK TO ENSURE PROPER OPERATION TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT |
| D20 | DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED, TYP. DURING REMOVAL, PROTECT EXISTING ACOUSTICAL CEILING GRID TO REMAIN IN PLACE |
| D21 | REMOVE AND SALVAGE EXISTING DOORS AND HARDWARE FOR RE-USE. DOORS INTENDED FOR REUSE SHALL BE PATCHED AND REPAIRED AS NECESSARY FOR PROPER OPERATION. |
| D30 | EXISTING SHOWER HEAD AND CONTROLS TO BE REMOVED |
| D31 | EXISTING SHOWER ENCLOSURE, HEAD AND CONTROLS TO BE REMOVED |
| D32 | EXISTING WATER CLOSET TO REMAIN, GC SHALL CLEAN AND REPAIR AS NECESSARY TO INSURE PROPER OPERATION |
| D33 | EXISTING RESTROOM ACCESSORIES TO BE REMOVED |
| D34 | REMOVE AND SALVAGE EXISTING WALL-MOUNTED LAVATORY AND FAUCET FOR RE-USE. GC SHALL CLEAN AND REPAIR AS NECESSARY TO INSURE PROPER OPERATION |
| D40 | EXISTING FLOORING INCLUDING FASTENERS AND ADHESIVES TO BE REMOVED DOWN TO FLOOR SLABS IN PREPARATION FOR NEW FLOOR FINISH AS NOTED |
| D50 | WHERE PARTITIONS ARE REMOVED, REMOVE ASSOCIATED BUILT-IN MILLWORK, TYP |
| D60 | GC TO FIELD VERIFY AND COORDINATE WITH OWNER ON FEASIBILITY OF SALVAGING EXISTING 2x4 LIGHT FIXTURES THROUGHOUT TENANT SPACE FOR REPAIR AND RE-USE |
| D70 | GC TO FIELD VERIFY AND COORDINATE WITH OWNER ON FEASIBILITY OF SALVAGING EXISTING 2x4 CEILING GRID (AT 9'-0" A.F.F.) THROUGHOUT TENANT SPACE FOR REPAIR AND RE-USE |
| D71 | HATCH INDICATES AREA OF EXISTING 2x4 CEILING GRID TO BE REMOVED. COORDINATE SCOPE OF REMOVAL WITH PROPOSED NEW PARTITION LAYOUT |

SHEET NOTES_CONSTRUCTION PLAN

- | | |
|-------|---|
| C1.1 | 8'-0" TALL GYPSUM BOARD OPENING |
| C1.2 | SALVAGE EXISTING DOORS FOR RE-USE. PAINT ALL DOORS TO MATCH ADJACENT WALLS. PAINT ALL DOOR FRAMES WITH SEMI-GLOSS PAINT TO MATCH DOOR COLOR |
| C1.3 | PAINT EXISTING STEEL STRUCTURAL COLUMN TO REMAIN. |
| C1.6 | SALVAGE AND RELOCATE EXISTING WATER HEATER TO TOP OF NEW ELEVATED CONCRETE SLAB. PLUMBING WORK TO ENSURE PROPER OPERATION TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT |
| C1.8 | PROVIDE COMMERCIAL GRADE RESILIENT TILE FLOORING TO BE SELECTED BY OWNER. |
| C1.10 | RELOCATED LAVATORY. GC TO PROVIDE ADA ACCESSIBLE MOUNTING AND FAUCET CONTROLS |
| C1.10 | PATCH REPAIR AND CLEAN EXISTING TOILET TO REMAIN. GC TO VERIFY ADA ACCESSIBLE CLEARANCES. PROVIDE NEW OWNER-SPECIFIED TOILET SEAT |
| C1.11 | PROVIDE FULL HEIGHT FIBERGLASS REINFORCED PANEL (FRP) WALL FINISH |
| C2.0 | PROVIDE CAST-IN-PLACE RAISED CONCRETE CURB AND ACCESS RAMP AT 1 1/2" MAXIMUM SLOPE. RAISED FLOOR LEVEL ELEVATION TO BE WITHIN 1/2" OF TOP OF EXISTING THRESHOLD. |
| C2.1 | PROVIDE 52" TALL STEEL GUARDRAIL MOUNTED TO FLOOR LEVEL WITH VERTICAL PICKETS AT 4" O.C. AND 1 1/2" DIAMETER TOP AND BOTTOM RAIL. MAINTAIN SLOPING 1 1/2" DIAMETER HANDRAIL AT 34" ABOVE RAMP LEVEL |
| C2.2 | PROVIDE 1 1/2" DIAMETER WALL-MOUNTED STEEL SLOPING HANDRAIL AT 34" ABOVE RAMP LEVEL |
| C3.0 | JANITORS MOP SINK WITH LEGS TO BE CONNECTED TO EXISTING DRAIN LINE |
| C4.0 | NEW ACCESSIBLE HI-LOW WATER FOUNTAIN. GC TO EVALUATE FEASIBILITY OF TO BE CONNECTION TO EXISTING DRAIN LINE AT JANITORS ROOM 105 |

SHEET NOTES_REFLECTED CEILING PLAN

- | | |
|------|--|
| R.10 | EXISTING 2'x4' ACOUSTICAL CEILING GRID AT 9'-0" A.F.F. TO REMAIN |
| R.11 | PROVIDE NEW 2'x4' ACOUSTICAL CEILING PANELS |
| R.13 | CEILING AREA OPEN TO STRUCTURE ABOVE |
| R.14 | PROVIDE NEW 2'x4' ACOUSTICAL CEILING GRID AND PANELS |
| R.51 | FINAL SIZE AND SPACING OF SUPPLY DIFFUSERS TO BE PAR DESIGN-BUILD SCOPE |
| R.52 | FINAL SIZE AND SPACING OF RETURN DIFFUSERS TO BE PAR OF DESIGN-BUILD SCOPE |
| R.53 | EXHAUST FAN ROUTED TO EXTERIOR |

ISSUED FOR CONSTRUCTION

**MORROW CROSSING
TENANT**
6319B JONESBORO ROAD

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SHEET

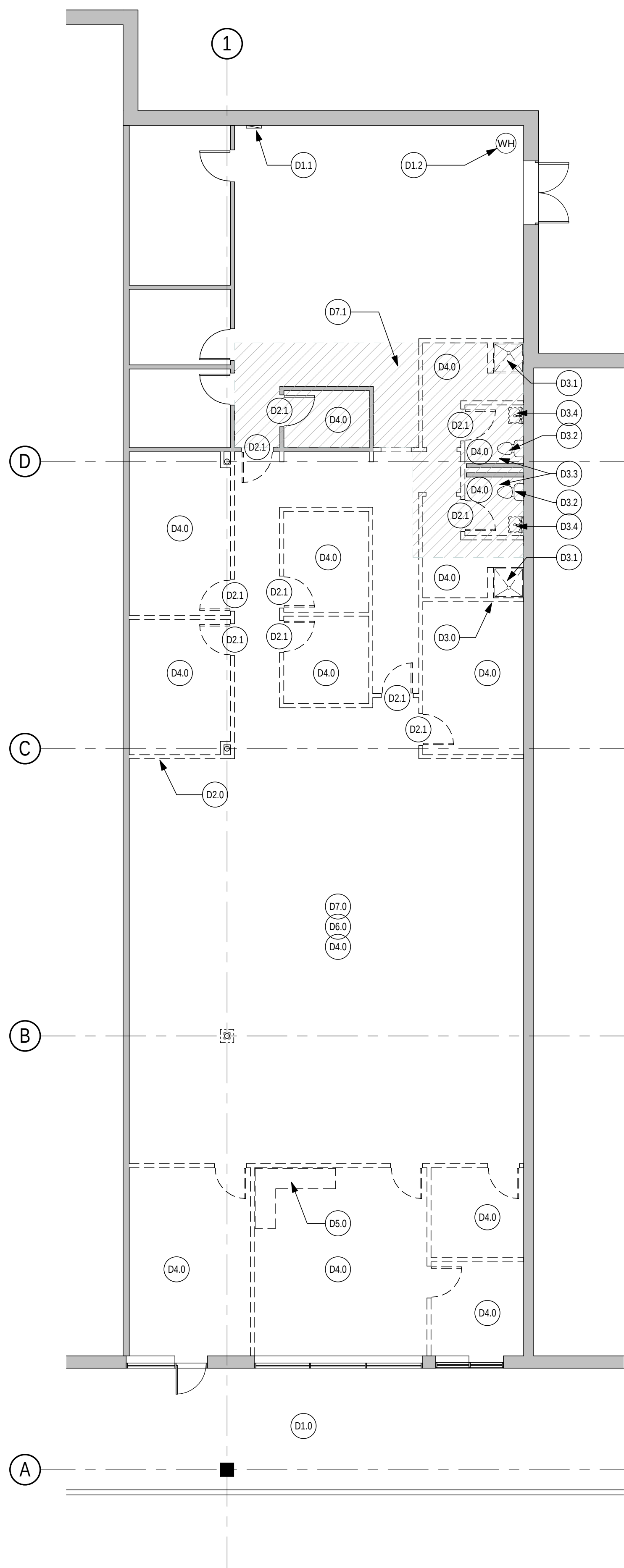
DEMOLITION,
CONSTRUCTION,
REFLECTED CEILING PLAN

SHEET NUMBER

A02

PROJECT NUMBER	0601_JC
PRINTED FOR	ISSUED FOR CONSTRUCTION
DATE	06/26/2012
DRAWN BY	FLD

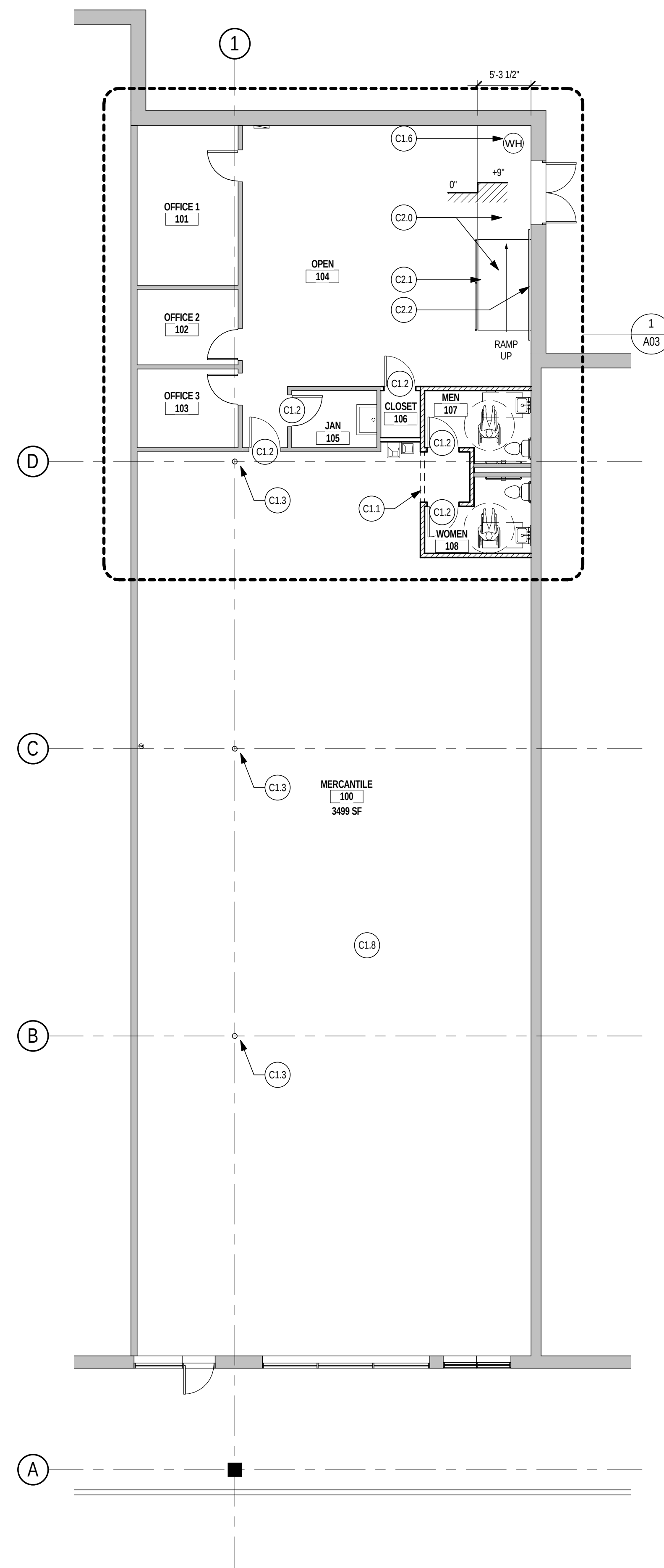
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DEMOLITION PLAN

SCALE: 1/8" = 1'-0" REFERENCE SHEET: n/a

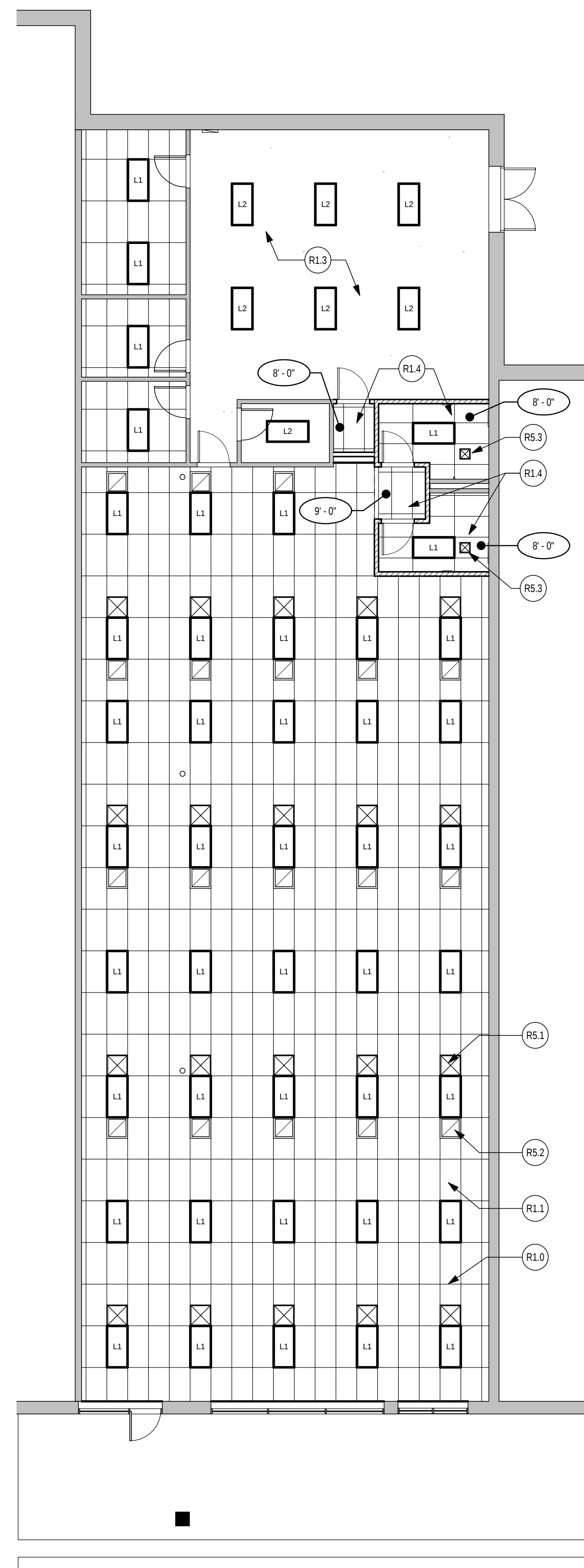
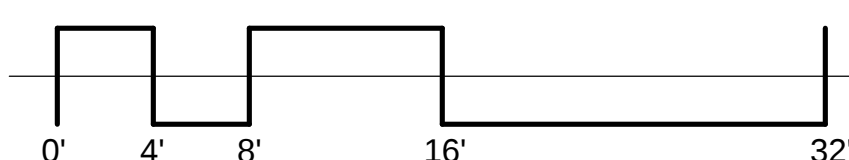
1



CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0" REFERENCE SHEET: n/a

2

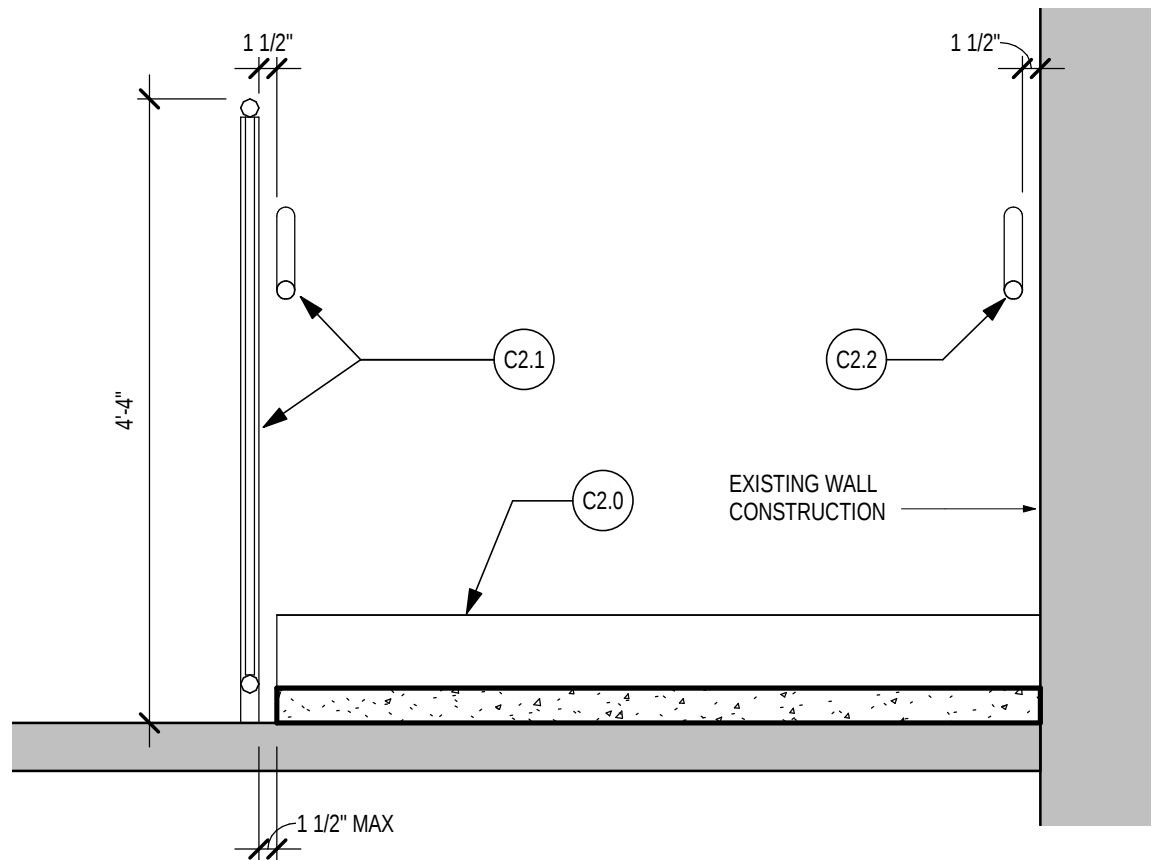
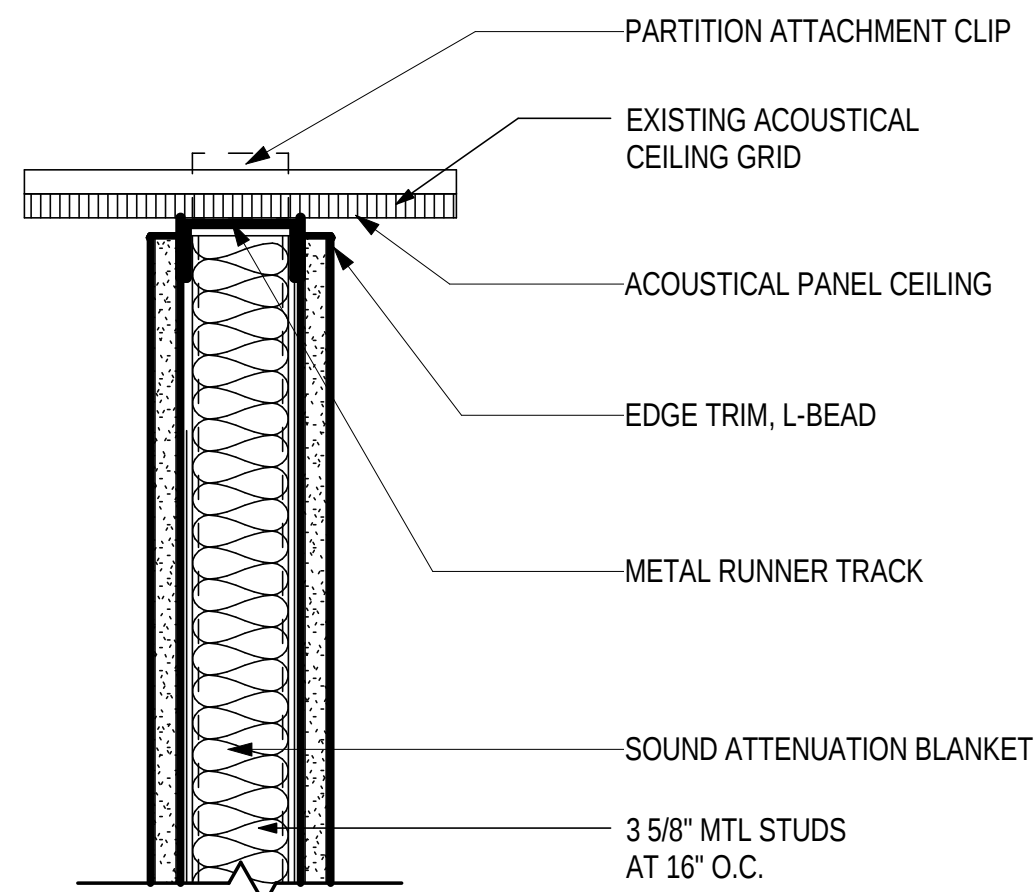


ID	DESCRIPTION	REMARKS
L1	2x4 FLUORESCENT TROFFER	CEILING GRID MOUNTED
L2	2x4 FLUORESCENT TROFFER	CHAIN-MOUNTED FROM STRUCTURE ABOVE

REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0" REFERENCE SHEET: n/a

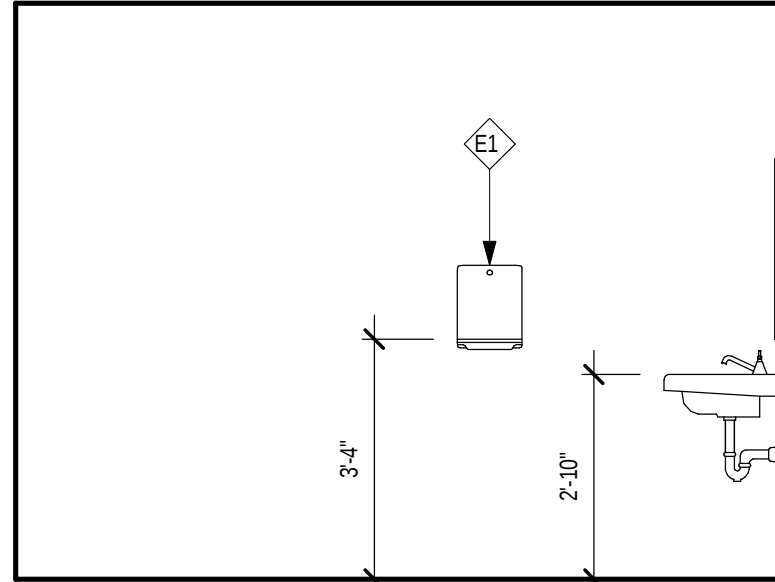
3



SECTION AT CONCRETE RAMP
SCALE: 3/4" = 1'-0" REFERENCE SHEET: A03

3

TOILET ROOM ACCESSORIES			
ID	DESCRIPTION	MANUFACTURER	MODEL
E1	WALL-MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-262
E2	WALL-MOUNTED MIRROR	BOBRICK	B-1658 1830
E3	WALL-MOUNTED TOILET TISSUE DISPENSER	BOBRICK	B-2730
E4	STAINLESS STEEL GRAB BAR_24"	BOBRICK	B-6806.99 x 24"
E5	STAINLESS STEEL GRAB BAR_42"	BOBRICK	B-6806.99 x 42"
E6	STAINLESS STEEL GRAB BAR_18"	BOBRICK	B-6806.99 x 18"



MEN'S ROOM ELEVATION A (WOMEN'S OPP HAND)
SCALE: 3/8" = 1'-0" REFERENCE SHEET: A03

OVERALL NOTES

- NEW FULL HEIGHT PARTITION TO UNDERSIDE OF STRUCTURE ABOVE. SEE SHEET A03 FOR TYPICAL PARTITION CONSTRUCTION
- NEW PARTITION TO UNDERSIDE OF CEILING ABOVE. SEE SHEET A03 FOR TYPICAL PARTITION CONSTRUCTION
- EXISTING PARTITION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

- A. PATCH AND REPAIR EXISTING GYPSUM BOARD PARTITIONS TO REMAIN.
- B. UNLESS NOTED OTHERWISE, AT ALL PARTITIONS PROVIDE 4" RESILIENT COVE WALL BASE AND FLAT PAINT WALL FINISH - COLOR TO BE SELECTED BY OWNER.
- C. MAINTAIN FIRE RATING OF EXISTING DEMISING PARTITIONS TO REMAIN. EXISTING FIRE RATING STAMPS TO REMAIN UNCOVERED. FIRE CAULK AND SEAL ANY PENETRATIONS CREATED OR UNCOVERED IN EXECUTION OF THIS SCOPE OF WORK TO MAINTAIN RATED TENANT SEPARATION.

SHEET NOTES_DEMOLITION PLAN

- D1.0 EXTERIOR CONSTRUCTION INCLUDING STOREFRONT, MASONRY, SIDEWALK AND SIGNAGE NOT INCLUDED IN SCOPE OF WORK
- D1.1 EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL SCOPE TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT
- D1.2 EXISTING WATER HEATER TO REMAIN. PLUMBING WORK TO ENSURE PROPER OPERATION TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT
- D2.0 DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED. TYP. DURING REMOVAL, PROTECT EXISTING ACOUSTICAL CEILING GRID TO REMAIN IN PLACE
- D2.1 REMOVE AND SALVAGE EXISTING DOORS AND HARDWARE FOR RE-USE. DOORS INTENDED FOR RE-USE SHALL BE PATCHED AND REPAIRED AS NECESSARY FOR PROPER OPERATION.
- D3.0 EXISTING SHOWER HEAD AND CONTROLS TO BE REMOVED.
- D3.1 EXISTING SHOWER ENCLOSURE, HEAD AND CONTROLS TO BE REMOVED.
- D3.2 EXISTING WATER CLOSET TO REMAIN. GC SHALL CLEAN AND REPAIR AS NECESSARY TO INSURE PROPER OPERATION
- D3.3 EXISTING RESTROOM ACCESSORIES TO BE REMOVED
- D3.4 REMOVE AND SALVAGE EXISTING WALL-MOUNTED LAVATORY AND FAUCET FOR RE-USE. GC SHALL CLEAN AND REPAIR AS NECESSARY TO INSURE PROPER OPERATION
- D4.0 EXISTING FLOORING INCLUDING FASTENERS AND ADHESIVES TO BE REMOVED DOWN TO FLOOR SLAB IN PREPARATION FOR NEW FLOOR FINISH AS NOTED
- D5.0 WHERE PARTITIONS ARE REMOVED, REMOVE ASSOCIATED BUILT-IN MILLWORK, TYP.
- D6.0 GC TO FIELD VERIFY AND COORDINATE WITH OWNER ON FEASIBILITY OF SALVAGING EXISTING 2x4 LIGHT FIXTURES THROUGHOUT TENANT SPACE FOR REPAIR AND RE-USE
- D7.0 GC TO FIELD VERIFY AND COORDINATE WITH OWNER ON FEASIBILITY OF SALVAGING EXISTING 2x4 CEILING GRID (AT 9'-0" A.F.F.) THROUGHOUT TENANT SPACE FOR REPAIR AND RE-USE
- D7.1 HATCH INDICATES AREA OF EXISTING 2x4 CEILING GRID TO BE REMOVED. COORDINATE SCOPE OF REMOVAL WITH PROPOSED NEW PARTITION LAYOUT

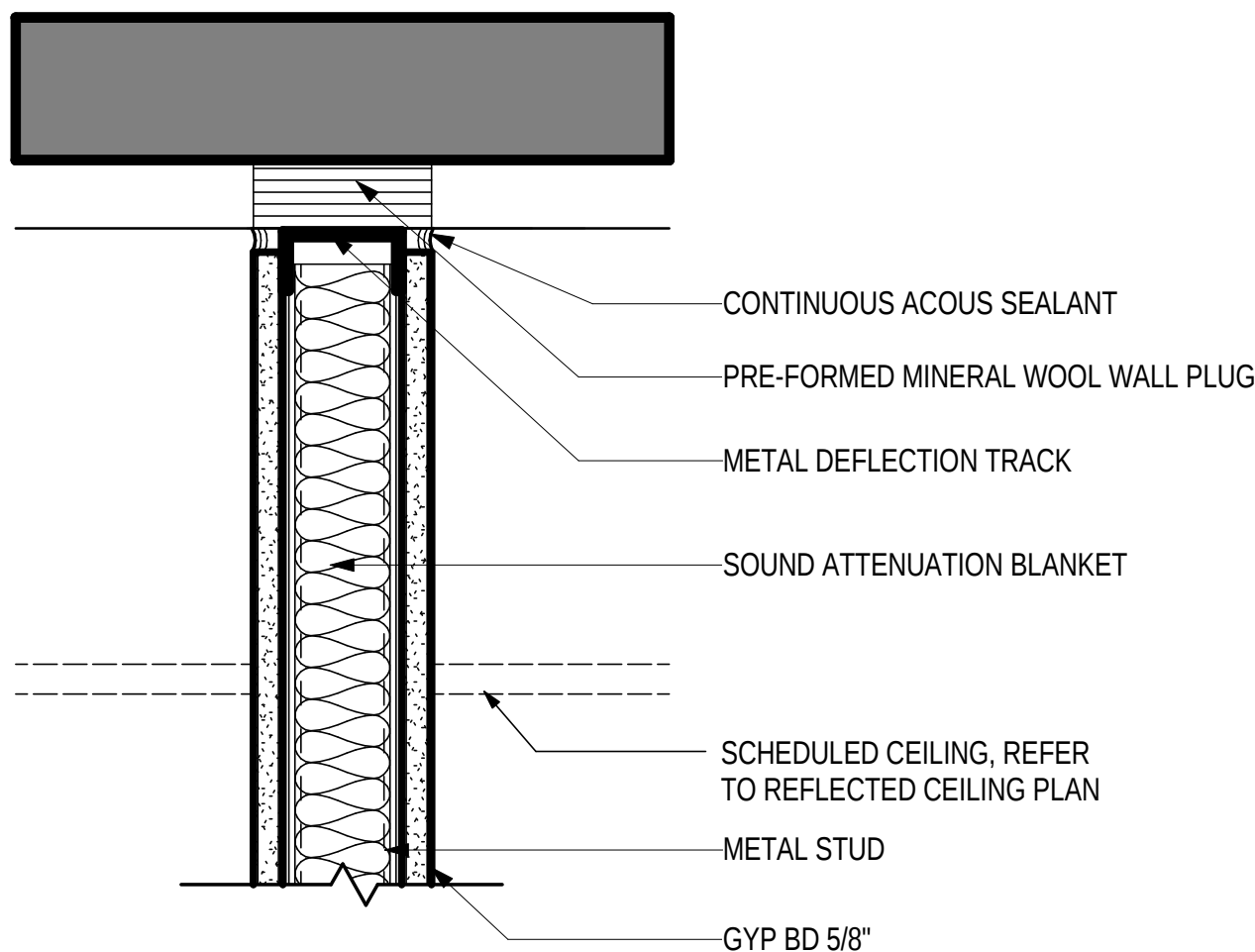
SHEET NOTES_CONSTRUCTION PLAN

- C1.1 8'-0" TALL GYPSUM BOARD OPENING
- C1.2 SALVAGE EXISTING DOORS FOR RE-USE. PAINT ALL DOORS TO MATCH ADJACENT WALLS. PAINT ALL DOOR FRAMES WITH SEMI-GLOSS PAINT TO MATCH DOOR COLOR
- C1.3 PAINT EXISTING STEEL STRUCTURAL COLUMN TO REMAIN.
- C1.6 SALVAGE AND RELOCATE EXISTING WATER HEATER TO TOP OF NEW ELEVATED CONCRETE SLAB. PLUMBING WORK TO ENSURE PROPER OPERATION TO BE PERFORMED UNDER SEPARATE DESIGN-BUILD CONTRACT
- C1.8 PROVIDE COMMERCIAL GRADE RESILIENT TILE FLOORING TO BE SELECTED BY OWNER.
- C1.9 RELOCATED LAVATORY. GC TO PROVIDE ADA ACCESSIBLE MOUNTING AND FAUCET CONTROLS
- C1.10 PATCH REPAIR AND CLEAN EXISTING TOILET TO REMAIN. GC TO VERIFY ADA ACCESSIBLE CLEARANCES. PROVIDE NEW OWNER-SPECIFIED TOILET SEAT
- C1.11 PROVIDE FULL HEIGHT FIBERGLASS REINFORCED PANEL (FRP) WALL FINISH
- C2.0 PROVIDE CAST-IN-PLACE RAISED CONCRETE FLOOR AND ACCESS RAMP AT 1:12 MAXIMUM SLOPE. RAISED FLOOR LEVEL ELEVATION TO BE WITHIN 1/2" OF TOP OF EXISTING THRESHOLD.
- C2.1 PROVIDE 52" TALL STEEL GUARDRAIL MOUNTED TO FLOOR LEVEL WITH VERTICAL PICKETS 4" O.C. AND 1 1/2" DIAMETER TOP AND BOTTOM RAIL. MAINTAIN SLOPING 1 1/2" DIAMETER HANDRAIL AT 34" ABOVE RAMP LEVEL
- C2.2 PROVIDE 1 1/2" DIAMETER WALL-MOUNTED STEEL SLOPING HANDRAIL AT 34" ABOVE RAMP LEVEL
- C3.0 JANITORS MOP SINK WITH LEGS TO BE CONNECTED TO EXISTING DRAIN LINE
- C4.0 NEW ACCESSIBLE HI-LO WATER FOUNTAIN. GC TO EVALUATE FEASIBILITY OF TO BE CONNECTION TO EXISTING DRAIN LINE AT JANITORS ROOM 105

SHEET NOTES_REFLECTED CEILING PLAN

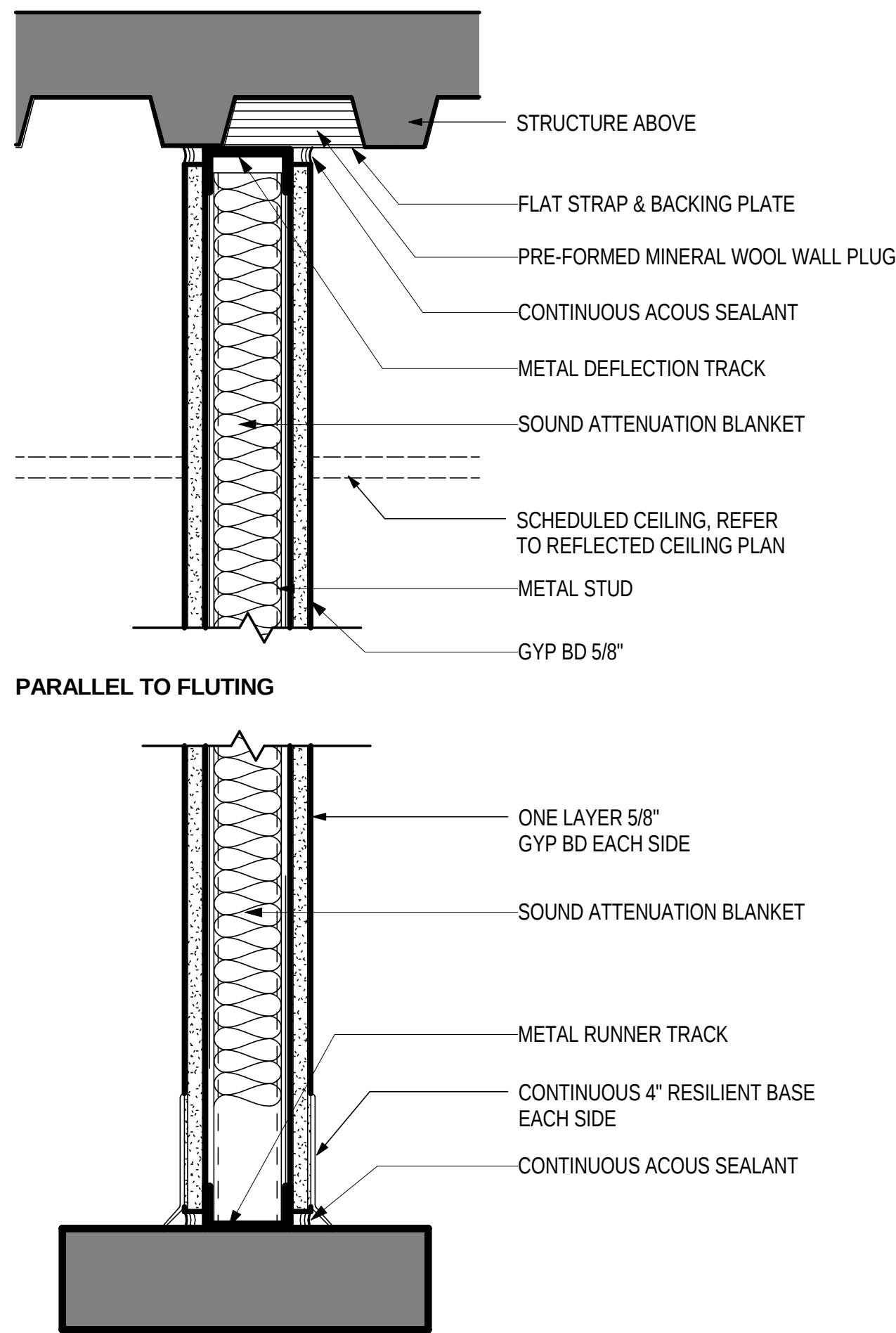
- R1.0 EXISTING 2x4 ACOUSTICAL CEILING GRID AT 9'-0" A.F.F. TO REMAIN
- R1.1 PROVIDE NEW 2x4 ACOUSTICAL CEILING PANELS
- R1.3 CEILING AREA OPEN TO STRUCTURE ABOVE
- R1.4 PROVIDE NEW 2x4 ACOUSTICAL CEILING GRID AND PANELS
- R5.1 FINAL SIZE AND SPACING OF SUPPLY DIFFUSERS TO BE PART OF DESIGN-BUILD SCOPE
- R5.2 FINAL SIZE AND SPACING OF RETURN DIFFUSERS TO BE PART OF DESIGN-BUILD SCOPE
- R5.3 EXHAUST FAN ROUTED TO EXTERIOR

1



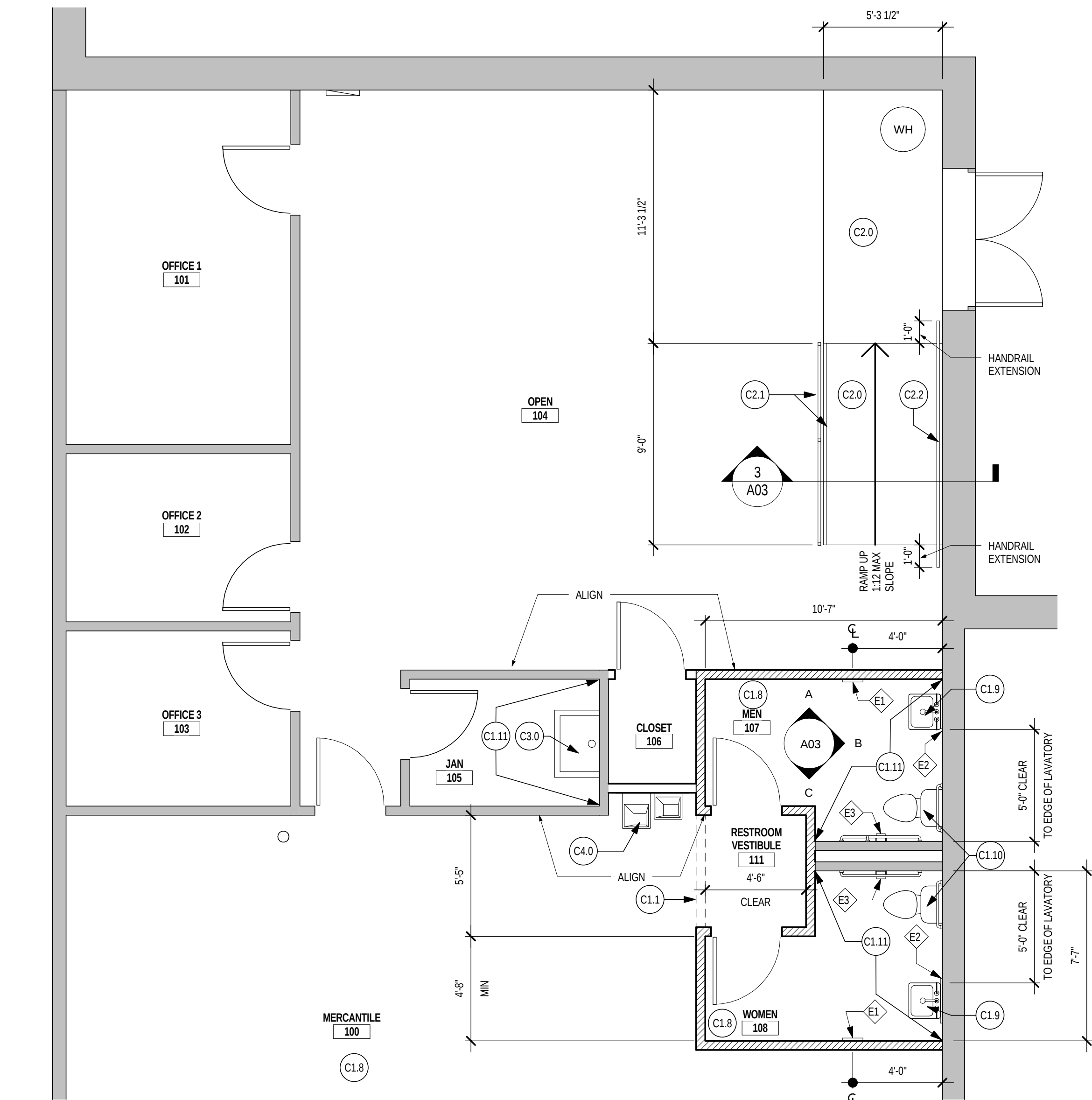
METAL STUD FULL HEIGHT PARTITION TO UNDERSIDE OF DECK ABOVE
SCALE: 3" = 1'-0"

5



ENLARGED CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

5



MORROW CROSSING
TENANT
6319B JONESBORO ROAD

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SHEET
ENLARGED
CONSTRUCTION PLAN

SHEET NUMBER

A03

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