

AREAS BLDG #1	
FIRST FLOOR	1506
SECOND FLOOR	951
TOTAL LIVING	2457
GARAGE	428
FRONT PORCH	71
BACK PORCH	147
COV. BALCONY	111
COV. BALCONY	289
TOTAL COVERED	3503
SLAB	2152

AREAS BLDG #2	
FIRST FLOOR	1669
SECOND FLOOR	1111
TOTAL LIVING	2780
GARAGE	425
FRONT PORCH	65
BACK PORCH	134
COVERED BALCONY	134
UNCOVERED BALCONY	298
TOTAL COVERED	3836
SLAB	2293

AREAS BLDG #3	
FIRST FLOOR	1458
SECOND FLOOR	1047
TOTAL LIVING	2503
GARAGE	454
FRONT PORCH	51
BACK PORCH	246
BALCONY	153
TOTAL COVERED	3407
SLAB	2207

IMPERVIOUS AREA LOT 17,394	
FOUNDATION	6652
AC PADS	9
POOL PADS	9
DRIVEWAY	421
SIDEWALK	98
POOL COPING	74
TOTAL	2833
TOTAL IMPERV.	37.83%

FRONT YARD PERCENTAGE	
FRONT YARD AREA	1625
DRIVEWAY/WALK	489
TOTAL	489
TOTAL PERCENTAGE	30.09%

CURVE TABLE

- ①
 C=N16°57'00"E 135.44'
 A=136.39' R=334.37'
 (C=N16°57'00"E 135.42')
 (A=136.36')
 BEARING BASIS
- ②
 C=N73°50'53"E 21.13'
 A=23.44' R=15.00'
 (C=N73°38'00"E 21.21')
 (A=23.56')

LEGEND

- WOOD FENCE
- CHAIN LINK
- UTILITY LINE
- ELEC. METER
- GAS METER
- WATER METER
- IRON ROD FND.
- PIPE FND.
- UTILITY POLE
- B.L. BUILDING LINE
- D.E. DRAINAGE ESMT.
- P.U.E. PUBLIC UTILITY ESMT.

LOT 12

LOT No.	12	BLOCK	" "	SUBDIVISION / ADDITION	WALNUT HILLS	Cabinet	—
SECTION UNIT	4	PHASE	—	Book	6	Page(s)	61
				Doc. #	—	Cabinet	—
						Slide(s)	—
CITY	TRAVIS	COUNTY, TEXAS		Reference:	VERA J. FINGERS		

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SITE PLAN
 SCALE: 3/32"=1'-0" 22 X 34

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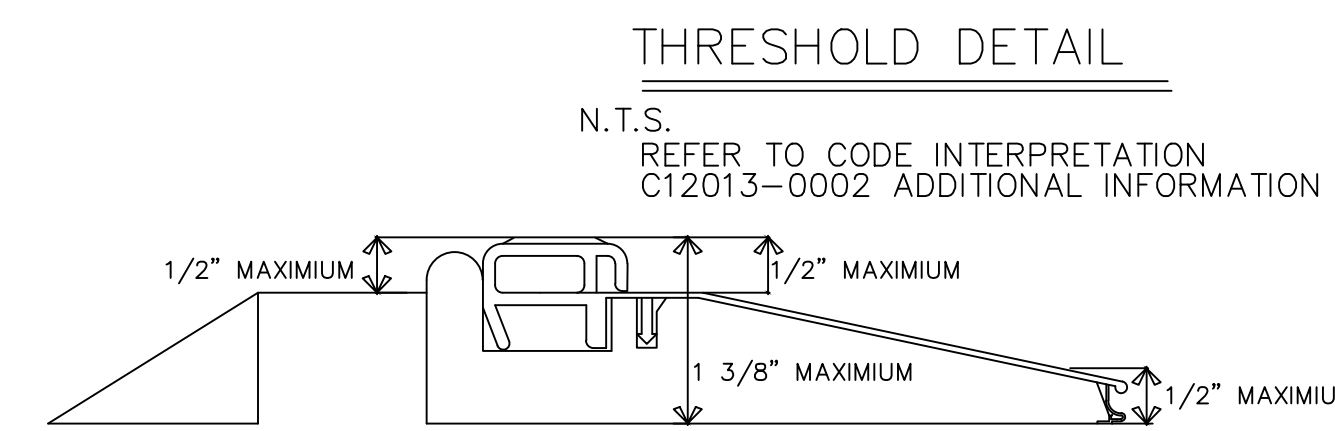
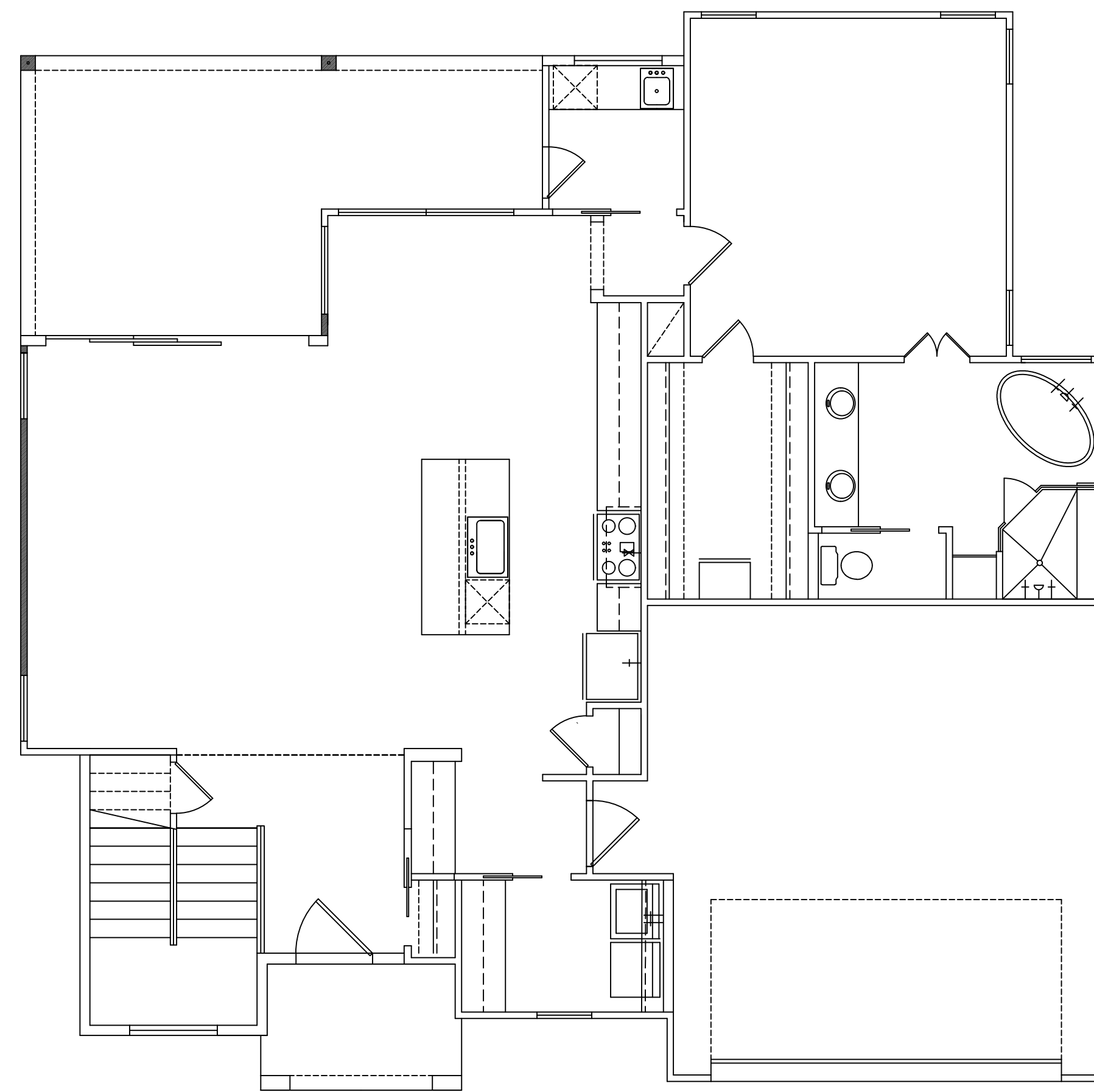
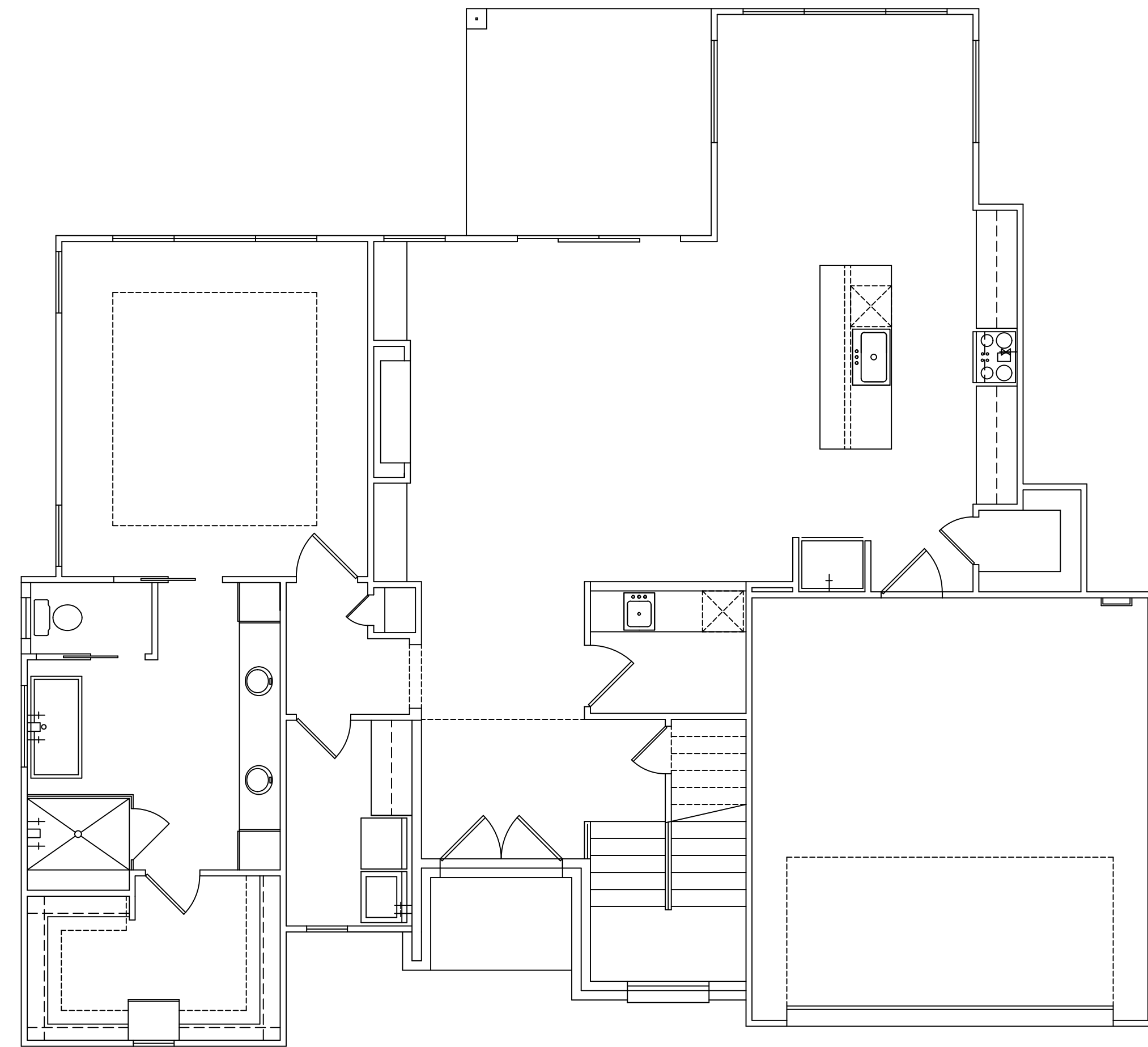
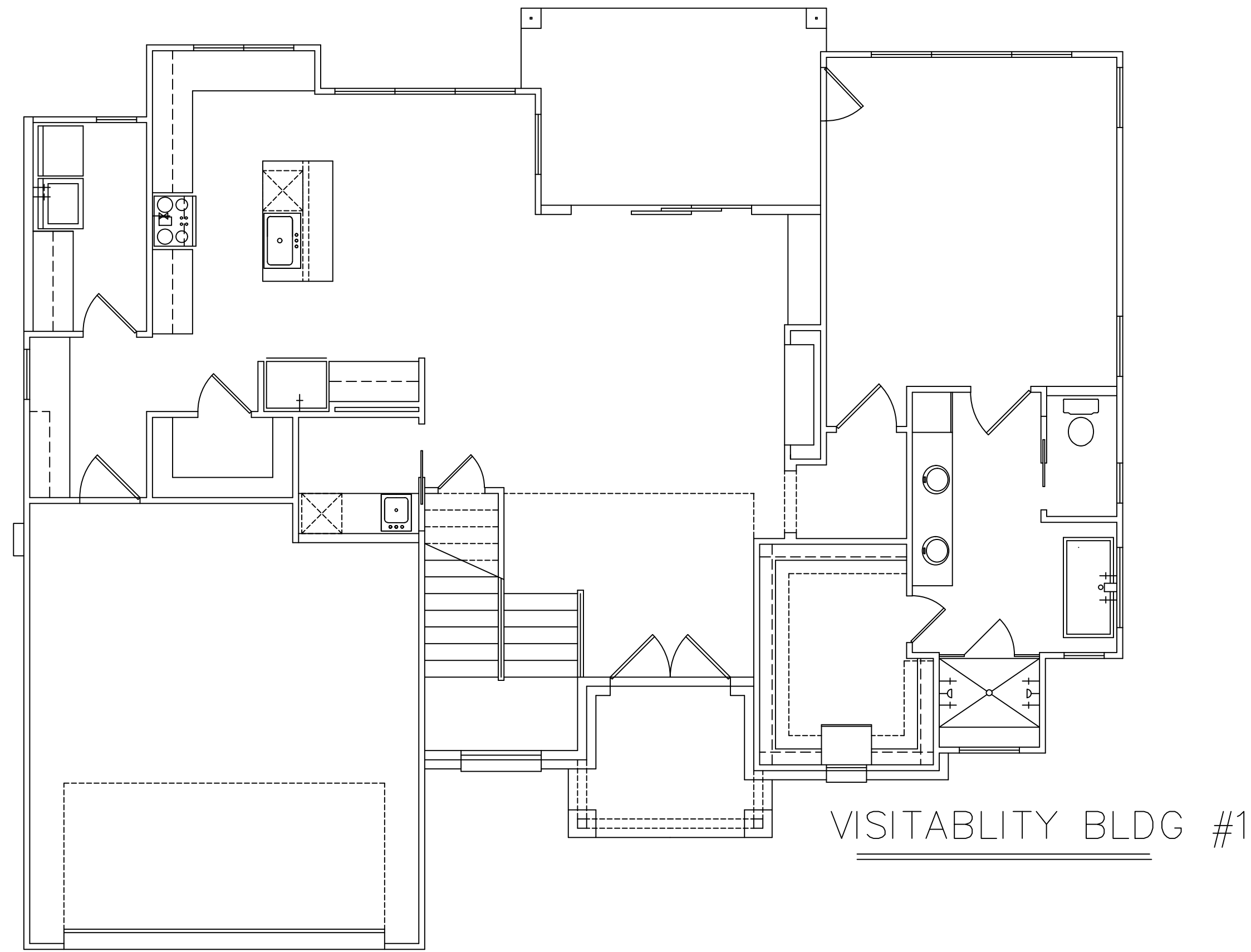
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OFFICE (817) 331-1775

3105 Northeast Dr
6403 Arnold Dr
6401 Arnold Dr

JOB # A10729
DATE: 06-20-25
REVISIONS:
DRAWN BY: JCD/TMD

Robert J. Fingers
06/20/25

 Member:
American Institute of Building Design
National Council of Building Designers
(N.C.B.D.C. - 444-725)
1 OF 24



R.302.3 VISITABLE BATHROOMS

1. A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
2. LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
3. THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY

R.320.6 VISITABLE DWELLING ENTRANCE

1. A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NONSTEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING.

R.320.7 VISITABLE DWELLING ROUTE

1. A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

VISITABILITY
SCALE: 3/16" = 1'-0" 22 X 34

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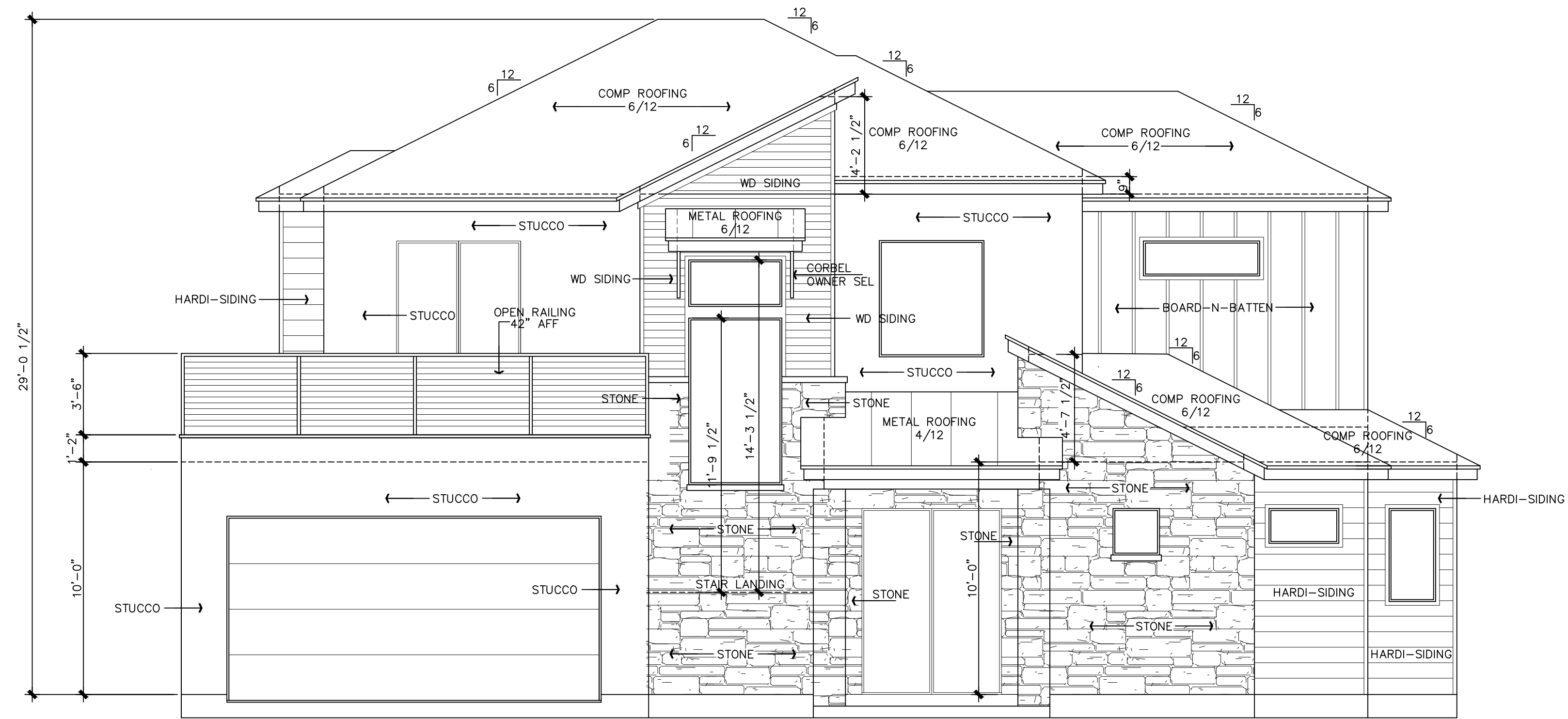
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6403 Arnold Dr
6401 Arnold Dr

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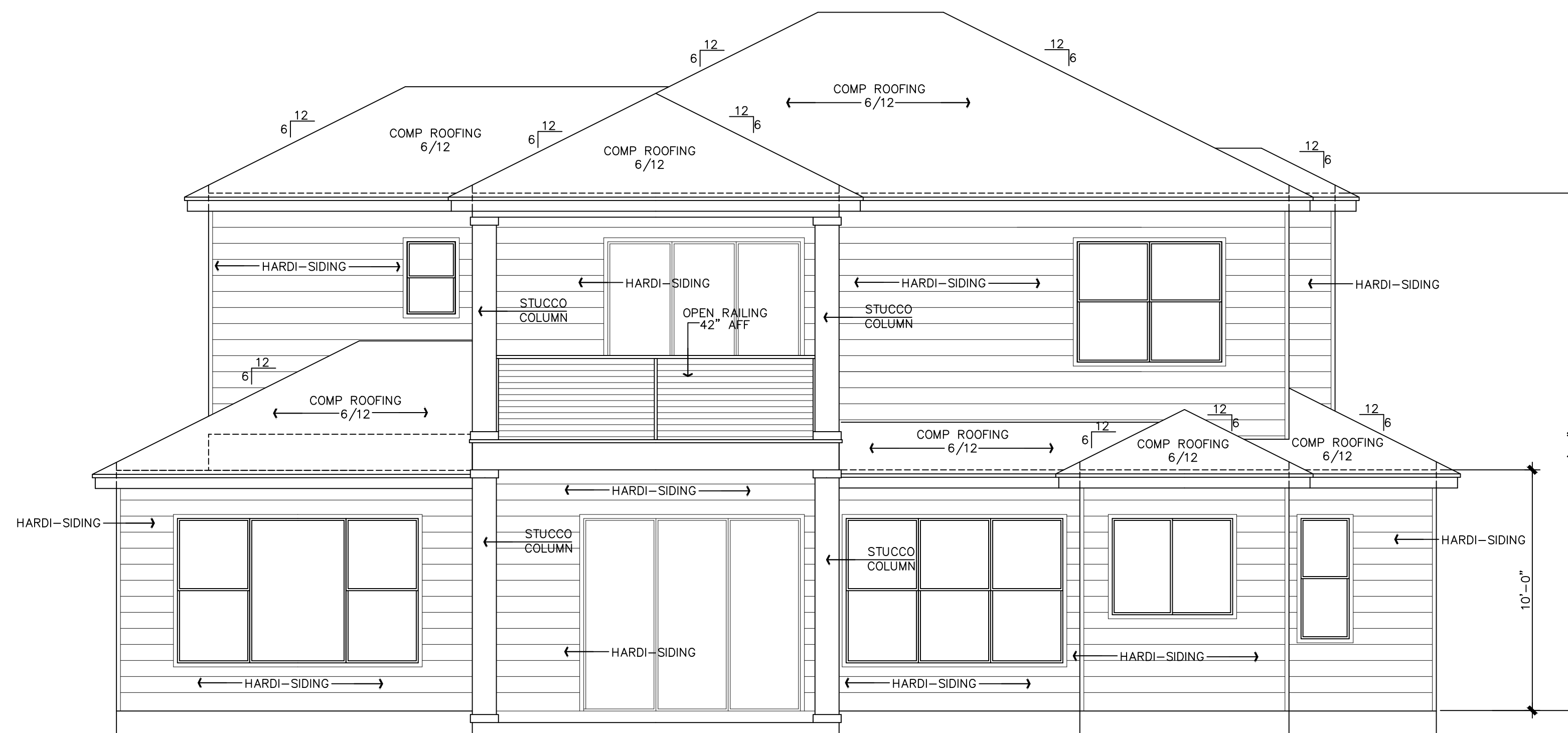
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CERTIFICATION NO. 44-725
Member
American Institute of Building Design
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Certification
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Robert
06/25



FRONT ELEVATION



REAR ELEVATION

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FRONT/REAR ELEVATIONS

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

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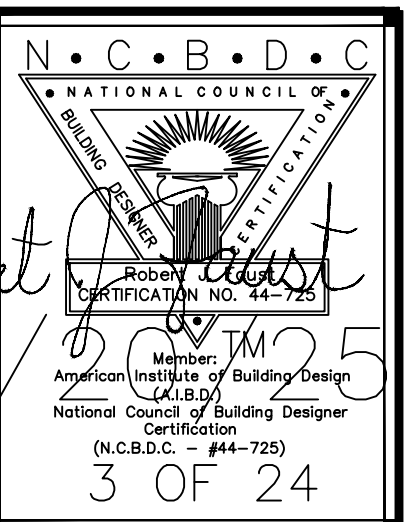
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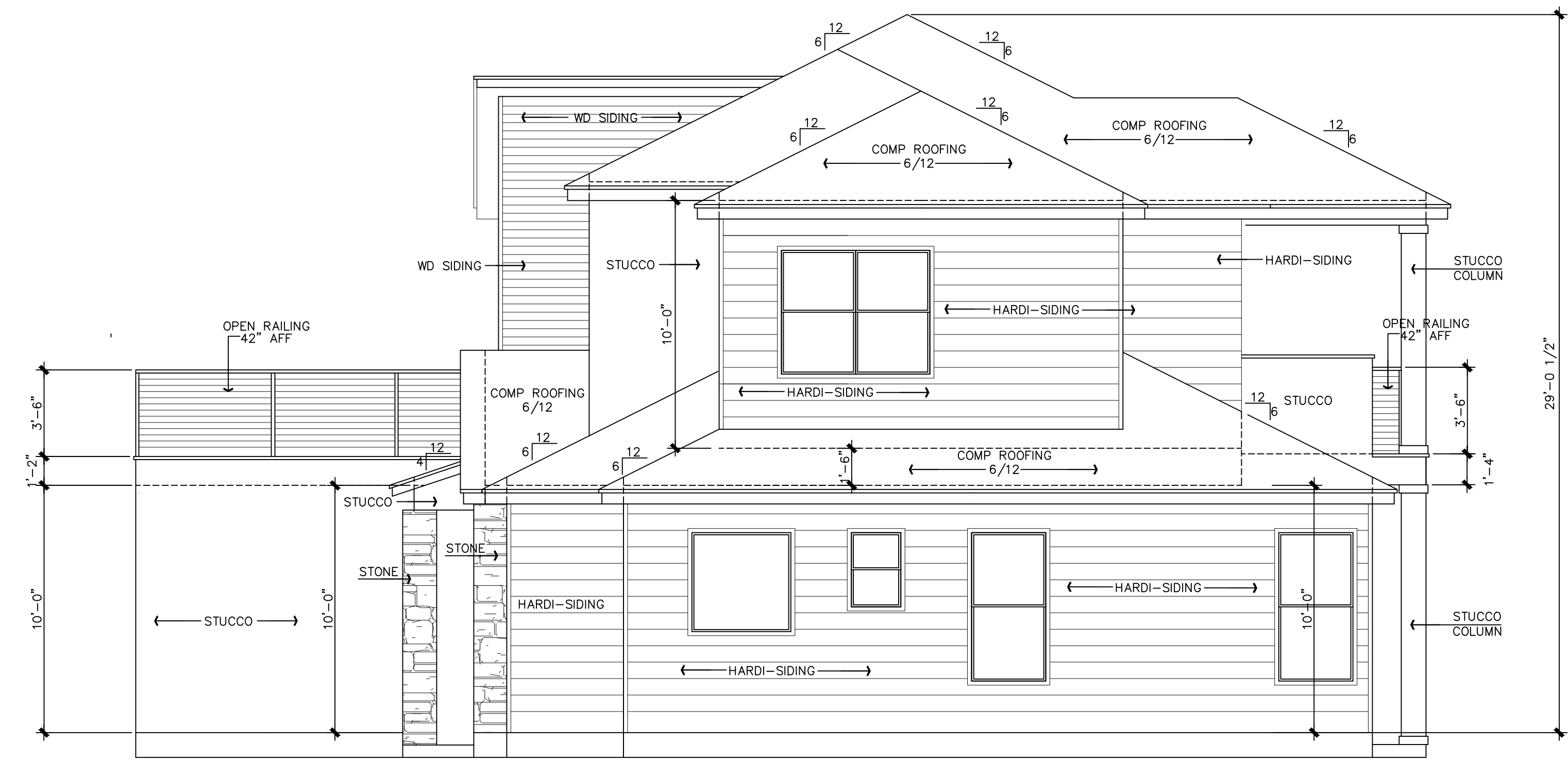
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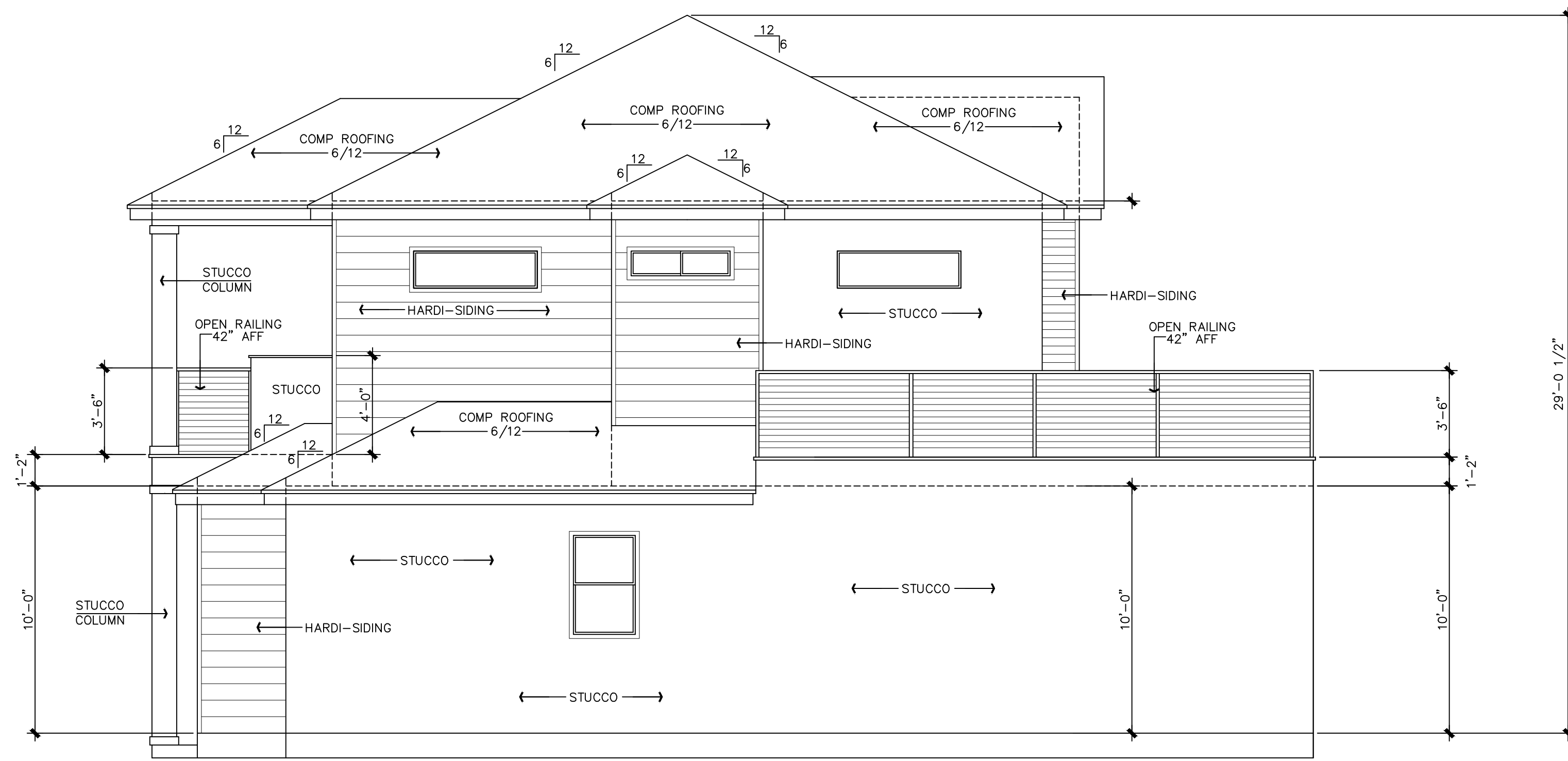
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RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

SIDE ELEVATIONS
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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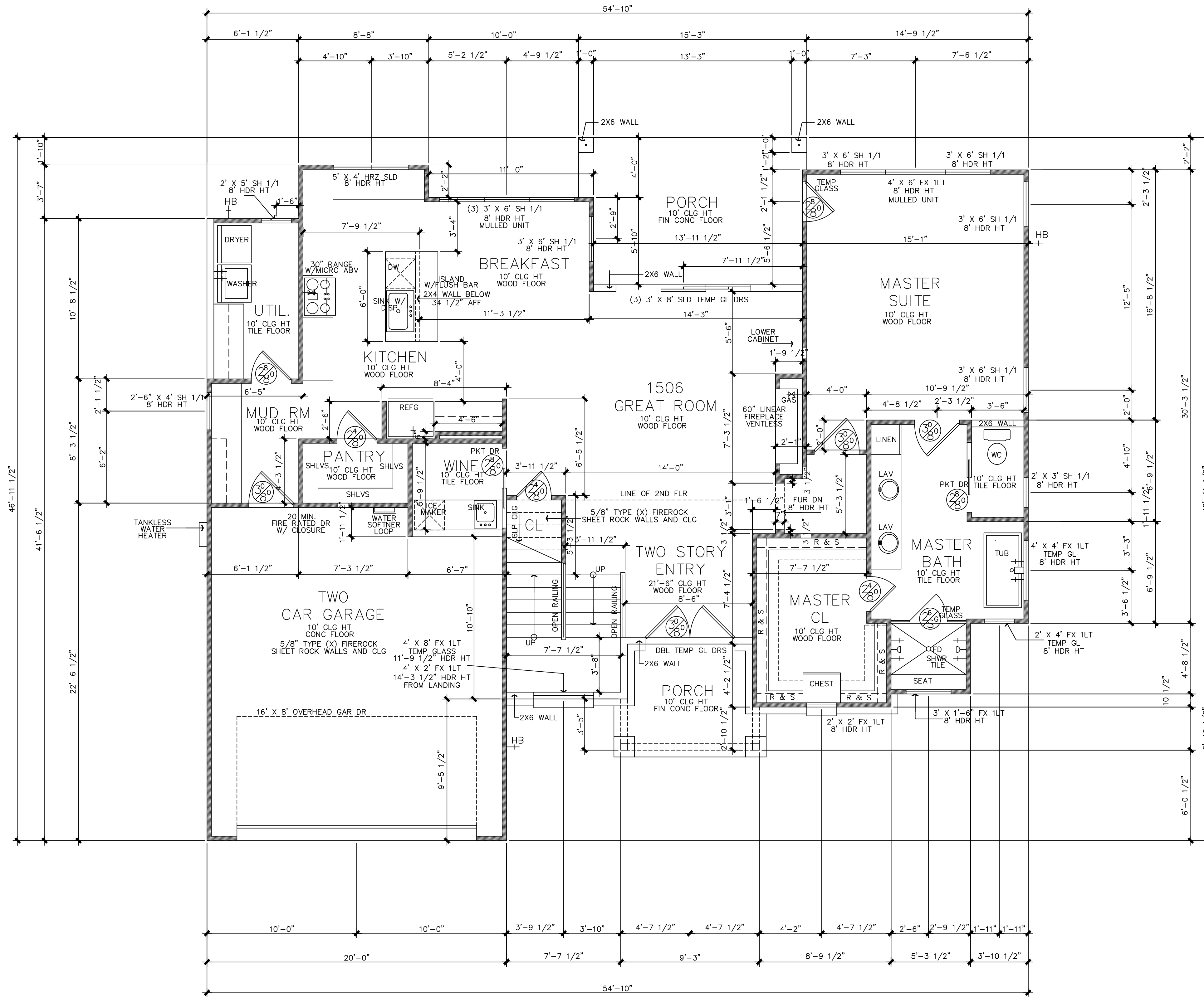
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Robert [Signature]
 06/20/25



SYMBOL LEGEND	
	GAS/PROPANE VALVE
	HOSE BIB
	SHOWER HEAD @ 80" AFF
	DOOR SIZE TAG

- GENERAL NOTES:
- Design Originals assumes no responsibility for any changes or modifications made to these plans by others.
 - These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and deed restrictions.
 - Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Contractors shall assume responsibility for errors that are not reported.
 - Contractor shall insure compatibility of the building with all site requirements.
 - Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members.
 - All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes.
 - All angles shown on plans are 45° unless noted otherwise.
 - All dimensions should be read or calculated and never scaled.
 - All window sizes are nominal rough opening, verify sizes with manufacturers details & specs.
 - All windows will be dimensioned to center of rough openings unless otherwise noted.
 - Weather strip attic access door(s).
 - Contractor to provide a 3/4" plywood catwalk from attic access to HVAC units (if applicable). Units to be located within 20'-0" of access.
 - All vents to rear of residence.
 - Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code.
 - Floor truss area to be draft stopped where trusses open to attic space.
 - Divide floor truss area into equal areas of less than 1000 s.f. each for fire stops.
 - Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls.
 - Pull down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/8" or higher require 30"x60" R.O.
 - Provide studs at all 4 corners of tub.
 - Provide 5/8" type "X" gypsum board on common walls and ceilings.
 - Do not use wood build-outs behind stucco, around windows and doors.
 - Attach tops, sides and bottoms, of windows and doors shingle style.
 - Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof.
 - Stucco veneer must comply with 2021 IRC and the ASTM requirements.
 - Provide weep screen properly installed.
 - Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates ground perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1 1/2" away from window and door frames.

AREAS BLDG #1	
FIRST FLOOR	1506
SECOND FLOOR	951
TOTAL LIVING	2457
GARAGE	428
FRONT PORCH	71
BACK PORCH	147
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COV. BALCONY	289
TOTAL COVERED	3503
SLAB	2152

R.320.7 VISITABLE DWELLING ROUTE

- A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

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- A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
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R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

- LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
- OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

FIRST FLOOR
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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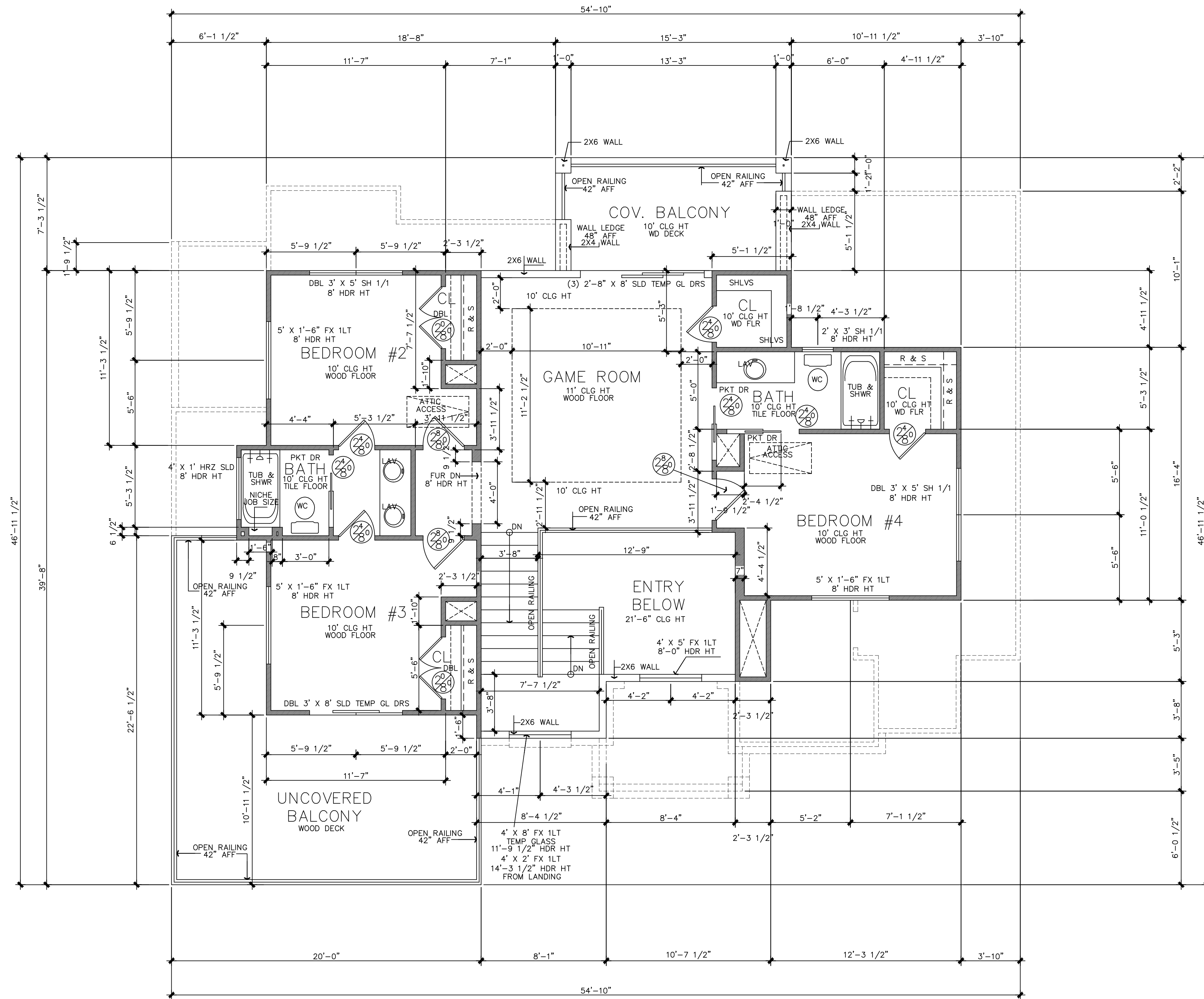
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DATE: 06-20-25
REVISIONS:
DRAWN BY: JCD/TMD

Robert Coast
06/20/25

Robert Coast
Professional Engineer
State of Texas
License No. 644725



SYMBOL LEGEND	
	GAS/PROPANE VALVE
	HOSE BIB
	SHOWER HEAD @ 80" AFF
	DOOR SIZE TAG

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 - Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates around perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1 1/2" away from window and door frames.

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R.320.7 VISITABLE DWELLING ROUTE

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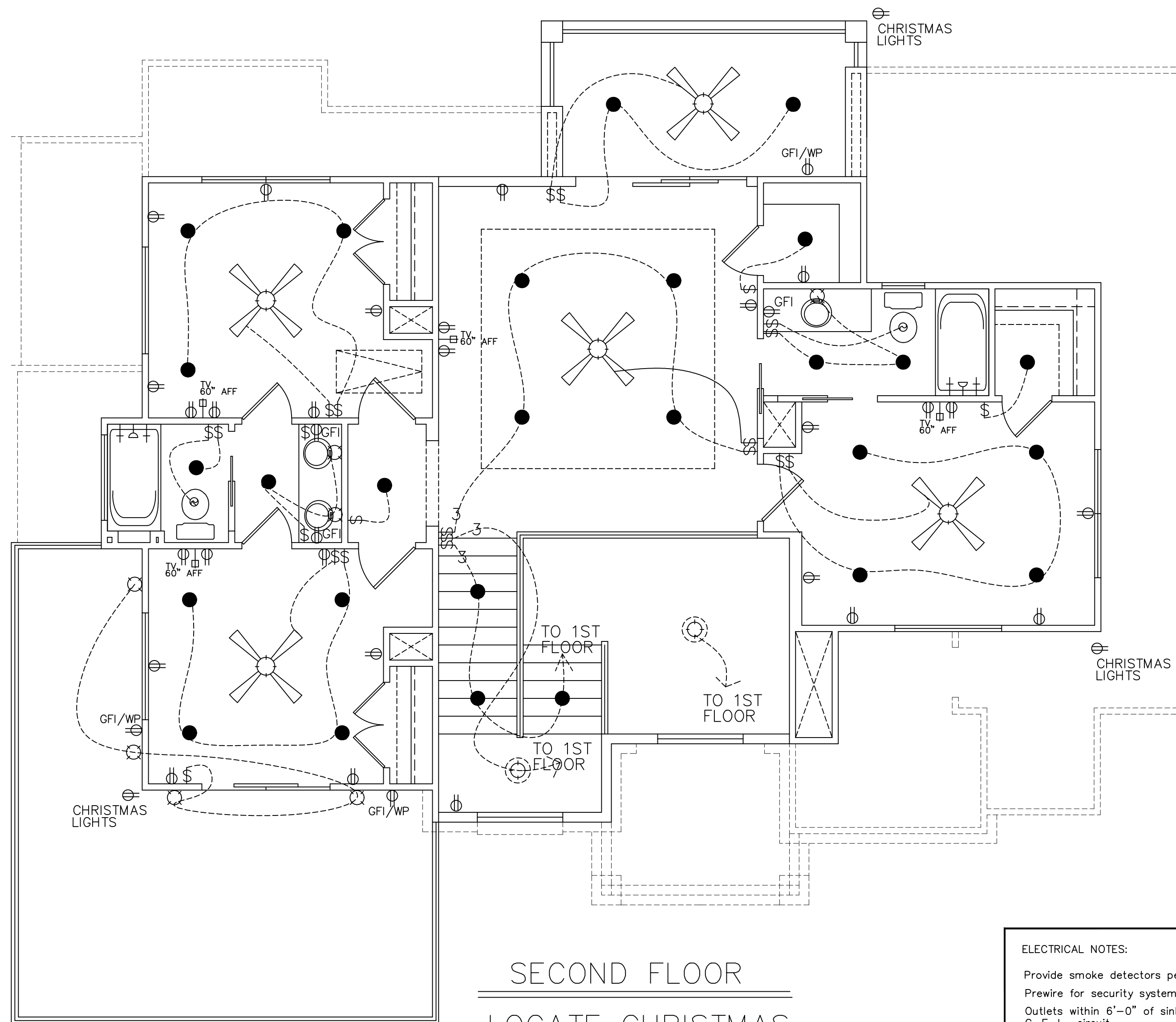
R.302.3 VISITABLE BATHROOMS

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- LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
- THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY

R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

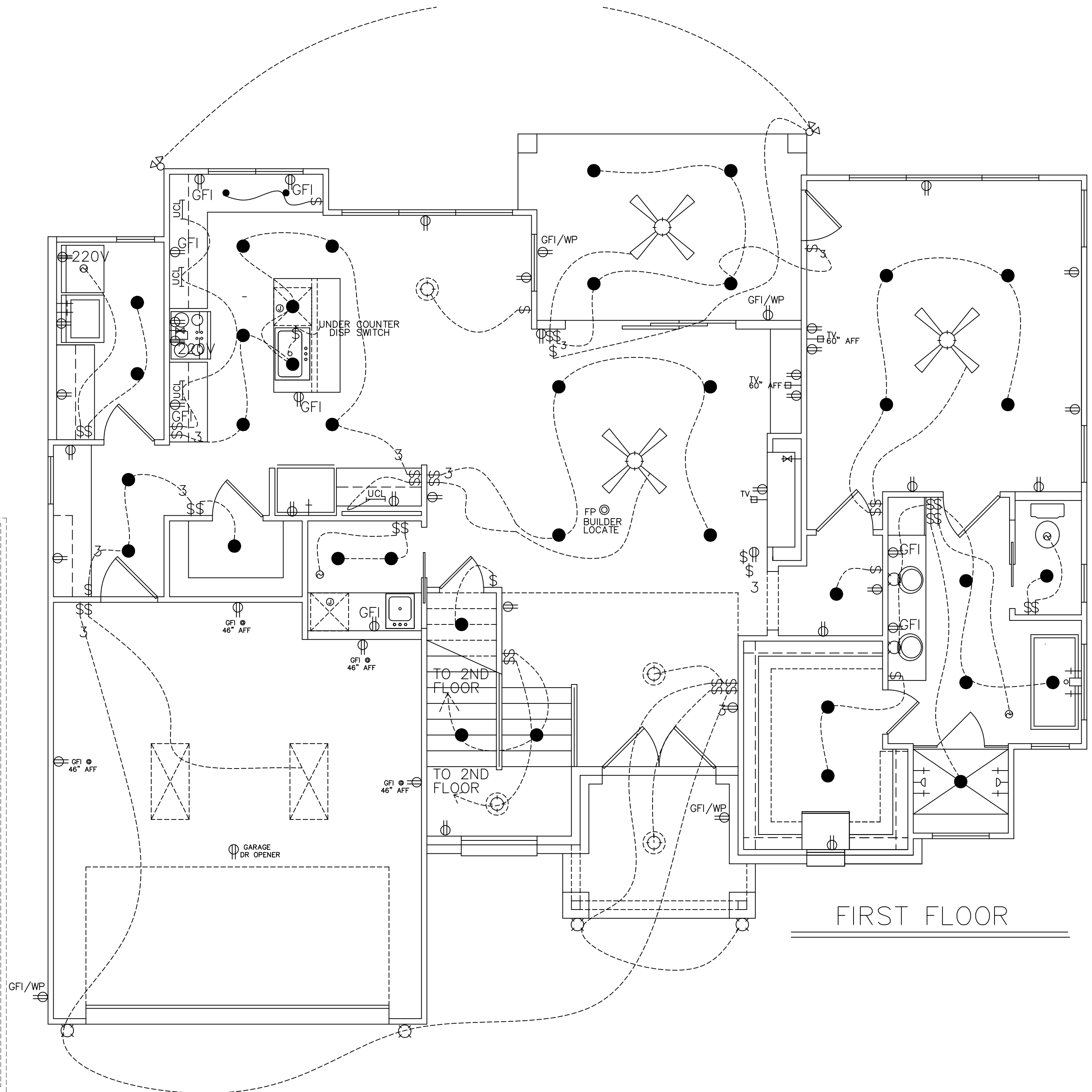
- LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
- OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

SECOND FLOOR
SCALE: 1/4" = 1'-0" 22 X 34
SCALE: 1/8" = 1'-0" 11 X 17



SECOND FLOOR
LOCATE CHRISTMAS LIGHTS SWITCH ON SITE

ELECTRICAL NOTES:
 Provide smoke detectors per code.
 Prewire for security system as spec.
 Outlets within 6'-0" of sink or lavatory to be on G. F. I. circuit
 Center light over pedestal lav, where shown.
 Block for ceiling fans in all bedrooms, living, family and breakfast rooms.
 Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic (ref. specs.)
 Provide light near HVAC unit(s) in attic
 Any discrepancies in plans are to be brought to the attention of the designer immediately.



FIRST FLOOR

ELECTRICAL SYMBOL LEGEND

⊙	SMOKE DETECTOR	●	RECESSED LIGHT
⊙	SINGLE POLE SWITCH	●	RECESSED EYEBALL LIGHT
⊙	3 WAY SWITCH	○	VENT
⊙	4 WAY SWITCH	⊥	UNDER COUNTER LIGHT
⊙	DIMMER SWITCH	⊥	FLOOR BOX FIXTURE
⊙	ELECTRICAL JUNCTION BOX	⊥	4" FLOOR STRIP
⊙	WALL OUTLET	⊥	DOUBLE FLOOD LIGHTS
⊙	4 PLEX WALL OUTLET	⊥	WALL MTD. PHONE OUTLET
⊙	FLOOR PLUG	⊥	WALL MTD. CABLE T.V. OUTLET
⊙	WATER PROOF OUTLET	⊥	STEREO SPEAKER JACK (WIRE ONLY)
⊙	220v OUTLET	⊥	INTERCOM SYSTEM
⊙	SPEAKER	⊥	COMPUTER DATA TERMINAL
⊙	HALOGEN LIGHT	⊥	DOOR BELL
⊙	SURFACE MOUNT LIGHT	⊥	DOOR CHIME
⊙	HANGING LIGHT	⊥	HEAT DETECTOR
⊙	WALL MOUNT LIGHT		
⊙	CARBON MONOXIDE DETECTOR		

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ELECTRICAL PLANS
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 SCALE: 1/8"=1'-0" 11 X 17

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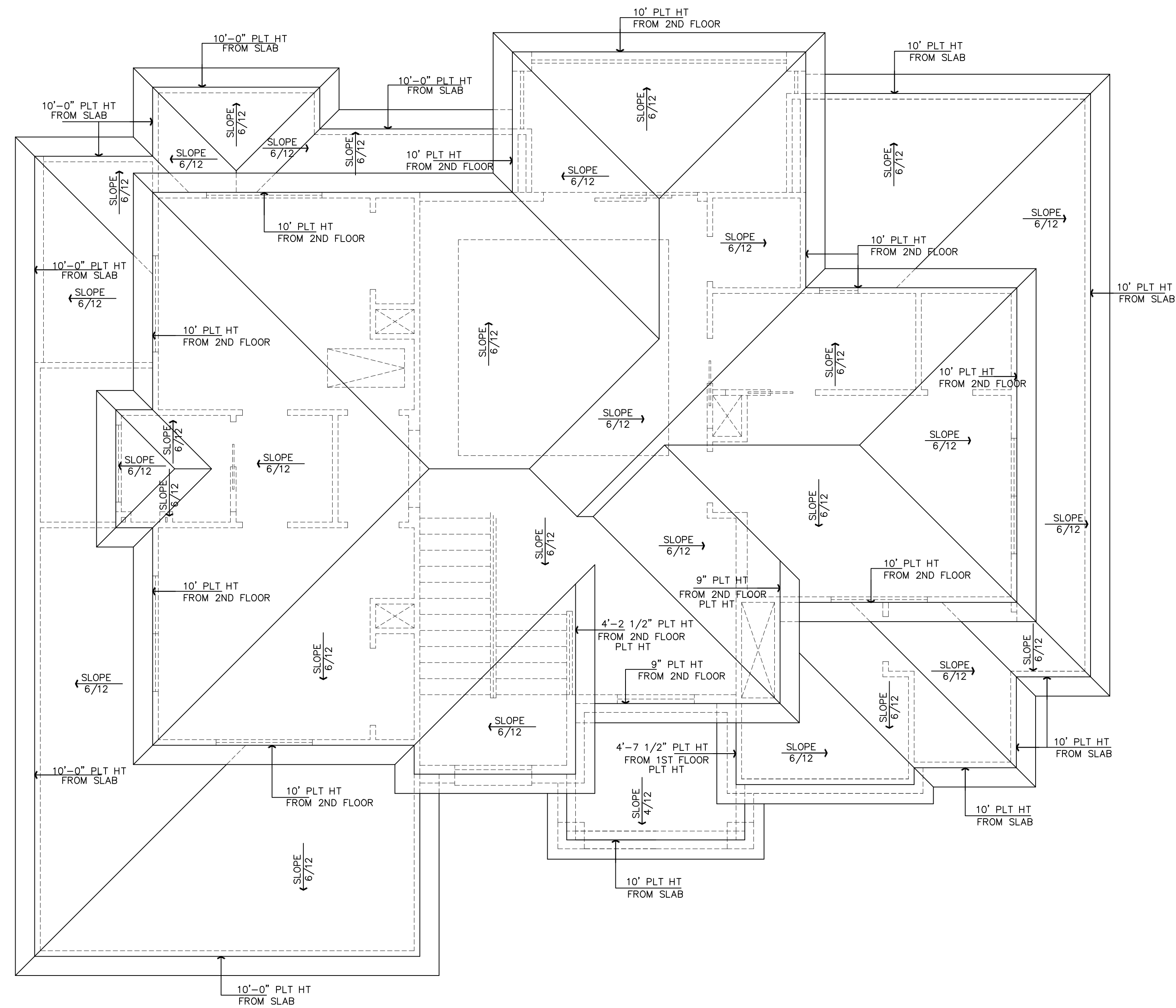
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ROOF PLAN
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 SCALE: 1/8"=1'-0" 11 X 17

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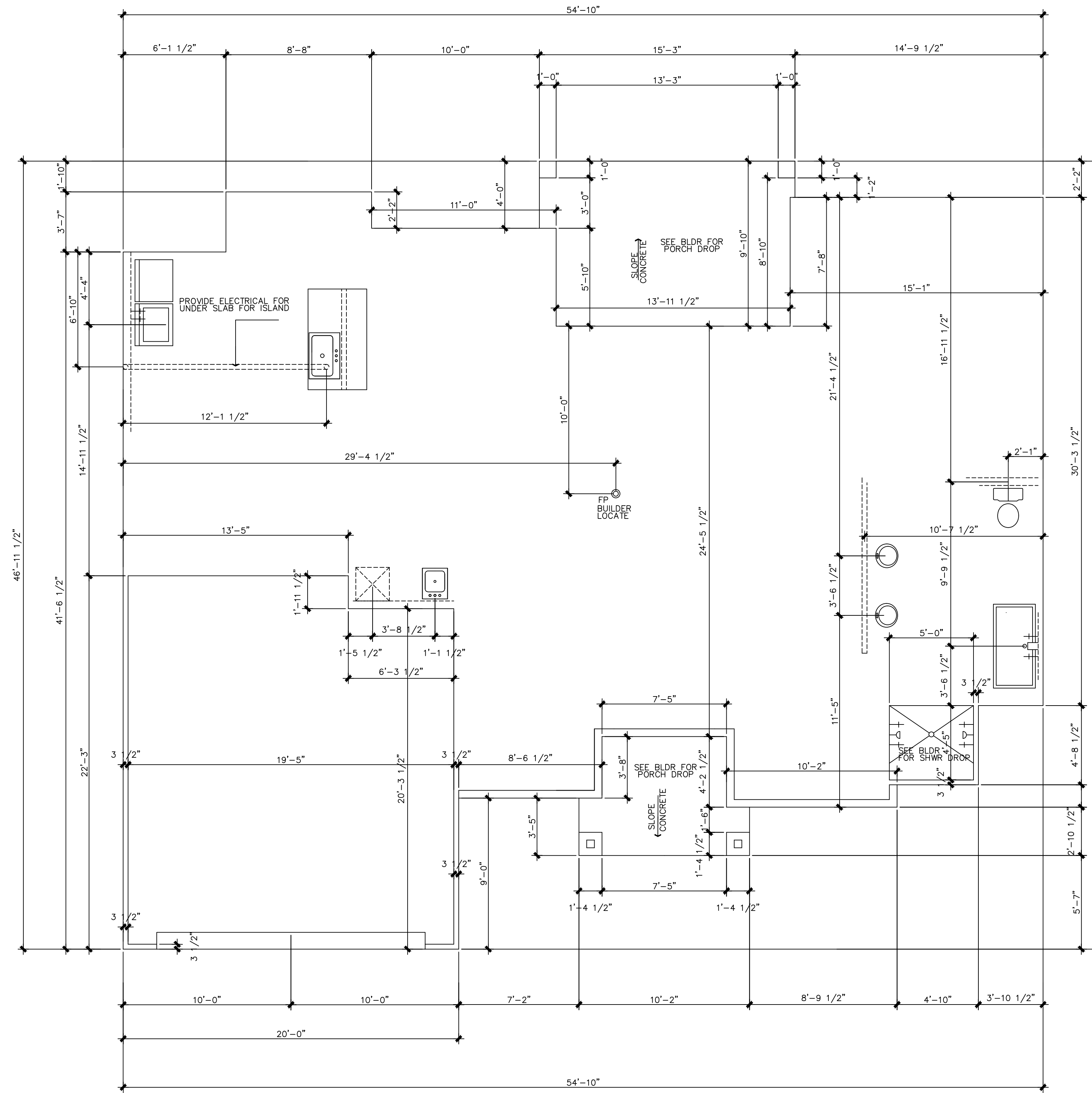
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FORM SETTING PLAN

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

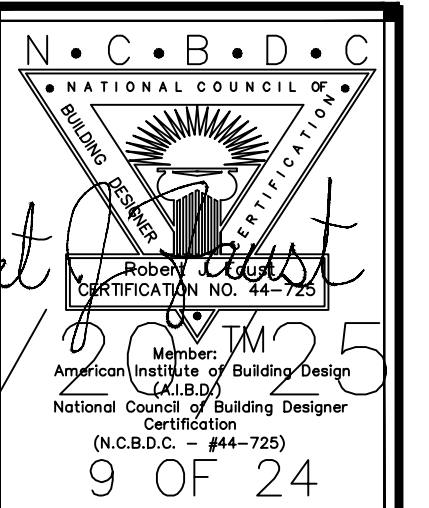
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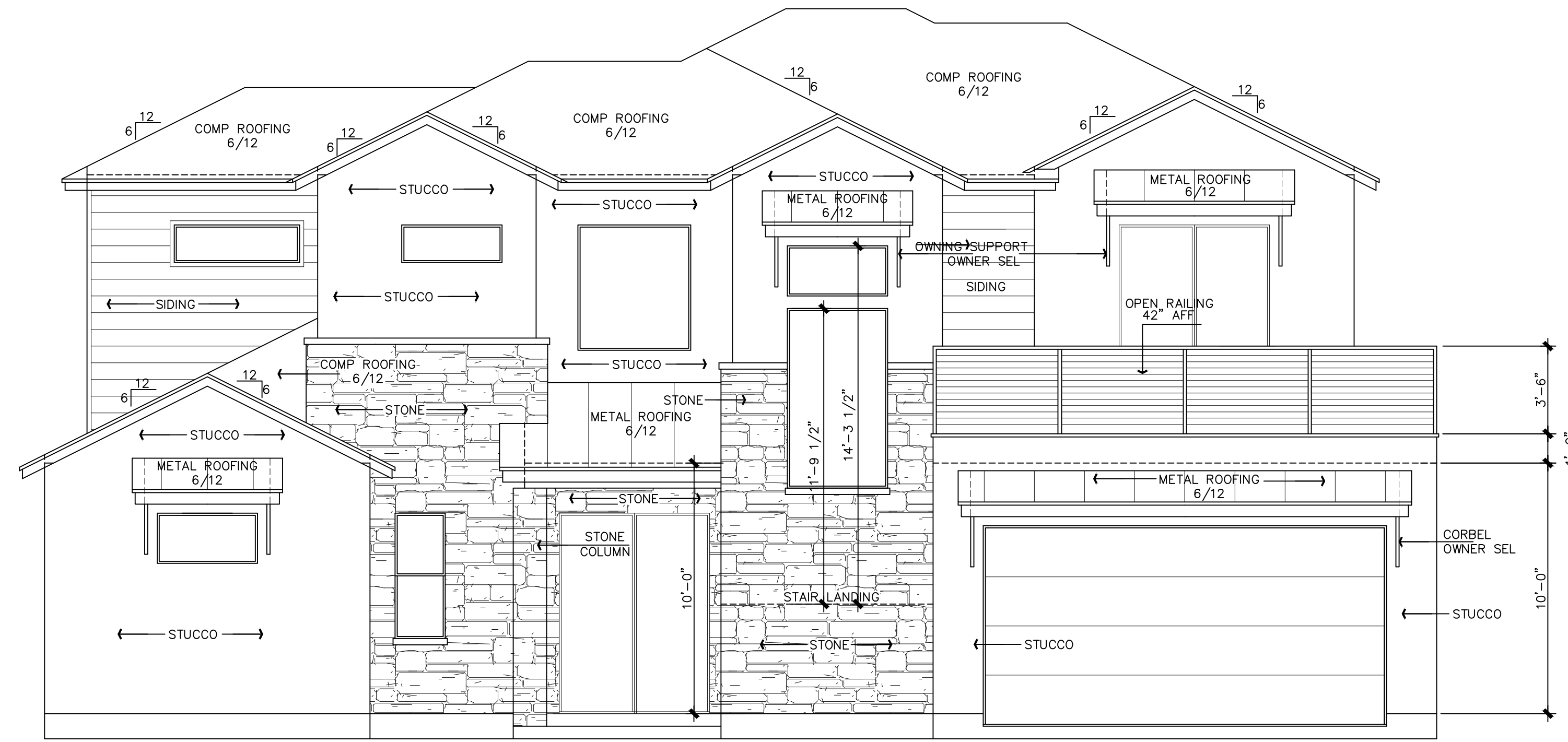
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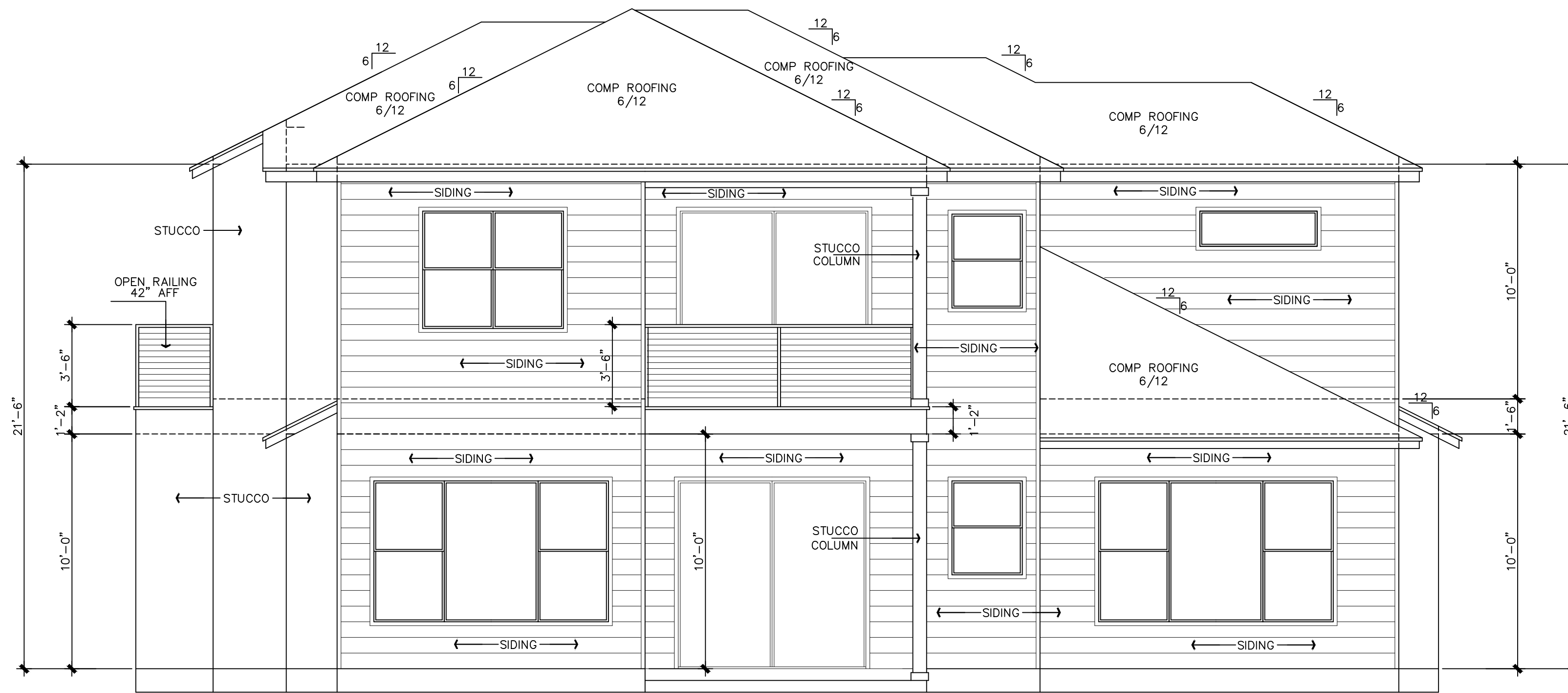
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FRONT ELEVATION



REAR ELEVATION

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FRONT/REAR ELEVATIONS

SCALE: 1/4" = 1'-0" 22 X 34
SCALE: 1/8" = 1'-0" 11 X 17

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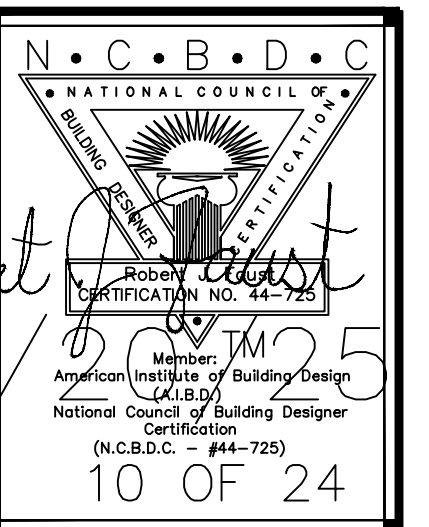
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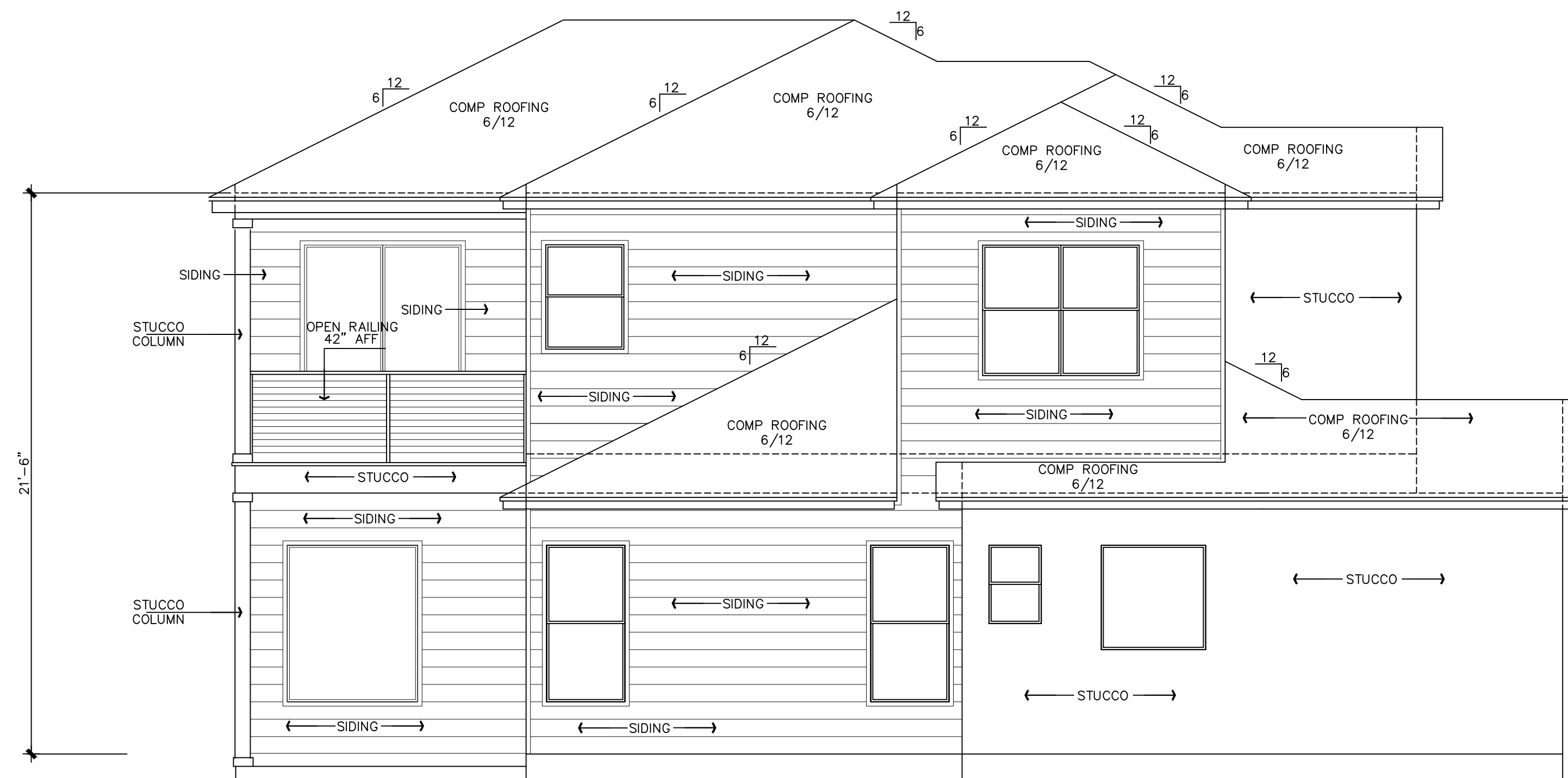
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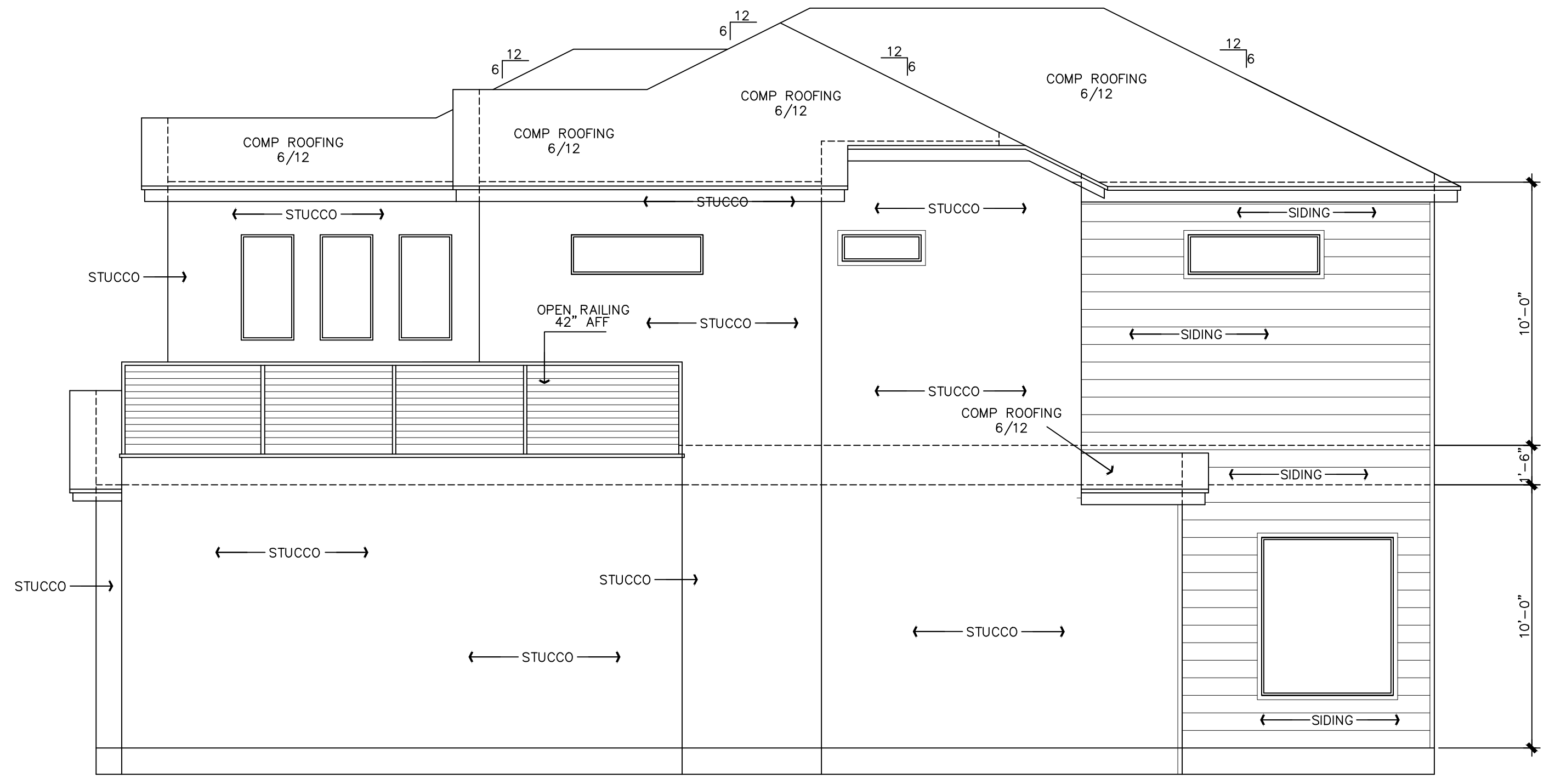
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Bldg #2

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DRAWN BY: JCD/TMD





LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

SIDE ELEVATIONS
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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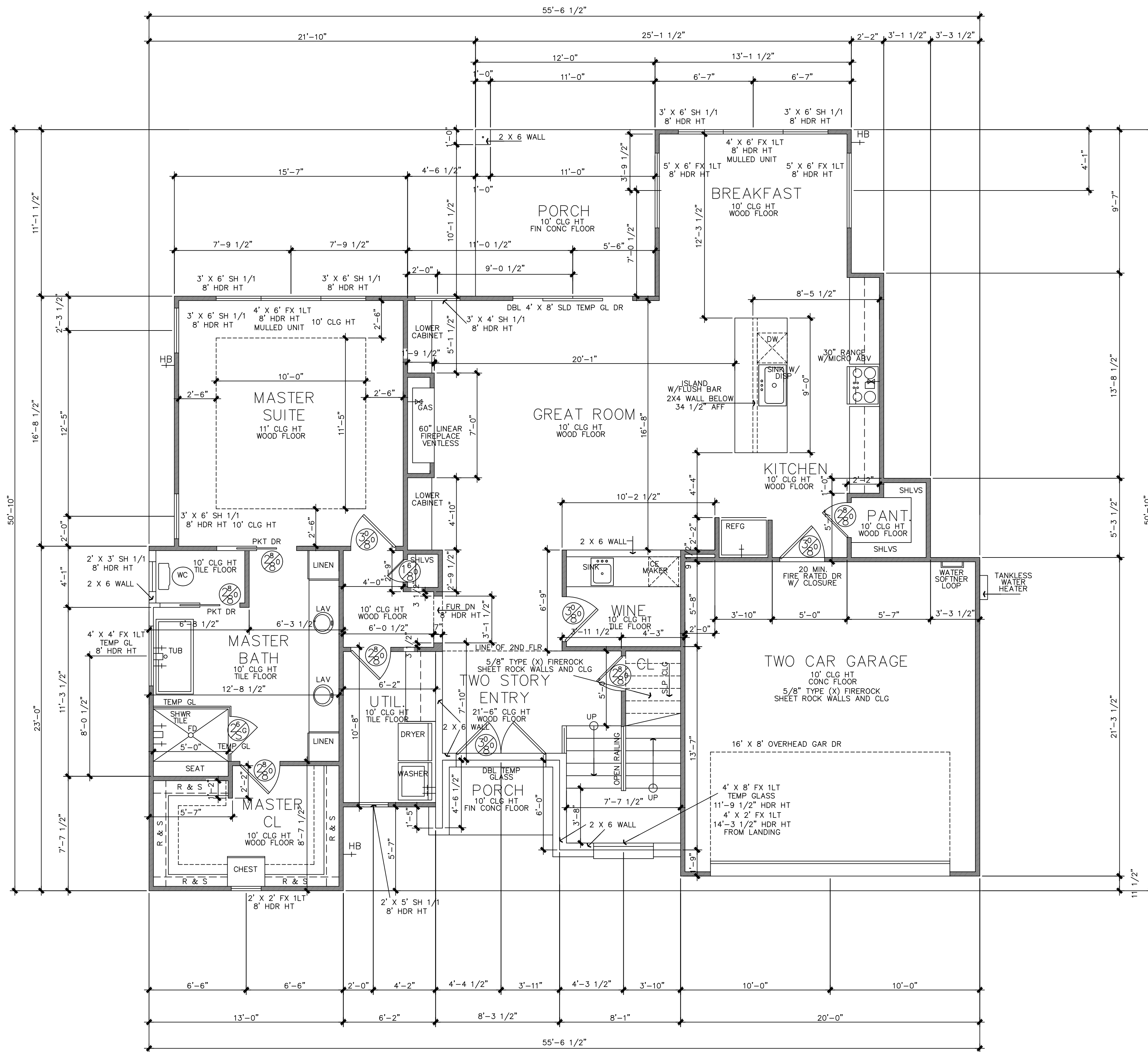
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Robert *Markanti*
06/20/25

11 OF 24



SYMBOL LEGEND	
	GAS/PROPANE VALVE
	HOSE BIB
	SHOWER HEAD @ 80" AFF
	DOOR SIZE TAG

- GENERAL NOTES:
- Design Originals assumes no responsibility for any changes or modifications made to these plans by others.
 - These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and deed restrictions.
 - Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Contractors shall assume responsibility for errors that are not reported.
 - Contractor shall insure compatibility of the building with all site requirements.
 - Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members.
 - All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes.
 - All angles shown on plans are 45° unless noted otherwise.
 - All dimensions should be read or calculated and never scaled.
 - All window sizes are nominal rough opening, verify sizes with manufacturers details & specs.
 - All windows will be dimensioned to center of rough openings unless otherwise noted.
 - Weather strip attic access door(s).
 - Contractor to provide a 3/4" plywood catwalk from attic access to HVAC units (if applicable). Units to be located within 20'-0" of access.
 - All vents to rear of residence.
 - Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code.
 - Floor truss area to be draft stopped where trusses open to attic space.
 - Divide floor truss area into equal areas of less than 1000 s.f. each for fire stops.
 - Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls.
 - Pull down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/8" or higher require 30"x60" R.O.
 - Provide studs at all 4 corners of tub.
 - Provide 5/8" type "X" gypsum board on common walls and ceilings.
 - Do not use wood build-outs behind stucco, around windows and doors.
 - Attach tops, sides and bottoms, of windows and doors shingle style.
 - Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof.
 - Stucco veneer must comply with 2021 IRC and the ASTM requirements.
 - Provide weep screen properly installed.
 - Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates around perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1/2" away from window and door frames.

AREAS BLDG #2	
FIRST FLOOR	1669
SECOND FLOOR	1111
TOTAL LIVING	2780
GARAGE	425
FRONT PORCH	65
BACK PORCH	134
COVERED BALCONY	134
UNCOVERED BALCONY	298
TOTAL COVERED	3836
SLAB	2293

R.320.7 VISITABLE DWELLING ROUTE

- A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

R.320.6 VISITABLE DWELLING ENTRANCE

- A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NONSTEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING.

R.302.3 VISITABLE BATHROOMS

- A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
- LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
- THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.

R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

- LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
- OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

FIRST FLOOR
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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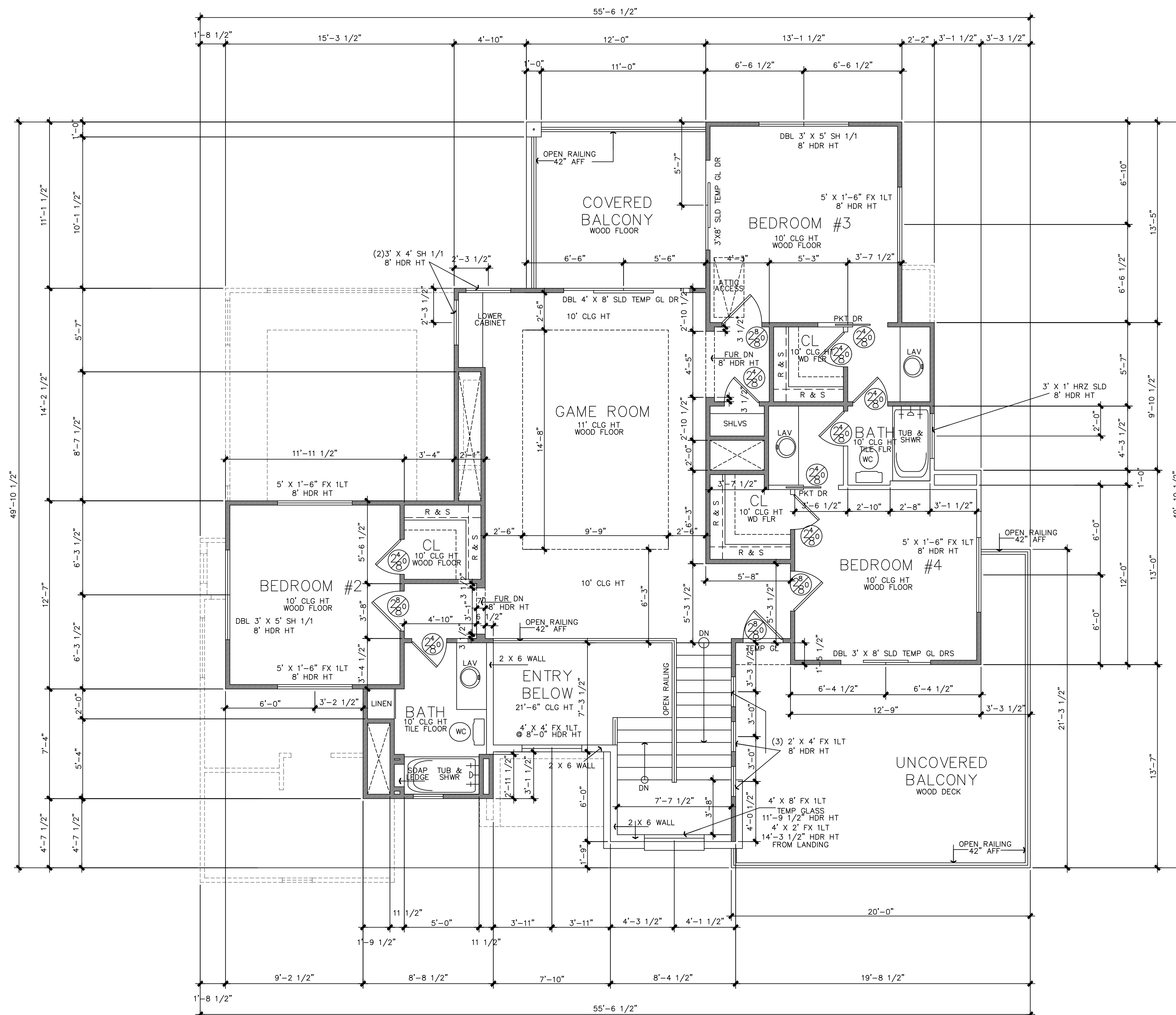
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Bldg #2

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REVISIONS:
DRAWN BY: JCD/TMD

Robert J. Coast
06/20/25
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American Institute of Building Design
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Certification
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SYMBOL LEGEND	
	GAS/PROPANE VALVE
	HOSE BIB
	SHOWER HEAD @ 80" AFF
	DOOR SIZE TAG

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R.320.7 VISITABLE DWELLING ROUTE

- A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

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R.302.3 VISITABLE BATHROOMS

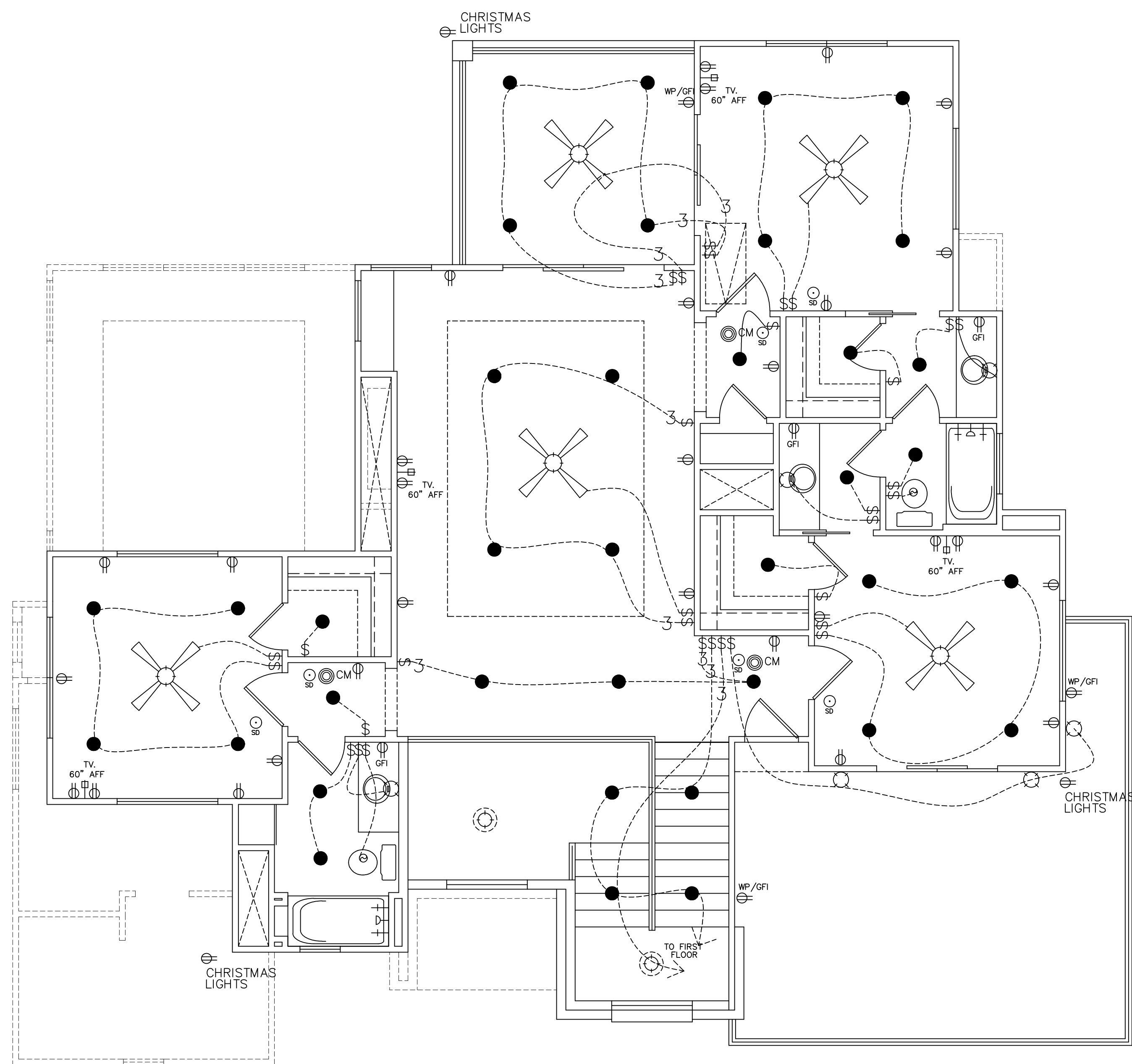
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- OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

SECOND FLOOR

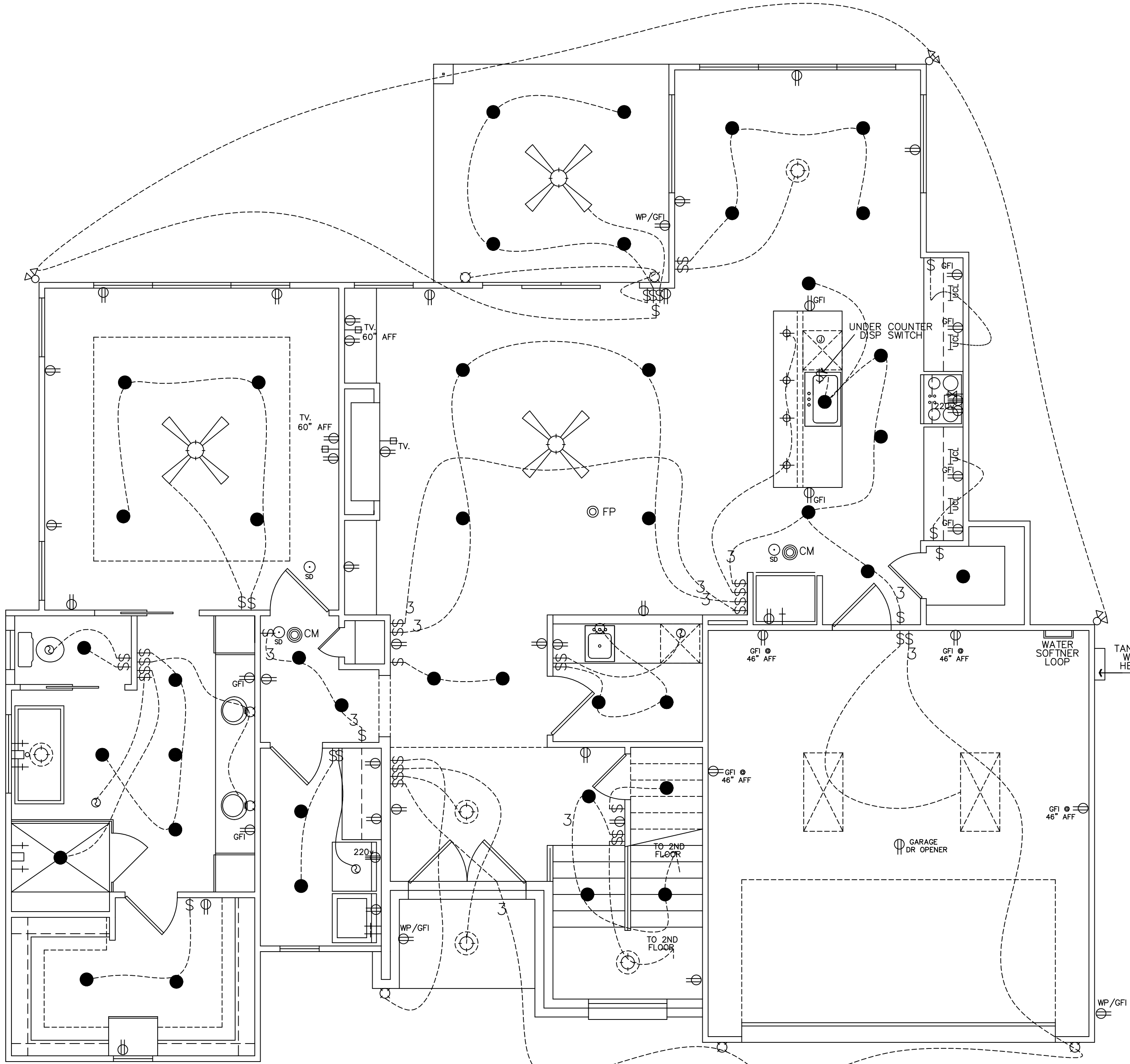
SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17



SECOND FLOOR

LOCATE CHRISTMAS LIGHTS SWITCH ON SITE

ELECTRICAL NOTES:
 Provide smoke detectors per code.
 Rewire for security system as spec.
 Outlets within 6'-0" of sink or lavatory to be on G. F. I. circuit
 Center light over pedestal lav, where shown.
 Block for ceiling fans in all bedrooms, living, family and breakfast rooms.
 Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic (ref. specs.)
 Provide light near HVAC unit(s) in attic
 Any discrepancies in plans are to be brought to the attention of the designer immediately.



FIRST FLOOR

ELECTRICAL SYMBOL LEGEND

⊙	SMOKE DETECTOR	●	RECESSED LIGHT
⊙	SINGLE POLE SWITCH	○	RECESSED EYEBALL LIGHT
⊙	3 WAY SWITCH	○	VENT
⊙	4 WAY SWITCH	⊙	UNDER COUNTER LIGHT
⊙	DIMMER SWITCH	⊙	FLOOR BOX FIXTURE
⊙	ELECTRICAL JUNCTION BOX	⊙	4" FLOOR STRIP
⊙	WALL OUTLET	⊙	DOUBLE FLOOD LIGHTS
⊙	4 PLEX WALL OUTLET	⊙	WALL MTD. PHONE OUTLET
⊙	FLOOR PLUG	⊙	WALL MTD. CABLE T.V. OUTLET
⊙	WATER PROOF OUTLET	⊙	STEREO SPEAKER JACK (WIRE ONLY)
⊙	220V OUTLET	⊙	INTERCOM SYSTEM
⊙	SPEAKER	⊙	COMPUTER DATA TERMINAL
⊙	HALOGEN LIGHT	⊙	DOOR BELL
⊙	SURFACE MOUNT LIGHT	⊙	DOOR CHIME
⊙	HANGING LIGHT	⊙	HEAT DETECTOR
⊙	WALL MOUNT LIGHT		
⊙	CARBON MONOXIDE DETECTOR		

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ELECTRICAL PLANS
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

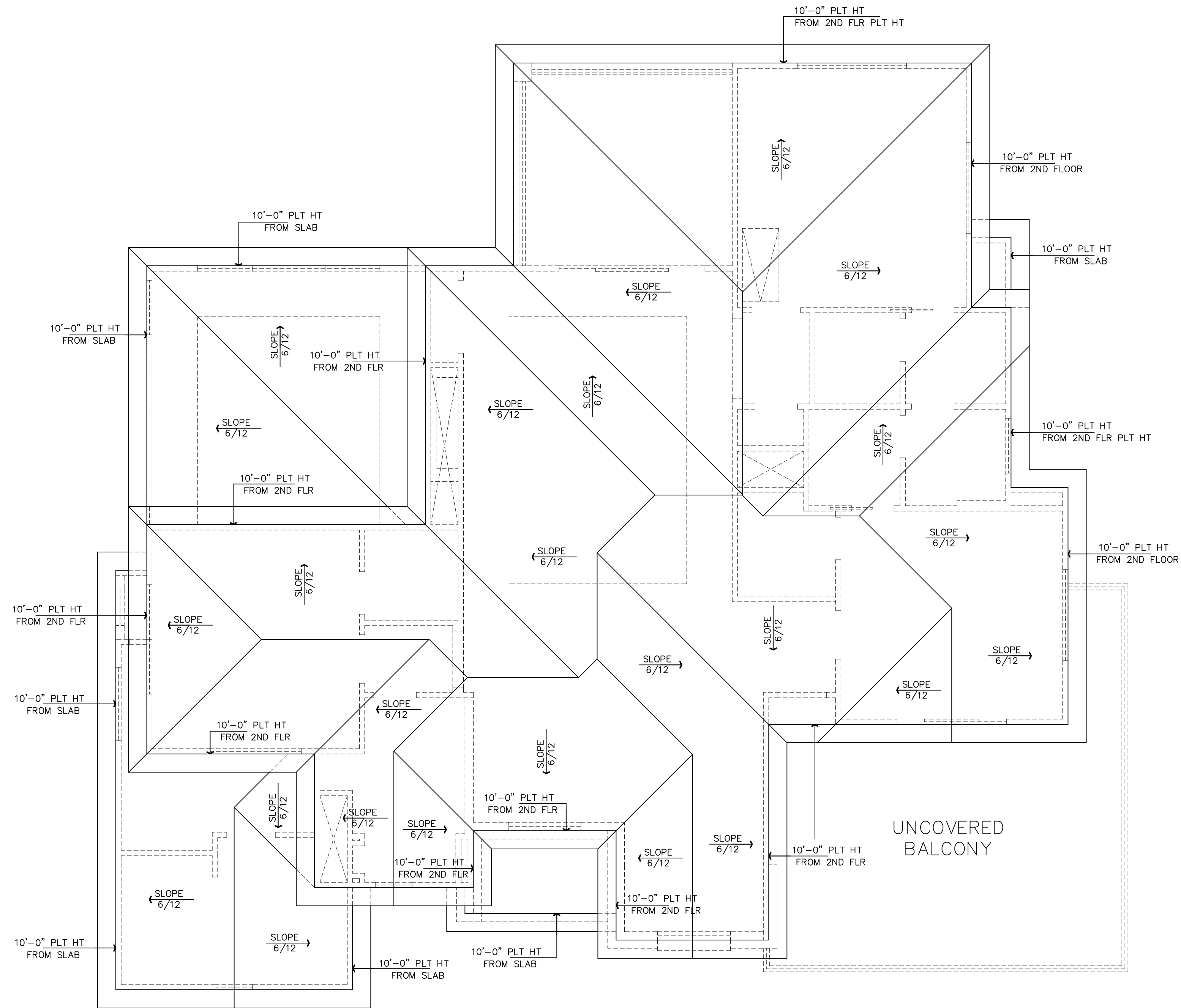
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Robert [Signature]
 06/25/25
 Member
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ROOF PLAN

SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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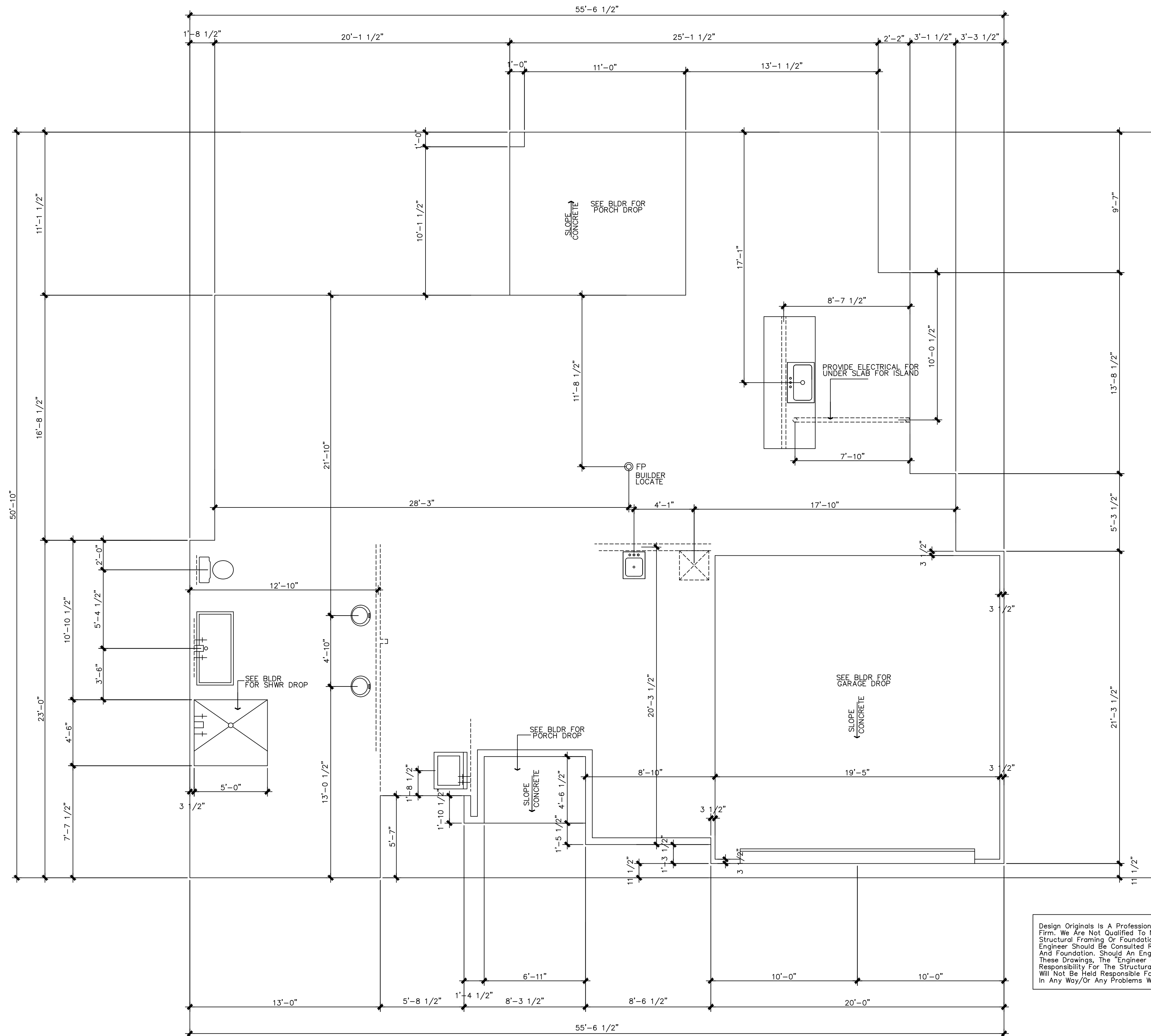
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06/20/25

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FORM SETTING PLAN
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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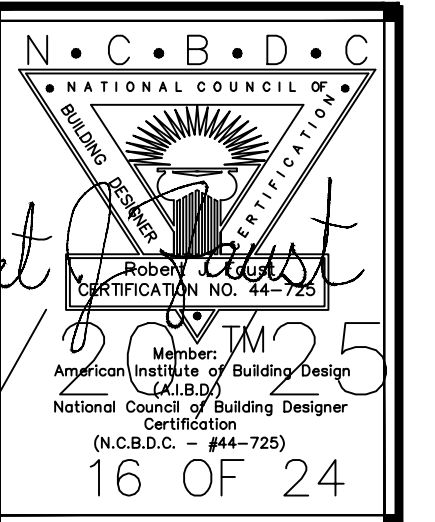
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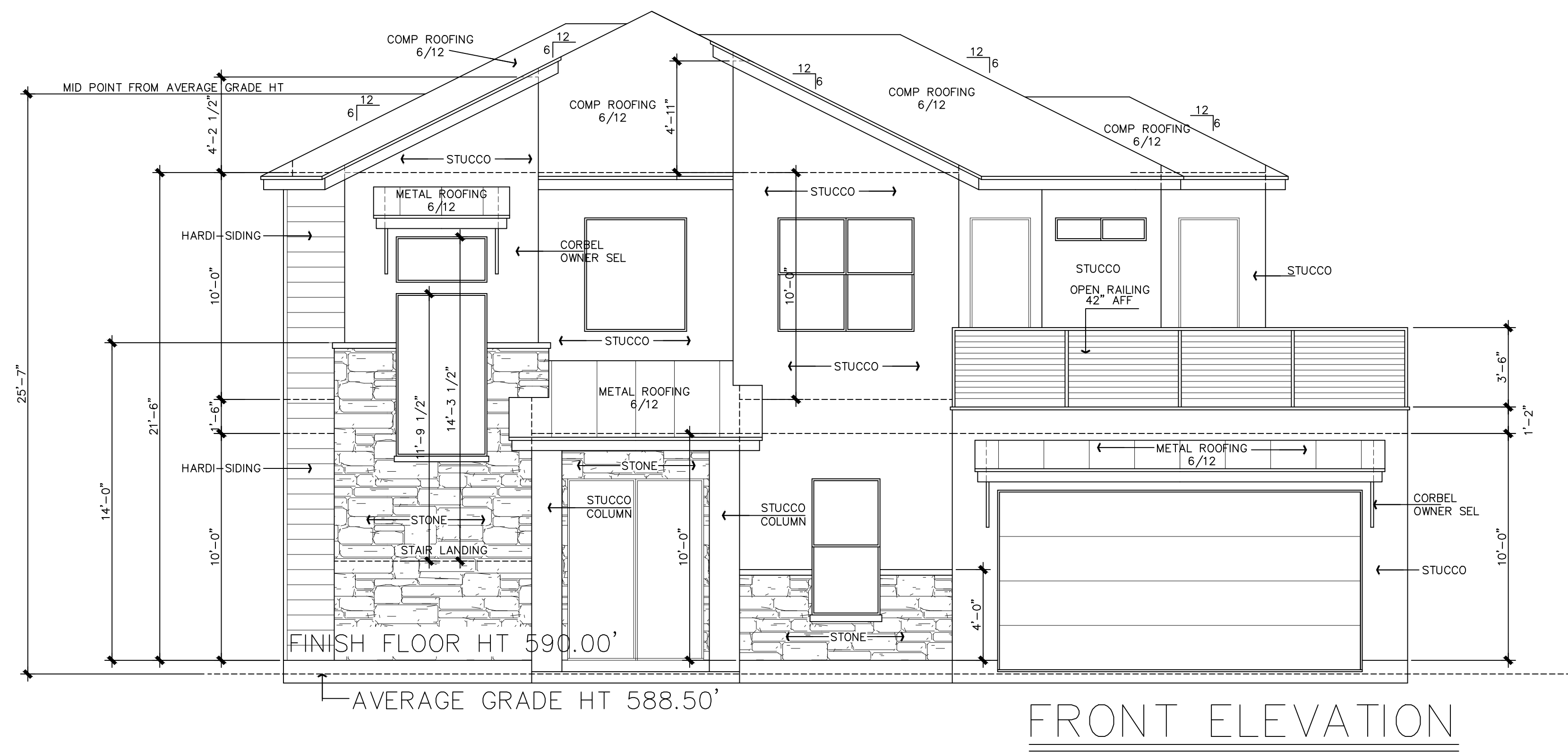
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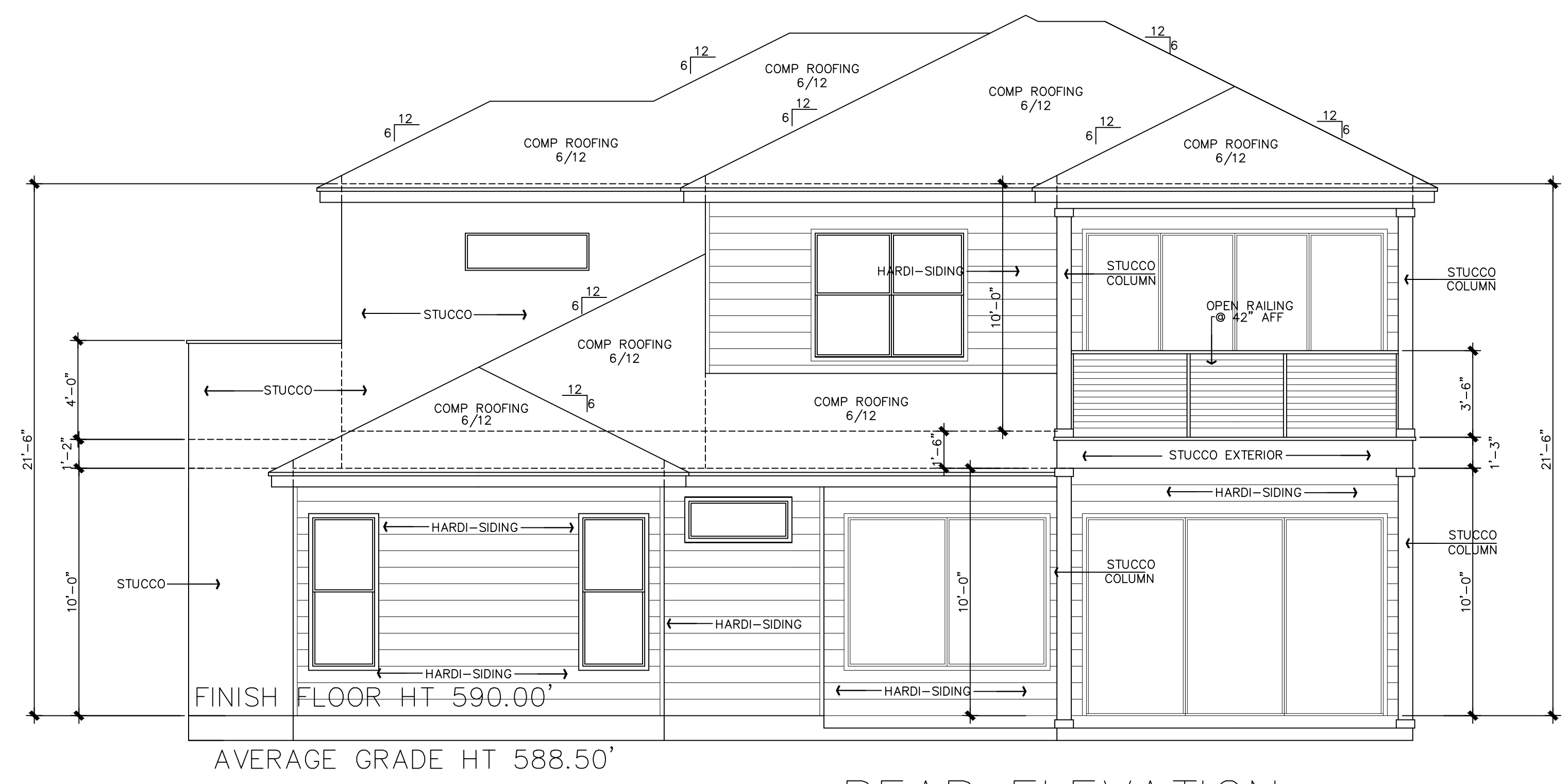
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FRONT ELEVATION



REAR ELEVATION

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FRONT/REAR ELEVATIONS

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

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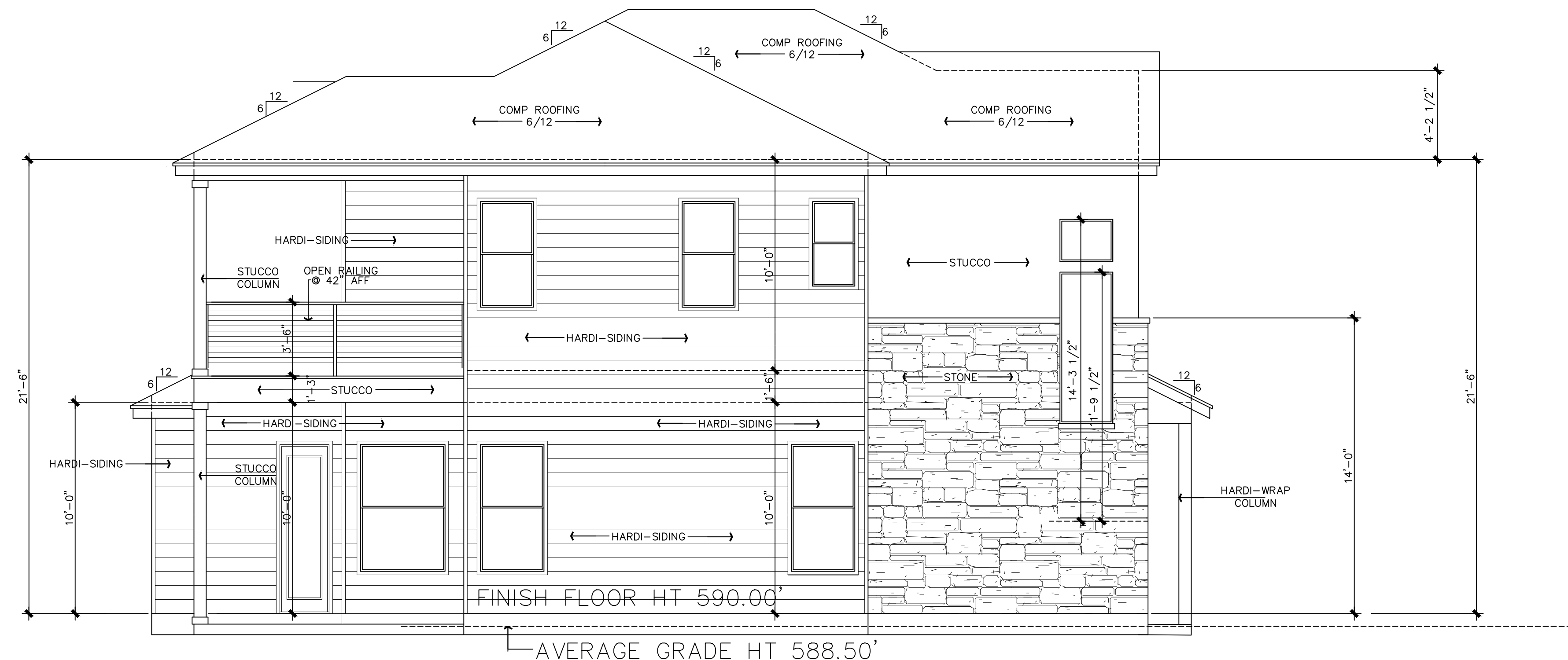
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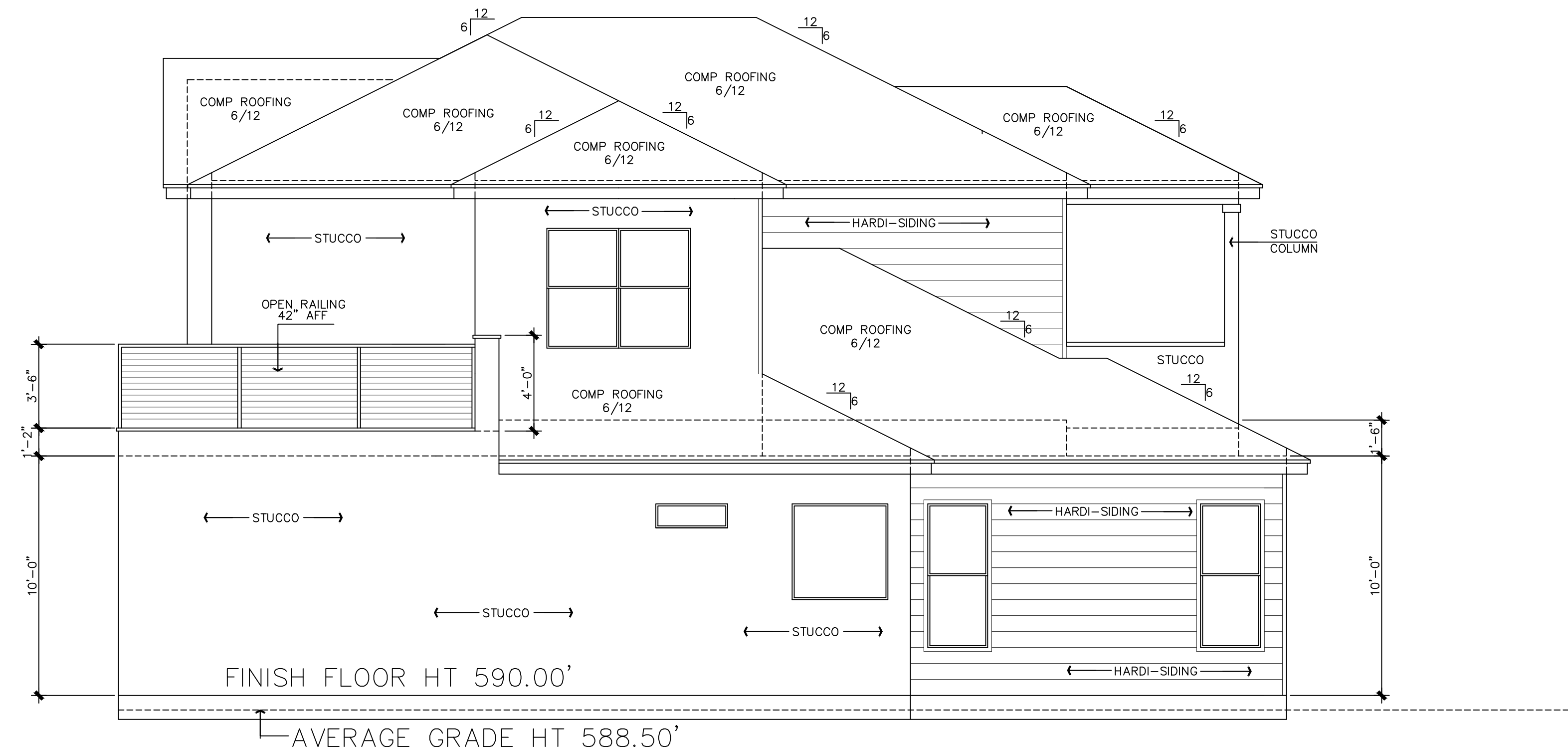
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06/20/25
Mahesh Markanti
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Certification
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17 OF 24



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

SIDE ELEVATIONS
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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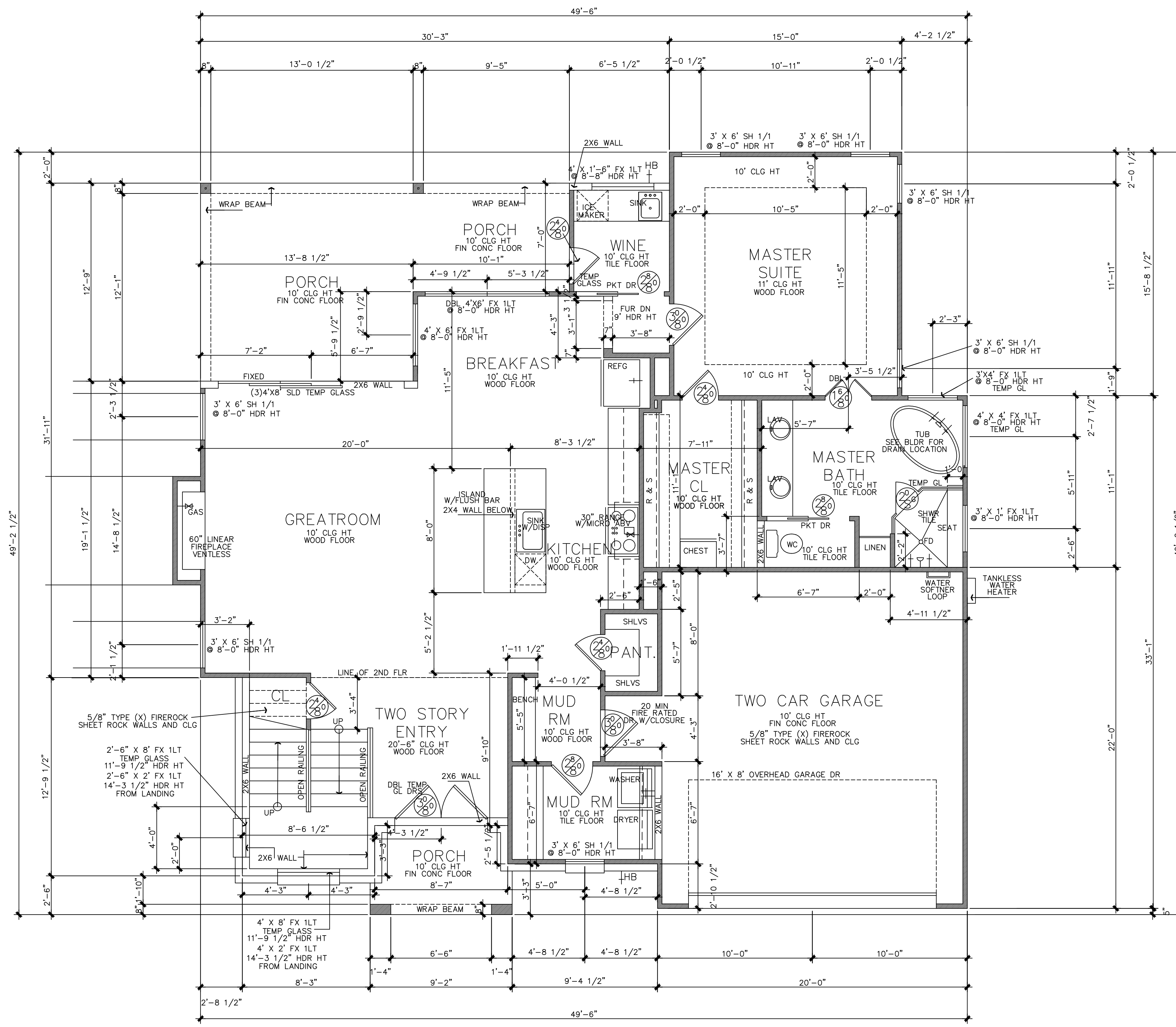
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Robert [Signature]
 06/20/25



SYMBOL LEGEND

- GAS/PROPANE VALVE
- HOSE BIB
- SHOWER HEAD @ 80" AFF
- DOOR SIZE TAG

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 - 13.0 All vents to rear of residence.
 - 14.0 Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code.
 - 15.0 Floor truss area to be draft stopped where trusses open to attic space.
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 - 19.0 Provide studs at all 4 corners of tub.
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 - 23.0 Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof.
 - 24.0 Stucco veneer must comply with 2021 IRC and the ASTM requirements.
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AREAS BLDG #3

FIRST FLOOR	1456
SECOND FLOOR	1047
TOTAL LIVING	2503
GARAGE	454
FRONT PORCH	51
BACK PORCH	246
BALCONY	153
TOTAL COVERED	3407
SLAB	2207

R.320.7 VISITABLE DWELLING ROUTE

1. A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

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1. A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NONSTEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING.

R.302.3 VISITABLE BATHROOMS

1. A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
2. LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
3. THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.

R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
2. OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

FIRST FLOOR
 SCALE: 1/4"=1'-0" 22 X 34
 SCALE: 1/8"=1'-0" 11 X 17

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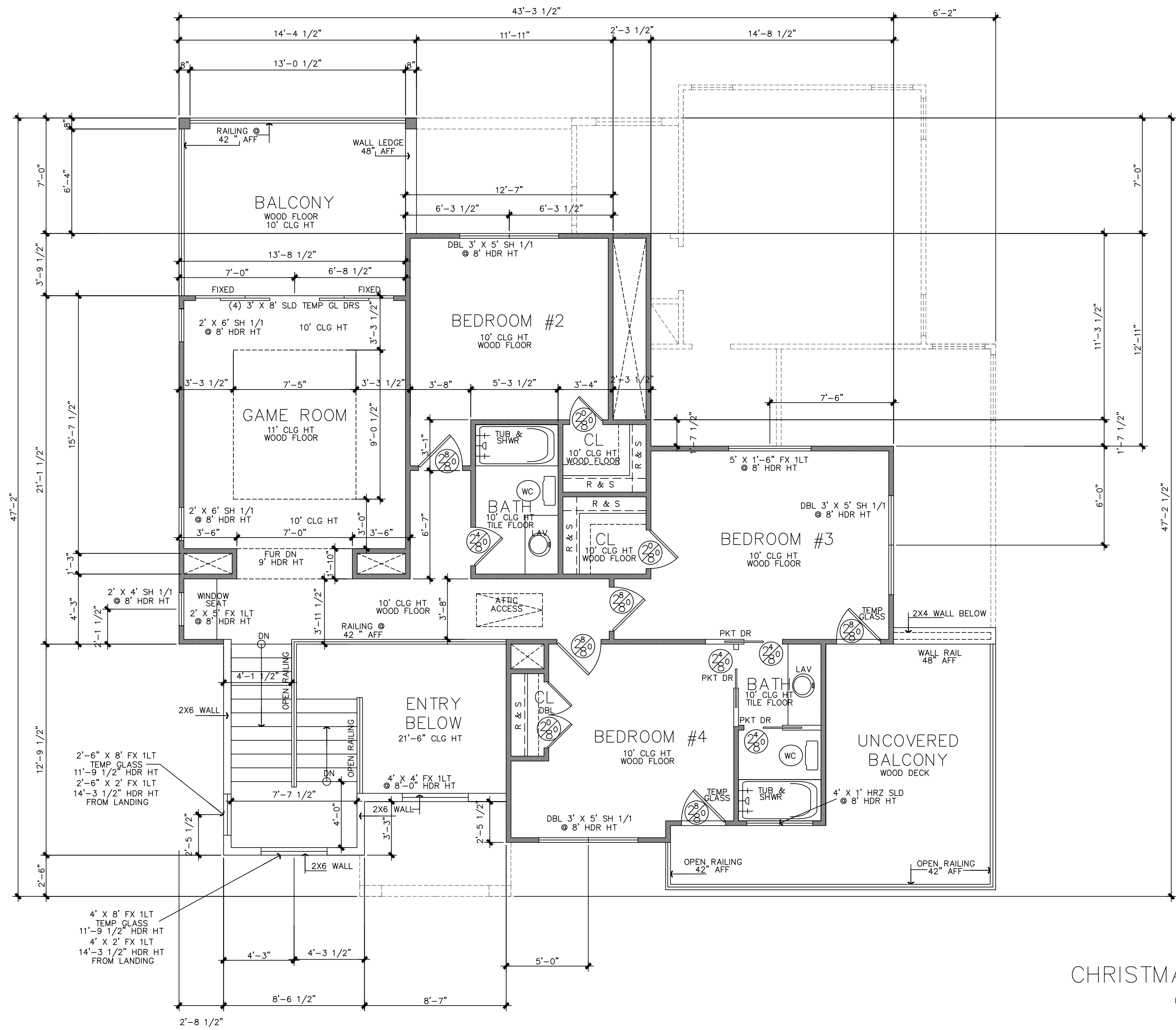
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3101
Northeast Drive
Bldg #3

JOB # A10720
DATE: 06-20-25
REVISIONS:
DRAWN BY: JCD/TMD

Robert Coast
06/20/25

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SYMBOL LEGEND	
	GAS/PROPANE VALVE
	HOSE BIB
	SHOWER HEAD @ 80" AFF
	DOOR SIZE TAG

- GENERAL NOTES:
- Design Originals assumes no responsibility for any changes or modifications made to these plans by others.
 - These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and deed restrictions.
 - Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Contractors shall assume responsibility for errors that are not reported.
 - Contractor shall insure compatibility of the building with all site requirements.
 - Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members.
 - All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes.
 - All angles shown on plans are 45° unless noted otherwise.
 - All dimensions should be read or calculated and never scaled.
 - All window sizes are nominal rough opening, verify sizes with manufacturers details & specs.
 - All windows will be dimensioned to center of rough openings unless otherwise noted.
 - Weather strip attic access door(s).
 - Contractor to provide a 3/4" plywood catwalk from attic access to HVAC units (if applicable). Units to be located within 20'-0" of access.
 - All vents to rear of residence.
 - Provide 1 s.f. net free area of attic ventilation per 150 s.f. of total covered roof area as per code.
 - Floor truss area to be draft stopped where trusses open to attic space.
 - Divide floor truss area into equal areas of less than 1000 s.f. each for fire stops.
 - Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls.
 - Pull down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/8" or higher require 30"x60" R.O.
 - Provide studs at all 4 corners of tub.
 - Provide 5/8" type "X" gypsum board on common walls and ceilings.
 - Do not use wood build-outs behind stucco, around windows and doors.
 - Attach tops, sides and bottoms, of windows and doors shingle style.
 - Apply 2 ply ALUM building paper shingle style over all exterior sheathing prior to installing metal roof.
 - Stucco veneer must comply with 2021 IRC and the ASTM requirements.
 - Provide weep screen properly installed.
 - Provide expansion/contraction control joints to divide up stucco into 100 sq. ft. total sq. ft. area. Provide casing bead where stucco terminates ground perimeter of windows, doors or dissimilar materials. Stop casing bead at least 1" to 1 1/2" away from window and door frames.

CHRISTMAS LT AND BALCONIES OVER GARAGE

R.320.7 VISITABLE DWELLING ROUTE

- A VISITABLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISITABLE ROUTE MUST COMPLY WITH

R.320.6 VISITABLE DWELLING ENTRANCE

- A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NONSTEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING.

R.302.3 VISITABLE BATHROOMS

- A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED
- LATERAL TWO-INCH BY SIX INCH OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
- THE CENTERLINE OF THE BLOCKING MUST BE 34 INCHES FROM THE PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY

R.320.4 VISITABLE LIGHT SWITCHES RECEPTACLES AND ENVIRONMENTAL CONTROLS

- LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" INCHES ABOVE THE INTERIOR FLOOR AND
- OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

SECOND FLOOR

SCALE: 1/4" = 1'-0" 22 X 34
SCALE: 1/8" = 1'-0" 11 X 17

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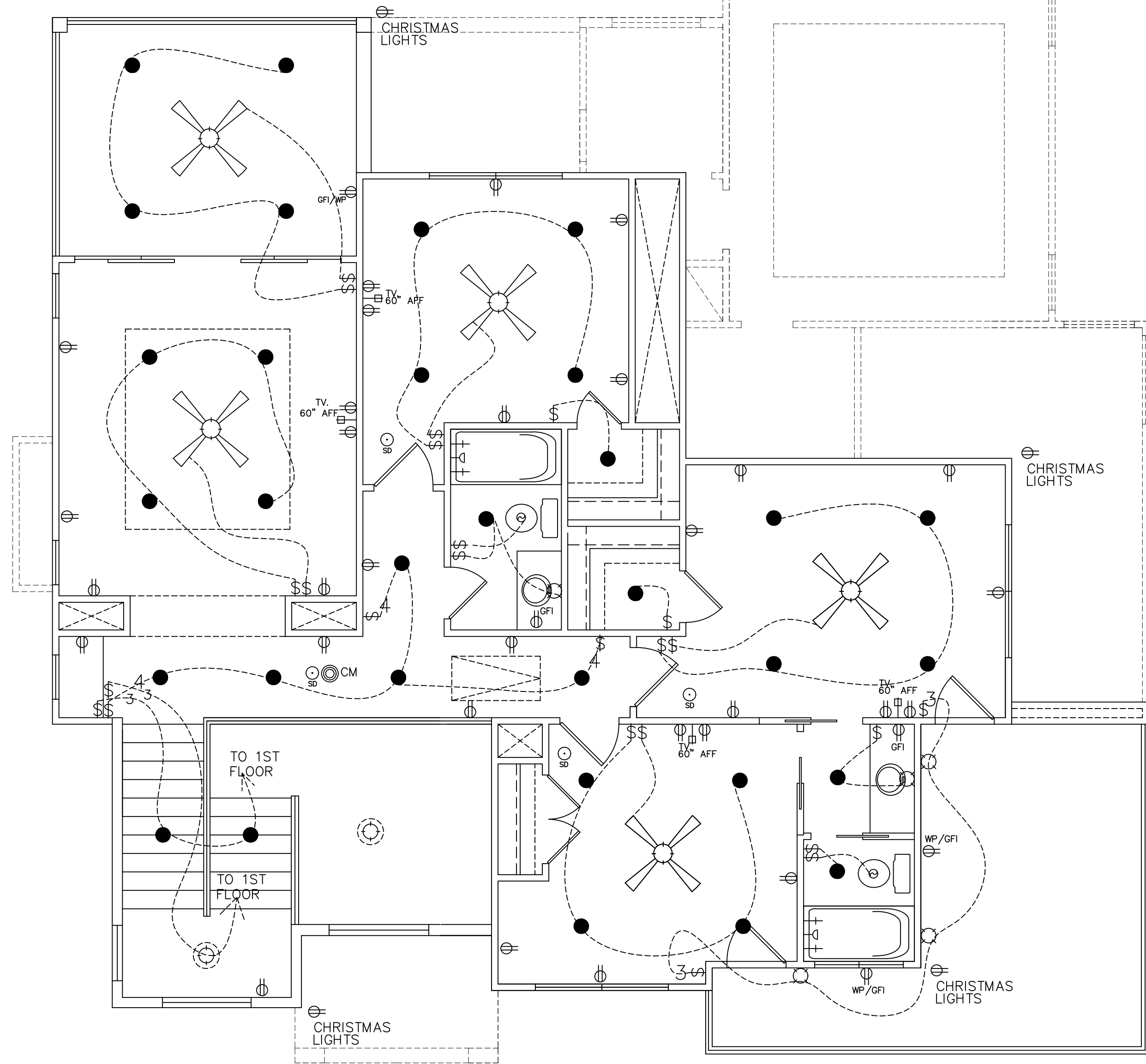
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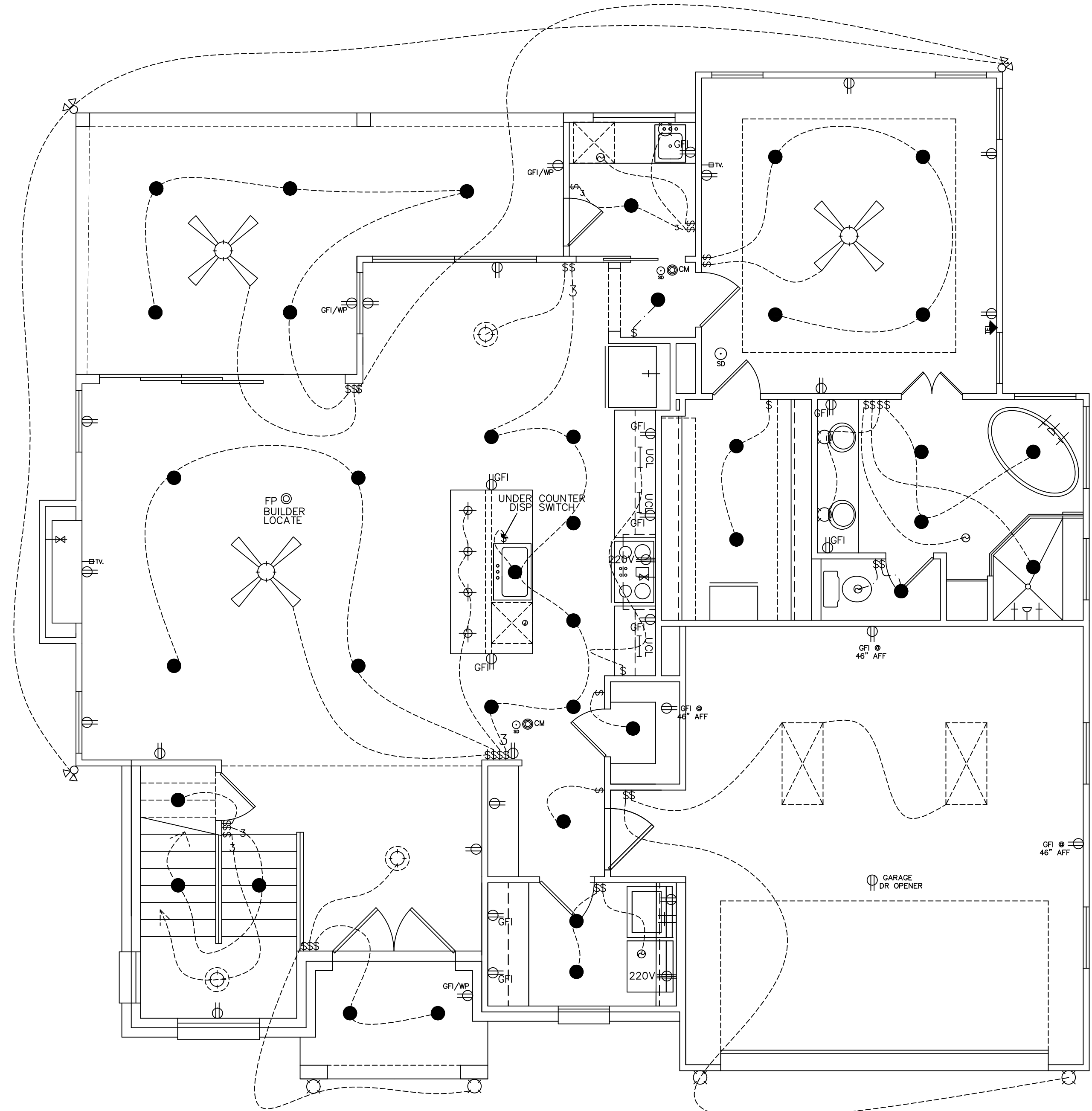


SECOND FLOOR
 LOCATE CHRISTMAS LIGHTS SWITCH ON SITE

ELECTRICAL NOTES:

Provide smoke detectors per code.
 Prewire for security system as spec.
 Outlets within 6'-0" of sink or lavatory to be on G. F. I. circuit
 Center light over pedestal lav, where shown.
 Block for ceiling fans in all bedrooms, living, family and breakfast rooms.
 Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic (ref. specs.)
 Provide light near HVAC unit(s) in attic

Any discrepancies in plans are to be brought to the attention of the designer immediately.



FIRST FLOOR

ELECTRICAL SYMBOL LEGEND

☉	SMOKE DETECTOR	●	RECESSED LIGHT
⎓	SINGLE POLE SWITCH	●	RECESSED EYEBALL LIGHT
⎓	3 WAY SWITCH	○	VENT
⎓	4 WAY SWITCH	⎓	UNDER COUNTER LIGHT
⎓	DIMMER SWITCH	⎓	FLOOR BOX FIXTURE
⊞	ELECTRICAL JUNCTION BOX	⎓	4" FLOOR STRIP
⊞	WALL OUTLET	⎓	DOUBLE FLOOD LIGHTS
⊞	4 PLEX WALL OUTLET	⎓	WALL MTD. PHONE OUTLET
⊞	FLOOR FLUG	⎓	WALL MTD. CABLE T.V. OUTLET
⊞	WATER PROOF OUTLET	⎓	STEREO SPEAKER JACK (WIRE ONLY)
⊞	220V OUTLET	⎓	INTERCOM SYSTEM
⊞	SPEAKER	⎓	COMPUTER DATA TERMINAL
⊞	HALOGEN LIGHT	⎓	DOOR BELL
⊞	SURFACE MOUNT LIGHT	⎓	DOOR CHIME
⊞	HANGING LIGHT	⎓	HEAT DETECTOR
⊞	WALL MOUNT LIGHT		
⊞	CARBON MONOXIDE DETECTOR		

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ELECTRICAL PLANS
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 SCALE: 1/8"=1'-0" 11 X 17

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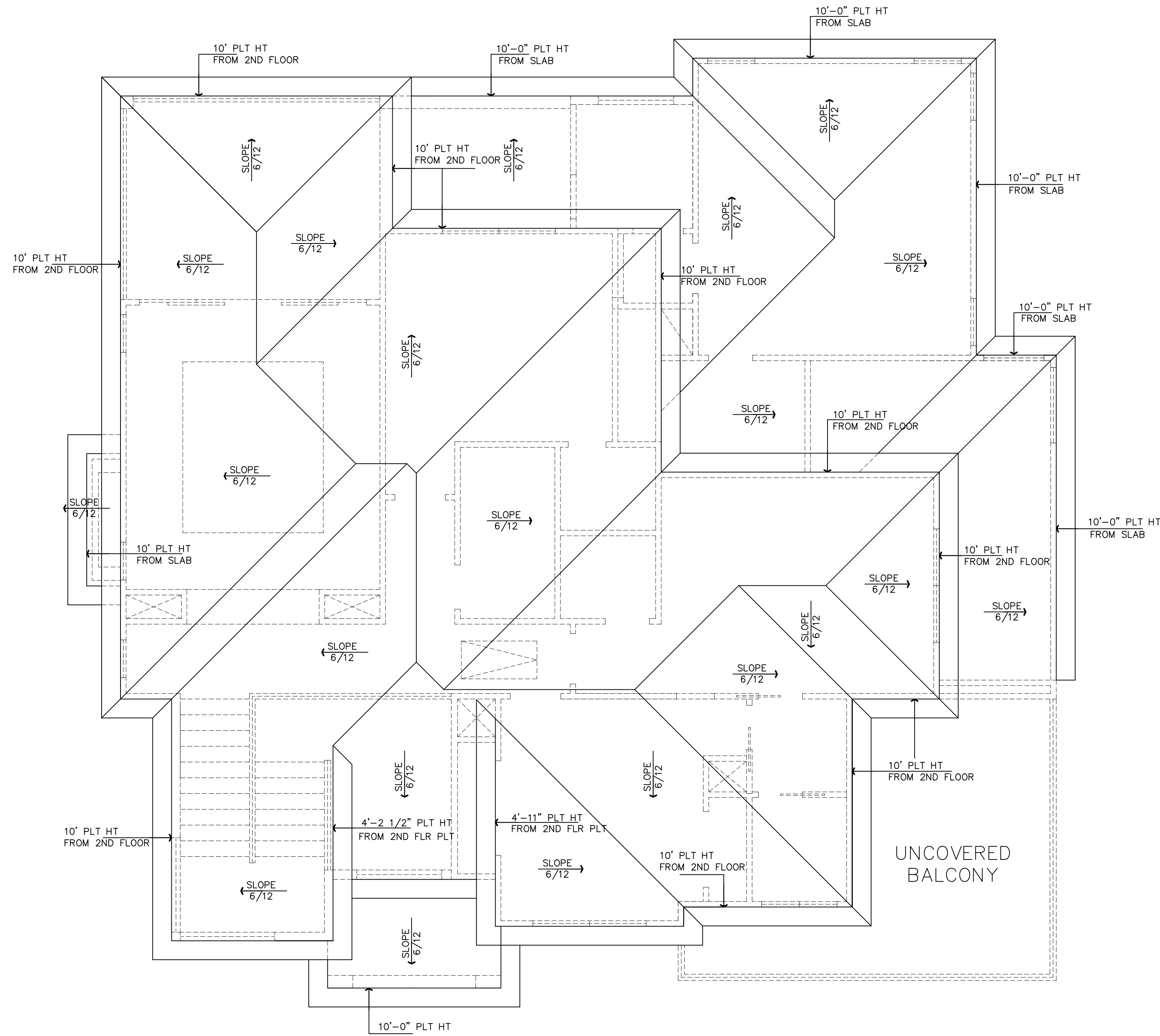
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ROOF PLAN

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 SCALE: 1/8"=1'-0" 11 X 17

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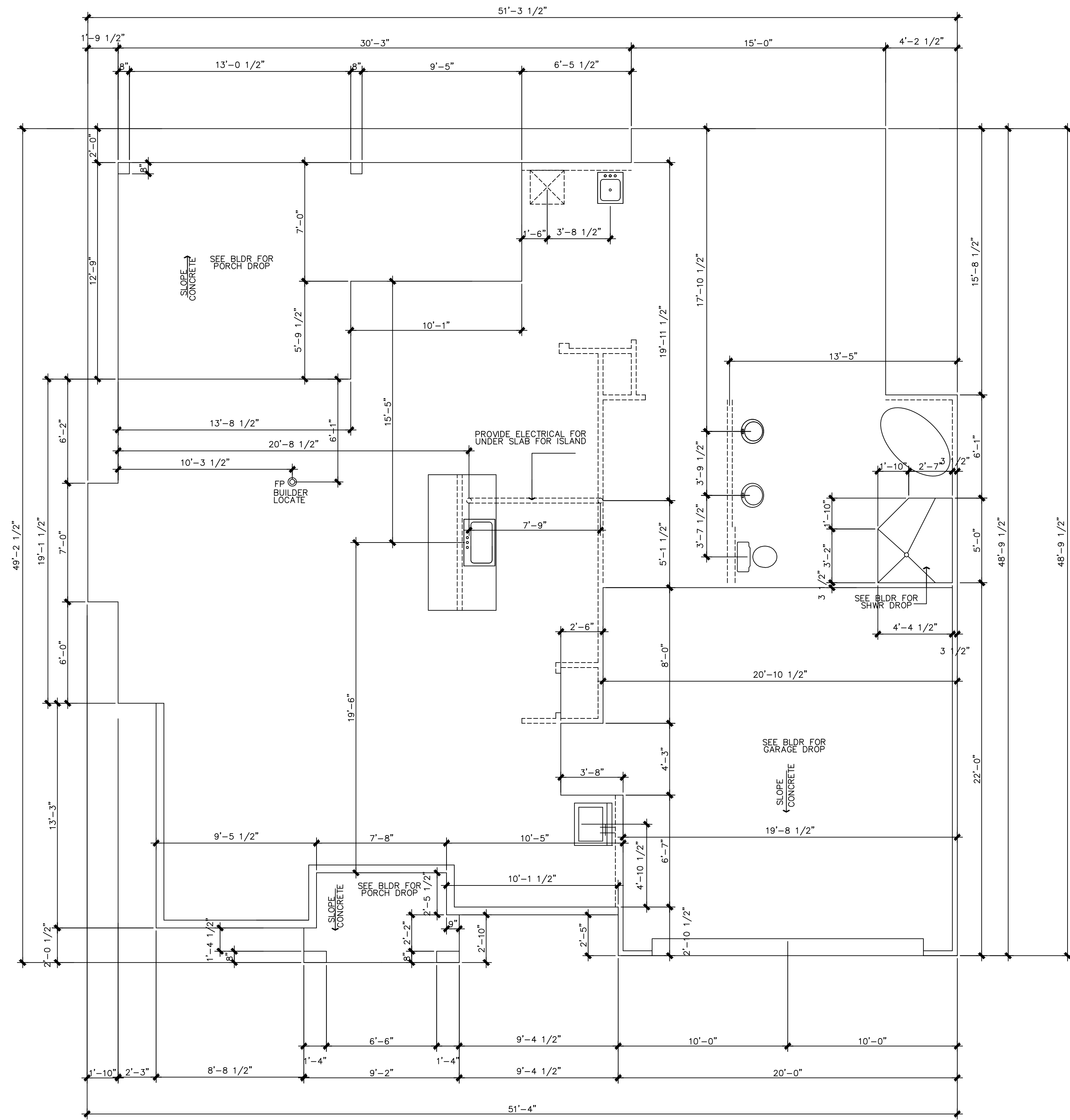
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FORM SETTING PLAN
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 SCALE: 1/8"=1'-0" 11 X 17

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