

155.3709. EAST OVERLAY DISTRICT (EOD)

A. Purpose

The East Overlay District (EOD) is established and intended to encourage an urban form that promotes transit usage and pedestrian oriented development in the area connecting the Downtown Pompano Beach Overlay District and the Atlantic Boulevard Overlay District. The purpose of the district standards is to stimulate economic revitalization, create a pedestrian-friendly environment and promote mixed-use development. It is also intended to help implement the Pompano Beach Transportation Corridor Study Transformation Plan and the Pompano Beach Community Redevelopment Plan for the East Pompano Beach Redevelopment District.

B. Applicability

1. General

- a. These standards apply to all land within the East Overlay District (EOD), as delineated on the Official Zoning Map.
- b. These standards replace or supplement the use, intensity, dimensional, and development standards applicable to the underlying base district. If EOD standards directly conflict with those governing an underlying base district, the EOD standards shall govern. If land within the district is classified as a planned development (PD) zoning district, the planned development district's regulations shall govern. New Planned Development Zoning Districts (PDs) shall not be permitted after the date of the adoption of this ordinance.

2. Existing Uses

- a. Permitted Auto-Oriented Uses
 - i. Notwithstanding the standards applicable in Transit Oriented (TO) District or in the EOD, the following auto-oriented/auto-centric uses and auto-oriented/auto-centric use categories shall be permitted in the EOD, provided they shall only be permitted at locations approved for such use prior to the date of the adoption of this ordinance:
 - (A) Section 155.4202.E: Dwelling, Single Family.
 - (B) Section 155.4202.G: Dwelling, Two-Family.
 - ii. The permitted auto-oriented uses shall be exempt from compliance with all TO and EOD Standards and can be redeveloped as the same principal use.
 - iii. Until such time that the permitted auto-oriented use converts to a new principal use, the permitted auto-oriented uses, including the structures and lots, shall be governed by the development standards for the previous zoning district, including but not limited to all applicable Application Specific Review Procedures in Article 2, Use Standards in Article 4, Development Standards in Article 5, Nonconformities Standards in Article 7, and Interpretation Standards in Article 9.
- b. Existing Structures and Lots Used for Places of Worship
 - i. Structures and lots approved for use as a place of worship, including lots approved for off-street parking for a place of worship, prior to the date of the adoption of this ordinance shall be exempt from compliance with all Transit Oriented (TO) and EOD Standards until such time that the place of worship converts to a new principal use type.
 - ii. Until such time that the place of worship converts to a new principal use type, the structures and lots approved for a place of worship shall be governed by the development standards for the previous zoning district, including but not limited to all applicable Application Specific Review Procedures in Article 2, Use Standards in Article 4, Development Standards in Article 5, Nonconformities Standards in Article 7, and Interpretation Standards in Article 9.
- c. Existing parks and recreational areas designated as PR in the Use-Areas/Density Regulating Plan shall be governed by the Parks and Recreation (PR) Zoning District regulations, Section 155.3502.

C. Regulating Plans

The Regulating Plans applied to the EOD are intended to govern development standards, designating the locations where the various standards apply. Unless otherwise noted, all development shall be in compliance with the Regulating Plans. The Regulating Plans for the EOD include the following:

1. The Sub-Areas/Building Heights Regulating Plan, Diagram 155.3709.D (Specified in Part D).
2. The Use-Areas/Density Regulating Plan, Diagram 155.3709.E (Specified in Part E).
3. The Street Network Connectivity Regulating Plan, Diagram 155.3709.F.1 and the Street Development Regulating Diagrams, Diagram 155.3709.F.2 (Specified in Part F).
4. The Designated Publicly Accessible Open Space and Greenway System Regulating Plan, Diagram 155.3709.H (Specified in Part H).
5. The Building Typology and Placement Regulating Diagrams, Section 155.3501.O.4 (Specified in Part I).

D. Sub-Areas/Building Heights Regulating Plan

The Sub-Areas/Building Heights Regulating Plan is intended to delineate the areas where different types of development intensities are permitted in order to establish compatibility with the single-family neighborhoods.

1. Sub-area Designations

The area where the most intense development is permitted is within the core sub-area. The area where a transitional intensity is permitted is within the center sub-area. The area where the least intensity is permitted is within the edge sub-area.

2. Building Height Designations

All new and modifications to existing development shall comply with the building height standards found within the Sub-Areas/Building Heights Regulating Plan. When one property or parcel is regulated by two different height standards, the Sub-Areas/Building Heights Regulating Plan shall be referred to for the depth of each building height zone. In addition, the following shall apply:

- a. Areas intended for commercial uses on the ground floor of all non-residential and mixed-use buildings shall be a minimum of 12 feet in height; and
- b. Buildings higher than 6 stories shall be developed according to the tower building type standards.
- c. For properties with buildings greater than 6 stories in height that are abutting Atlantic Boulevard between NE 19th Avenue and NE 25th Avenue, the minimum setback along the front and street side property lines shall be 20 feet from the face of the building. The setback shall begin above the fifth floor only, for all other properties abutting Atlantic Boulevard, there shall be no minimum setback required.
- d. For properties with buildings greater than 6 stories in height that are abutting US1 between NE 4th Street and SE 4th Street the minimum setback along the front and street side property lines shall be 20 feet from the face of the building. The setback shall begin above the fifth floor only, for all other properties abutting US1, there shall be no minimum setback required.

E. Use-Areas/Density Regulating Plan

The Use-Areas/Density Regulating Plan is intended to delineate the areas where different types of land uses and densities are permitted in order to establish compatibility with the single-family neighborhoods.

1. Use-area Designations and Standards

The designation of moderate- to high-intensity, compact, mixed-use, and pedestrian-oriented development, within walking distance of the commercial core and transit routes and facilities, is intended to provide a critical mass of housing and improve walkability of the district.

- a. The following is encouraged:
 - i. High-activity nonresidential uses such as retail shops and restaurants at street level along E Atlantic Blvd and Federal Hwy, to enable the appropriate natural surveillance of the public realm to ensure safety and activity along the corridors and create the sense of a vibrant and active urban center.
 - ii. A compatible transition between the district's commercial/mixed-use areas and lower-intensity residential neighborhoods and between the district and adjacent residential neighborhoods, where applicable.
- b. The following shall apply:
 - i. All new and existing development shall comply with the standards found within the Use-Areas/Density Regulating Plan and the Principal Uses Regulating Table 155.3709.E.2. The Use-Areas/Density Regulating Plan separates the EOD into use areas. Table 155.3709.E.1 lists the use areas and the requirements of residential and nonresidential uses within the two mixed-use use areas (MM and MUR) of the EOD.

TABLE 155.3709.E.1: MIXED-USE USE AREAS WITH REQUIREMENTS FOR RESIDENTIAL AND NONRESIDENTIAL USES

Note: This table is best viewed in PDF, click [HERE](#)

TABLE 155.3709.E.1: MIXED-USE USE AREAS WITH REQUIREMENTS FOR RESIDENTIAL AND NONRESIDENTIAL USES		
USE AREA	RESIDENTIAL	NONRESIDENTIAL
MM: Mixed Use Main Street	For buildings abutting East Atlantic Blvd or Federal Highway. Not permitted on the first 20-feet of depth on the 1st floor fronting East Atlantic Blvd and US-1 except residential lobby entrances can be up to 50% of frontage, optional on 2nd floor and above. For portions of buildings not abutting East Atlantic Blvd or Federal Highway optional on 1st floor and above.	For buildings abutting East Atlantic Blvd or Federal Highway. Required on the first 20-feet of depth on the 1st floor fronting East Atlantic Blvd or Federal Highway, optional on 2nd floor and above. For portions of buildings not abutting East Atlantic Blvd and US-1, optional on 1st floor and above.
MUR: Mixed Use Residential	Optional on 1st and 2nd floor Required on 3rd floor and above	Optional on 1st and 2nd floor

c. Principal Uses Regulating Table

Table 155.3709.E.2 includes the principal uses permitted in the EOD along with any required restrictions on such uses, for each of the use areas listed above. Principal uses not included in Table 155.3709.E.2 are not permitted in the EOD. Principal uses in the EOD shall be subject to the use-specific standards as provided for in Part 2, of Article 4, unless specifically noted otherwise in Section 155.3709.E.1.e (Modified Use Standards).

d. Permitted Accessory Uses and Structures

Accessory uses and structures in the EOD shall be subject to the use-specific standards as provided for in Part 3, of Article 4. The following accessory uses shall be allowed by right in the EOD:

- i. Walk-up window service as accessory to an eating or drinking establishment.
- ii. Outdoor display of merchandise for sale or rental as accessory to a retail sales and service use, in accordance with the standards in Section 155.4303.U, Outdoor Display of Merchandise, and the following:
 - a. Outdoor display of merchandise is permitted only on private property and private sidewalks.
- iii. Outdoor seating as accessory to an eating or drinking establishment (including sidewalk cafes), in accordance with the standards in Section 155.4303.V.

e. Modified Use Standards

The following use-specific standards are modified for the EOD:

- i. Community center, library, and civic centers owned or operated by the city or CRA are permitted to have accessory use of outdoor musical performances (located not totally and permanently enclosed within a building) and are exempt from the requirements to obtain a permit in accordance with City Code Section 132.26 (Outdoor Musical Performance).
- ii. Civic centers shall be exempt from the requirement to be located on a lot with an area of at least five acres in accordance with Section 155.4211.A.3.a (Civic Center).
- iii. Arena, stadium, or amphitheater shall be exempt from the requirement to be located on a lot with an area of at least five acres in accordance with Section 155.4217.B.3.a (Arena, Stadium, or Amphitheater).
- iv. Parking deck or garage (as a principal use) shall be designed in a manner that encourages pedestrian and transit usage.
- v. In the core sub-area, eating and drinking establishments with outdoor seating, fronting on Atlantic Blvd and Federal Hwy only, shall be exempt from the restriction on sound production or reproduction machine or device in accordance with Section 155.4303.V.3.a (Outdoor Seating, including sidewalk cafes as accessory to an eating and drinking establishment).
- vi. A consignment boutique shall only be permitted outside of the first 20-feet of depth of a building that fronts on Atlantic Boulevard or Federal Hwy.
- vii. A medical office shall only be permitted provided it complies with the following standards:
 - a. Hours of operations open to the public for treatment are limited to 7:00 a.m. until 7:00 p.m.
 - b. Medical offices fronting on Atlantic Boulevard shall not have any space used for patient examination in the first 20-feet of depth of the building abutting Atlantic Boulevard.
- viii. A personal services establishment whose principal services are massage therapy shall only be permitted provided it complies with the following standards:
 - a. Hours of operations for treatment are limited to 7:00 a.m. until 7:00 p.m.
 - b. Public access is limited to a storefront abutting a street.
 - c. Special exception approval is required if the establishment is located less than 1,000 feet from another personal services establishment whose principal services are massage therapy. For purposes of this subsection, the distance shall be measured from the pedestrian building entrances.
- ix. Brewpubs may be permitted to produce up to 930,000 gallons of fermented malt beverage annually, provided they comply with the following standards:
 - a. No more than 75% of the total gross floor area of the brewpub shall be used for the brewery function including, but not limited to, the brew house, boiling and water treatment areas, bottling and kegging lines, malt milling and storage, fermentation tanks, conditioning tanks and serving tanks;
 - b. At least 10% of the total gross floor area or 1,000 square feet whichever is greater, shall be used for an accessory commercial component (i.e., tasting room and retail showroom); and
 - c. The brewery function shall be carried out so as to not allow the emission of objectionable or offensive odors or fumes in such concentration as to be readily perceptible at any point at or beyond the brewpub.

2. Density Area Designations and Standards

- a. All new and existing development shall comply with the standards found within the Use-Areas/Density Regulating Plan which separates the EOD into seven density areas.
- b. The density areas, along with their required minimum and maximum residential densities are shown on the Use-Areas/Density Regulating Plan. Density areas with a minimum density of 0 signifies the density area does not require residential units; rather residential density is optional. However, if residential units are developed they shall comply with the minimum and maximum residential densities in accordance with the net acre requirement.
- c. Density Calculations:
 - i. Parcels with two or more density area designations shall determine the number of units permitted on the parcel by calculating the number of units permitted in each density area separately.
 - a. For example, a parcel has 10 acres of which 5 acres are in the MM(0-24) density area and 5 acres are in the MM(0-60) density area.
 - 5 acres x 24 units/acre = 120 units
 - 5 acres x 60 units/acre = 300 units
 - Total units permitted = 420 units
 - ii. Development parcels with two or more density area designations shall unify for development purposes and may cluster units within the most intense density area of the development parcel, provided:
 - a. the total number of units built does not exceed the total number of units permitted for each parcel (see the example above), and including eligible density bonuses;
 - b. the maximum permitted building height as shown in the Sub-Areas/Building Height Regulating Plan is not exceeded; and
- d. Density Bonus Options

In addition to the maximum densities demonstrated on the Use Areas/Density Regulating Plan, properties within the EOD may be eligible for a density bonus in accordance with Table 155.3709.E.3. In no case shall a property be permitted to utilize a density bonus option more than once, however, any combination of options shall be permitted. In no case shall a property be permitted to exceed 150 dwelling units per acre.

TABLE 155.3709.E.3: Density Bonus Options

Note: This table is best viewed in PDF, click [HERE](#)

TABLE 155.3709.E.3: Density Bonus Options			
Bonus Option	Sub-Area	Density Bonus	Requirement
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Bonus Option	Sub-Area	Density Bonus	Requirement
#1	Core and Center	20 units/acre	All new non-residential, multi-family residential and mixed-use construction that provide public art using one or a combination of the following strategies: 1. A fee equal to 1% of the project's construction costs or \$250,000 whichever is less; 2. A piece of artwork valued at 1% of the project's construction costs or a maximum of \$250,000, whichever is less. a. The artwork shall be accessible to the public and may be displayed in public open spaces or areas along the street abutting the building. b. Public art shall be required to receive a recommendation by the Public Art Committee and approval from the City Commission. c. Funds, or an appropriate bonding instrument, shall be placed in escrow at the time of building permit and will be held until the art is approved after installation.
#2	Core and Center	20 units/acre	Properties that provide a designated public open space or publicly accessible open space a minimum of 4,800 square feet or a combination of up to three designated public open spaces or publicly accessible open space a total of 4,800 square feet
#3	Core and Center	20 units/acre	Development which achieves at least 28 points in accordance with Table 155.5802, Sustainable Development Options and Points or is designated LEED Gold or Platinum
#4	Core	10 units/acre	Properties that provide cross block connection through a pedestrian passage a minimum of 15 feet wide.
#5	Core	40 units/acre	Properties that provide public parking in accordance with the following: a. The minimum number of spaces required for off-street parking are provided using one or more of the off-street parking alternatives; b. A minimum of 10% of the parking spaces are reserved for public parking. The 10% of parking spaces shall be calculated by multiplying the required spaces for the total units including any density bonuses x 10%. (Total required parking spaces X 0.1 = public parking spaces). c. A lease agreement with the city, at a rate established by the city, shall be recorded for a term not less than 50 years
#6	Core	20 units/acre	Properties that provide structured parking to accommodate 100% of the total required parking need for the development.
#7	Core	20 units/acre	Properties that provide a minimum of 25% of residential units as small studio or 1 bedroom units. This shall be units that are 600 square feet or less.

F. Street Network Connectivity Regulating Plan and Street Design Standards

The Street Network Connectivity Regulating Plan is intended to show the approximate location of existing and required new streets needed to create the prescribed network of streets within the EOD. This plan also establishes the hierarchy of the streets within the EOD. All streets shall be located according to the Street Network Connectivity Regulating Plan for the EOD. The intent of the street design standards is to ensure that streets are improved based on street design parameters that enhance the streetscape and encourage walking and biking.

1. Modified Street Standards

The street standards specified in Section 155.3501.H shall apply except as modified herein:

a. Only specific existing alleys and tertiary streets, as specified in the Street Network Connectivity Regulating Plan, may be deleted for the purpose of assembling parcels for development. All other existing and new alleys/service roads and tertiary streets shall be required and may be modified with respect to alignment only. In addition, the following shall apply:

i. The vacation of SE 3rd Avenue shall only be permitted to occur if the proposed development to the east of the existing public park provides the following:

(A) Building frontage and active uses along the ground floor for the first 20-feet of depth of the building fronting the public park, Atlantic Boulevard and waterway;

(B) Vehicular access off a new alley/service road located on the east side of the proposed development;

(C) Public parking: In addition to the minimum number of spaces required for off-street parking, the developer shall reserve a minimum of 10%, of the required off-street parking spaces, for public parking to serve the patrons of the park. A lease agreement with the city, at a rate established by the city, shall be recorded for a term not less than 50 years; and

(D) Service access for the South Florida Water Management Facility along the waterway.

2. Street Development Regulating Diagrams

All streets shall be designed according to the typical street sections and standards specified in the Street Development Regulating Diagrams to the extent possible in coordination with the City Engineer. Streets not specifically mentioned shall follow one of the typical sections that corresponds with the width of the right-of-way, the sub-area the building is within, and whether the street is a designated greenway.

G. Block Requirements.

The following standards for blocks shall apply to property with a minimum area of 2.3 acres (100,000 sq ft):

a. The maximum length of a block in the EOD shall be 530 feet for properties east of US1 and 630 feet for properties west of US1.

b. The maximum perimeter of a block in the EOD shall be 1,560 feet for properties east of US1 and 1,760 feet for properties west of US1.

c. The Director of Development Services or his/her designee shall have the authority to adjust administratively the requirements for maximum block length and/or perimeter, for up to 10% of the required measurement.

H. The Designated Publicly Accessible Open Space and Greenway System Regulating Plan.

The Designated Publicly Accessible Open Space and Greenway System Regulating Plan is intended to locate existing public open spaces, the new designated publicly accessible greenway system, and the new designated publicly accessible waterway system which shall be shown in all development plans.

1. The intent of the waterfront promenade design standards is to ensure continuous public access and open space along the waterfront as a public amenity.

2. General Waterfront Design Standards for Properties Abutting the Intracoastal Waterway

Development along the Intracoastal Waterway shall be required to provide the following:

a. Pedestrian passageway providing access to the waterfront and the nearest sidewalk adjacent to public right-of-way, where applicable;

b. Wayfinding signage shall be provided that indicates the public access point from the public R.O.W., where applicable;

c. Public access along waterfront promenade;

d. Pervious pavement and/or heat reducing pavement;

e. Shading, either via landscaping or canopies or both;

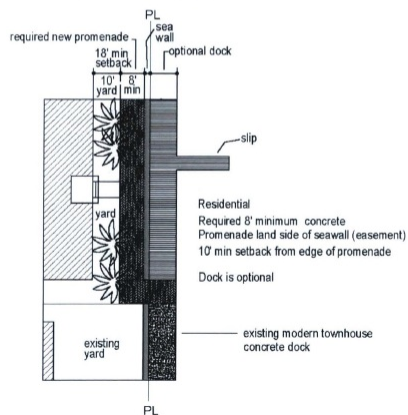
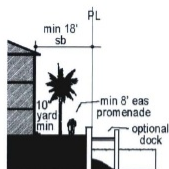
f. Lighting, including the use of solar lighting within the promenade, where practical; and

g. Pedestrian features such as benches and trash receptacles.

3. Specific Waterfront Promenade Design Standards

All waterfront promenades shall be designed according to the typical promenade sections and standards specified below.

a. Residential waterfront promenade - The dedication and development of the residential waterfront promenade is applicable to any repair, reconstruction, rehabilitation, addition, or other improvement of a building or structure, the cost of which equals or exceeds 49% of the market value of the building or structure before the improvement or repair is started.



i. An 8-foot easement shall be required on the waterfront, as redevelopment occurs, for the establishment of a concrete waterfront promenade along the land side of the seawall for residential development.

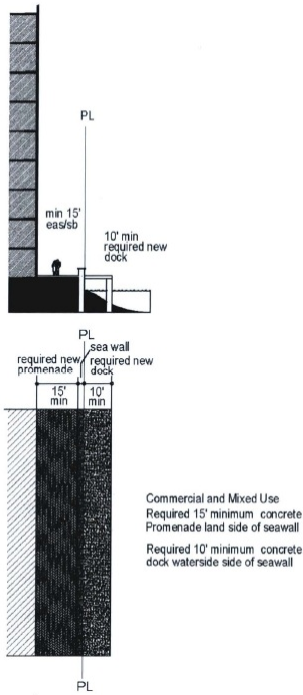
ii. The setback shall be a minimum of 18 feet from the waterfront property line.

iii. Docks are optional on the water side of the seawall and shall not be required to be publicly accessible.

iv. One hundred percent of the easement/promenade shall be publicly accessible, clear and unobstructed for pedestrians.

v. Minimum building frontage (active-use) requirements for the first 20-feet of depth of the building fronting the promenade are 90% in the core, 80% in the center, and 70% in the edge sub-area.

b. Commercial/Mixed-Use Waterfront Promenade



- i. A 15-foot setback/easement shall be required from the waterfront property line, as redevelopment occurs, for the establishment of a concrete waterfront promenade along the land side of the seawall for commercial and/or mixed-use development.
- ii. A 10-foot concrete dock shall be required on the water side of the sea wall.
- iii. One hundred percent of the easement/promenade and docks shall be publicly accessible, clear and unobstructed for pedestrians.
- iv. Minimum building frontage (active-use) requirements for the first 20-feet of depth of the building fronting the promenade are 90% in the core, 80% in the center, and 70% in the edge sub-area.

I. Building Typology and Placement Regulating Diagrams and Modified Dimensional Standards

1. Building Typology

All new buildings shall conform to one of the permitted building typologies. The building typologies are demonstrated in the Building Placement Regulating Diagrams of the TO District, Section 155.3501.O.4 Building Placement Regulating Diagrams provide a schematic representation of the various building typologies, based on their sub-area. The diagrams demonstrate the required setbacks, lot standards, and profiles of structures. Not all building typologies are permitted in every sub-area of the EOD. (For instance, the tower and liner building typologies are considered the most intense and are not permitted in the edge sub-area.) Existing buildings that do not fit a prescribed typology shall follow the standards required for the flex building typology. The building typologies permitted in the EOD and their allowable sub-area locations are demonstrated on the Sub-Areas/Building Heights Regulating Plan.

2. Setbacks and Building Frontage

The interior side and rear side setback standards demonstrated on the Building Typology and Placement Regulating Diagrams shall apply. In addition, the following shall also apply in the EOD:

- a. Front and street side setbacks are determined based on the sub-area in which the building is located and the streetscape associated with the property as demonstrated on the Street Development Regulating Diagrams.

Table 155.3709.I.2.a: Minimum and Maximum Front and Street Side Setbacks (1)

Note: This table is best viewed in PDF, click [HERE](#)

Table 155.3709.I.2.a: Minimum and Maximum Front and Street Side Setbacks (1)			
	Minimum Setback (2)	Maximum Setback (2)	Exception See Street Development Regulating Diagrams for additional information on exceptions and specific and typical street designs
Core	0 feet	20 feet	1. In addition to the minimum setback, buildings along Atlantic Blvd (Section A) and Federal Hwy (Section B), where indicated on the Sub-Area/Building Heights Plan, shall provide a 20 foot stepback of the building above the 5th floor. 2. Federal Highway (Section B): 5-foot minimum setback, as an easement/dedication, may be required to accommodate expansion of the sidewalk. 3. Atlantic Blvd (Section A): A 0-foot setback is required, where a 110-foot ultimate right-of-way exists. A 5-foot setback may be requested, where sufficient lot depth exists, to be consistent with abutting development and accommodate expansion of the sidewalk. 4. Intersection with turning lane (Section T-5): 5-foot minimum setback, as an easement/dedication, may be required to accommodate expansion of the sidewalk. 5. 50' ROW (Section F or T-2): 1-foot setback, as an easement/dedication, may be required to accommodate on-street parking.
Center	0 feet	20 feet	1. Federal Highway (Section B): 5-foot minimum setback, as an easement/dedication, may be required to accommodate expansion of the sidewalk. 2. Intersection with turning lane (Section T-5): 5-foot minimum setback, as an easement/dedication, may be required to accommodate expansion of the sidewalk. 3. 50' ROW: 1-foot (Section F or T-2) to 5-foot (Section H) setback, as an easement/dedication, may be required to accommodate on-street parking.
Edge	10 feet	30 feet	1. Intersection with turning lane (Section T-5): 5-foot minimum setback, as an easement/dedication, may be required to accommodate expansion of the sidewalk. 2. 50' ROW (Section F or T-2): 1-foot setback, as an easement/dedication may be required to accommodate on-street parking.
Note	(1) Setbacks shall be measured from the property lines. (2) Minimum and maximum setback shall be as specified plus the dimension necessary for the exception.		

- b. The percentage of building frontage required is determined based on the sub-area in which the building is located and the street type the building fronts, and shown in Table 155.3709.I.2.b.
 - i. All buildings shall provide a minimum percentage of active use along the front and street side building frontages.
 - ii. Building facades along alley/service drives shall not be required to provide a minimum percentage of building frontage or active use.

Table 155.3709.I.2.b: Minimum Building Frontage (Active Use) Percentage per Street Type

Table 155.3709.I.2.b: Minimum Building Frontage (Active Use) Percentage per Street Type			
	Primary	Secondary	Tertiary

Core	90%	80%	70%
Center	80%	70%	60%
Edge	70%	60%	50%

3. Lot Standards

Lot standards, including but not limited to lot width and lot coverage, are determined based on the selected building typology. The lot standards are demonstrated on the Building Typology and Placement Regulating Diagrams.

- a. The Director of Development Services or his/her designee shall have the authority to adjust administratively the requirements for minimum lot depth and lot width, for up to 10% of the required measurement.

4. Minimum Unit Sizes for Residential Development

Table 155.3709.I.4: Minimum Unit Sizes for Residential Development

Table 155.3709.I.4: Minimum Unit Sizes for Residential Development			
Floor area per dwelling unit, minimum (square feet)			
SF	950		
MF	Efficiency Units	450	
	1 Bedroom	575	
	2 Bedroom	750	
	3 Bedroom	850	
	Additional Bedroom	100	

5. Additional EOD Standards

In addition to the Regulating Plans, the following standards apply to properties within the EOD.

- a. Reduced and/or Modified Off-Street Parking Standards

i. Properties developed in full compliance with the Use-Areas/Density Regulating Plan and the Density Regulating Plan are eligible for reduced parking. However in no case shall a property be permitted to utilize one of the following parking reductions and a parking reduction found in Section 155.5102.K (Reduced Parking Requirements for Parking Demand Reduction Strategies) or Table 155.5803.A: Sustainability Bonuses.

(A) Multifamily dwellings in the core and center sub-area: No off-street parking spaces are required for any multifamily dwellings that are constructed by, or have a valid building permit as of, the adoption date of this ordinance. Multifamily dwellings permitted thereafter shall provide a minimum of one off-street parking space per unit or one off-street parking space per 1,000 square feet of gross floor area or fraction thereof, whichever is greater.

(B) Multifamily dwellings in the edge sub-area shall refer to Table 155.5102.D.1: Minimum Number of Off-Street Parking Spaces for parking requirement.

(C) Selected off-street parking reductions for retail sales and service uses, eating and drinking establishments, professional office, or hotel uses constructed by or having a valid building permit as of January 4, 2026.

(1) Retail sales and service use: off-street parking is reduced only for the following.

(a) No additional off-street parking spaces are required for a change in use of an existing building.

(2) Eating and drinking establishments: off-street parking is reduced as follows:

(a) No additional off-street parking spaces are required for a change in use of an existing building.

(b) One parking space per eight persons of maximum occupancy capacity of customer service area is required for a new principal or accessory structure located on property greater than one acre.

(c) New principal or accessory structures located on property one acre or less shall refer to Table 155.5102.D.1: Minimum Number of Off-Street Parking Spaces for parking requirement.

(d) The above reductions in (a) and (b) are not applicable to nightclub or hall for hire.

(3) Professional office use: No additional off-street parking spaces are required for a change in use of an existing building.

(4) Hotel use: Off-street parking is reduced as follows:

(a) No additional off-street parking spaces are required for a change in use of an existing building.

(D) Selected off-street parking reductions for residential uses vertically integrated within a mixed-use development constructed by or having a valid building permit as of January 4, 2026.

(1) For purposes of this subsection, mixed use development shall mean developments that vertically integrate residential uses with retail sales and service uses, professional office uses, bar or lounges, brewpubs, restaurants, or specialty eating or drinking establishments.

(2) The off-street parking requirement for the residential use is reduced as follows:

(a) No additional off-street parking spaces are required for a change in use of an existing building.

(E) No Nonconforming Site Feature

The temporary waiver of off-street parking requirements provided in subsections (A) and (B) above shall not be deemed to create any nonconforming site feature with respect to the lack of parking spaces that otherwise would have been required of a development during the waiver period.

6. Modified Perimeter Buffer Standards

Development that is required to obtain Major Site Plan or Minor Site Plan approval shall provide a perimeter buffer to separate it from abutting property that is a less intensive use or inconsistent use, including developed or vacant property in accordance with Table 155.5203.F.3 Required Buffer Types and Standards with the following modifications:

(a) A Type B Buffer is required between a proposed non-residential or mixed-use development and land designated as "RS: Residential Single Family" or "RM: Residential Multi-family." However, if an alley/service road is provided, the buffer may be reduced to five feet and the location of the wall or semi-opaque fence and associated landscaping within the buffer will be at the discretion of the Development Services Director. Consideration will be given to the location of existing fencing, curb cuts, and existing development patterns.

7. Modified Residential Compatibility Standards

Residential compatibility standards throughout the TO and EOD supersede the residential compatibility standards found in Section 155.5604 which do not apply.

J. Traffic Analysis Requirements

The traffic study requirements shall be based on trip generation thresholds. The traffic study requirements are as follows:

1. If the proposed development is expected to generate less than 100 external trips per hour during the a.m. or p.m. peak hour of the adjacent street, a traffic study is not required unless the city determines that a traffic study is necessary due to special circumstances. If the proposed development is expected to generate more than 100 external trips per hour during the a.m. or p.m. peak hour of the adjacent street then a traffic study is required. Cost recovery fees will be charged to the applicant for evaluation of the required traffic analyses.

- a. Prior to initiating a traffic study, the applicant's traffic engineer must schedule a methodology meeting with the city and the city's consultant to determine:

- Study time periods and intersections
- Data to be collected
- Methodology for trip generation, trip generation factors, trip distribution, and growth rate
- Programmed roadway improvements and committed developments to be considered in the study
- Traffic analysis software/level of service standards and analysis factors to be utilized in the analyses and any other pertinent analyses to be included on site-specific basis (entry gate, queueing, neighborhood impact, etc.)
- The results of this meeting should be summarized in a memorandum by the applicant's traffic engineer to be submitted to the city for review and approval prior to initiating the traffic study.

- b. A traffic study prepared and signed and sealed by a licensed professional engineer should include:

- i. Cover Page
- ii. Executive Summary
- iii. Table of Contents
- iv. Introduction including:
 - Development details including location, uses and size, build out year
 - Project location map/figure
 - Reference to a site plan to be included in an appendix
 - Reference to approved methodology memorandum to be included in an appendix
- v. Project Traffic
 - Description of project access and access diagram (to scale) depicting ingress and egress access for the site and internal circulation routes.
 - Trip generation calculations.
 - Description of trip distribution and assignment procedures including distribution and assignment figures. Note that assignment must account for neighborhood streets.
- vi. Data Collection
- vii. Existing conditions including existing volume figure
- viii. Future background conditions (buildout year without project) including background volume figure

- ix. Future total conditions (buildout year with project) including total volume figure
- x. Capacity analyses
- xi. Intersection approach queueing
- xii. Mitigation strategies (if necessary)
- xiii. Maneuverability analyses for loading areas/parking garages (if necessary)
- xiv. Consistency with any adopted city neighborhood protection and enhancement plans
- xv. Bicycle and pedestrian facility inventory in the surrounding area
- xvi. Any other items to be included per the approved methodology
- xvii. Conclusions

K. Affordable Housing

The ETOC land use plan amendment created 2,399 new residential units and a minimum of 15% of those units (360 units) are required to be affordable or to contribute to the implementation of the city's policies, methods and programs to achieve and/or maintain a sufficient supply of affordable housing in the city. The city has adopted a policy to require the use of the County's mixed income housing density bonus policies 2.16.3 or 2.16.4 for any project in the ETOC with seven or more units. This requirement can only be waived by the City Commission in a duly noticed public hearing upon the finding that additional affordable housing is not required at the specific location presented and public benefits will be derived by allowing the Applicant to use the city's in lieu of fee provision in Section 154.80.

The city may apply to new housing projects one or a combination of the following affordable housing strategies, without limitation:

1. Each residential development may be required to set aside a minimum of 15% of their proposed units as affordable housing to provide all or a portion of the required 360 affordable housing units as vertically integrated affordable housing; or
2. If the project is awarded their entitlements from the District's basket of rights, until such time as all 360 affordable housing units have been provided, each residential development shall contribute in-lieu-of fees per Code of Ordinances, Chapter 154 (Planning). These funds will be used to promote one or more of the following:
 - (a) programs that facilitate the purchase or renting of the existing affordable housing stock;
 - (b) programs which facilitate the maintenance of the existing supply of affordable housing;
 - (c) programs which facilitate the use of existing public lands, or public land-banking, to facilitate an affordable housing supply;
 - (d) other programs or initiatives designed and implemented by the city to address specific affordable housing market needs and challenges in the city that may arise, including but not limited to, strategies that reduce the cost of housing production; promote affordable housing development; prevent displacement; prevent homelessness; promote economic development; and promote transit amongst low-income populations.
3. If the project is awarded entitlements through Broward County policies 2.16.3 or 2.16.4, affordable housing will be provided as required by those policies as long as the minimum 15% of the units are affordable per the land use regulations. No buyout is allowed if using County Policy 2.16.3. The buyout if using County Policy 2.16.4 will be per that policy as it may be amended from time-to-time.

Regulating Plans/Maps for East Overlay District

Diagram 155.3709.D. Sub-Areas/Building Heights Regulating Plan [PDF]

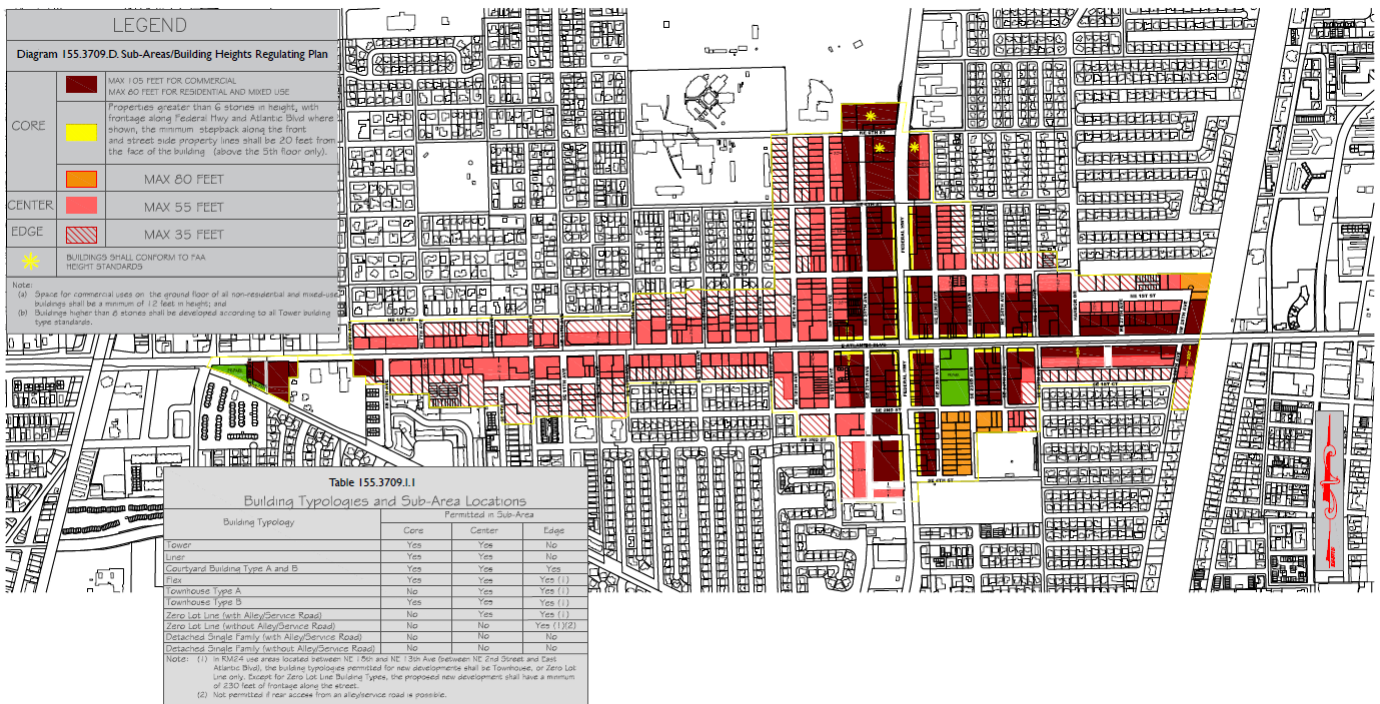


Diagram 155.3709.E. Use-Areas/Density Regulating Plan [PDF]

LEGEND	
Diagram 155.3709.E Use-Areas/Density Regulating Plan	
MM (0-24)	MIXED-USE MAIN STREET(O.R.) OPTIONAL RESIDENTIAL: (MIN. 0 UNITS/ACRE NET, MAX 24 UNITS/ACRE NET BY RIGHT)
MM (0-60)	MIXED-USE MAIN STREET(O.R.) OPTIONAL RESIDENTIAL: (MIN. 0 UNITS/ACRE NET, MAX 60 UNITS/ACRE NET BY RIGHT)
MM (0-90)	MIXED-USE MAIN STREET(O.R.) OPTIONAL RESIDENTIAL: (MIN. 0 UNITS/ACRE NET, MAX 90 UNITS/ACRE NET BY RIGHT)
MUR (36-60)	MIXED USE RESIDENTIAL (R.R.) RESIDENTIAL REQUIRED: (MIN. 36 UNITS / ACRE NET, MAX 60 UNITS / ACRE NET BY RIGHT)
MUR (36-90)	MIXED USE RESIDENTIAL (R.R.) RESIDENTIAL REQUIRED: (MIN. 36 UNITS/ACRE NET, MAX 90 UNITS/ACRE NET BY RIGHT)
RM24 (7-24)	MULTI FAMILY RESIDENTIAL (R.R.) RESIDENTIAL REQUIRED: (MIN. 7 UNITS/ACRE NET, MAX 24 UNITS/ACRE NET BY RIGHT)
RM36 (12-36)	MULTI FAMILY RESIDENTIAL (R.R.) RESIDENTIAL REQUIRED: (MIN. 12 UNITS/ACRE NET, MAX 36 UNITS/ACRE NET BY RIGHT)
P.R.	PARKS AND RECREATION ZONING
[Red Box]	CORE SUB-AREA
[Blue Box]	CENTER SUB-AREA
NOTE: Properties within the Core and Center Sub-Areas may be eligible for a density bonus in accordance with Table 155.3709.E.2.	



Table 155.3709.E.1
Mixed-Use Use-Areas with Requirements for Residential and Nonresidential Uses

Use-Area	Residential Uses	Nonresidential Uses
MM: Mixed-Use Main Street	For buildings abutting East Atlantic Blvd and Federal Hwy; Not permitted on the portion of the 1st floor fronting East Atlantic and Federal Hwy, except for lobby entrances (no greater than 50% of building frontage); Optional on 2nd floor and above. For portions of building not abutting East Atlantic Blvd and Federal Hwy: Optional on 1st floor and above.	For buildings abutting East Atlantic Blvd and Federal Hwy; Required on the portion of the 1st floor fronting East Atlantic Blvd and Federal Hwy; Optional on 2nd floor and above. For portions of buildings not abutting East Atlantic Blvd and Federal Hwy: Optional on 1st floor and above.
MUR: Mixed-Use Residential	Optional on 1st and 2nd floor. Required on 3rd floor and above.	Optional on 1st and 2nd floor.

Note: (1) In RM24 use areas located between NE 10th and NE 13th Ave (between NE 2nd Street and East Atlantic Blvd), the building typologies permitted for new developments shall be Townhouse, or Zero Lot Line only. Except for Zero Lot Line Building Types, the proposed new development shall have a minimum of 230 feet of frontage along the street.

Diagram 155.3709.F.1 Street Network Connectivity Regulating Plan [PDF]

LEGEND	
Diagram 155.3709.F.1 Street Network Connectivity Regulating Plan	
[Red Box]	EXISTING PRIMARY STREET
[Blue Box]	EXISTING SECONDARY STREET
[Magenta Box]	EXISTING TERTIARY STREET
[Light Magenta Box]	NEW TERTIARY STREET
[Pink Box]	EXISTING TERTIARY (TO BE VACATED FOR ASSEMBLY OF PARCELS ONLY)
[Light Pink Box]	EXISTING ALLEY (TO BE VACATED FOR ASSEMBLY OF PARCELS ONLY)
[Thin Line]	NEW ALLEYS / SERVICE ROADS
[Circle]	EXISTING STREET LIGHT
A H	ALL STREETS SHALL BE DESIGNED ACCORDING TO THE STREET SECTIONS AND STANDARDS SPECIFIED IN THE STREET DEVELOPMENT REGULATING DIAGRAMS.
NOTE:	
(1) STREETS NOT SPECIFICALLY MENTIONED SHALL FOLLOW ONE, OR A COMBINATION, OF THE TYPICAL SECTIONS (T-1 THROUGH T-8) CORRESPONDING WITH RIGHT-OF-WAY WIDTH, SUB-AREA, AND GREENWAY DESIGNATION.	
(2) ALTERNATIVE ROAD DESIGNS ARE ALSO PROVIDED IN THE STREET DEVELOPMENT REGULATING DIAGRAMS.	

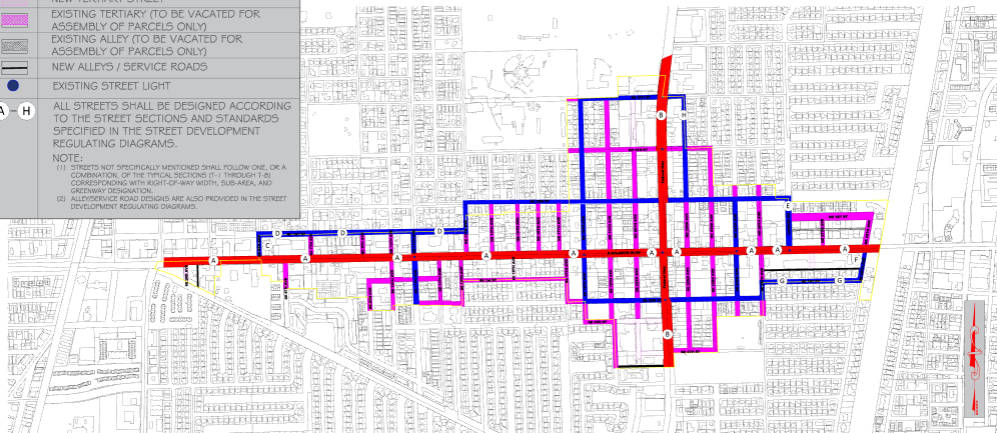
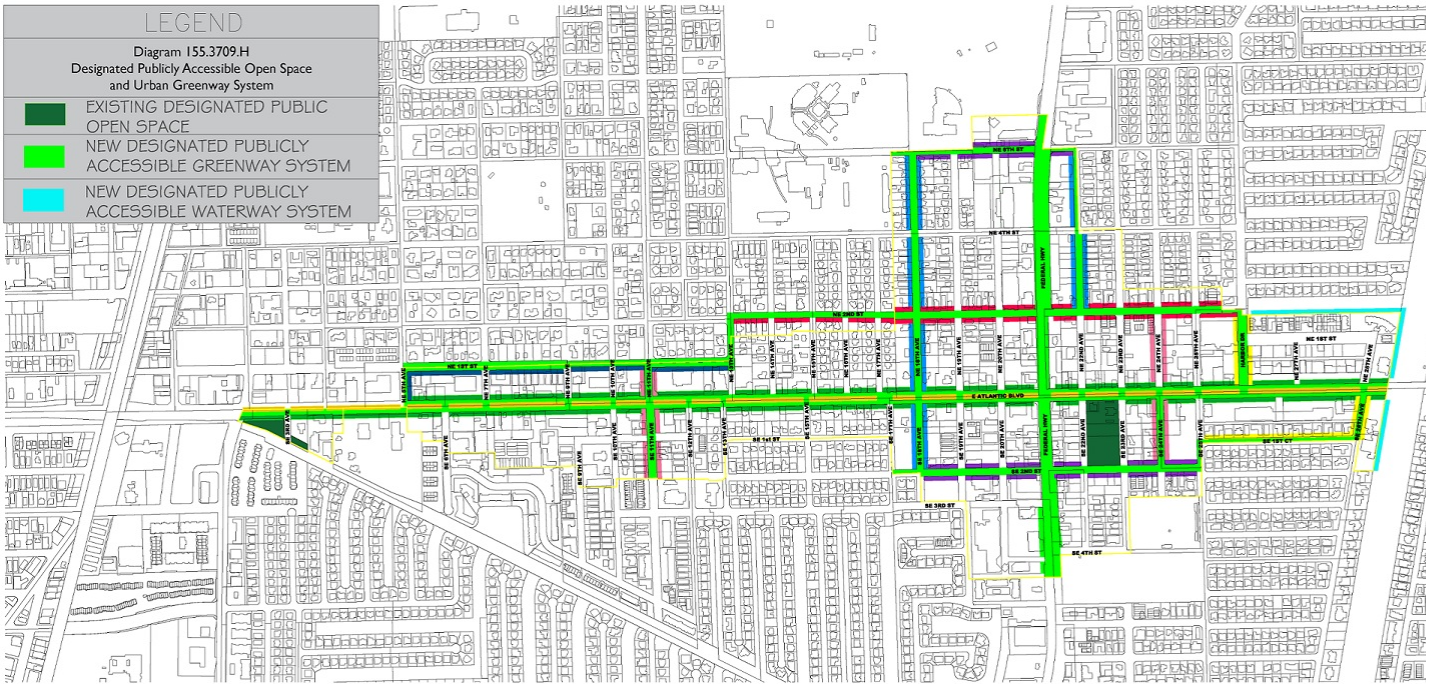


Diagram 155.3709.H. Designated Publicly Accessible Open Space and Urban Greenway System [PDF]



GREENWAYS FLOWERING TREES LEGEND:

- LIVE OAK (QUERCUS VIRGINIANA)
- YELLOW POINCIANA (PELTOPHORUM PTEROCARPUM)
- SILVER TRUMPET (TABEBUIA CARAIBA)
- GOLDEN SHOWER TREE (CASSIA FISTULA)
- APPLE BLOSSOM SHOWER TREE (CASSIA JAVANICA)
- GOLDEN TRUMPET (TABEBUIA CHRYSOTRICHIA)
- PURPLE TRUMPET (TABEBUIA IMPETIGINOSA)
- ROYAL POINCIANA (DELONIX REGIA)

TABLE 155.3709.E.2: PRINCIPAL USES REGULATING TABLE

Note: This table is best viewed in PDF, click [HERE](#)

TABLE 155.3709.E.2: PRINCIPAL USES REGULATING TABLE									
P = PERMITTED S = SPECIAL EXCEPTION BLANK = NOT PERMITTED 1 = 2nd Floor Only if multistory building fronting Federal Highway or Atlantic in the core sub-area 2 = In core sub-area only east of 20th Avenue 3 = Except if directly abutting or across the street from an RM or RS use-area/zoning district 4 = Maximum 30,000 sf 5 = Except for residential lobby entrances (no greater than 50% of building frontage), the first 20-feet of depth fronting on Federal Highway and Atlantic must be nonresidential active use 6 = See modified use standards in 155.3709.E.1.e.									
Use Types		Use Areas (EOD)							
		MM		MUR		RM24	RM36	PR	
		1st & 2nd Floors	3rd Floor & above	1st & 2nd Floors	3rd Floor & above				
TABLE 155.3709.E.2: PRINCIPAL USES REGULATING TABLE									
P = PERMITTED S = SPECIAL EXCEPTION BLANK = NOT PERMITTED 1 = 2nd Floor Only if multistory building fronting Federal Highway or Atlantic in the core sub-area 2 = In core sub-area only east of 20th Avenue 3 = Except if directly abutting or across the street from an RM or RS use-area/zoning district 4 = Maximum 30,000 sf 5 = Except for residential lobby entrances (no greater than 50% of building frontage), the first 20-feet of depth fronting on Federal Highway and Atlantic must be nonresidential active use 6 = See modified use standards in 155.3709.E.1.e.									
Use Types		Use Areas (EOD)							
		MM		MUR		RM24	RM36	PR	
		1st & 2nd Floors	3rd Floor & above	1st & 2nd Floors	3rd Floor & above				
RESIDENTIAL USES									
Single Family Res. (155.4202)	Dwelling, Single-family (provided they shall only be permitted at locations that had a site plan approved for such use prior to the date of adoption of this code.)								
Household Living Uses (155.4202)	Dwelling, live/work	P	P	P	P				
	Dwelling, multifamily	P(5)	P	P	P	P	P		
	Dwelling, single-family (zero lot line)			P	P	P			
	Dwelling, mixed-use	P(5)	P	P	P				
	Family community residence	P(5)	P	P	P	P	P		
Group Living Uses (155.4203)	Transitional community residence	P(5)	P	P	P	P	P		
	Continuing care retirement community			P	P	P	P		
	Assisted living facility			P	P				
	Rooming or boarding house			S	S	S	S		
	Recovery community	P(5)	P	P	P	P	P		
INSTITUTIONAL USES									
Communication uses	Newspaper or magazine publishing	P	P	P					
	Radio or television station	S	S	S					
	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	P	P	P	P	P	P	
Community Service Uses (155.4205)	Community center (6)								
	Library (6)								
	Museum	P	P	P					
	Senior center								
Day Care (155.4206)	Youth center								
	Adult Day Care Uses	P(1)	P	P					
	Child Care Facility	P(1)	P	P					
Educational Uses (155.4207)	College or university								
	School, elementary								
	School, high	P	P	P					
	School, middle								
	Speciality arts School								

	Vocational or trade school							
Government Uses (155.4208)	Courthouse facility							
	Fire or EMS station							
	Government administrative offices	P	P	P				
	Police station							
	Post office							
Health Care Uses (155.4209)	Medical Office (6)	P	P	P				
	Urgent Care Facility 24 hours (6)	S	S	S				
	Nursing home facility	P	P	P	P			
Open Space Uses (155.4210)	Arboretum or botanical garden	P		P		P	P	P
	Community garden	P		P		P	P	P
	Park or Plaza	P		P		P	P	P
Other Institutional	Civic center (6)	S(1)	S	S				
Uses (155.4211)	Lodge or club	P(1)	P	P				
	Place of worship	P(1)	P	P		S	S	
Transportation Uses (155.4212)	Transportation Passenger Station / Terminal	P	P	P				
Utility Uses (155.4213)	Utility use, minor	P	P	P	P	P	P	P
COMMERCIAL USES								
Animal Care Uses (155.4214)	Animal Grooming	P	P	P				
	Pet Shop	P	P	P				
	Veterinary hospital or clinic	P	P	P				
Boat and Marine Sales and Service Uses (155.4215)	Boat or marine parts sales without installation	P	P	P				
	Boat sales and rental	P	P	P				
	Docking facility, commercial fishing boat	P	P					
	Docking facility, recreational boat	P	P					
	Marina	P	P					
Yacht club	P	P						
Business Support Service (155.4216)	Business Service Center	P	P	P				
	Conference or Training Center	P	P	P				
	Employment agency	P(1)	P	P				
	Telephone call Center	P(1)	P	P				
	Parcel Services	P	P	P				
	Travel agency	P	P	P				
Comm. or Membership Rec. (155.4217)	Amusement Arcade	P	P	P				P
	Arena, Stadium or Amphitheatre (6)							S
	Auditorium or Theatre	P	P	P				
	Bowling Alley or Skating Rink	P	P	P				
	Motion Picture theatre	P	P	P				
	Racquet Sports facility	P	P	P				P
	Other Indoor Commercial or Membership Recreational/Entertainment Use	P	P	P				
Eating and Drinking Establishments (155.4218)	Bar or lounge	P(3)	P(3)	P(2)				
	Brewpub (6)	P(3)	P(3)	P(2)				
	Hall for Hire	P(3)	P(3)	P(2)				
	Nightclub	P(3)	P(3)	P(2)				
	Restaurant	P	P	P				P
	Specialty eating or drinking establishment	P	P	P				P
Motor Vehicle Sales and Service Uses (155.4219)	Parking Deck or Garage (As a Principal Use) (6)	P	P	P	P			
	Parking Lot (As a Principal Use)	P	P	P	P			
Office Uses (155.4220)	Professional Office	P	P	P				
	Contractor's Office	P(1)	P	P				
Retail / Personal Services (155.4221)	Art, music, dance studio	P	P	P				
	Bank or financial institution	P(1)	P	P				
	Dry cleaning or laundry drop-off establishment	P	P	P				
	Funeral home or mortuary			P				
	Laundromat			P				
	Personal and household goods repair establishment	P	P	P				
	Personal services establishment (6)	P	P	P				
Retail / Retail Sales (155.4222)	Antique store	P	P	P				
	Art gallery	P	P	P				
	Beer or Wine Store, Specialty	P	P	P				
	Book or media shop	P	P	P				
	Consignment boutique (6)	P	P	P				
	Drug store or pharmacy	P	P	P				
	Farmers' market	P	P	P				
	Grocery store	P	P	P				
	Home and building supply center	P(4)	P(4)	P(4)				
	Other retail sales establishment	P	P	P				
Visitor Accommodation Uses (155.4225)	Indoor mall or marketplace	P	P	P				
	Condo Hotel	P	P	P	P			
	Bed and Breakfast Inn	P	P	P		P	P	
Industrial Services Uses	Hotel or Motel	P	P	P				
	Repair of scientific or professional instruments	P	P	P				
ACCESSORY USES								
A = Permitted Accessory Use T = Temporary Use Allowed with a Major Temporary Use Permit t = Temporary use Allowed with a Minor Temporary Use Permit I = Interim use allowed with an Interim Use Permit								
	Accessory Dwelling Units							
	Automated teller machines	A	A	A				
	Bike rack	A	A	A	A	A	A	A

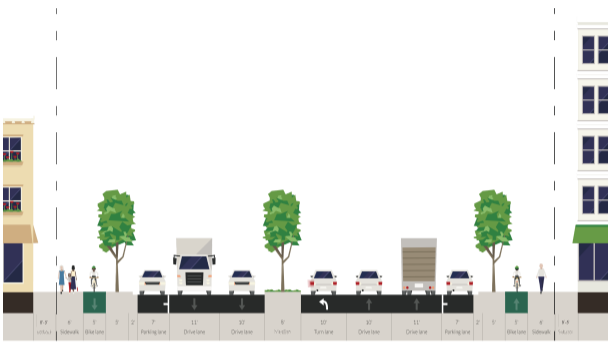
	Canopy, vehicular use	A	A	A				
	Clothesline (as accessory to residential uses)							
	Clubhouse	A	A	A	A	A	A	
	Dock	A	A	A		A	A	A
	Drop-in childcare	A	A	A				
	Electrical vehicle level 1 or 2 charging station	A	A	A	A	A	A	A
	Electrical vehicle level 3 charging station	A	A	A	A	A	A	A
	Family childcare home					A		
	Family childcare home, large					A	A	
	Fence or Wall	A	A	A	A	A	A	A
	Garage or carport	A	A	A	A	A	A	A
	Greenhouse	A	A	A	A	A	A	A
	Green roof	A	A	A	A	A	A	A
	Home-based business	A	A	A	A	A	A	A
	Outdoor display of merchandise	A		A				
	Outdoor seating including sidewalk cafes (as an accessory to eating and drinking establishments)	A		A				A
	Parking and storage of motor vehicles, recreation vehicles, boats, airboats, or trailers in residential districts					A	A	
	Parking and storage of commercial vehicles in residential districts					A	A	
	Rain water cistern or barrel	A	A	A	A	A	A	A
	Retail sales (as an accessory use)							A
	Satellite Dish	A	A	A	A	A	A	A
	Small Wind Energy System	A	A	A	A	A	A	A
	Solar energy collection system	A	A	A	A	A	A	A
	Storage shed					A	A	A
	Swimming pool or spa or hot tub	A	A	A	A	A	A	A
	Television or radio antenna	A	A	A	A	A	A	A
	Dormitory (as accessory to education use)		A		A			
	Mechanical Equipment and similar features	A	A	A	A	A	A	A
	Uncovered porches, decks, patios, terraces, or walkways	A	A	A	A	A	A	A
	Flagpoles	A	A	A	A	A	A	A
	Lighting fixtures, projecting or freestanding	A	A	A	A	A	A	A
	Gazebo	A	A	A	A	A	A	A
	Screened enclosures with screened roof	A	A	A	A	A	A	A
	Eating and drinking establishments (as an accessory use)	A	A	A	A			A
	Bandshell and outdoor stage							A
TEMPORARY USES AND STRUCTURES								
	Farmers' market (as a temporary use)	T		T				T
	Temporary portable storage units					t	t	
	Temporary use of an accessory structure as a principal dwelling after a catastrophe			t		t	t	
	Interim commercial use	I	I	I				

STREET DEVELOPMENT REGULATING DIAGRAM

Note: Diagram 155.3709.F.2 Street Development Regulating Diagram is available in PDF, click [HERE](#)

A. ATLANTIC BLVD.

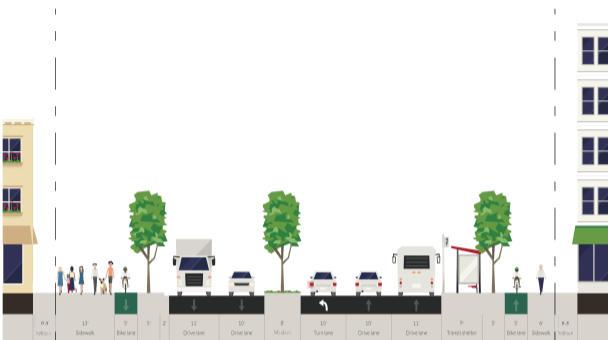
EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
A. Atlantic Blvd.



Street Type	Primary Street, Greenway featuring Live Oak Street Trees
Sub-Area	Core (90% Building Frontage), Center (80% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core and Center)
Right-of-Way Width	110'
Parking Lanes	Optional, See A. Atlantic Blvd. (alternatives to on-street parking)
Bike Lanes	5' buffered, at a continuous level with the sidewalk, delineated by color and texture or material
Walkway Type	6', between buffered bike lane and property line
Landscape Type	5' tree grates abutting parking or building entrances, or 5' landscape strip
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	18', with 10' turning lane where required
Notes	¹ Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.

A. ATLANTIC BLVD. (alternatives to on-street parking)

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
A. Atlantic Blvd. (alternatives to on-street parking)

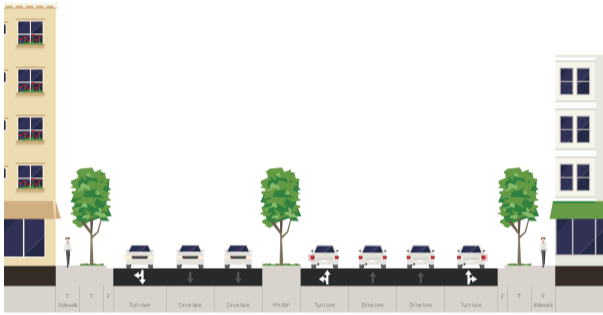


Street Type	Primary Street, Greenway featuring Live Oak Street Trees
Sub-Area	Core (90% Building Frontage), Center (80% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core and Center)
Right-of-Way Width	110'
Parking Lanes	Follow section A. Atlantic Blvd. for parking lane configuration
Bike Lanes	5' buffered, at a continuous level with the sidewalk, delineated by color and texture or material
Walkway Type	6 ft, minimum, between buffered bike lane and property line
Landscape Type	5' tree grates abutting parking or building entrances, or 5' landscape strip
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	18', with 10' turning lane where required
Notes	¹ Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.

B. FEDERAL HWY. (streetscape improves, no change to travel lanes)

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

B. Federal Hwy. (streetscape improvements, no change to travel lanes)



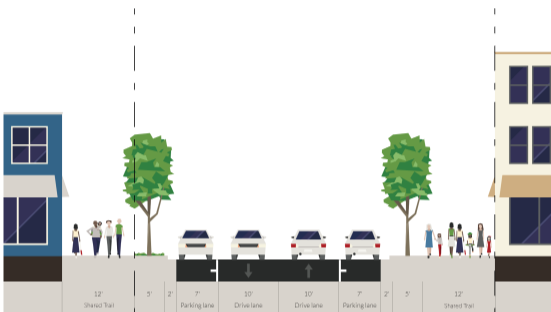
Street Type	Primary Street, Greenway
Sub-Area	Core (90% Building Frontage), Center (80% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core and Center)
Right-of-Way Width	Varies, maintained by Florida Department of Transportation
Parking Lanes	N/A
Bike Lanes	N/A
Walkway Type	5' Minimum
Landscape Type	5' landscape strip or 5' tree grates abutting parking or building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	Varies

- Notes
- Developed in accordance with Sec. 155.3501, H.T.O District Street Standards and Sec. 155.3709, I.2 Setbacks and Building Frontage.
 - Where there is an existing 5 foot sidewalk and there is not an existing 5 foot landscape strip or tree grates along the street edge, there shall be a minimum setback/encasement of 5 feet as redevelopment occurs, to accommodate the landscape strip and the sidewalk.

C. NE 5th Ave

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

C. NE 5th Ave



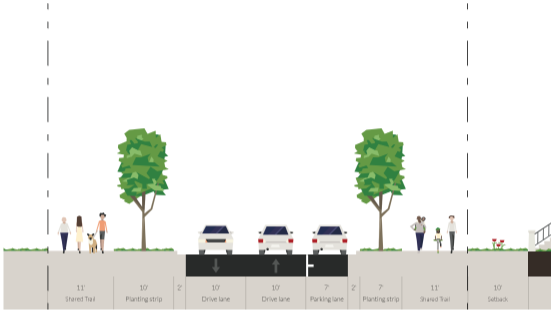
West side of roadway is within the TO/DPOD Zoning District

Street Type	Secondary Street, Greenway featuring Royal Poinciana Trees
Sub-Area	Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60' plus 12' easement on the west side
Parking Lanes	Required
Bike Lanes	Shared Trail
Walkway Type	Shared Trail
Landscape Type	5' landscape strip or 5' tree grates abutting parking or building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A

- Notes
- Developed in accordance with Sec. 155.3501, H.T.O District Street Standards and Sec. 155.3709, I.2 Setbacks and Building Frontage.
 - The west side of NE 5th Ave is within the DPOD. A minimum 12 foot easement is intended to provide a shared trail for bicyclists and pedestrians.

D. NE 1ST ST

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
D. NE 1st St.



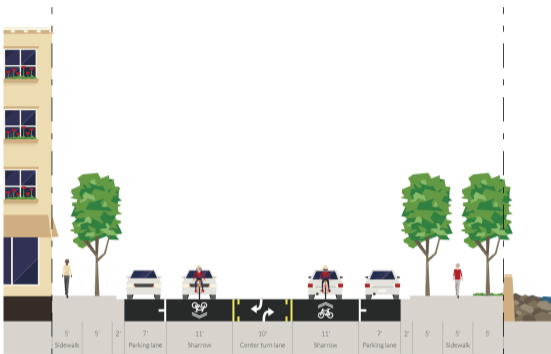
North side of roadway is not within the TOEOD Zoning District

Street Type	Secondary Street, Greenway featuring Royal Poinciana Trees
Sub-Area	Edge (60% Building Frontage)
Setback ¹	Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	70'
Parking Lanes	On the south side only
Bike Lanes	Shared trail
Walkway Type	Shared trail
Landscape Type	10' landscape strip on the north side, 7' on the south side
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A

- Notes
1. Developed in accordance with Sec. 155.3501 H.T.O District Street Standards and Sec. 155.37091.2 Setbacks and Building Frontage.
 2. Tree grates may be used in lieu of a continuous landscape strip abutting on-street parking and building entrances.
 3. A minimum of 80 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, or ornamental grass.

E. HARBOR DR BETWEEN NE 2ND AVE AND ATLANTIC BLVD

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
E. Harbor Dr. between NE 2nd Ave and Atlantic Blvd.



Street Type	Secondary Street, Greenway featuring Silver Trumpet Trees
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	75'
Parking Lanes	Required
Bike Lanes	Sharrows
Walkway Type	5' Sidewalk
Landscape Type	5' tree grates or 5' continuous landscape strip
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	10' striped median or turning lane

- Notes
1. Developed in accordance with Sec. 155.3501 H.T.O District Street Standards and Sec. 155.37091.2 Setbacks and Building Frontage.
 2. A minimum of 20 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, ornamental grass, planters or tree grates.

F. SE 28TH AVE BETWEEN ATLANTIC BLVD AND SE 1ST CT

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
F. SE 28th Ave between Atlantic Blvd. and SE 1st Ct.



Street Type	Secondary Street, Greenway featuring Silver Trumpet Trees
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core/Center), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50' plus 1' as an easement on the east side to accommodate on-street parking
Parking Lanes	Required on the east side only
Bike Lanes	Sharrow
Walkway Type	5' Sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances (east side)
Curb Type	Raised curb abutting gutter adjacent to parking lane
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.1.2 Setbacks and Building Frontage. On the east side, setback minimums and maximums shall be measured from the required easement line.

G. SE 1ST CT BETWEEN 25TH AVE AND 28TH AVE

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
G. SE 1st Ct. between 25th Ave and 28th Ave



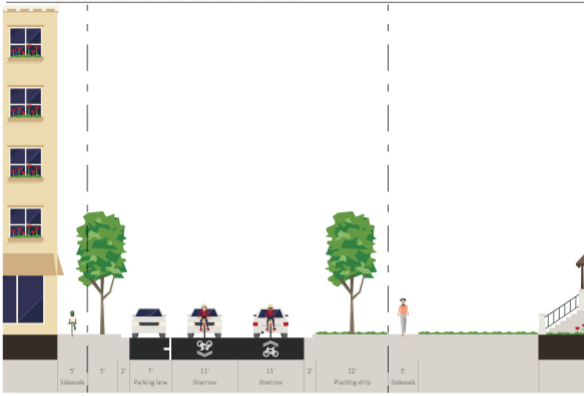
South side of roadway is not within the TO/EOD Zoning District

Street Type	Secondary Street, Greenway featuring Silver Trumpet Trees
Sub-Area	Edge (60% Building Frontage)
Setback ¹	10' Minimum to 30' Maximum (Edge)
Right-of-Way Width	60'
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	12' continuous landscape strip
Curb Type	Raised Curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.1.2 Setbacks and Building Frontage. A minimum of 80 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, or ornamental grass.

H. NE 22ND AVE BETWEEN NE 4TH AND NE 6TH ST

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

H. NE 22nd Ave between NE 4th and NE 6th St.



East side of roadway is not within the TO/EOD Zoning District

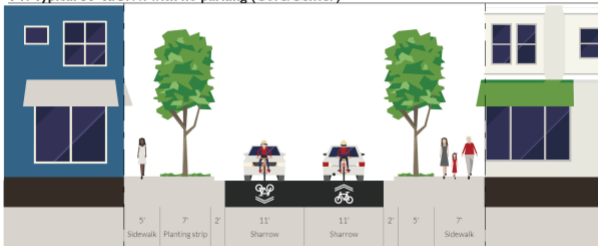
Street Type	Secondary Street, Greenway featuring Golder Shower Trees
Sub-Area	Center (70% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Edge)
Right-of-Way Width	60' plus 5' as an easement on both sides to accommodate the sidewalks
Parking Lanes	Required on the west side
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' tree grates or landscape strip on the west side, 12' landscape strip on the east side
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A

- Notes
1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.L.2 Setbacks and Building Frontage.
 2. Setback minimums and maximums shall be measured from the required easement line.

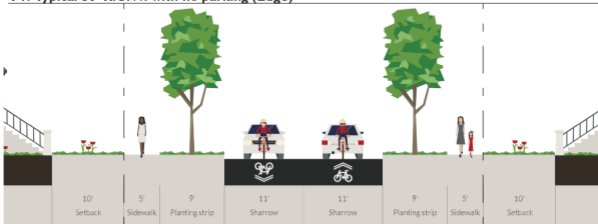
T-1. TYPICAL 50' R.O.W. WITH NO PARKING (CORE/CENTER) AND WITH NO PARKING (EDGE)

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

T-1. Typical 50' R.O.W. with no parking (Core/Center)



T-1. Typical 50' R.O.W. with no parking (Edge)

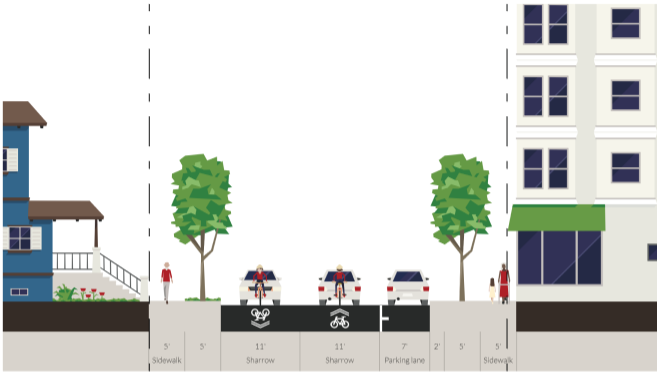


Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50'
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' to 7' sidewalk (Core/Center), 5' sidewalk (Edge)
Landscape Type	5' to 7' landscape strip or tree grates (Core/Center), 9' landscape strip (Edge)
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A

- Notes
1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.L.2 Setbacks and Building Frontage.
 2. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

T-2. TYPICAL 50' R.O.W. WITH PARKING ON ONE SIDE

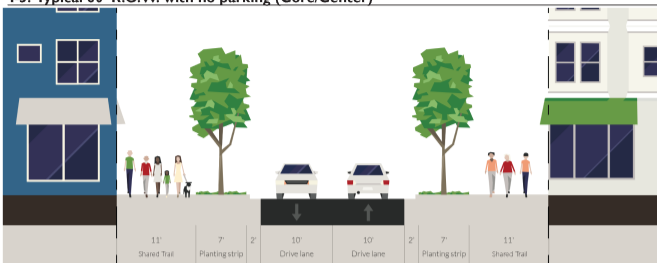
EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
T-2. Typical 50' R.O.W. with parking on one side



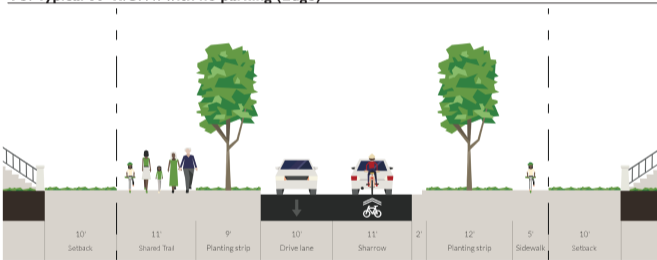
Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50' plus 1' as an easement to accommodate on-street parking
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501.H, TO District Street Standards and Sec. 155.3709.1.2 Setbacks and Building Frontage. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards. Setback minimums and maximums shall be measured from the property line or the required easement line.

T-3. TYPICAL 60' R.O.W. WITH NO PARKING (CORE/CENTER) AND WITH NO PARKING (EDGE)

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
T-3. Typical 60' R.O.W. with no parking (Core/Center)



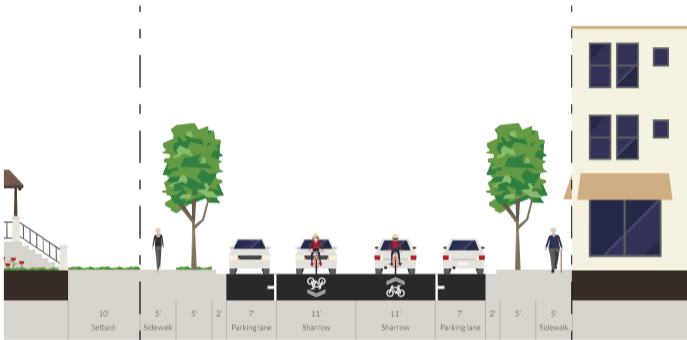
T-3. Typical 60' R.O.W. with no parking (Edge)



Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60'
Parking Lanes	N/A
Bike Lanes	Shared Trail or Sharrow
Walkway Type	11' Shared Trail or 5' sidewalk
Landscape Type	7' landscape strip (Core/Center), 9' to 12' landscape strip (Edge)
Curb Type	Raised curb abutting gutter, where required
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501.H, TO District Street Standards and Sec. 155.3709.1.2 Setbacks and Building Frontage. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

T-4. TYPICAL 60' R.O.W. WITH PARKING ON BOTH SIDES

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
T-4. Typical 60' R.O.W. with parking on both sides

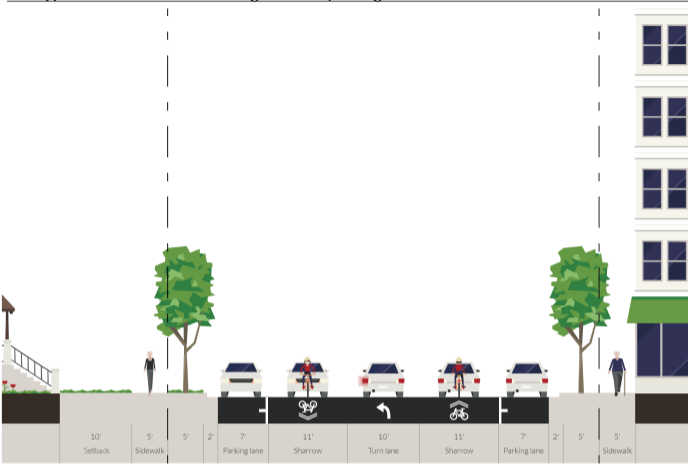


Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60'
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A

- Notes
1. Developed in accordance with Sec. 155.3501.H, TO District Street Standards and Sec. 155.3709.1.2 Setbacks and Building Frontage.
 2. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

T-5. TYPICAL 60' R.O.W. WITH TURNING LANE AND PARKING ON BOTH SIDES

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
T5. Typical 60' R.O.W. with turning lane and parking on both sides



Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60' plus 5', as an easement, on both sides to accommodate the sidewalk
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	10' turning lane or striped median
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501 H.T.O District Street Standards and Sec. 155.3709 I.2 Setbacks and Building Frontage. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

ALLEY/SERVICE DRIVE (ONE-WAY)

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
Alley/Service Drive (one-way)



Alley/Service Drive (two-way)

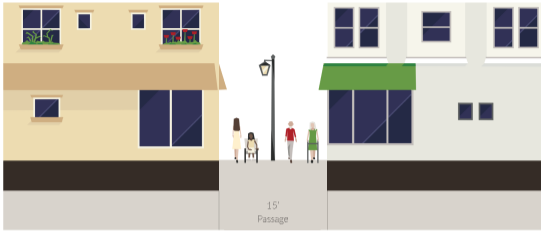


	Alley/Service Drive (one-way)	Alley/Service Drive (two-way)
Street Type	Alley/Service Drive (one-way)	Alley/Service Drive (two-way)
Sub-Area	Core / Center / Edge	Core / Center / Edge
Setback	0	0
Pavement Width	15' Alley	20' Alley
Parking Lanes	N/A	N/A
Bike Lanes	N/A	N/A
Walkway Type	N/A	N/A
Landscape Type	7.5' landscape strip on both sides	5' landscape strip on both sides
Curb Type	N/A	N/A
Street Trees	N/A	N/A
Median	N/A	N/A
Notes	<ol style="list-style-type: none"> Service Drives are to access parking areas and are on private property. 	

PEDESTRIAN PASSAGE

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

Pedestrian Passage (Core/Center)



Pedestrian Passage (Edge)



Street Type	Pedestrian Passage Core / Center	Pedestrian Passage Edge
Sub-Area	Core / Center	Edge
Setback	Varies with building typology	Varies with building typology
Passage Width	15'	5'
Parking Lanes	N/A	N/A
Bike Lanes	Shared Trail	N/A
Walkway Type	Sidewalk	Sidewalk
Landscape Type	Planters permitted	5' landscape strip on both sides
Curb Type	N/A	N/A
Street Trees	N/A	N/A
Median	N/A	N/A

Notes: A pedestrian passage may be required in accordance with the Open Spaces and Greenways Regulating Plan or may be provided, in accordance with the Building Typology and Placement Regulating Diagrams for setback relief.

RESIDENTIAL WATERFRONT PROMENADE

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

Residential Waterfront Promenade



Commercial Waterfront Promenade



Street Type	Residential Waterfront Promenade Core / Center / Edge	Commercial Waterfront Promenade Core / Center
Sub-Area	Core / Center / Edge	Core / Center
Setback ¹	Minimum 18' (8' easement required)	Minimum 15' (15' easement required)
Building Frontage	20' of depth; 90%, 80%, 70% per Sub-Area	20' of depth; 90%, 80% per Sub-Area
Dock	Optional	Minimum 10' required
Walkway Type	Minimum 8' concrete land side of seawall	Minimum 15' concrete land side of seawall

Notes: 1. Developed in accordance with Sec. 155.3709H