

FOR SALE/FOR LEASE



ATLAS
REAL ESTATE ADVISORS

120 TRINITY PLACE ATHENS, GA 30607

14,633 SF STAND ALONE OFFICE BUILDING

FOR SALE \$4,200,000

FOR LEASE \$19.10/PSF/YR NNN TICAM ESTIMATE \$3.20 PSF/YR

EXECUTIVE SUMMARY

120 Trinity Place is a 14,633 SF three-story, brick-veneer building, constructed in 1989, that sits on a 1.05-acre site with ample parking and a covered, pull-through receiving area at the lower level. Originally designed for medical use, it is ideally located just minutes from Athens' area hospitals and the Athens Perimeter Hwy.

Property Overview:

- Size: 14,633 SF across three levels.
- Parking: 69 spaces (4.7/1,000 SF).
- Construction: Four-sided brick veneer.
- Access: Conveniently located off Jefferson Rd.,
- 1.6 mi. to Piedmont Athens, 2.7 mi. to St. Marys Health Care System

Floor-by-Floor Details:

Main Floor (8,570 SF):

Designed for traditional medical office use, this floor is optimized for patient flow and includes:

- 8 treatment rooms.
- 2 private offices.
- Specialty rooms.
- Large waiting area.
- Patient check-in/check-out stations.
- Nurses' station.
- Copy room, workroom, shared office space, and multiple
- storage areas.

Second Floor (3,803 SF):

Primarily configured for administrative functions, this floor includes:

- Work area and conference room.
- Business area and fitness room.
- Kitchen/lounge.
- Large central storage room and attic storage along the perimeter.
- Note: This floor does not have private/exterior access.

Lower Level (2,260 SF):

Fully built-out as an ambulatory surgery center, this level is accessible via separate entrances at the rear of the building under the covered receiving area. It features:

- Treatment rooms.
- Patient waiting and recovery areas.
- RN/PA workstations.
- Additional storage spaces.
- Ideal uses for the lower level include:
- Diagnostic procedures (tests, x-rays, scans).
- Physical and radiation therapies.
- Allied health and rehabilitative services.
- Cosmetic procedures.

Additional Features:

- Elevator: One elevator provides convenient access to all floors.
- Staircases: Two internal staircases.
- Specialized Rooms: Four x-ray/MRI rooms with lead-lined walls and solid wood lead-lined doors.

This property offers a versatile layout suitable for a variety of professional, medical or healthcare-related uses, making it an excellent opportunity for businesses seeking a centralized location in Athens.

\$4,200,000

\$19.10 PSF/YR/NNN

ESTIMATED TICAM

\$3.20 PSF/YR

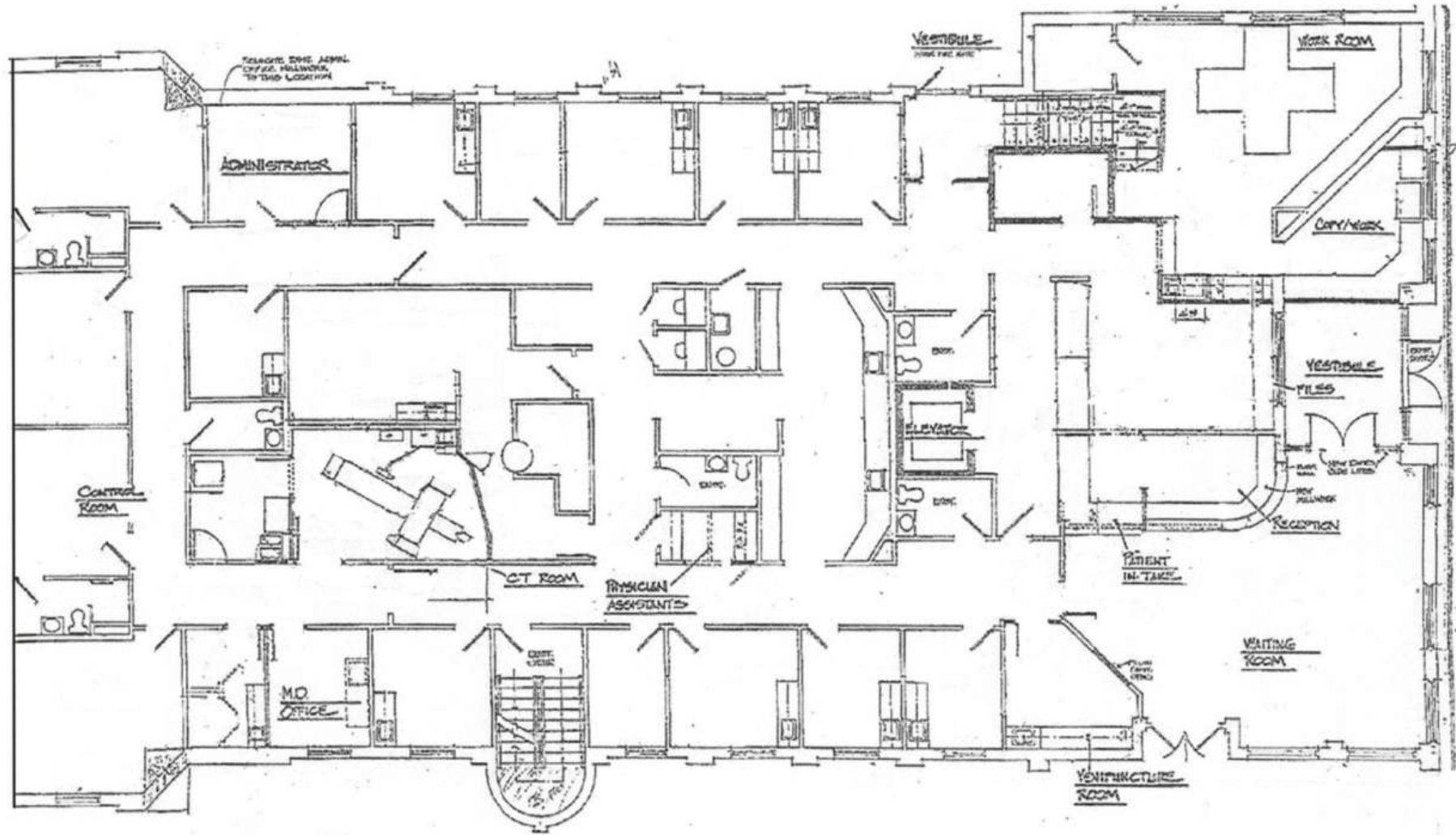
MAIN LEVEL



LOWER LEVEL & ADMINISTRATIVE OFFICES



FLOORPLAN-MAIN LEVEL



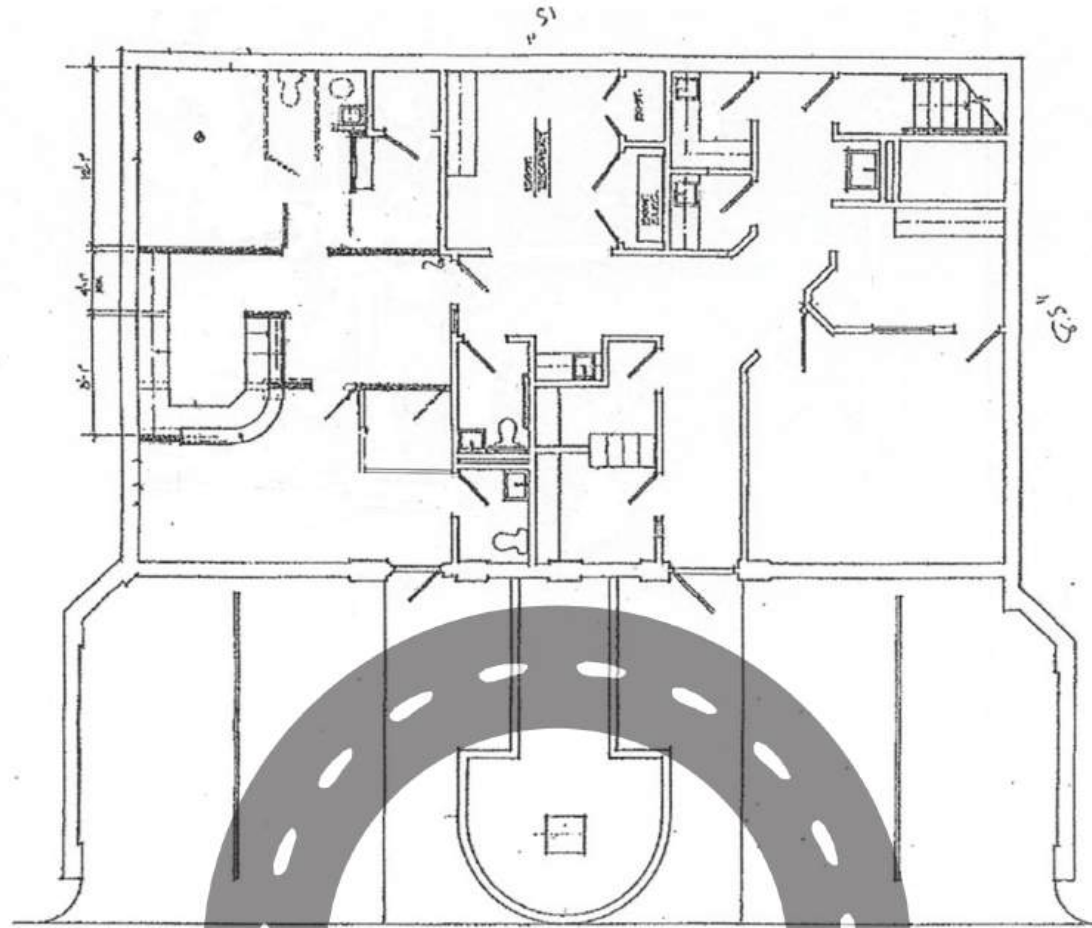
FIRST FLOOR PLAN

1/2" = 1'-0"

Legend
 [Symbol] EXIST
 [Symbol] REMOVED
 [Symbol] NEW

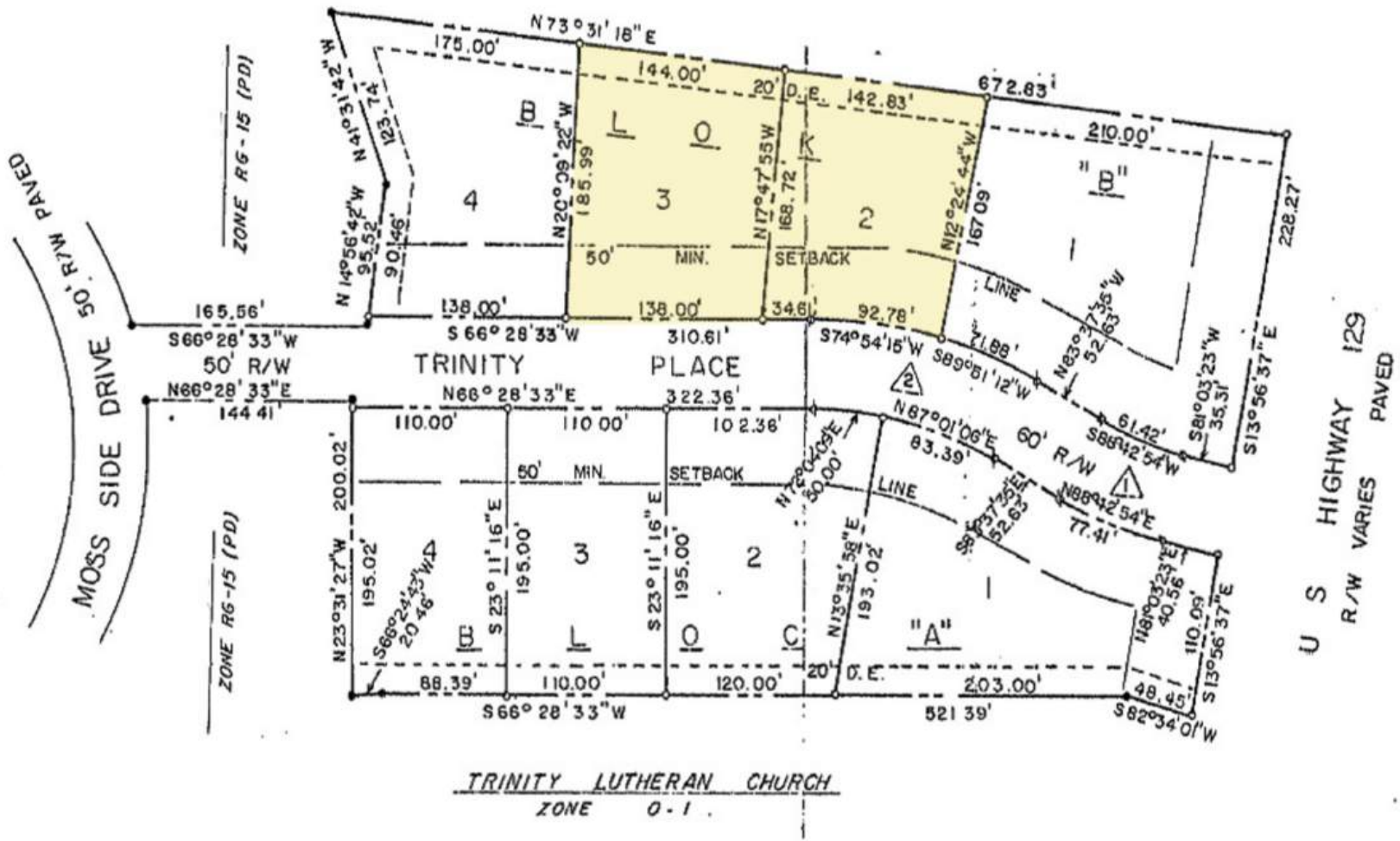
Notes
 DIMENSIONS TO FACE OF NEW
 WALLS, UNLESS OTHERWISE NOTED
 OF CONTRACT CONSTRUCTION

FLOORPLAN-LOWER LEVEL

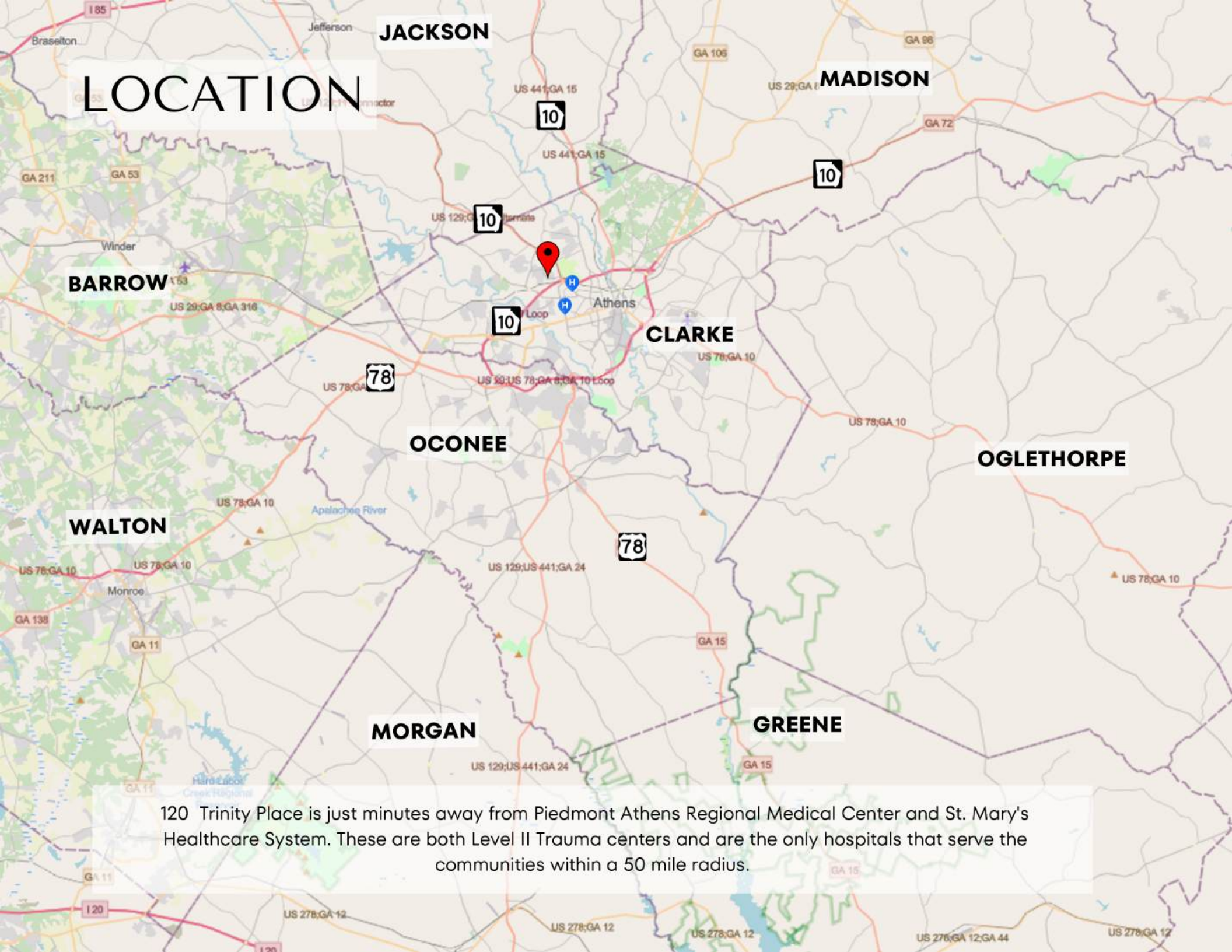


Pull through receiving area.

PLAT

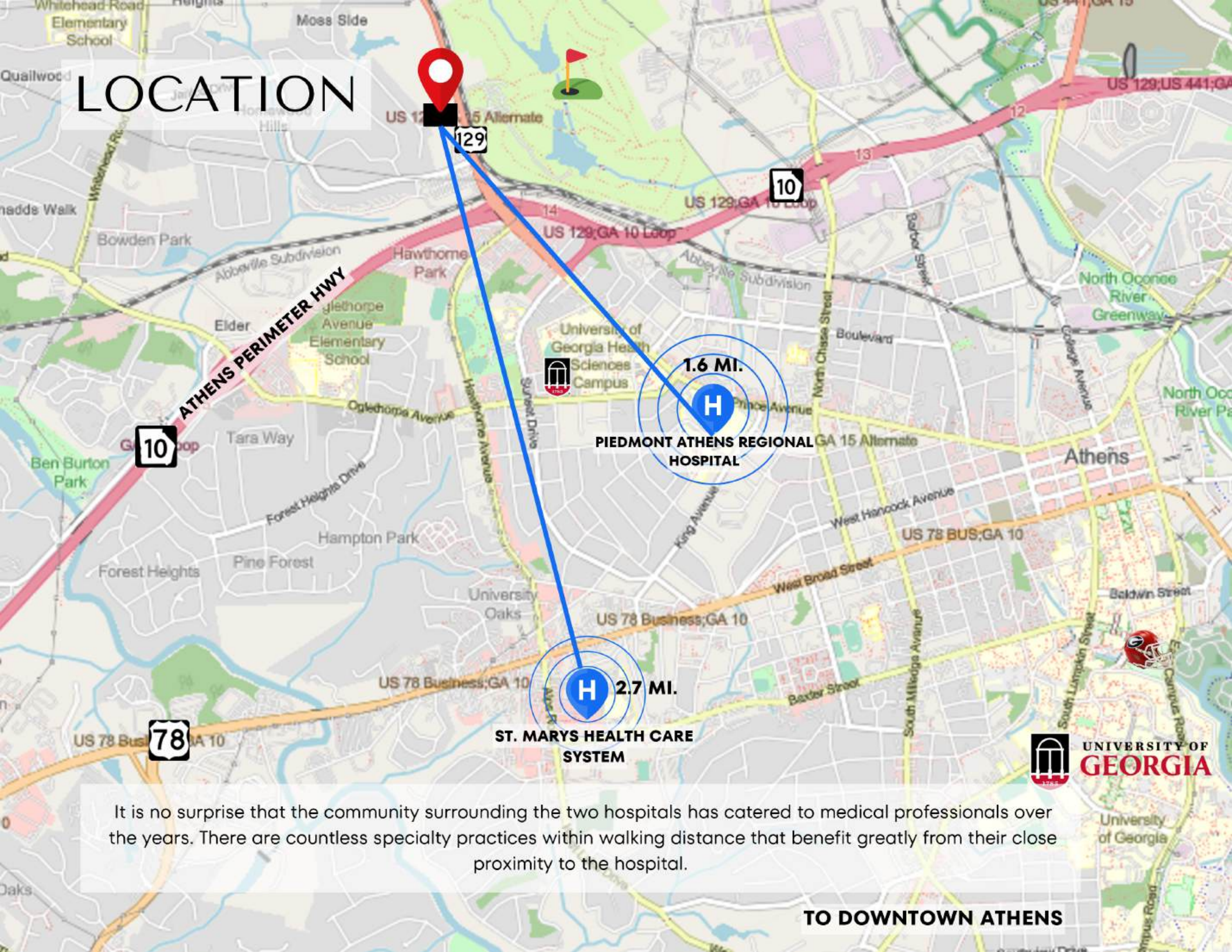


LOCATION



120 Trinity Place is just minutes away from Piedmont Athens Regional Medical Center and St. Mary's Healthcare System. These are both Level II Trauma centers and are the only hospitals that serve the communities within a 50 mile radius.

LOCATION



1.6 MI.
H
PIEDMONT ATHENS REGIONAL
HOSPITAL

2.7 MI.
H
ST. MARYS HEALTH CARE
SYSTEM



UNIVERSITY OF
GEORGIA

University of Georgia

It is no surprise that the community surrounding the two hospitals has catered to medical professionals over the years. There are countless specialty practices within walking distance that benefit greatly from their close proximity to the hospital.

TO DOWNTOWN ATHENS

LOCATION



120 Trinity Place can be accessed via signaled intersection at Trinity Place/Jefferson Road/Rt. 129. Cars travelling from Athens will have a designated left turn lane onto Trinity, while those approaching from Jefferson will have a slow down lane prior to the right turn to Trinity. 120 Trinity Place is the second building on the right, and has two driveway entrances and additional parking along the street.

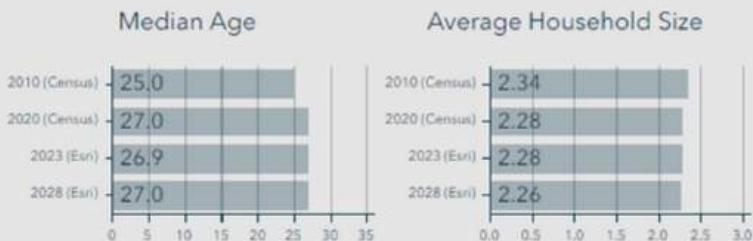
COMMUNITY CHANGE SNAPSHOT

5 MILE RADIUS



● Site ● Clarke County

Dots show comparison to **Clarke County**



NEARBY BUSINESS



79

2023 Health/Personal Care Retailers (NAICS456) Businesses



538

2023 Health/Personal Care Retailers (NAICS456) Employees

POPULATION



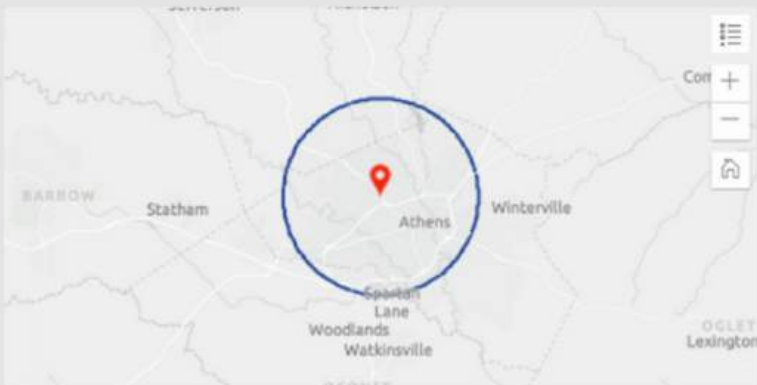
99,238

Population



130,051

2023 Total Daytime Population (Esri)



2000-2020 Compound Annual Growth Rate



1.29%

Population (Census)



1.39%

Households (Census)



1.49%

Housing Units (Census)

Total Housing Units: Past, Present, Future



41,676

2020 (Census)



42,487

2023 (Esri)



43,348

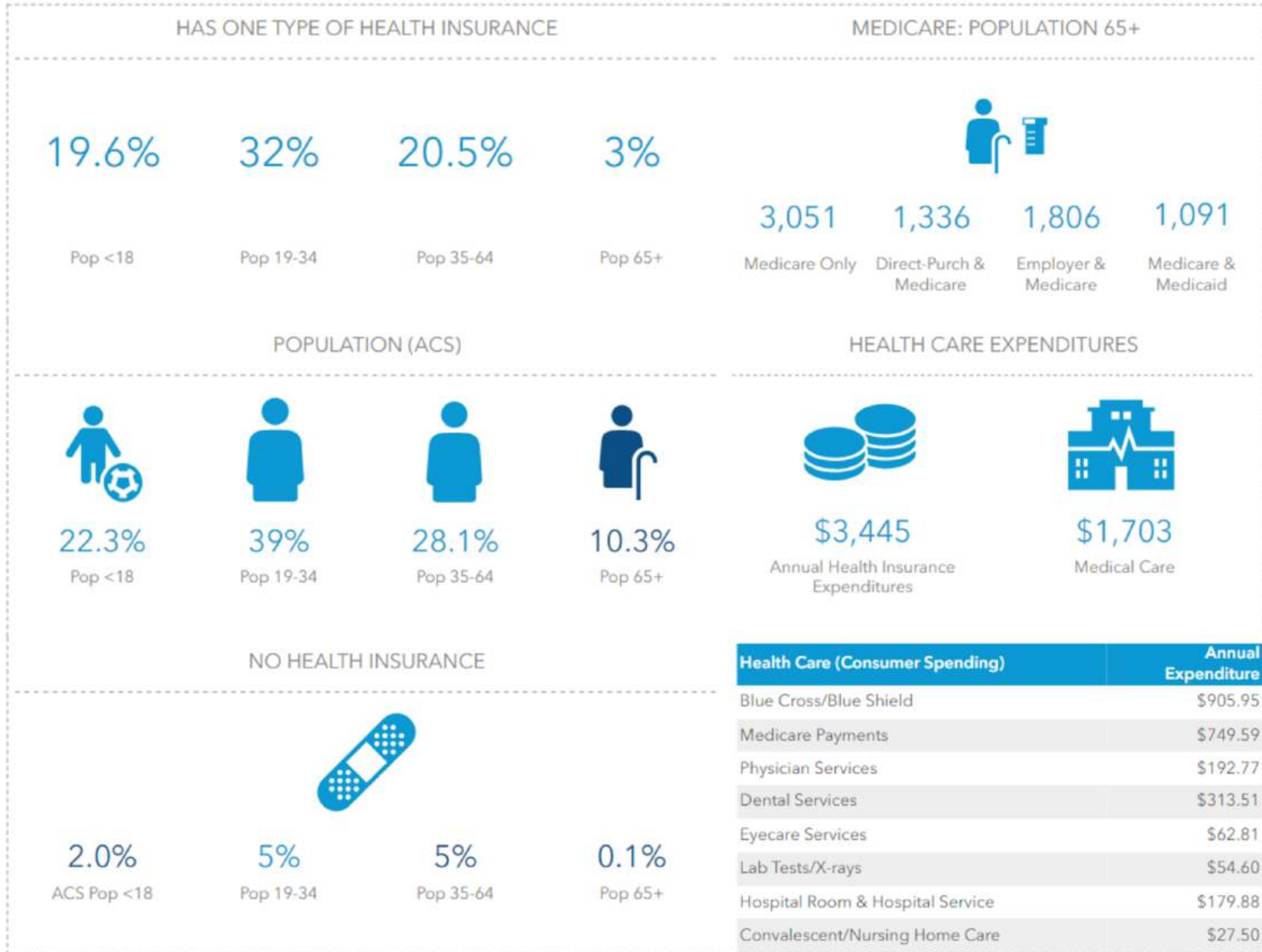
2028 (Esri)

Source: This infographic contains data provided by U.S. Census (2000, 2010, 2020), Esri (2023, 2028), Esri-Data Axle (2023). © 2024 Esri



HEALTHCARE DEMOGRAPHICS

5 MILE RADIUS

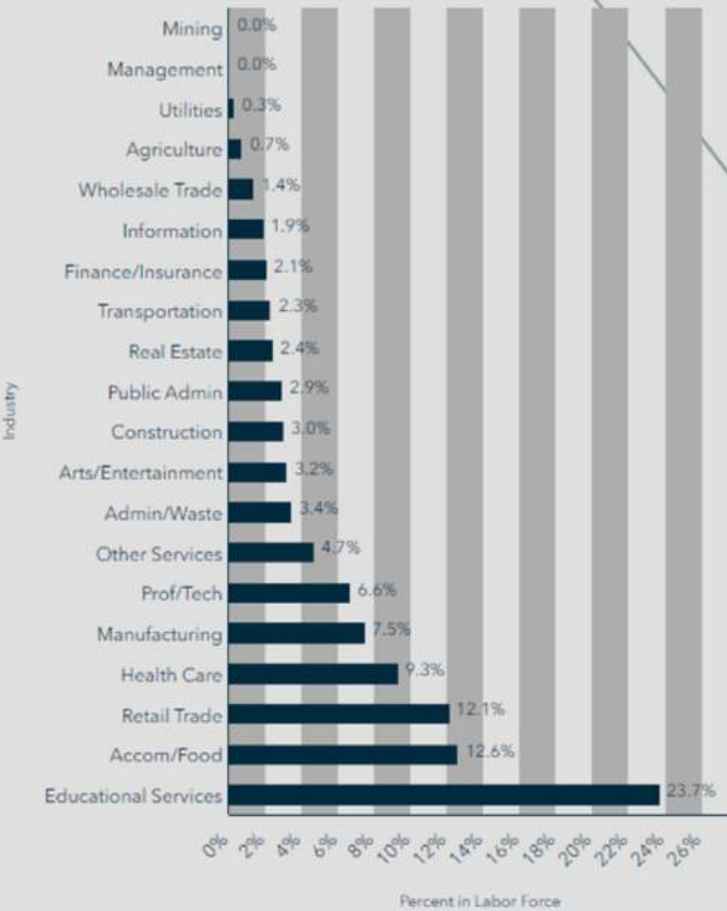


ECONOMIC DEVELOPMENT PROFILE

5 MILE RADIUS

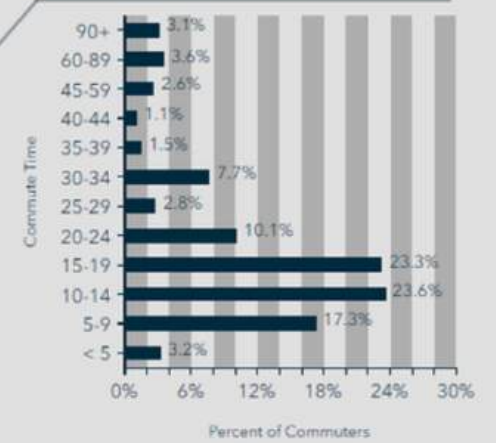


Labor Force by Industry



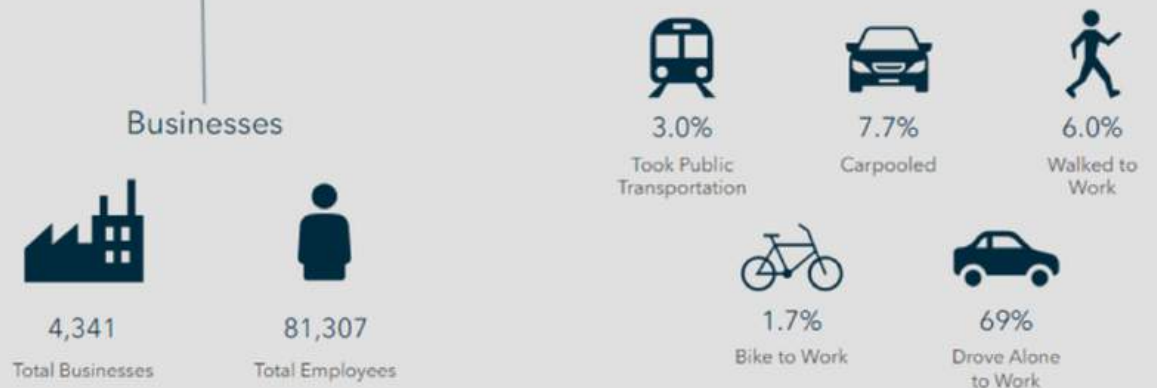
Employment

Commute Time: Minutes



Workforce Overview

Transportation to Work



Businesses



Source: This infographic contains data provided by Esri (2023), Esri-Data Axle (2023), ACS (2017-2021), Esri-U.S. BLS (2023), AGS (2023).



ABOUT ATLAS

Atlas provides a full range of solutions, including brokerage, property management and investment services, allowing us to assist clients at any stage of the real estate life cycle. With over 75 years of industry experience across the globe in all asset classes, our team strives to deliver strategic insights and maximize returns for our clients.

BROKERAGE

Atlas represents buyers, sellers, landlords and tenants in commercial real estate transactions. From local business owners and investors to national franchises and corporate entities, Atlas brokers specialize in acquisitions, dispositions, site selection, leasing, and portfolio analysis.

Our team holds advanced certifications that exceed industry standards. Our marketing strategy and vast network of industry contacts make us well-positioned to deliver superior results for our clients in the commercial real estate brokerage space.

MANAGEMENT

Atlas provides commercial property management, asset management and project management services. Our team focus is providing oversight of and adding value to our clients investments. We work closely with owners to ensure that our management services are consistent with their goals and objectives.

We coordinate maintenance and repairs, 24/7 emergency service, rent collection, tenant communication, financial reporting, CAM reconciliation, budgeting, lease administration and more on behalf of our managed property owners.

INVESTMENT

Atlas principals are seasoned commercial real estate investors and have a history of successful projects across various asset types in both up and down market cycles.

Partnerships, joint ventures, and company-sponsored funds give accredited investor clients access to investments that are hand-selected by Atlas professionals.

If you want exposure to commercial real estate as a passive investment, partnering with Atlas is a solution designed for a more hands-off experience guided by industry experts.

