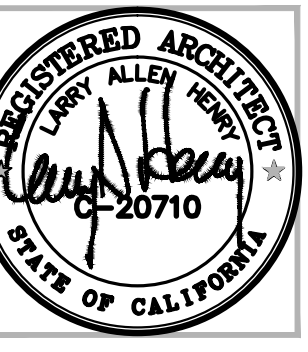


# THE UNDERGROUND RESTAURANT & BAR

LARRY HENRY ARCHITECTURE  
P.O. BOX 7682  
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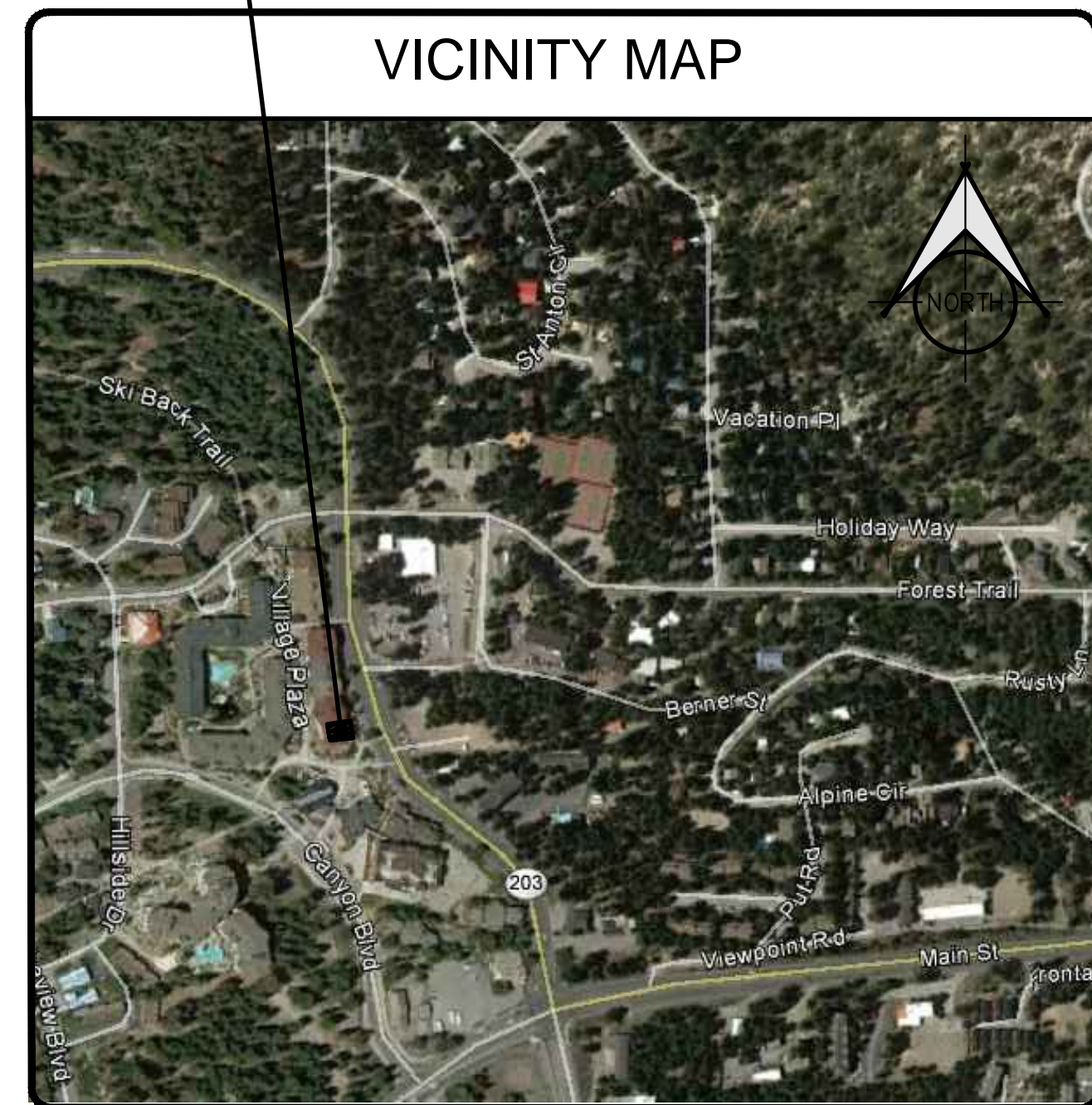
## ARCHITECT

LARRY HENRY ARCHITECTURE  
P.O. BOX 7682  
RENO, NEVADA 89510  
PH: 775.852.5556

## CONTRACTOR

OWNER BUILDER

PROJECT LOCATION  
6201 MINARET ROAD, UNIT 153  
MAMMOTH LAKES, CA 93456



VICINITY MAP

## PROJECT DESCRIPTION

THIS DESIGN DOCUMENT SET IS FOR THE UNDERGROUND RESTAURANT AND BAR. THE UNDERGROUND WILL BE LOCATED IN TENANT SPACE W2-14. TENANT SPACE IS +/- 5871 S.F. WHEN YOU INCLUDE BACK OF HOUSE KITCHEN AND STORAGE THAT WILL NOT BE MODIFIED. PHYSICAL ADDRESS IS 6201 MINARET ROAD, UNIT 153 MAMMOTH LAKES, CALIFORNIA.

THIS PERMIT IS FOR A TENANT IMPROVEMENT ONLY. THE SCOPE OF WORK IS LIMITED TO THE MAIN LEVEL RESTAURANT ONLY.

**SITE:**  
SITE IMPROVEMENTS ARE NOT PART OF THIS PERMIT.

**EXTERIOR REMODEL:**  
EXTERIOR REMODEL OF THIS PROJECT IS NOT PART OF THIS PERMIT.

**INTERIOR REMODEL:**  
BACK OF HOUSE KITCHEN AND STORAGE- WILL NOT RECEIVE CHANGES.

**FRONT KITCHEN:** THE MODIFIED FRONT KITCHEN SHALL REQUIRE MINOR DEMOLITION OF SEPARATION WALL. UTILITIES FOR EQUIPMENT THAT REMAINS SHALL NOT BE MODIFIED.

**BAR:** THE BAR SHALL REMAIN IN USE. IT SHALL BE MODIFIED IN SIZE. THE SIZE SHALL BE REDUCED TO ALLOW FOR COMPLETE CIRCULATION AROUND THE BAR. EXISTING EQUIPMENT AND UTILITIES SHALL REMAIN. NEW WALL FINISHES, AND DROP CEILINGS SHALL OCCUR IN THIS AREA. REFER TO PLANS.

**DINING 1:** SHALL REMAIN A DINING AREA. FIXED SEATING SHALL BE REMOVED AND REPLACE WITH MORE ADAPTABLE LOOSE SEATING. A DRY WAITRESS STATION SHALL BE INCLUDED IN THIS AREA. NEW FLOOR FINISHES, WALL FINISHES, AND DROP CEILINGS SHALL OCCUR IN THIS AREA. REFER TO PLANS.

**DINING 2:** SHALL REMAIN A DINING AREA. FIXED SEATING SHALL BE REMOVED AND REPLACE WITH MORE ADAPTABLE LOOSE SEATING. NEW WALL FINISHES, AND DROP CEILINGS SHALL OCCUR IN THIS AREA. REFER TO PLANS.

**BATHROOMS:** BATHROOMS LAYOUT AND FIXTURES WILL REMAIN. NEW PAINT WILL BE INSTALLED ABOVE EXISTING TILE. CONTRACTOR IS TO VERIFY ALL FIXTURE MEET ADA CODE REQUIREMENTS. SEE 1/A9.0.

**MECHANICAL:** EXISTING MECHANICAL SYSTEM SHALL REMAIN. MECHANICAL REGISTERS WILL BE MODIFIED ONLY AS NECESSARY TO WORK WITH NEW DROP CEILING.

**FIRE SPRINKLERS:** THE CURRENT FIRE SPRINKLER SYSTEM FOR THIS TENANT SPACE SHALL BE MODIFIED TO COMPLY WITH THE NEW DESIGN. THE MODIFIED SYSTEM SHALL COMPLY WITH NFPA 13 AND ALL CODES OF LOCAL JURISDICTION. CONTRACTOR IS TO SUBMIT THESE PLANS TO THE MAMMOTH LAKES FIRE PROTECTION DISTRICT FOR REVIEW AND APPROVAL.

## CODE REVIEW

BUILDING CODES:		
-2013	CALIFORNIA BUILDING CODE	(CBC)
-2013	CALIFORNIA PLUMBING CODE	(CPC)
-2013	CALIFORNIA ELECTRICAL CODE	(CEC)
-2013	CALIFORNIA MECHANICAL CODE	(CMC)
-2013	CALIFORNIA ENERGY CODE	(CEC)
-ICC/ANSI	A117.1	

CONSTRUCTION TYPE:		
EXISTING BUILDING		1-A (1 HOUR)

USE GROUP THIS PERMIT:		
RESTAURANT & BAR		A-2

FIRE RATING REQD.: CBC TABLE 601		
STRUCTURAL FRAME	3 HRS.	CONC.
BEARING WALLS	3 HRS.	CONC.
NON BEARING EXT. WALLS	EXISTING	CONC.
NON BEARING INT. WALLS	0 HRS.	MTL. STUD
FLOOR CONSTRUCTION	2 HRS.	CONC.
ROOF CONSTRUCTION	1 1/2 HRS.	CONC.

REQUIRED SEPARATION OF OCCUPANCIES (HOURS): CBC TABLE 508.4		
PROJECT	POSSIBLE FUTURE TENANT	SEPARATION REQD w/ SPRINKLERS
A	A/E	0
A	R	1
A	F2/S2/U	0
A	B/ F-1/ M S-1	1

**OCCUPANT LOAD:**  
REFER TO EGRESS PLANS.

**\*\*PROJECT IS FULLY SPRINKLED.**

## INDEX DRAWING

	SHEET NO.	SHEET TITLE
	T1.0	TITLE SHEET/ VICINITY MAP/ PROJECT DESCRIPTION/ CODE STUDY/ DRAWING INDEX
	A0.0	MAIN LEVEL EGRESS PLAN
	AD1.0	DEMOLITION PLAN
	AD2.0	DEMOLITION- REFLECTED CEILING PLAN
	A1.0	MAIN LEVEL PLAN, DOOR SCHEDULE, WALL TYPES
	A1.10	ENLARGED PLANS, BUILDING DETAILS
	A2.0	MAIN LEVEL REFLECTED CEILING PLAN, REFLECTED CEILING DETAILS
	A7.0	VERTICAL CIRCULATION
ARCHITECTURAL		
STRUCTURAL		
MECHANICAL		
PLUMBING		
ELECTRICAL		

## SYMBOL LEGEND

WALL TYPE	
WINDOW TYPE	
DOOR NUMBER	
ROOM NUMBER	
MATERIAL FINISH	
DETAIL SECTION	
ENLARGED DETAIL	
ELEVATION	
BUILDING SECTION	
NEW WALL	

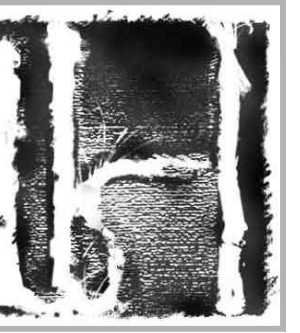
## ABBREVIATIONS

AB ANCHOR BOLT	d PENNY	GFI GROUND FAULT INTERRUPTER	MIR MIRROR	RH RIGHT HAND	VCT VINYL COMPOSITION TILE
ABV ABOVE	D DEEP	GL GLASS/ GLAZING	MISC MISCELLANEOUS	RJ ROOF JACK/VENT	VER VERIFY
AC AIR CONDITIONING	DR DRYER	GLB GULLAMINATED BEAM	MTL METAL	RM ROOM	VERT VERTICAL
ACT ACOUSTICAL TILE	DBL DOUBLE	GR GRADE	N NORTH	RO ROUGH OPENING	VG VERTICAL GRAIN
ADDT ADDITIONAL	DIA DIAMETER	GWB GYPSUM WALL BOARD	NA NOT APPLICABLE	S SOUTH	W WEST
ADJ ADJUSTABLE	DIAG DIAGONAL	GYP GYPSUM	NIC NOT IN CONTRACT	SB SETBACK	W WAIT
AFF ABOVE FINISH FLOOR	DIM DIMENSION	H HEIGHT	NO NUMBER	SB SAND BLAST	W WIDTH
AGG AGGREGATE	DN DOWN	HB HOSE BIBB	NOM NOMINAL	SC SOLID CORE	W WITH
ALT ALTERNATE	DR DOOR	HC HOLLOW CORE	NTS NOT TO SCALE	SCHD SCHEDULE	W/O WITHOUT
ALUM ALUMINUM	DS DOWNSPOUT (EXTERIOR)	HD HEAVY DUTY	o/ OVER	SF SQUARE FOOT	WD WOOD
ASPH ASPHALT	DTL DETAIL	HDR HEADER	OBSC OBSCURE	SHMTL SHEET METAL	WP WATERPROOF
BD BOARD	DWG DRAWING	HWD HARDWOOD	OC ON CENTER	SHTHG SHEATHING	WR WATER RESISTANT
BLDG BUILDING	E EAST	HDWR HARDWARE	OD OUTSIDE DIAMETER	SM SIMILAR	WRB WEATHER RESISTANT BARRIER
BLK BLOCKING	EJ EACH	HGR HANGER	OD OVERFLOW DRAIN	SPECS SPECIFICATIONS	WS WOOD SCREW
BM BEAM	EA EXPANSION JOINT	HRZ HORIZONTAL	OH OVERHEAD	SS SQUARE	WT WEIGHT
BQF BOTTOM OF FOOTING	ELEC ELECTRIC	HR HOUR	OPNG OPENING	SS STAINLESS	WWM WELDED WIRE MESH
BOT BOTTOM	ELEV ELEVATION	HT HEIGHT	OPP OPPOSITE	SS STL STAINLESS STEEL	YD YARD
BOW BOTTOM OF WALL	ENCL ENCLOSURE	HWT HOT WATER TANK	PBD PARTICLE BOARD	STD STANDARD	
BSMT BASEMENT	ENG ENGINEER	IDS INTERIOR DOWNSPOUT	PERF PERFORATED	STL STEEL	
BTWN BETWEEN	EQ EQUIP	IN INCH	PERP PERPENDICULAR	STRG STORAGE	
CAP CAPACITY	EXIST EXISTING	INSUL INSULATION	PL PLATE	STRCT STRUCTURAL	
CB CATCH BASIN	EXT EXTERIOR	INT INTERIOR	PL PROPERTY LINE	SV SOFFIT VENT	
CIP CAST IN PLACE	FB FLAT BAR	JST JOIST	PLAM PLASTIC LAMINATE	SYM SYMBOL	
CJ CONTROL JOINT	FD FLOOR DRAIN	JT JOINT	PLYWD PLYWOOD	T TREAD	
CL CENTER LINE	FF FINISH FLOOR	LAM LAMINATED	POL POLISHED	TEL TELEPHONE	
CLG CEILING	FF FINISH FLOOR	LB LBS POUNDS	PR PAIR	RBR RUBBER	
CLKG CAULKING	FIN FINISH	LF LINEAL FOOT	PSF POUNDS PER SQUARE FOOT	TEMP TEMPERED	
CLR CLEAR	FLASH FLASHING	LH LEFT HAND	PSI POUNDS PER SQUARE INCH	TEMP TEMPERATURE	
CMU CONCRETE MASONRY UNIT	FLR FLOOR	LL LIVE LOAD	PT PRESSURE TREATED	T&G TONGUE AND GROOVE	
CNTR CENTER	FND FOUNDATION	LT LIGHT	PTD PAINTED	THK THICK	
COL COLUMN	FOC FACE OF CONCRETE	LIG LIGHTING	QT QUARRY TILE	TO TOP OF	
CONC CONCRETE	FOF FACE OF FINISH	MATL MATERIAL	QTY QUANTITY	TOP TOP OF PLATE	
CONST CONSTRUCTION	FOS FACE OF STUD	MAX MAXIMUM	R RADIUS	TOS TOP OF SLAB	
CONT CONTINUOUS	FT FOOT/FEET	MB MACHINE BOLT	R RISER	TOW TOP OF WALL	
CPT CARPET	FTG FOOTING	MCH MECH	RD ROOF DRAIN	TV TELEVISION	
CSMT CASEMENT	GAL GALLON	MEMB MEMBRANE	REF REFRIGERATOR	TYP TYPICAL	
CT CERAMIC TILE	GALV GALVANIZED	MFR MANUFACTURER	REINF REINFORCING	UBC UNIFORM BUILDING CODE	
CY CUBIC YARD		MIN MINIMUM	REQD REQUIRED	UNO UNLESS NOTED OTHERWISE	

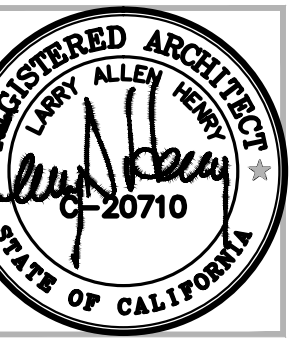
PERMIT DRAWINGS

THE UNDER GROUND RESTAURANT & BAR  
MAMMOTH MOUNTAIN SKI RESORT, LLC  
6201 MINARET ROAD, UNIT 153  
MAMMOTH, CA 93456

TITLE SHEET  
T1.0

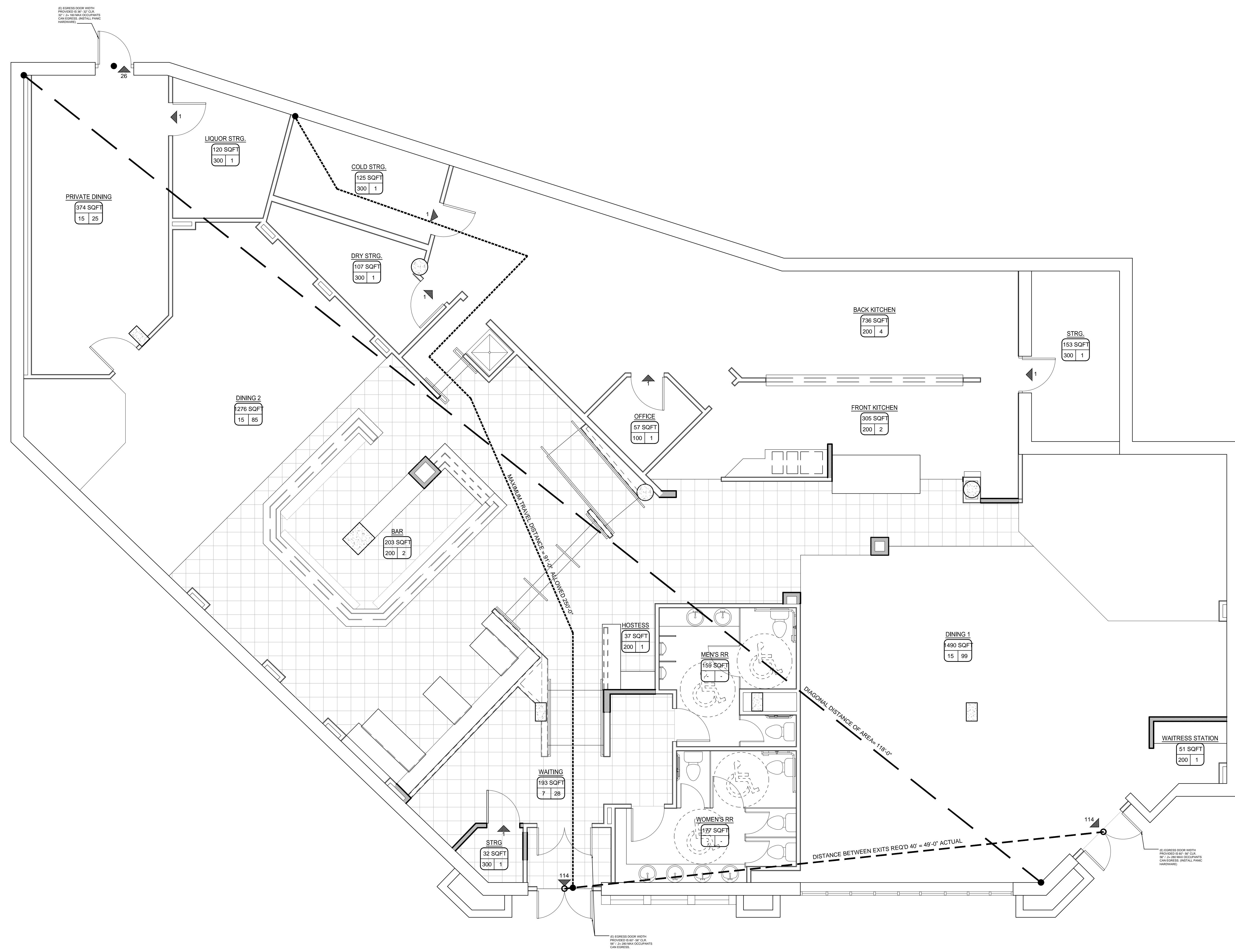


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**SYMBOL LEGEND**

- DASH LINE INDICATES PATH OF TRAVEL TO EXIT FROM MOST REMOTE LOCATION.
- DASH LINE INDICATES DIAGONAL DISTANCE OF SPACE.
- DASH LINE INDICATES REQUIRED EXIT SEPARATION.

AREA	ROOM NAME	ROOM / OCCUPANT LOAD
650 SQFT		
LOAD FACTOR 300	#	
# OF OCCUPANTS		
3		# OF OCC. EXITING

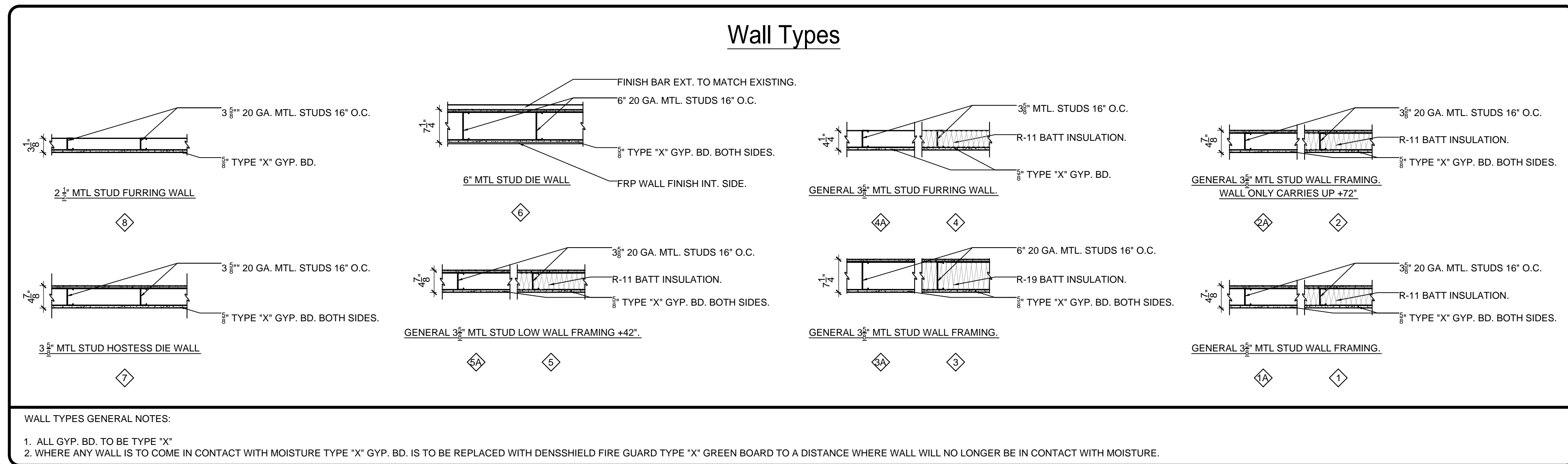
EGRESS PLAN  
SCALE: 1/4" = 1'-0"

1  
A0.0

THE UNDER GROUND  
RESTAURANT & BAR  
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EGRESS PLAN

A0.0

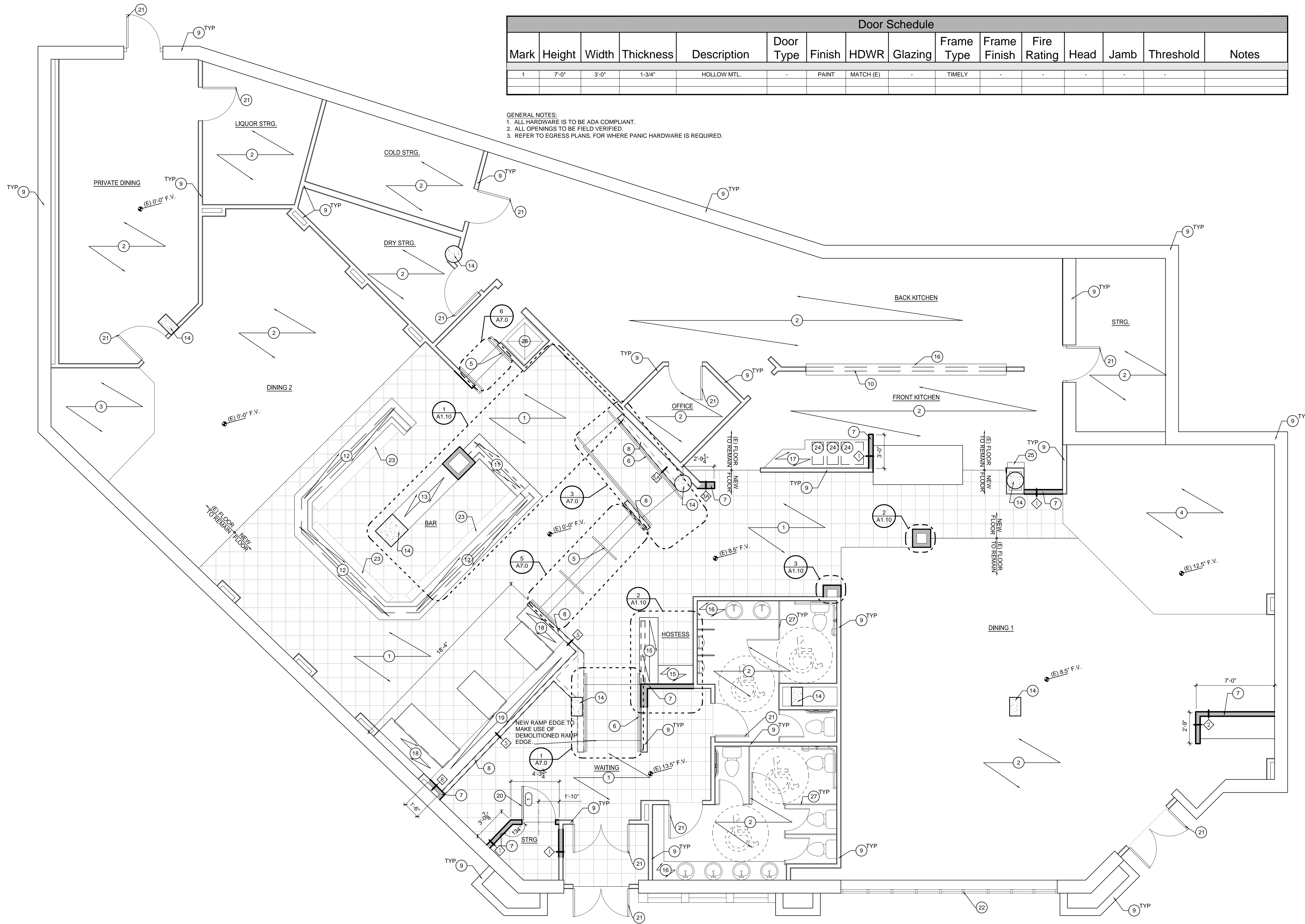


Door Schedule															
Mark	Height	Width	Thickness	Description	Door Type	Finish	HDWR	Glazing	Frame Type	Frame Finish	Fire Rating	Head	Jamb	Threshold	Notes
1	7'-0"	3'-0"	1-3/4"	HOLLOW MTL.	-	PAINT	MATCH (E)	-	TIMELY	-	-	-	-	-	

**GENERAL NOTES:**

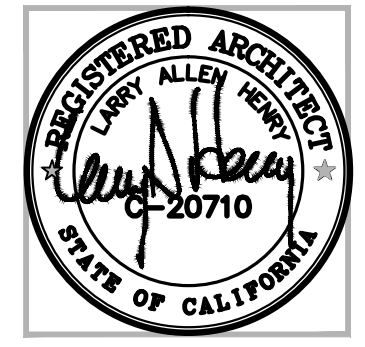
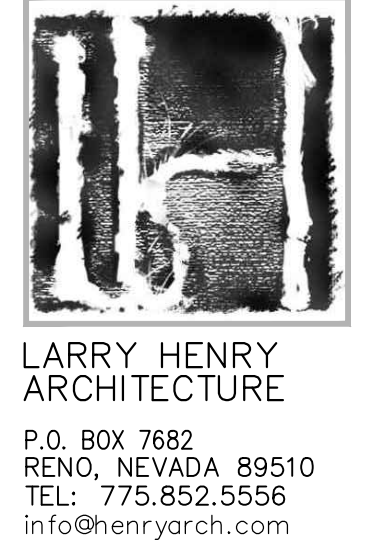
- ALL HARDWARE IS TO BE ADA COMPLIANT.
- ALL OPENINGS TO BE FIELD VERIFIED.
- REFER TO EGRESS PLANS, FOR WHERE PANIC HARDWARE IS REQUIRED.

- #### Floor Plan Keynotes
- NEW TILE FLOOR.
  - EXISTING FLOOR FINISH. PATCH & REPAIR AS REQUIRED.
  - EXISTING MODIFIED RAISED FLOOR. PATCH EXPOSED EDGES TO MATCH EXISTING.
  - EXISTING MODIFIED RAISED FLOOR.
  - NEW STAIRS & HAND RAILS. SEE ENLARGED PLANS.
  - NEW ADA COMPLIANT STAIRS AND HANDRAILS. SEE ENLARGED PLANS.
  - NEW WALL FRAMING. SEE WALL TYPES.
  - NEW LOW WALL FRAMING. SEE WALL TYPES.
  - EXISTING WALL FRAMING.
  - EXISTING LOW WALL FRAMING.
  - NEW ADA COMPLIANT BAR TOP & DIE WALL.
  - EXISTING BAR TOP & DIE WALL.
  - EXISTING BACK BAR.
  - EXISTING STRUCTURAL COLUMN.
  - NEW SOLID SURFACE COUNTERTOP.
  - EXISTING SOLID SURFACE COUNTERTOP.
  - EXISTING MODIFIED COUNTERTOP & LOW STORAGE TO REMAIN.
  - NEW BANQUET SEATING.
  - EXISTING BANQUET SEATING TO BE MADE FROM EXISTING FLOOR EDGE.
  - NEW DOOR & FRAME. SEE DOOR SCHEDULE.
  - EXISTING DOOR & FRAME.
  - EXISTING WINDOW SYSTEM.
  - EXISTING BAR EQUIPMENT.
  - EXISTING KITCHEN EQUIPMENT.
  - EXISTING ELECTRICAL PANEL.
  - EXISTING PLUMBING FIXTURE.
  - EXISTING BATHROOM PARTITIONS. SAND SMOOTH & REFINISH.
- #### General Notes
- OWNER AND CONTRACTOR ARE TO REVIEW AND APPROVE DEMOLITION PLANS AND NOTES PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS COMPARED TO ISSUED PLANS PRIOR TO DEMOLITION PHASE. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
  - DIMENSIONS: BETWEEN EXISTING WALLS. FINISH FACE TO FINISH FACE OF WALL. BETWEEN EXISTING WALL AND NEW CONSTRUCTION. FINISH FACE OF (E) WALL TO FACE OF STUD. NEW CONSTRUCTION. FACE OF STUD TO FACE OF STUD OR GRID LINE TO FACE OF STUD OR COLUMN LINE TO FACE OF STUD.
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  - CONTRACTOR IS TO CAP OR EXTEND ALL DATA AS REQUIRED TO ALLOW FOR NEW WORK.
  - OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL MATERIALS, BUILDING SYSTEMS AND EQUIPMENT TO BE REMOVED. VERIFY WITH OWNER WHAT ITEMS ARE TO BE SALVAGED PRIOR TO DISPOSAL.
  - ALL LOOSE FURNITURE IS TO BE STORED AND PROTECTED DURING CONSTRUCTION. COORDINATE WITH OWNER.



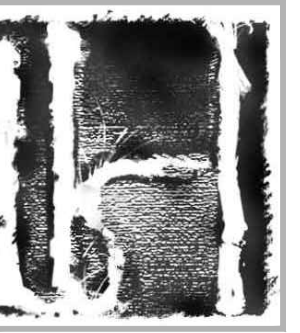
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

1  
A1.0

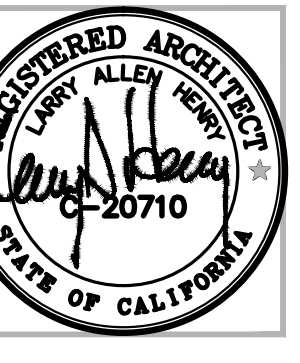


PERMIT DRAWINGS

**THE UNDER GROUND RESTAURANT & BAR**  
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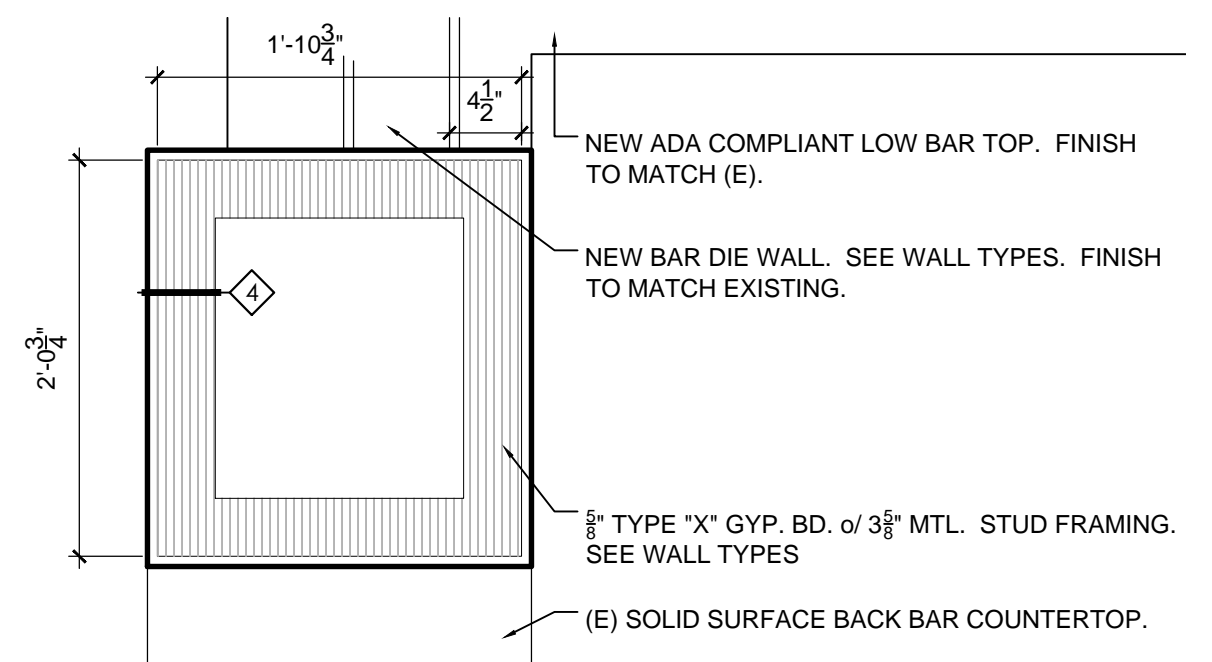
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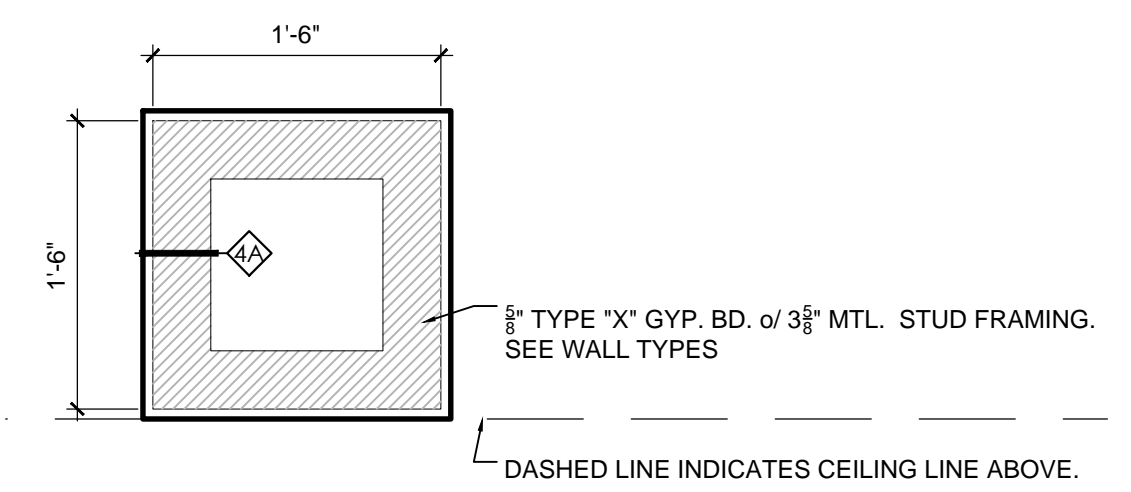
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ENLARGED PLANS

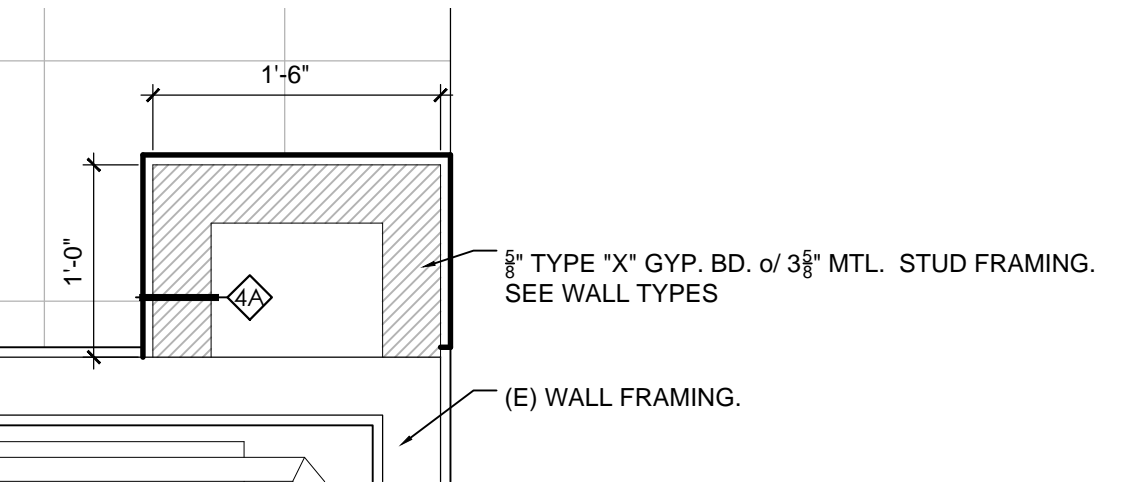
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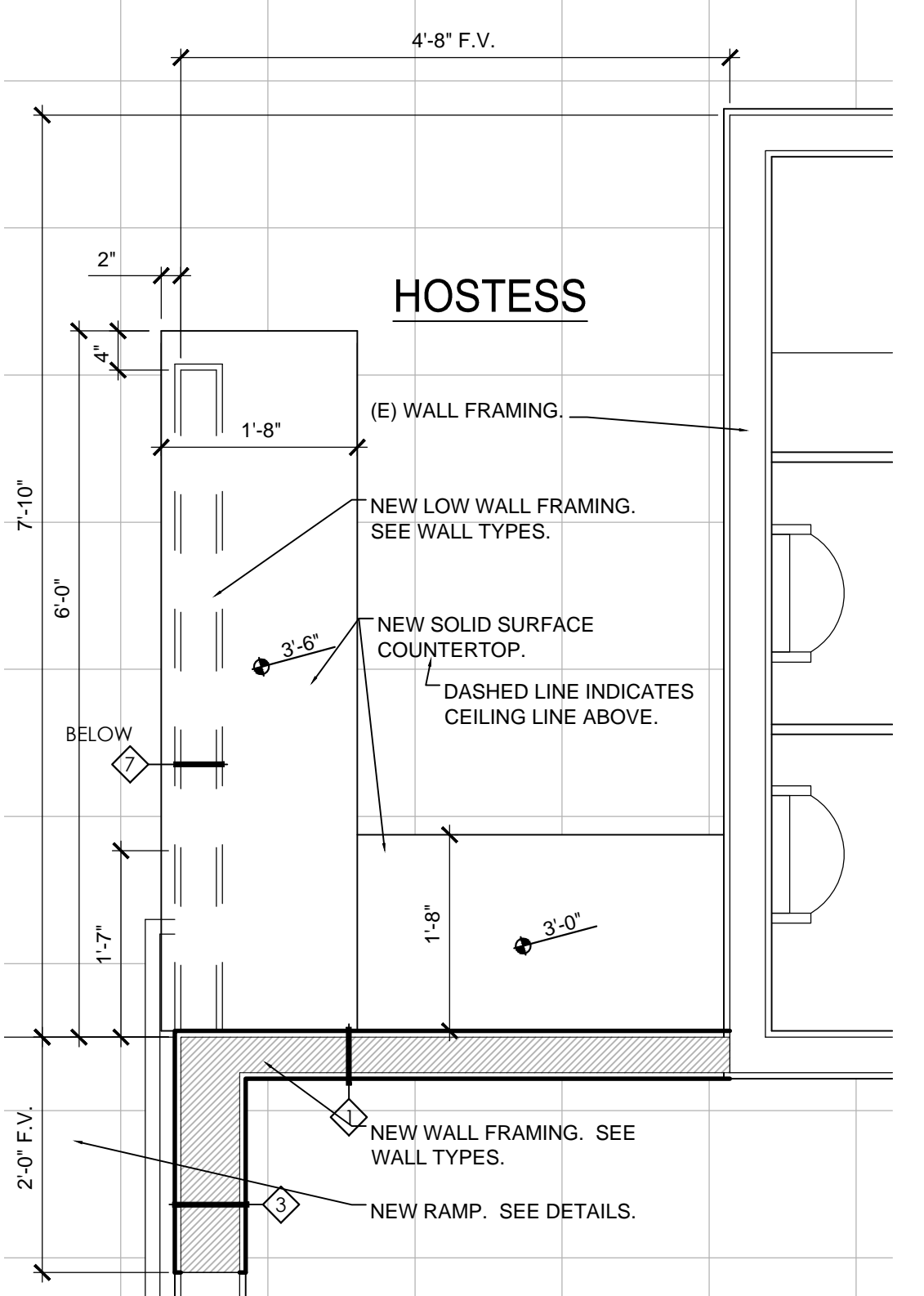
**BUILDING DETAILS** 5  
SCALE: 1" = 1'-0" A1.10



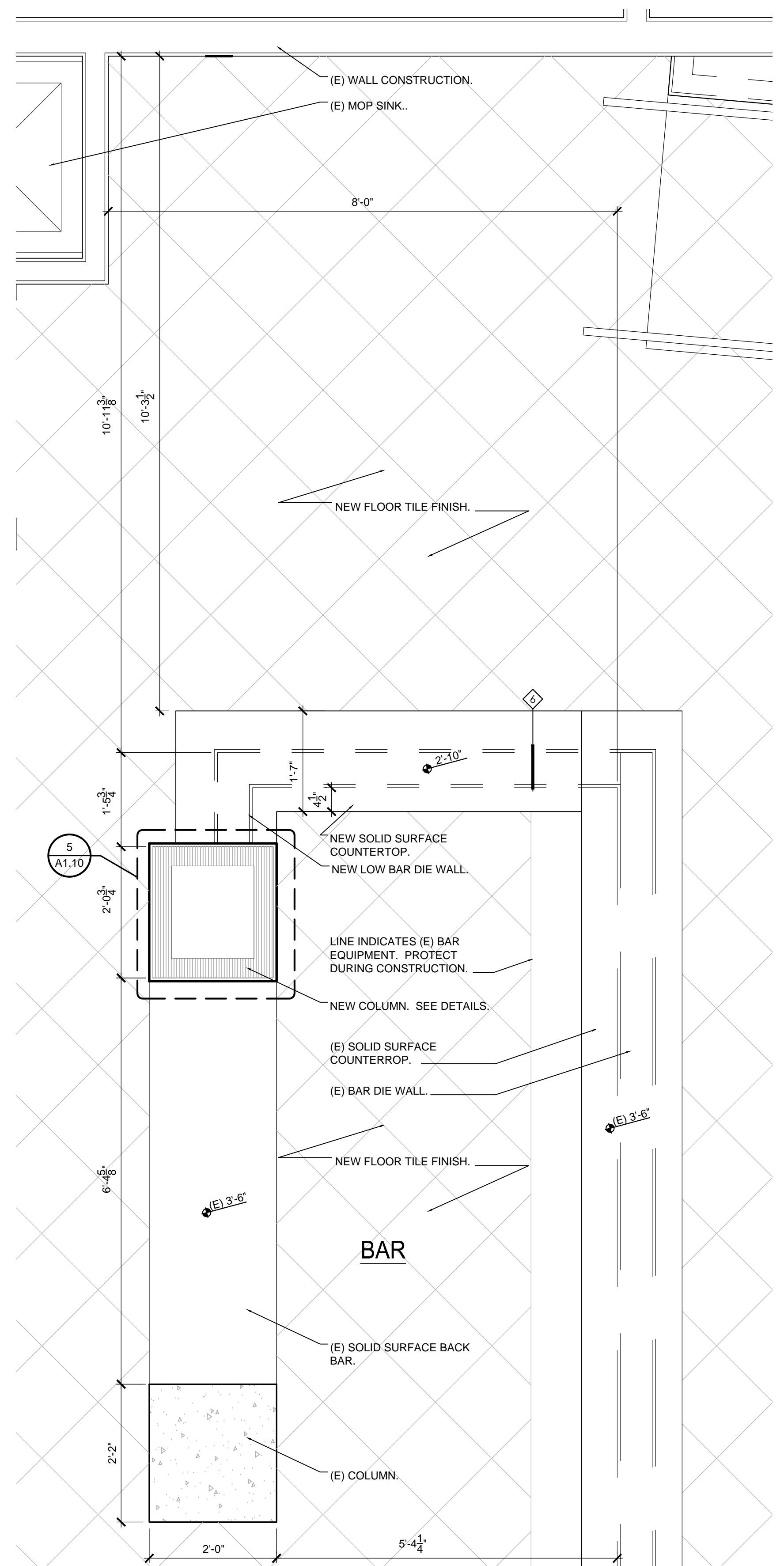
**BUILDING DETAILS** 4  
SCALE: 1" = 1'-0" A1.10



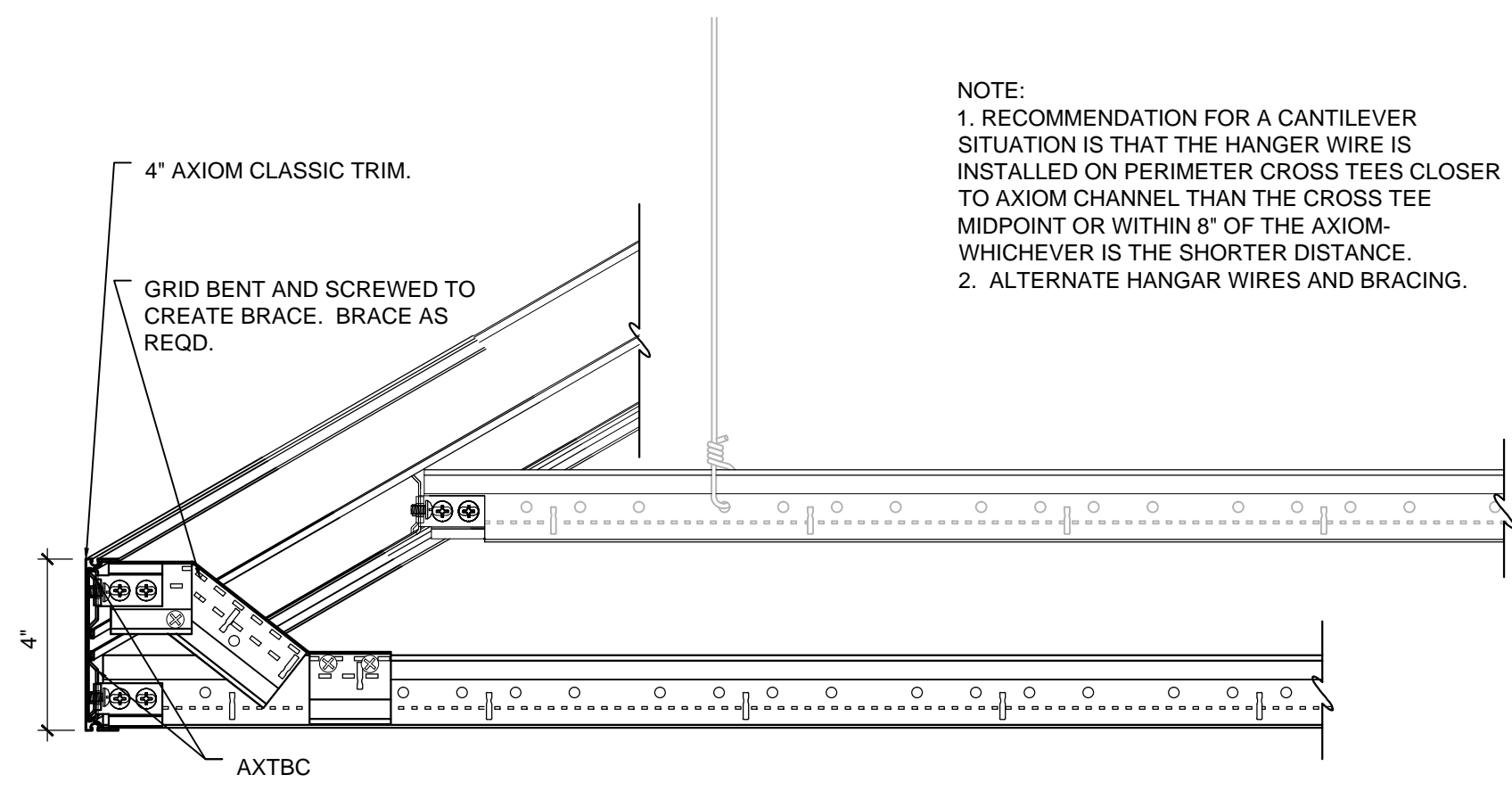
**BUILDING DETAILS** 3  
SCALE: 1" = 1'-0" A1.10



**ENLARGED HOSTESS PLAN** 2  
SCALE: 3/4" = 1'-0" A1.10



**ENLARGED PARTIAL BAR PLAN** 1  
SCALE: 3/4" = 1'-0" A1.10

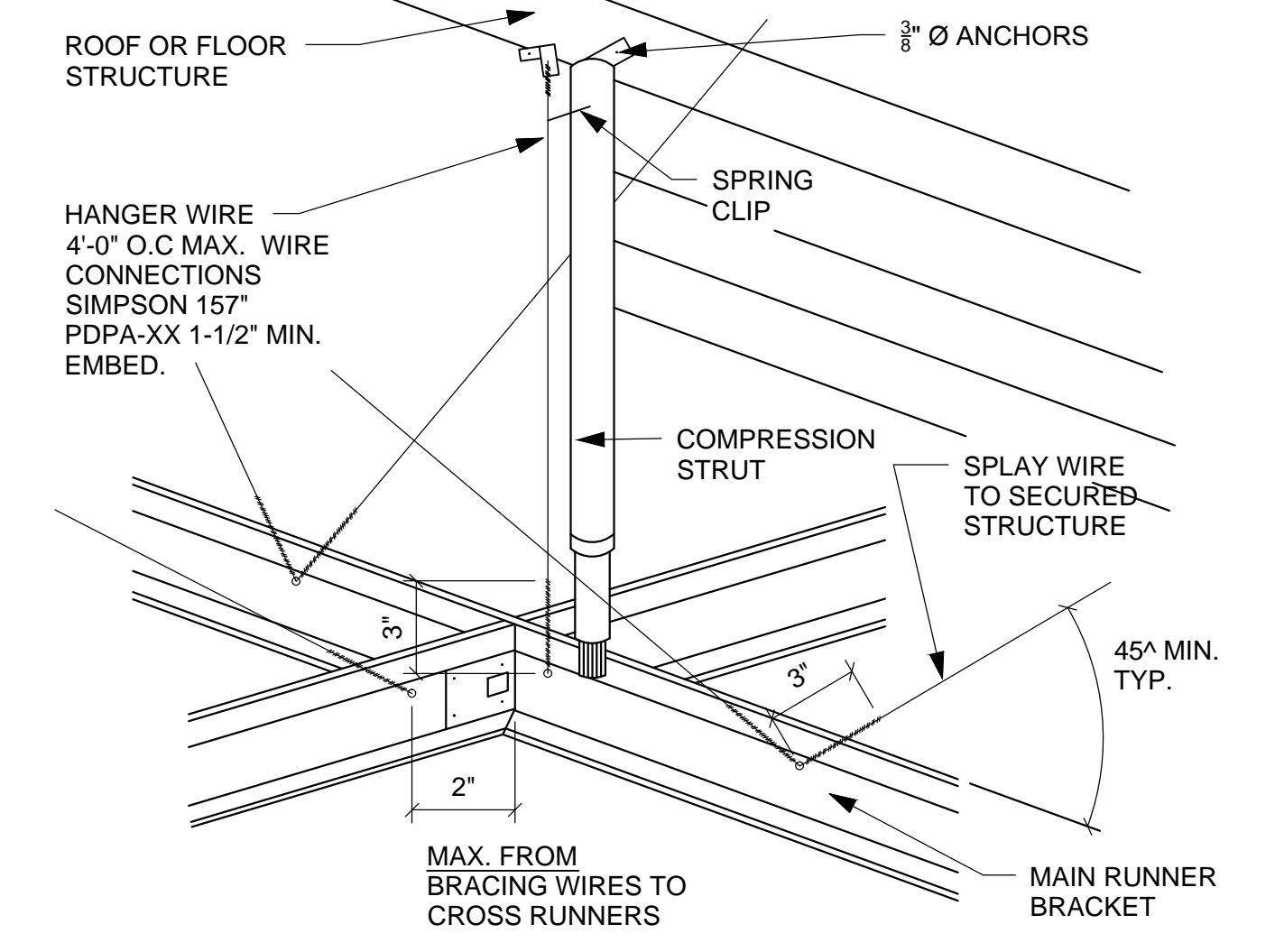


**AXIOM CEILING EDGE DETAIL**  
SCALE: 3" = 1'-0"  
3  
A2.0

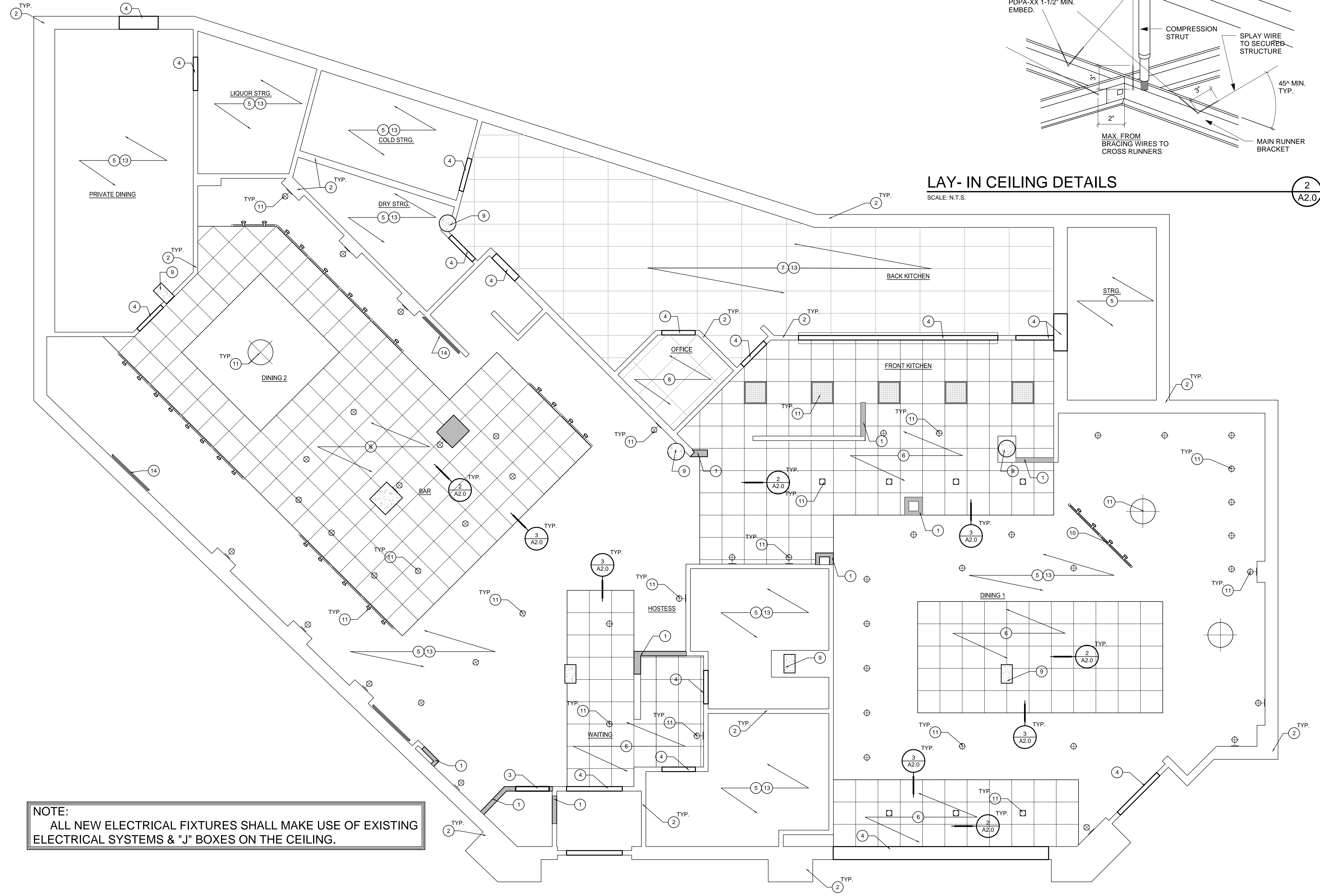
NOTE:  
1. RECOMMENDATION FOR A CANTILEVER SITUATION IS THAT THE HANGER WIRE IS INSTALLED ON PERIMETER CROSS TEES CLOSER TO AXIOM CHANNEL THAN THE CROSS TEE MIDPOINT OR WITHIN 6" OF THE AXIOM, WHICHEVER IS THE SHORTER DISTANCE.  
2. ALTERNATE HANGER WIRES AND BRACING.

SUSPENDED CEILING GRID SYSTEMS TO BE USG CE (HEAVY DUTY) AND SYSTEM MUST BE INSTALLED TO COMPLY WITH 2006 IBC 803.9.1.1, 2506.2.1, 1621.1.2, 2005 NEC 410.16 AND ASTM C-635 AND C-636.

- SPACE HANGERS FOR CARRYING CHANNELS OR MAIN RUNNERS MAXIMUM 4'-0" O.C.
- EACH SUSPENSION WIRE SHALL NOT HANG MORE THAN ONE IN SIX OUT OF PLUMB
- WIRE HANGERS FOR SUSPENDED CARRYING CHANNELS OR MAIN RUNNERS FROM AN EXISTING STRUCTURE SHALL BE PREPARED FROM A MINIMUM OF NO. 12 GAGE GALVANIZED, SOFT-ANNEALED, MILD STEEL WIRE
- INSTALL MAIN RUNNERS TO THAT THEY ARE ALL LEVEL TO WITHIN 1/4" IN 10'-0"
- WHERE MAIN RUNNERS ARE SUPPORTED DIRECTLY BY HANGERS, PERFORM LEVELING WITH THE SUPPORTING HANGER TAUT TO PREVENT ANY SUBSEQUENT DOWNWARD MOVEMENT OF THE MAIN RUNNERS WHEN THE CEILING LOADS ARE IMPOSED
- LOCAL KINKS OR BENDS SHALL NOT BE MADE IN HANGER WIRES AS A MEANS OF LEVELING MAIN RUNNERS
- WIRE LOOPS SHALL BE TIGHTLY WRAPPED AND SHARPLY BENT TO PREVENT ANY VERTICAL MOVEMENT OR ROTATION OF THE MEMBER WITH THE LOOPS. THE WIRE MUST BE WRAPPED AROUND ITSELF A MINIMUM OF THREE FULL TURNS (360 DEGREES EACH) WITHIN A 3' LENGTH



**LAY-IN CEILING DETAILS**  
SCALE: N.T.S.  
2  
A2.0



NOTE:  
ALL NEW ELECTRICAL FIXTURES SHALL MAKE USE OF EXISTING ELECTRICAL SYSTEMS & "J" BOXES ON THE CEILING.

**REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"  
1  
A2.0

**RCP Keynotes**

- NEW WALL FRAMING.
- EXISTING WALL FRAMING.
- NEW HEADER.
- EXISTING HEADER TO REMAIN.
- EXISTING HARD LID CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- NEW LAY-IN CLEANABLE VINYL TILES & T-GRID.
- EXISTING CLEANABLE ACOUSTICAL TILE CEILING SYSTEM TO REMAIN.
- EXISTING ACOUSTICAL TILE CEILING TO REMAIN.
- EXISTING STRUCTURE TO REMAIN.
- EXISTING LIGHT FIXTURE.
- NEW LIGHT FIXTURE.
- EXISTING MECHANICAL EQUIPMENT AND DUCTS TO REMAIN.
- NEW TV.

**General Notes**

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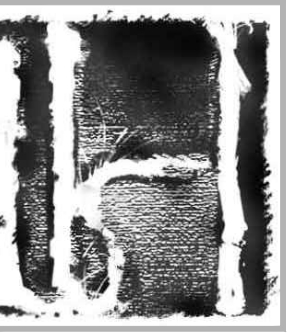
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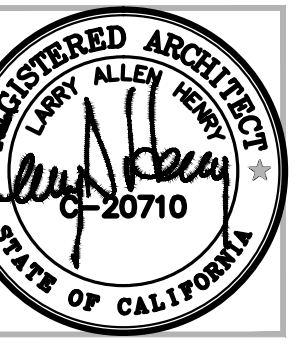
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RCP RCP DETAILS

A2.0



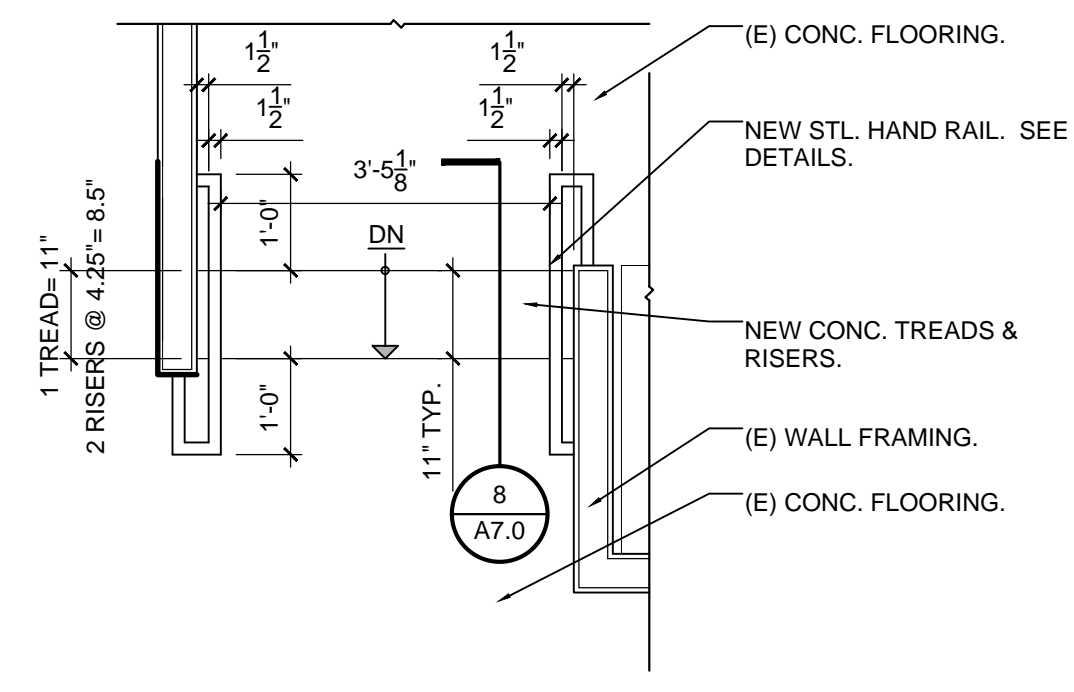
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PERMIT DRAWINGS

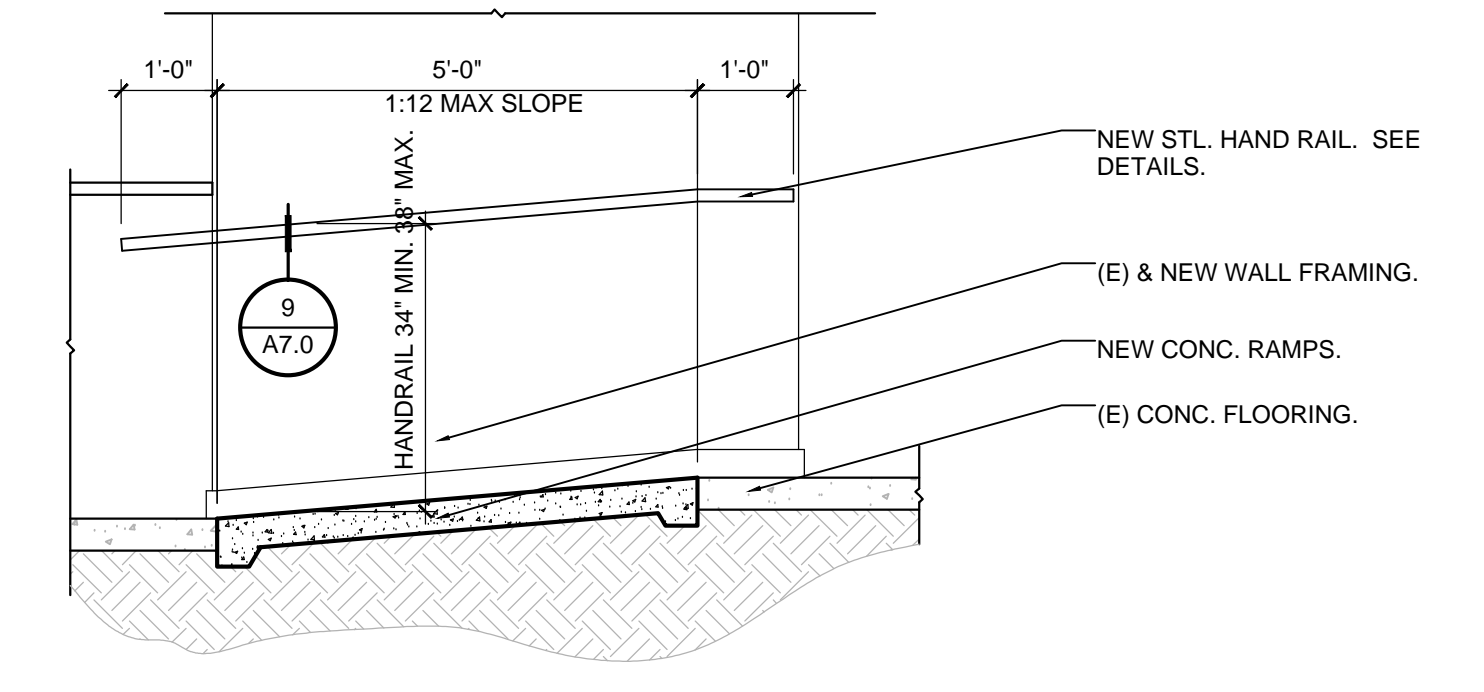
THE UNDER GROUND  
RESTAURANT & BAR  
MAMMOTH MOUNTAIN SKI RESORT, LLC  
6201 MINARET ROAD, UNIT 153  
MAMMOTH, CA 93456



ENLARGED STAIR PLAN

SCALE: 1/2" = 1'-0"

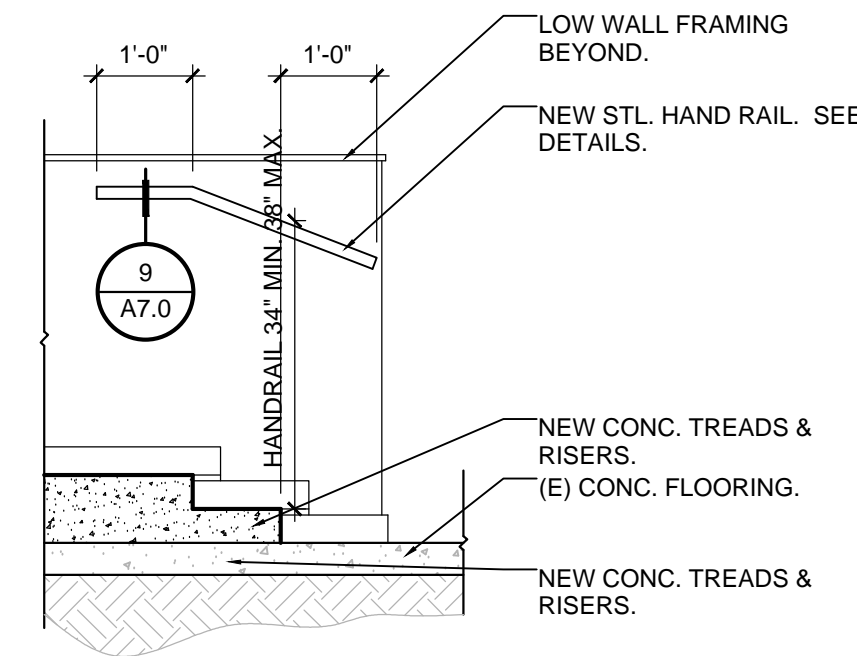
7  
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RAMP SECTION

SCALE: 1/2" = 1'-0"

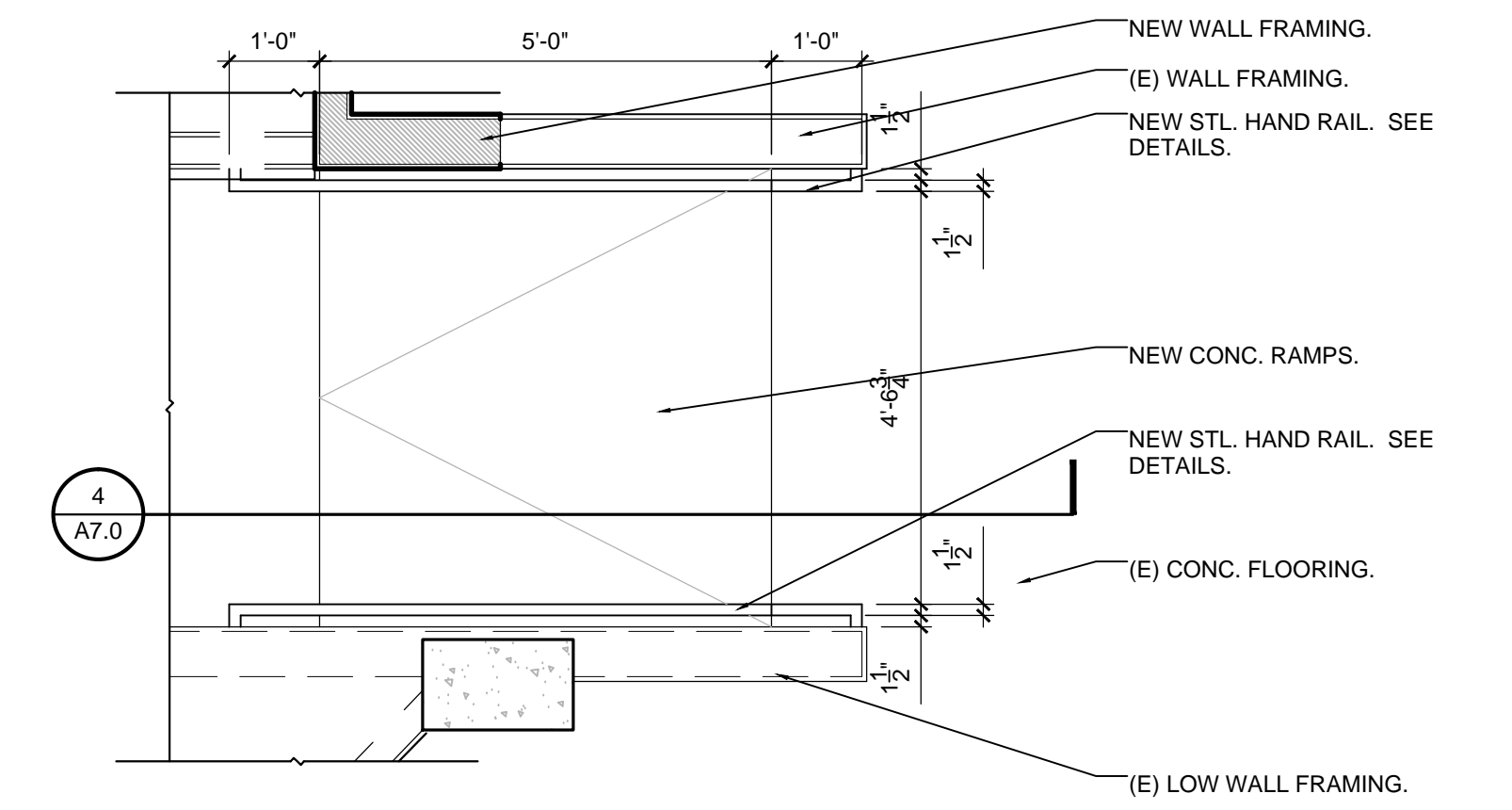
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STAIR SECTION

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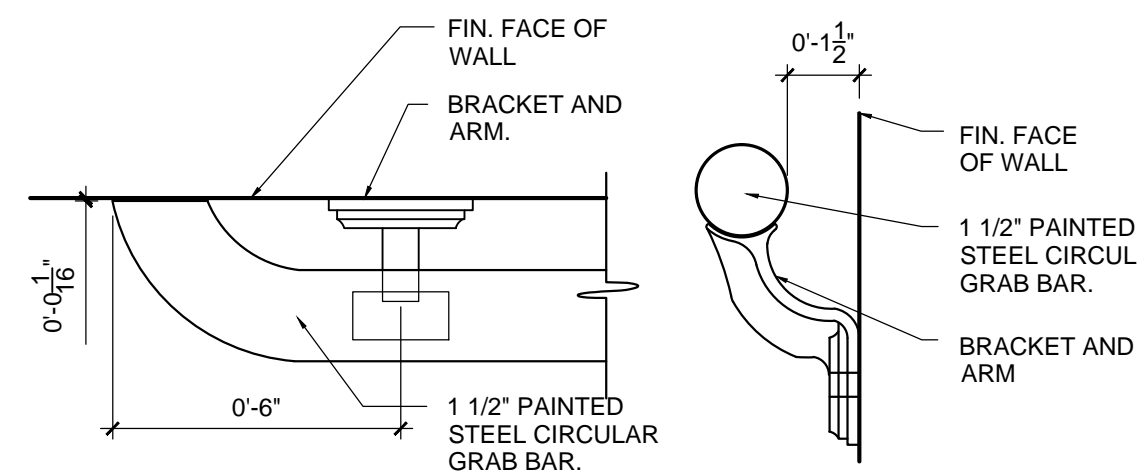
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ENLARGED RAMP PLAN

SCALE: 1/2" = 1'-0"

3  
A7.0

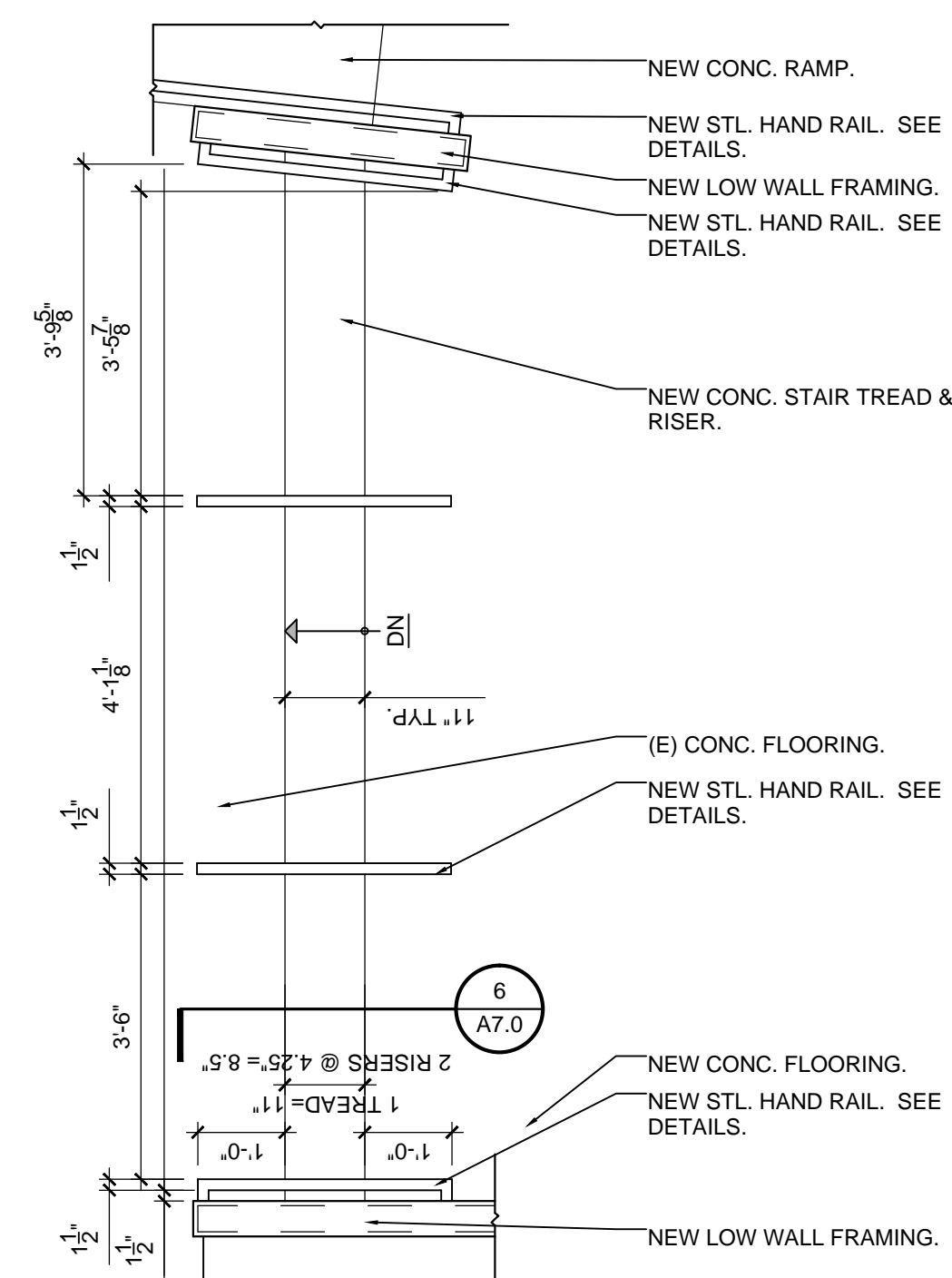


HAND RAIL DETAIL

SCALE: 3" = 1'-0"

9  
A7.0

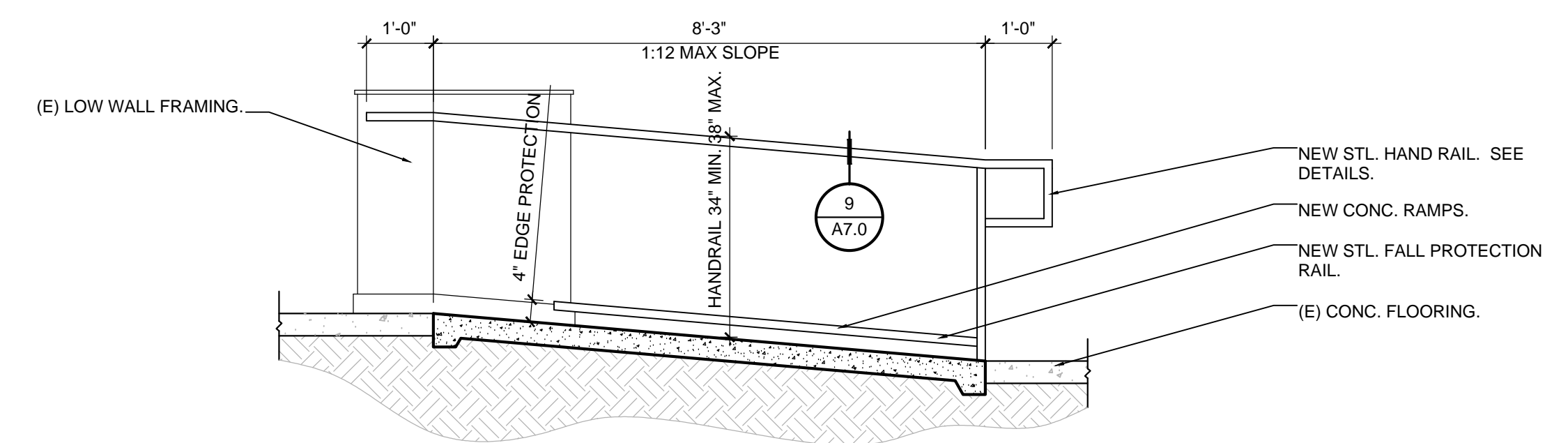
NOTE:  
1. BACKING IS REQUIRED IN ALL WALLS WHERE FASTENING WILL OCCUR.  
2. SHOP DRAWINGS & SAMPLE OF ALL GRAB BARS SHOWING DESIGN, ASSEMBLY, & FINISH MUST BE APPROVED PRIOR TO FABRICATION.  
3. ALL GRAB BAR EDGES TO RADIUS OF .01" MIN. UNLESS NOTED OTHERWISE.



ENLARGED STAIR PLAN

SCALE: 1/2" = 1'-0"

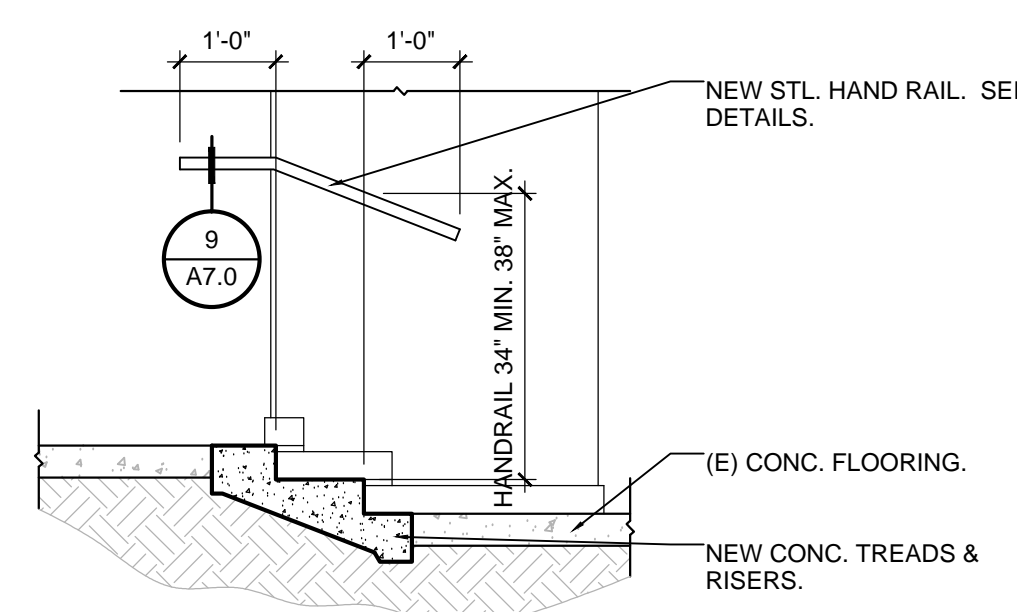
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RAMP SECTION

SCALE: 1/2" = 1'-0"

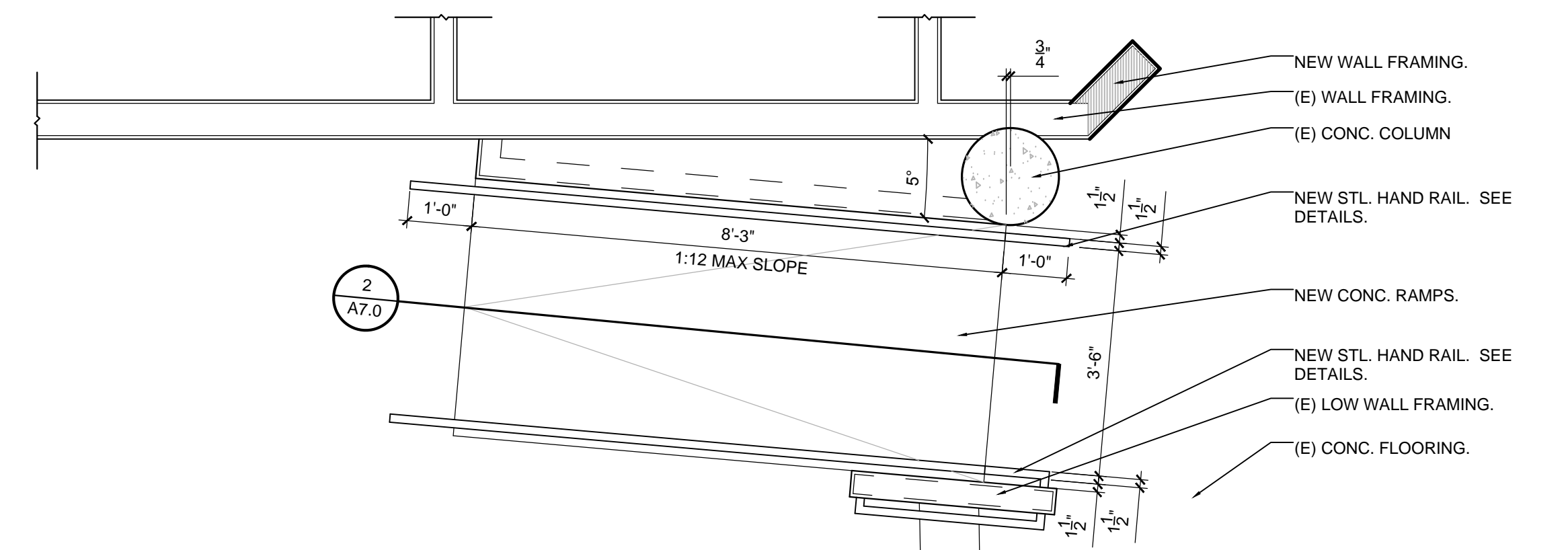
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STAIR SECTION

SCALE: 1/2" = 1'-0"

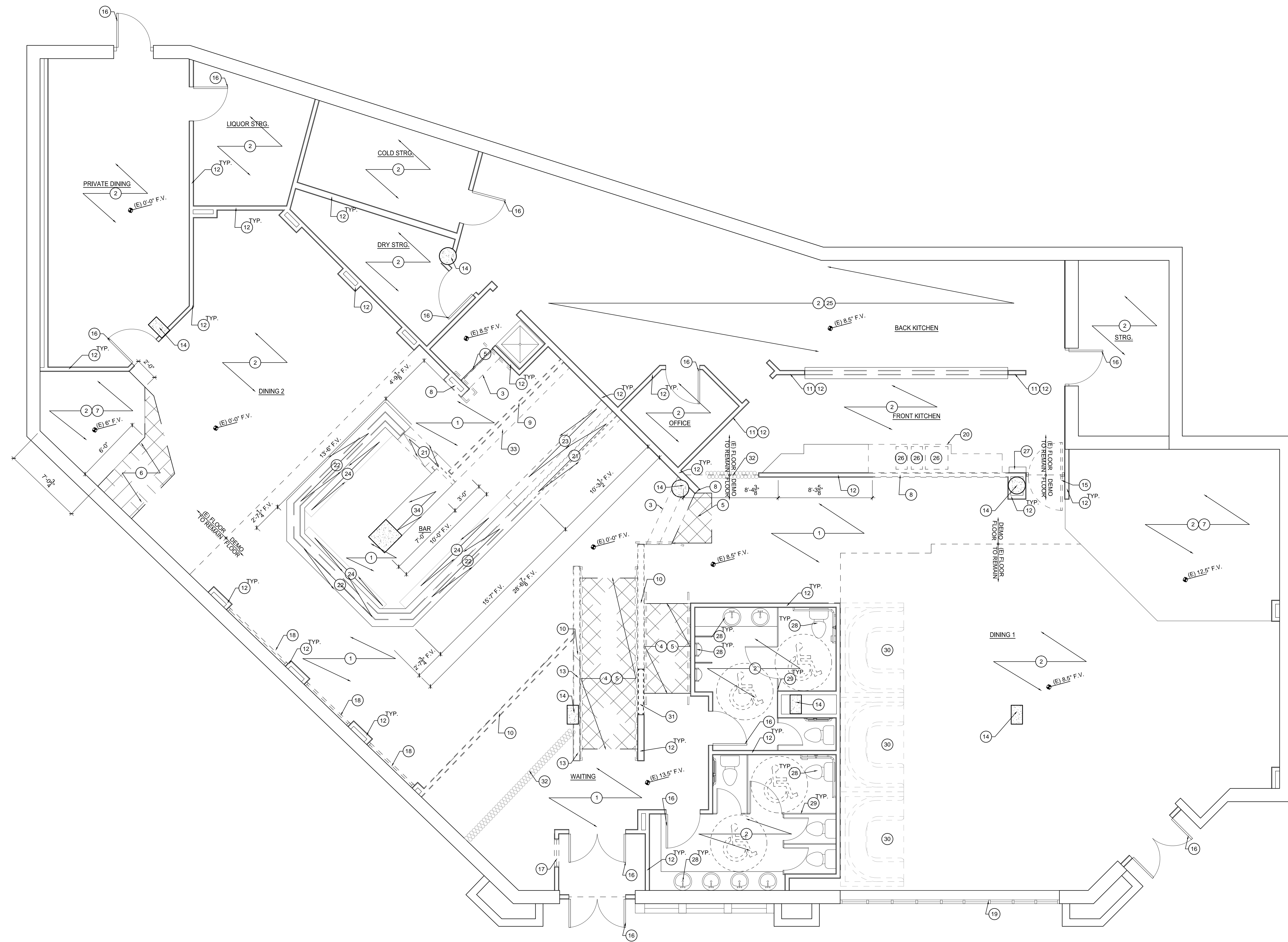
8  
A7.0



ENLARGED RAMP PLAN

SCALE: 1/2" = 1'-0"

2  
A7.0

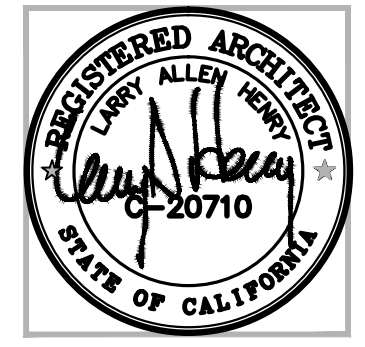
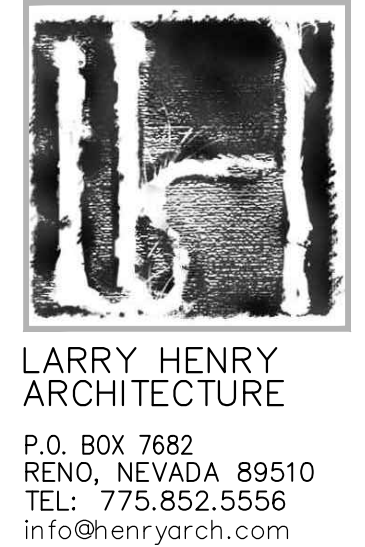


**Demo. Floor Plan Keynotes**

1. REMOVE EXISTING FLOOR FINISH PIECE BY PIECE. PREP FLOOR FOR NEW FINISH.
2. EXISTING FLOOR FINISH TO REMAIN. CLEAN, PATCH & REPAIR AS NEEDED.
3. REMOVE EXISTING STAIR AND HAND RAILS TO ALLOW FOR NEW WORK.
4. REMOVE EXISTING RAMP AND HAND RAILS TO ALLOW FOR NEW WORK.
5. HATCH AREA INDICATES WHERE CONC. IS TO BE REMOVED TO ALLOW FOR NEW RAMP OR FLOOR.
6. HATCH AREA INDICATES PORTION OF RAISED FLOOR TO BE REMOVED. REPAIR WOOD FLOOR FINISH BELOW.
7. EXISTING RAISED FLOOR TO REMAIN.
8. REMOVE PORTION OF INTERIOR WALL AS REQUIRED TO ALLOW FOR NEW WORK. CAP ALL UTILITIES.
9. REMOVE ENTIRE EXISTING INTERIOR WALL AS REQUIRED TO ALLOW FOR NEW WORK. CAP ALL UTILITIES.
10. REMOVE EXISTING INTERIOR LOW WALL AS REQUIRED TO ALLOW FOR NEW WORK. CAP ALL UTILITIES.
11. REMOVE WALL FINISH AND PREP WALL FOR NEW WORK.
12. EXISTING WALL TO REMAIN.
13. EXISTING LOW WALL TO REMAIN.
14. EXISTING STRUCTURE TO REMAIN.
15. REMOVE EXISTING DOOR AND FRAME TO ALLOW FOR NEW WORK.
16. EXISTING DOOR TO REMAIN.
17. REMOVE EXISTING WINDOW TO ALLOW FOR NEW WORK.
18. REMOVE EXISTING FAUX WINDOWS TO ALLOW FOR NEW WORK.
19. EXISTING WINDOW SYSTEM TO REMAIN.
20. EXISTING METAL COUNTERTOP & LOW STORAGE TO BE REMOVED TO ALLOW FOR NEW WORK. COORDINATE STORAGE WITH OWNER.
21. REMOVE PORTION OF EXISTING BAR AND DIE WALL TO ALLOW FOR NEW WORK. STORE & PROTECT FOR FUTURE USE.
22. EXISTING BAR AND DIE WALL TO REMAIN. PROTECT DURING CONSTRUCTION.
23. STORE & PROTECT EXISTING BAR EQUIPMENT IN THIS AREA. COORDINATE STORAGE WITH OWNER.
24. EXISTING BAR EQUIPMENT TO REMAIN. EQUIPMENT IS TO BE PROTECTED DURING CONSTRUCTION.
25. EXISTING KITCHEN EQUIPMENT TO BE PROTECTED DURING CONSTRUCTION IN THIS AREA.
26. STORE & PROTECT EXISTING KITCHEN EQUIPMENT IN THIS AREA FOR RE-USE.
27. EXISTING ELECTRICAL PANEL TO REMAIN.
28. EXISTING PLUMBING FIXTURE TO REMAIN. PROTECT DURING CONSTRUCTION.
29. EXISTING BATHROOM PARTITIONS TO REMAIN. SAND SMOOTH & PROTECT DURING CONSTRUCTION.
30. REMOVE, STORE AND PROTECT BOOTHS IN THEIR ENTIRETY. COORDINATE STORAGE WITH OWNER.
31. REMOVE DISPLAY CASES TO ALLOW FOR NEW WORK.
32. REMOVE CURTAIN TO ALLOW FOR NEW WORK.
33. REMOVE PORTION OF EXISTING BACK BAR.
34. EXISTING BACK BAR TO REMAIN. PATCH & REPAIR AS NEEDED.

**General Notes**

1. OWNER AND CONTRACTOR ARE TO REVIEW AND APPROVE DEMOLITION PLANS AND NOTES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS COMPARED TO ISSUED PLANS PRIOR TO DEMOLITION PHASE. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
3. DIMENSIONS: BETWEEN EXISTING WALLS. FINISH FACE TO FINISH FACE OF WALL. BETWEEN EXISTING WALL AND NEW CONSTRUCTION. FINISH FACE OF (E) WALL TO FACE OF STUD. NEW CONSTRUCTION. FACE OF STUD TO FACE OF STUD OR GRID LINE TO FACE OF STUD OR COLUMN LINE TO FACE OF STUD.
4. CONTRACTOR TO CAP OR REMOVE ALL UTILITIES IN THE AREA OF DEMOLITION AS REQUIRED TO ALLOW FOR NEW WORK.
5. CONTRACTOR IS TO CAP OR EXTEND ALL DATA AS REQUIRED TO ALLOW FOR NEW WORK.
6. OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL MATERIALS, BUILDING SYSTEMS AND EQUIPMENT TO BE REMOVED. VERIFY WITH OWNER WHAT ITEMS ARE TO BE SALVAGED PRIOR TO DISPOSAL.
7. ALL LOOSE FURNITURE IS TO BE STORED AND PROTECTED DURING CONSTRUCTION. COORDINATE WITH OWNER.



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**DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

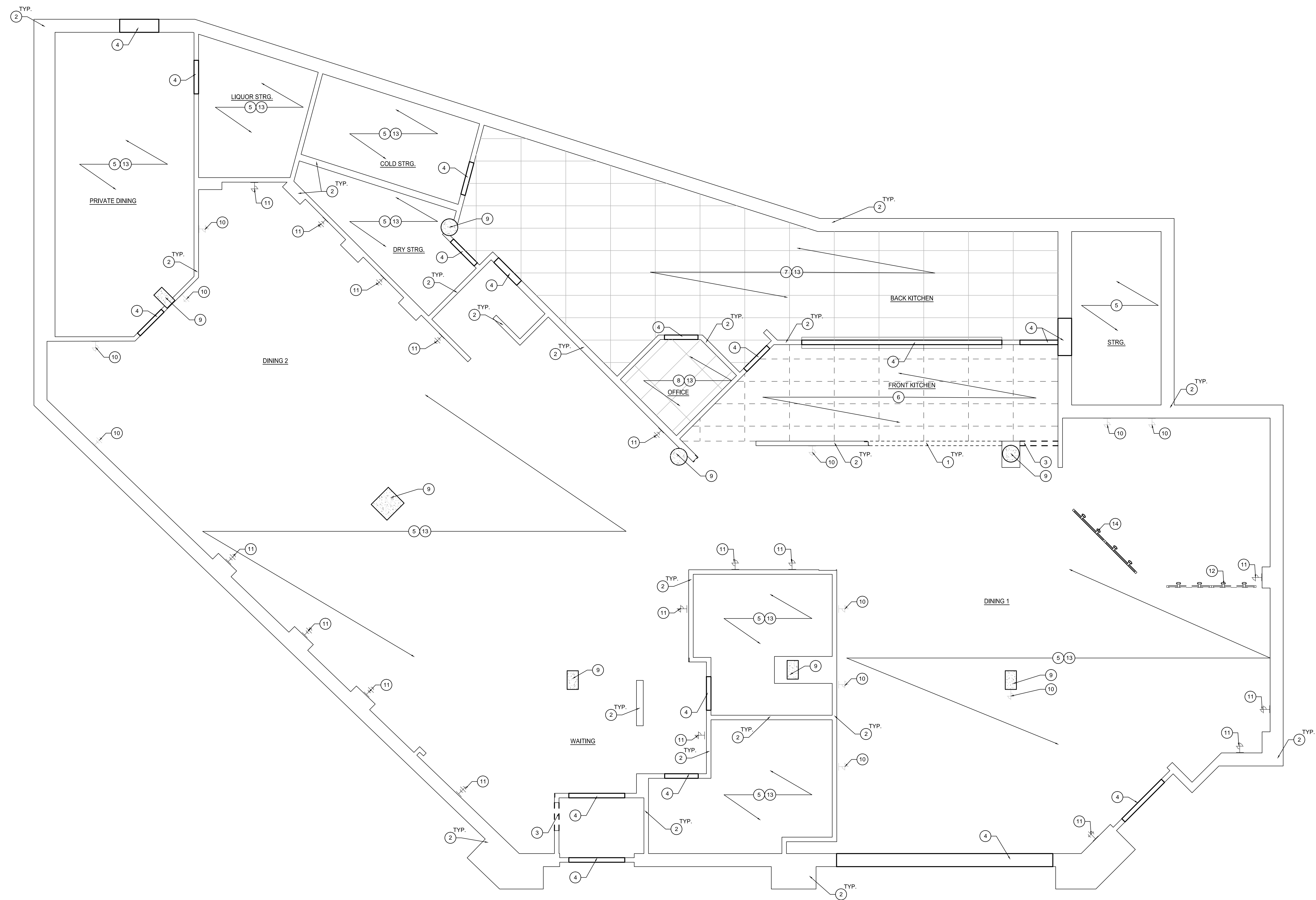
1  
AD1.0

- Demo. RCP Keynotes** ①
1. REMOVE PORTION OF INTERIOR WALL AS REQUIRED TO ALLOW FOR NEW WORK. CAP ALL UTILITIES.
  2. EXISTING WALL TO REMAIN.
  3. REMOVE EXISTING HEADER.
  4. EXISTING HEADER TO REMAIN.
  5. EXISTING HARD LID CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED.
  6. REMOVE EXISTING CLEANABLE ACOUSTICAL TILE CEILING TO ALLOW FOR NEW WORK.
  7. EXISTING CLEANABLE ACOUSTICAL TILE CEILING SYSTEM TO REMAIN.
  8. EXISTING ACOUSTICAL TILE CEILING TO REMAIN.
  9. EXISTING STRUCTURE TO REMAIN.
  10. REMOVE EXISTING SCONCE LIGHTING FIXTURE TO ALLOW FOR NEW WORK. CAP ALL UTILITIES PATCH & REPAIR WALL.
  11. REMOVE EXISTING SCONCE LIGHTING FIXTURE. ITEM SHALL BE REPLACED WITH NEW FIXTURE.
  12. REMOVE EXISTING TRACK LIGHTING. CAP ALL UTILITIES.
  13. EXISTING MECHANICAL EQUIPMENT AND DUCTS TO REMAIN.
  14. EXISTING TRACK LIGHTING TO REMAIN.
- General Notes**
1. OWNER AND CONTRACTOR ARE TO REVIEW AND APPROVE DEMOLITION PLANS AND NOTES PRIOR TO CONSTRUCTION.
  2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS COMPARED TO ISSUED PLANS PRIOR TO DEMOLITION PHASE. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
  3. DIMENSIONS: BETWEEN EXISTING WALLS - FINISH FACE TO FINISH FACE OF WALL. BETWEEN EXISTING WALL AND NEW CONSTRUCTION, FINISH FACE OF (E) WALL TO FACE OF STUD. NEW CONSTRUCTION, FACE OF STUD TO FACE OF STUD OR GRID LINE TO FACE OF STUD OR COLUMN LINE TO FACE OF STUD.
  4. CONTRACTOR TO CAP OR REMOVE ALL UTILITIES IN THE AREA OF DEMOLITION AS REQUIRED TO ALLOW FOR NEW WORK.
  5. CONTRACTOR IS TO CAP OR EXTEND ALL DATA AS REQUIRED TO ALLOW FOR NEW WORK.
  6. OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL MATERIALS, BUILDING SYSTEMS AND EQUIPMENT TO BE REMOVED. VERIFY WITH OWNER WHAT ITEMS ARE TO BE SALVAGED PRIOR TO DISPOSAL.
  7. ALL LOOSE FURNITURE IS TO BE STORED AND PROTECTED DURING CONSTRUCTION. COORDINATE WITH OWNER.



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PERMIT DRAWINGS



**DEMOLITION REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

①  
AD2.0

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