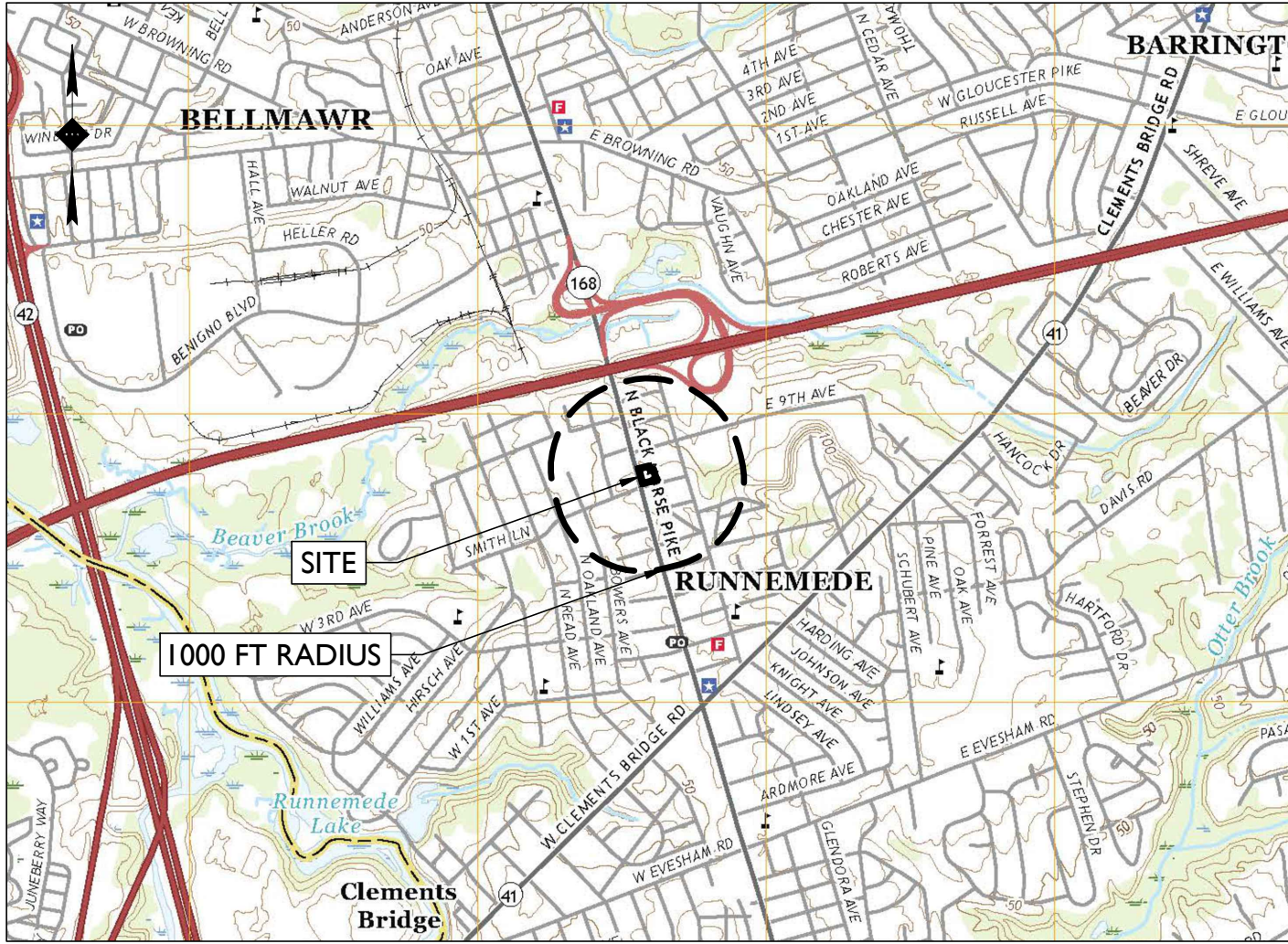




SOURCE: USGS QUADRANGLE MAP, 7.5' SERIES RUNNEMEDE, NJ, 2019

KEY MAP

SCALE: 1" = 2000'



SOURCE: GOOGLE EARTH PRO 8/2/2022

AERIAL MAP

SCALE: 1" = 120'

BOROUGH OF RUNNEMEDE 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
35	7	GLUZ ABRAHAM & BERTHA	812 BLACK HORSE PIKE
27	1.02	CONWA PROPERTY LLC	825 BLACK HORSE PIKE
27	1.02	CONWA PROPERTY LLC	825 BLACK HORSE PIKE
27	2	COOK'S ASSET MANAGEMENT LLC	815 N BLACK HORSE PIKE
27	3	COOK'S ASSET MANAGEMENT LLC	811 BLACK HORSE PIKE
27	4	IRREVOCABLE FAMILY TRUST OF PHILIP	801 BLACK HORSE PIKE
35	4	GAILER MARK J & VICTORIA R	35 E 8TH AVE
35	5	WICK, RICHARD E & JEAN ANN	25 E 8TH AVE
35	6	CROSSON NIA	21 E 8TH AVE
35	6.01	CROSSON NIA	21 E 8TH AVE
35	7.01	GLUZ ABRAHAM & BERTHA	800 BLACK HORSE PIKE
35	7.02	GLUZ ABRAHAM & BERTHA	814 BLACK HORSE PIKE
35	8	CVS PHARMACY	850 N BLACK HORSE PIKE
36	8	ZDON CHRISTOPHER	700 PRICE AVE
36	9	MORALES VANESSA I & BURGOS DAMARIS	720 PRICE AVE
36	10	W & G PROPERTIES	40 E 8TH AVE

BOROUGH OF RUNNEMEDE 200' PROPERTY OWNERS LIST (CONTINUED)			
38	2	VIOLET RUI H PROPERTY LLC	650 BLACK HORSE PIKE
38	5	SHIN DONGJIN	658 BLACK HORSE PIKE
39	1	VIOLA ANDREW S & RAGONESE SAMUEL J	735 N BLACK HORSE PIKE
39	2	733 NORTH BLACK HORSE PIKE LLC	733 N BLACK HORSE PIKE
39	3	PRU & RO INVESTMENT GROUP LLC	729 BLACK HORSE PIKE
39	4	LA MANTIA, ROSANNA A. & PROVIDENCIA	725 BLACK HORSE PIKE



Know what's below
Call before you dig.

PRELIMINARY & FINAL MAJOR SITE PLAN FOR POPEYES PROPOSED FAST FOOD RESTAURANT WITH DRIVE-THROUGH

BLOCK 35 LOTS 7, 7.01, 7.02 - TAX MAP SHEET 2
812 BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE, CAMDEN COUNTY, NJ

APPLICANT & OWNER CERTIFICATION	
APPLICANT	DATE
OWNER	DATE

RUNNEMEDE PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF RUNNEMEDE, NJ	
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

APPLICANT

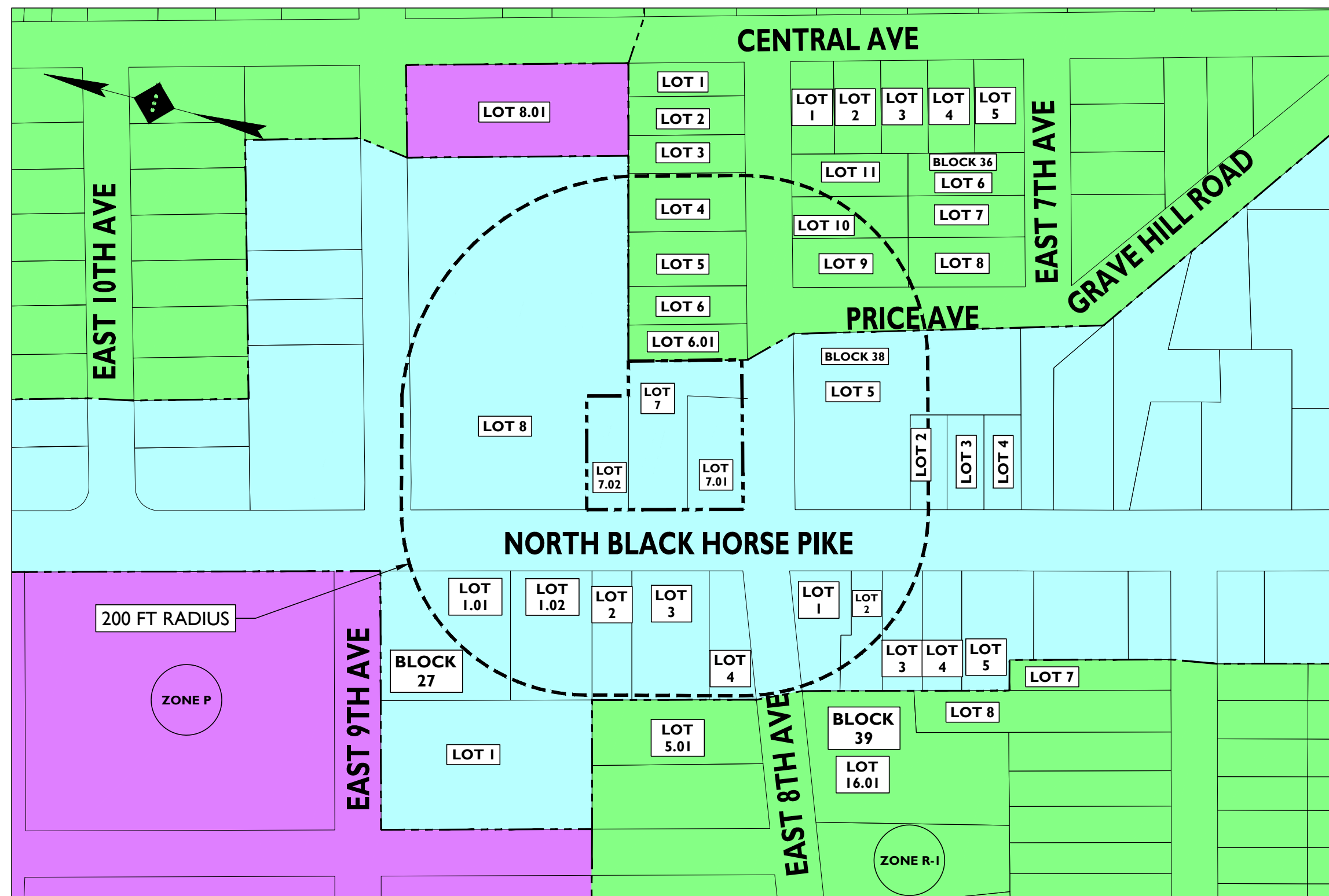
812 RUNNEMEDE CHICKEN, LLC
68 CULVER ROAD, SUITE 150
MONMOUTH JUNCTION NJ 08852
(610) 331-4868
JERRY.MURPHY@ARGRP.COM

OWNER

FIRST MORTGAGE STRATEGIES GROUP INC.
1052 BROOKFIELD RD
MEMPHIS, TN 38119

ATTORNEY

PRIME & TUVEL
14000 HORIZON WAY
SUITE 325
MOUNT LAUREL, NJ 08054
(856) 273-8300
MARIANNE@PRIMELAW.COM



SOURCE: BOROUGH OF RUNNEMEDE TAX MAP, SHEET 2

TAX & ZONING MAP

SCALE: 1" = 120'

ZONING LEGEND

ZONE R-1	ZONE C	ZONE P
----------	--------	--------

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - B & T SURVEY OBTAINED FROM STONEFIELD ENGINEERING ON 07/20/2022
 - ARCHITECTURAL PLANS OBTAINED FROM ZELTA DESIGN ON 09/08/2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO ON 08/02/2022
 - LOCATION MAP OBTAINED FROM USGS ON 08/02/2022
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8, C-9
LANDSCAPING PLAN	C-10
LANDSCAPING DETAILS	C-11
TRUCK TURN PLAN	C-12 - C-14
CONSTRUCTION DETAILS	C-15 - C-18

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35 LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: PRI-220068

TITLE:

COVER SHEET

DRAWING:

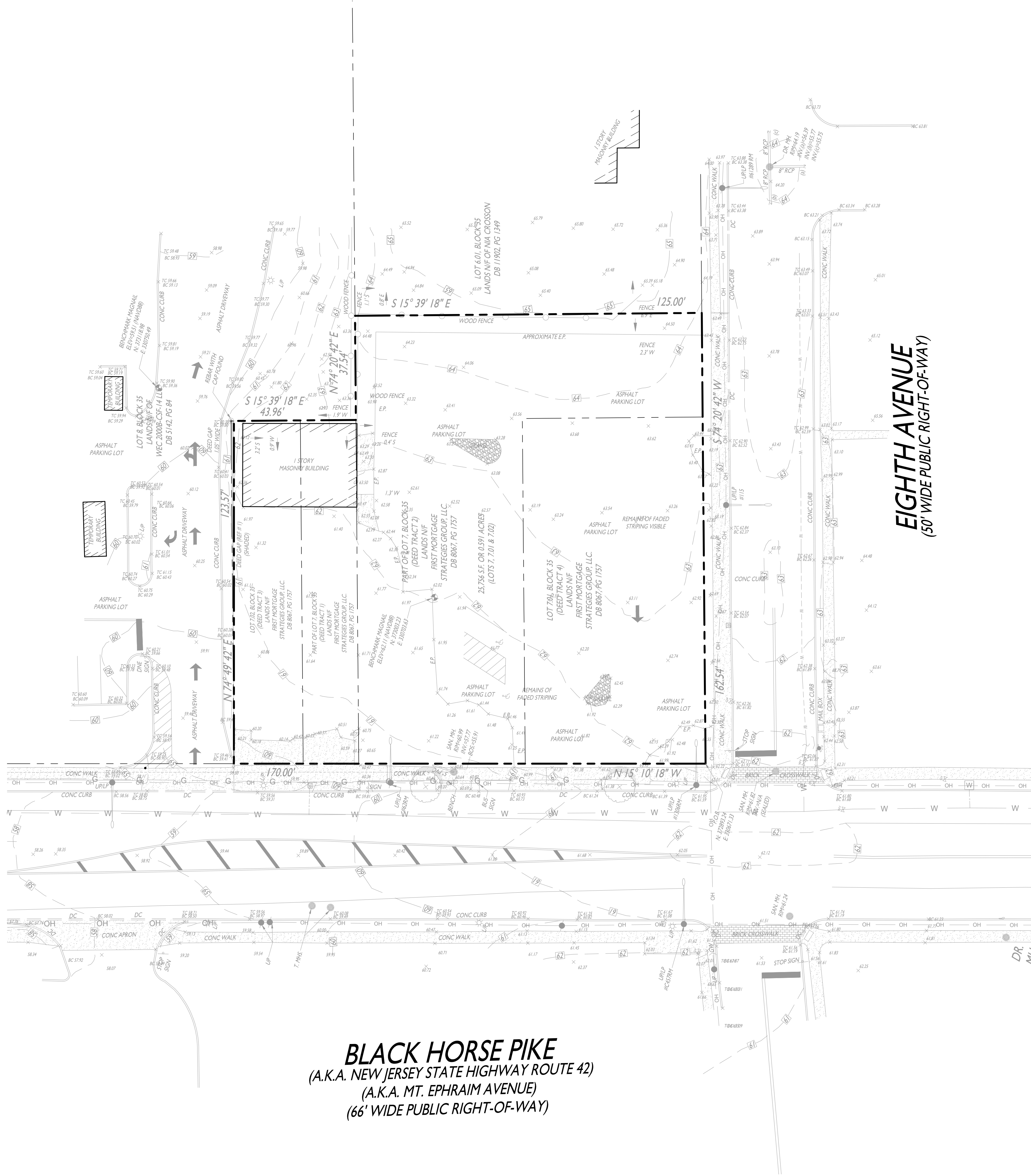
C-1



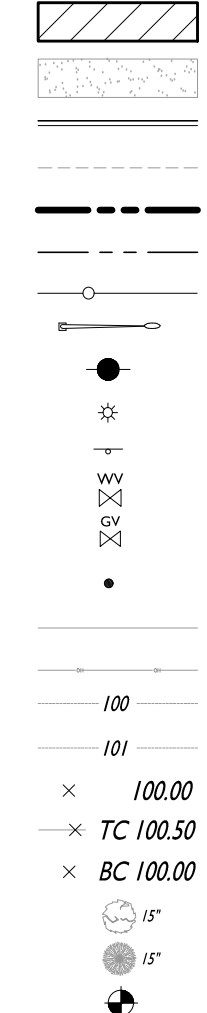
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

Z:\PROJECTS\PRJ221006\AS GROUP - 812 BLACK HORSE PIKE RUNNER\DEL N\CAD\DWG\PLT\AS.EXT.DWG



SYMBOL

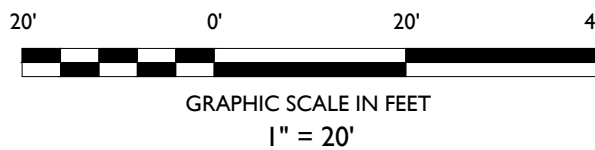


DESCRIPTION

BUILDING
CONCRETE SIDEWALK / MAT
ASPHALT / CONCRETE CURB
DEPRESSED CURB
PROPERTY LINE
ADJACENT PROPERTY LINE
FENCE LINE
MAST ARM LIGHT POLE
POLE
LIGHT POLE
SIGNS
WATER VALVE
GAS VALVE
BOLLARDS
EDGE OF PAVEMENT
OVERHEAD WIRE
MAJOR CONTOUR
MINOR CONTOUR
GRADE SPOT SHOT
TOP OF CURB SHOT
BOTTOM OF CURB SHOT
DECIDUOUS TREE - DIAMETER NOTED
PINE TREE - DIAMETER NOTED
BENCH MARK

SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: PRI-2210068

TITLE:
**EXISTING CONDITIONS
PLAN**

DRAWING:

C-2



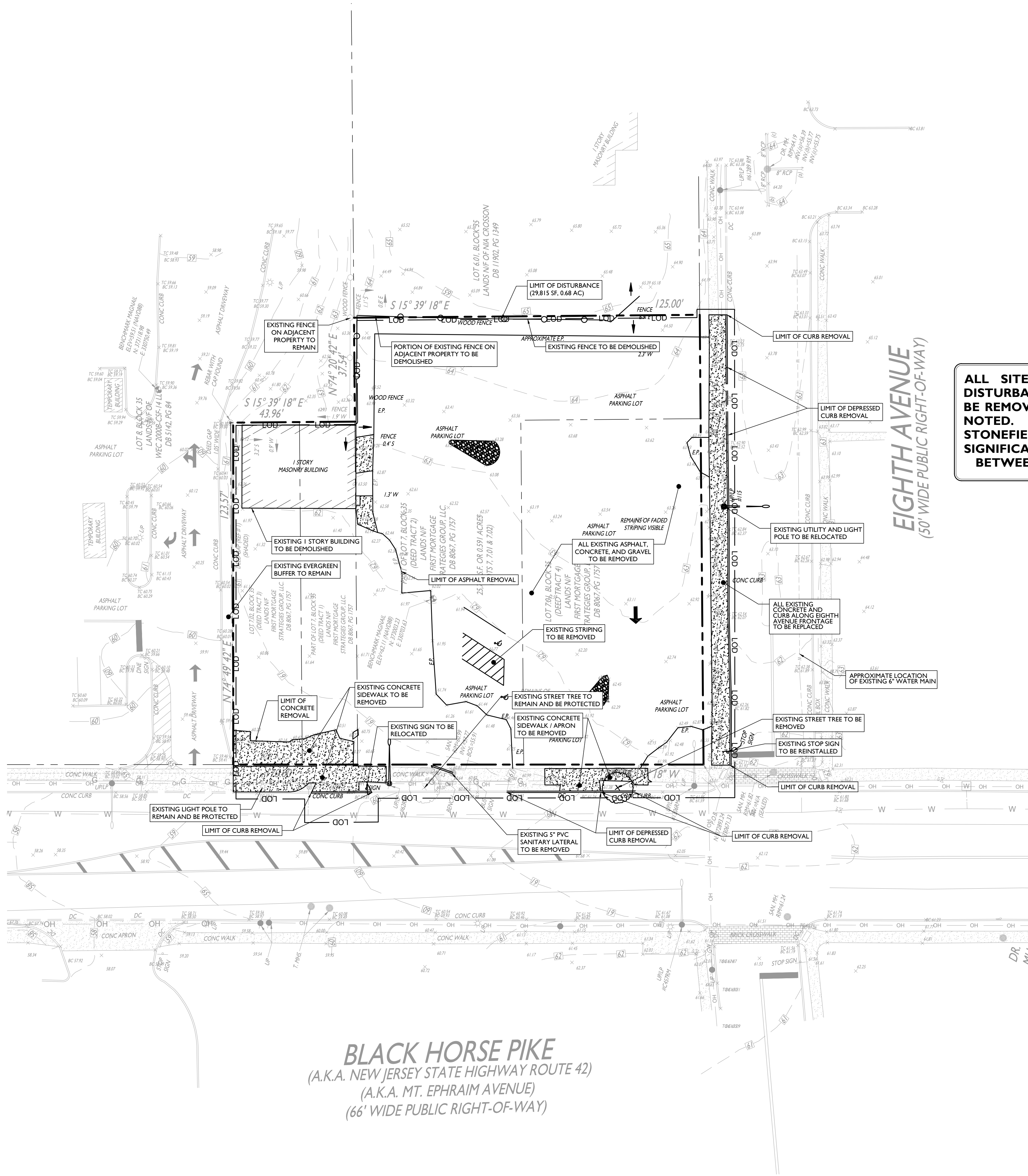
Rutherford, NJ - New York, NY - Boston, MA
Princeton, NJ - Tampa, FL - Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

NOT APPROVED FOR CONSTRUCTION

FOR GRADING REVISIONS	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DESCRIPTION
TE	GHC	GHC	GHC	GHC	LR	BY
09/13/2024	03/05/2024	06/14/2023	05/09/2023	02/22/2023	10/30/2023	DATE
6	5	4	3	2	1	ISSUE

Z:\PROJECTS\PRJ221291\22068.AS GROUP - 812 BLACK HORSE PIKE RUNNERDEL, NJ\CAD\DWG\TFLD-81.DWG



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

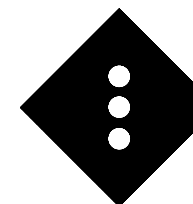


Know what's below
Call before you dig.

DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
-

STONEFIELD
engineering & design



Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI

www.stonefielddesign.com

15 Spring Street, Princeton, NJ 08542

Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDA
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:

DEMOLITION PLAN

DRAWING:

C-3

LAND USE AND ZONING			
BLOCK 35, LOTS 7, 7.01, & 7.02			
COMMERCIAL (C) DISTRICT			
PROPOSED USE			
RESTAURANT WITH DRIVE-THRU		CONDITIONAL USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT FRONTAGE	60 FT	162.5 FT	162.5 FT
MINIMUM LOT AREA (CONDITIONAL USE)	20,000 SF	25,756 SF	25,756 SF
MAXIMUM IMPERVIOUS COVERAGE	50%	68.9 % (17,738 SF) (EN)	66.5% (17,136 SF) (EN)
MAXIMUM BUILDING HEIGHT	50 FT / 4 STORIES	1 STORY	20.5 FT / 1 STORY
MINIMUM FRONT YARD SETBACK	10 FT	92.5 FT	32.3 FT
MINIMUM SIDE YARD SETBACK (ONE)	1/3 OF TOTAL OF 2 SIDE YARDS	3.2 FT	58.1 FT
MINIMUM SIDE YARD SETBACK (BOTH)	30 FT	N/A	N/A
MINIMUM REAR YARD SETBACK	10 FT	0.9 (EN)	68.2 FT
MINIMUM RESIDENTIAL BUFFER	20 FT	6.0 FT	20.9 FT
MINIMUM DRIVE-THROUGH BUFFER	8 FT	N/A	20.9 FT

(V) VARIANCE
(EN) EXISTING NONCOMFORMITY

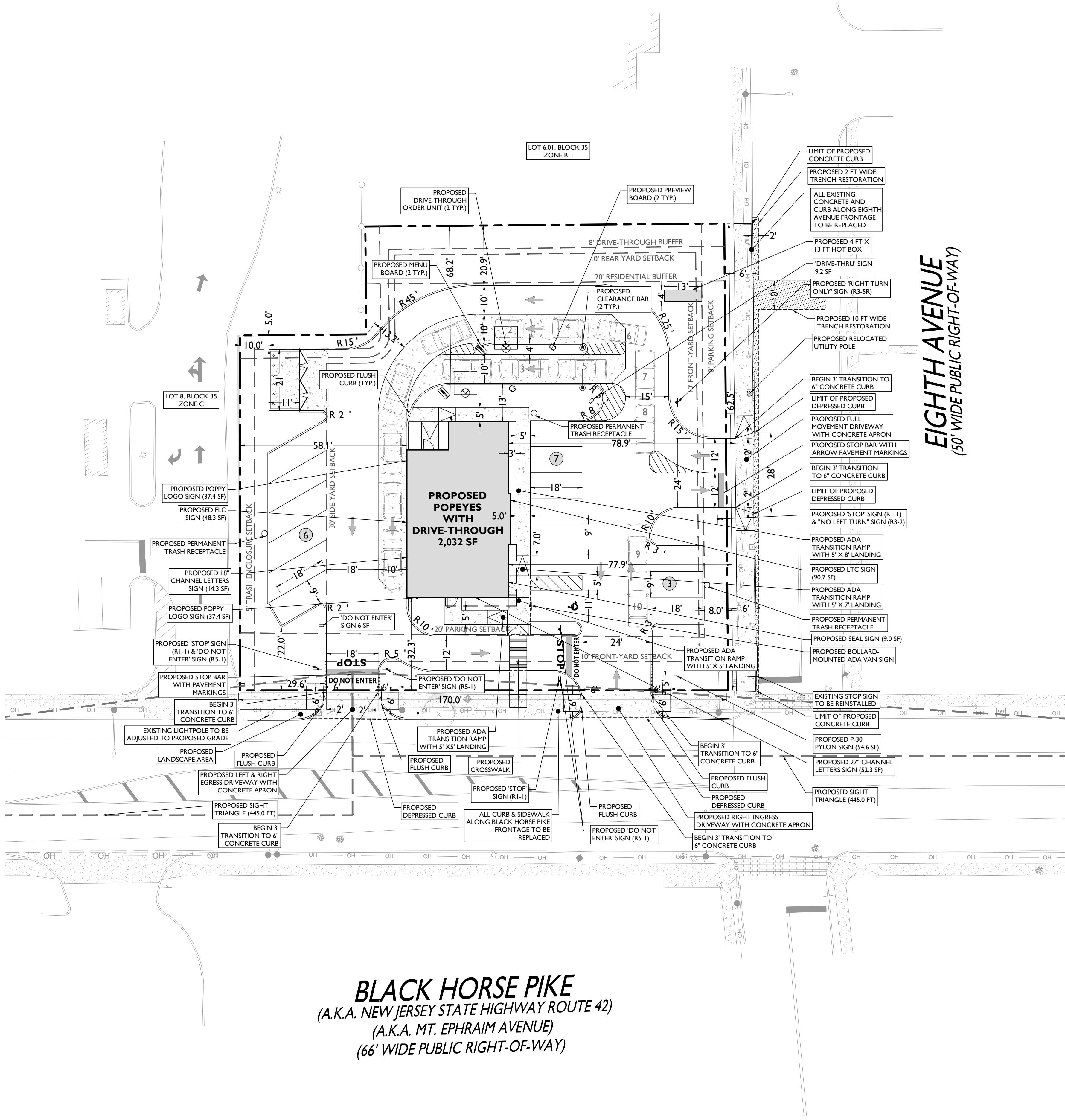
CONDITIONAL USE STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
§ 395-24.C.4.(a)	MINIMUM LOT AREA: 2,000 SF	25,756 SF
§ 395-24.C.4.(b)	TRAFFIC IMPACT REPORT TO BE SUBMITTED WITH APPLICATION	WILL COMPLY
§ 395-24.C.4.(c)	NUMBER OF SEATS TO BE PROVIDED ON APPLICATION	WILL COMPLY
§ 395-24.C.4.(f)	MAXIMUM NUMBER OF MENU BOARDS PERMITTED: 1	4 MENU BOARDS (V)
§ 395-24.C.4.(f)	MAXIMUM MENU BOARD HEIGHT: 7.5 FT	5.2 FT
§ 395-24.C.4.(f)	MAXIMUM MENU BOARD AREA: 45 SF	20.2 SF
§ 395-24.C.4.(g)[1]	TRASH ENCLOSURES SHALL BE MASONRY STRUCTURES A MINIMUM OF 6 FT IN HEIGHT, WITH EXTERIOR FACADE TO MATCH BUILDING	WILL COMPLY
§ 395-24.C.4.(g)[2]	TRASH ENCLOSURES TO BE SET BACK A MINIMUM OF 5 FT FROM SIDE & REAR PROPERTY LINES	5.0 FT SETBACK PROVIDED
§ 395-24.C.4.(i)	REQUIRED DRIVE-THROUGH STACK: 8 SPACES	10 SPACES
§ 395-24.C.4.(j)	DRIVE-THROUGH SERVICE SPEAKERS SHALL NOT BE UTILIZED BETWEEN THE HOURS OF 10PM & 6AM IF PROPERTY IS WITHIN 100 FT OF A RESIDENTIAL ZONE	HOURS OF OPERATION: 10:30AM - 10:00PM
§ 395-24.C.4.(k)	DRIVE-THROUGH WINDOW & VEHICLE STACKING LANES TO BE MINIMUM 8 FT FROM ADJACENT PROPERTIES. BUFFER TO INCLUDE EVERGREEN TREES & FENCE	MIN. 13.2 FT BUFFER PROVIDED

(V) VARIANCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 395-13.B.(1)(d)	REQUIRED PARKING: 1 PER 400 SF OF FLOOR SPACE = (11400 x 1990 SF = 5 SPACES	16 SPACES
§ 395-13.A.(3)	REQUIRED PARKING SETBACK FROM FRONT STREET: 20 FT	22.0 FT
§ 395-13.A.(3)	REQUIRED PARKING SETBACK FROM SIDE STREET: 8 FT	8.0 FT

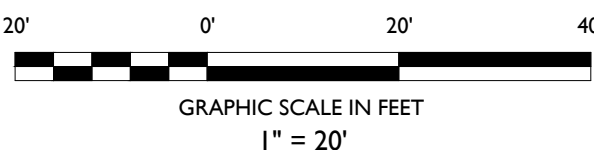
SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 395-18.F.12	MAXIMUM DIRECTIONAL SIGN AREA: 2 SF	6.0 SF (V)
§ 395-18.M.(1)(a)	MAXIMUM NUMBER OF FREESTANDING SIGNS: 1 PER FRONTAGE	1 SIGN
§ 395-18.M.(1)(d)	MAXIMUM AREA OF EACH FREESTANDING SIGN: 20 SF PER 50 LF OF ROADWAY FRONTAGE OR 80 SF (20/50) x 170 LF = 68 SF	54.6 SF
§ 395-18.M.(1)(e)	MINIMUM FREESTANDING SIGN SETBACK: 5 FT	5 FT
§ 395-18.M.(1)(f)	MAXIMUM FREESTANDING SIGN HEIGHT: 18 FT	20 FT (V)
§ 395-18.M.(1)(h)	FREESTANDING SIGN BASE TO HAVE A LANDSCAPED AREA AROUND THE BASE, A MINIMUM OF 1.5x THE SIGN AREA = 54.6 x 1.5 = 81.9 SF	207 SF PROPOSED
§ 395-18.M.(1)(g)	MAXIMUM NUMBER OF WALL SIGNS: 1 PER FRONTAGE = 2 SIGNS	7 WALL SIGNS (V)
§ 395-18.M.(1)(c)	MAXIMUM AREA OF EACH WALL SIGN: 15% OF FACADE AREA (60 FT X 20.5 FT X 0.15 = 185 SF) OR 80 SF	27" CHANNEL LETTERS: 52.3 SF 18" CHANNEL LETTERS: 14.3 SF LTC: 90.7 SF (V) FLC: 48.3 SF POPPY: 37.4 SF

(V) VARIANCE



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED MOUNTABLE CURB
---	PROPOSED EXTENDED CURB
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED BUILDING DOORS
---	PROPOSED BOARD-ON-BOARD FENCE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - ALL EMPLOYEES OF THE RESTAURANT SHALL BE REQUIRED TO PARK ON THE SITE.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS Laid IN THE NOTES WITHIN THIS PLAN SET.
 - THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF THE SITE IMPROVEMENTS PER N.J.A.C. 5:23-2.1(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND C.R. 1926.32(f) (OSHA COMPETENT PERSON).
 - ALL PROPOSED CONCRETE SHALL BE A MINIMUM OF 4,000 PSI.



FOR GRADING REVISIONS

TE

09/13/2024

FOR MUNICIPAL RESUBMISSION

GHC

03/05/2024

FOR MUNICIPAL RESUBMISSION

GHC

06/14/2023

FOR MUNICIPAL RESUBMISSION

GHC

05/09/2023

FOR MUNICIPAL RESUBMISSION

GHC

02/22/2023

FOR MUNICIPAL SUBMISSION

LR

09/30/2023

DATE

BY

ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD

engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDA
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD

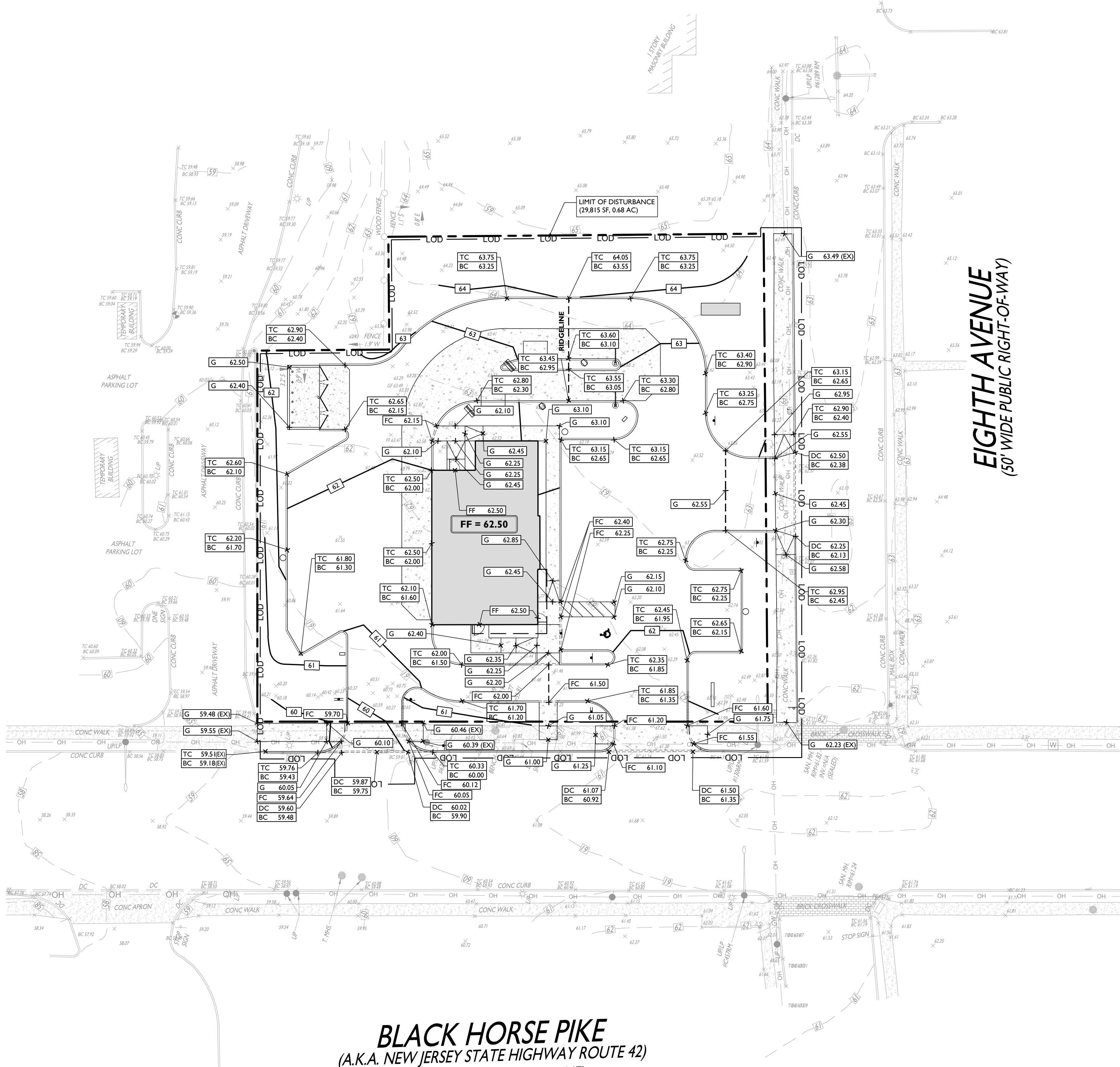
engineering & design

SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE: SITE PLAN

DRAWING: C-4

Z:\PROJECTS\PRJ221291\22006 AS GROUP - 812 BLACK HORSE PIKE RUNNERDEL, NY\CAD\DWG\PLD-48-GRADING

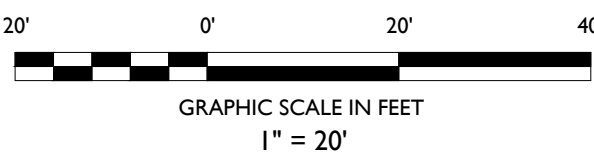


BLACK HORSE PIKE
(A.K.A. NEW JERSEY STATE HIGHWAY ROUTE 42)
(A.K.A. MT. EPHRAIM AVENUE)
(66' WIDE PUBLIC RIGHT-OF-WAY)

SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMP ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMP SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN
812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:
GRADING & DRAINAGE PLAN

DRAWING:

C-5

FOR GRADING REVISIONS	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	FOR MUNICIPAL RESUBMISSION	DESCRIPTION
TE	GHC	GHC	GHC	GHC	LR	BY
09/13/2024	03/05/2024	06/14/2023	05/09/2023	02/22/2023	10/30/2023	DATE
6	5	4	3	2	1	ISSUE
NOT APPROVED FOR CONSTRUCTION						

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO OBTAIN THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OCCURRING WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER LINE AND ANY OTHER UTILITY. THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. SANITARY SEWER LINES SHALL BE MAINTAINED AT A MINIMUM OF 18" BETWEEN SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONSTRUCTION. RECORD THE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY UTILITY WHEN THE LOWEST UTILITY IS EXPOSED.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DESIGN REQUIREMENTS. THE RECORD SET SHALL BE MAINTAINED. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE DESIGN LOCATIONS. THIS RECORD SET SHALL BE MAINTAINED AND BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

PRELIMINARY & FINAL MAJOR SITE PLAN 812 CHICKEN, LLC PROP. POPEYES W/ DRIVE-THROUGH BLOCK 35, LOTS 7, 7.01, & 7.02 TAX MAP SHEET 2 800, 812 & 814 NORTH BLACK HORSE PIKE BOROUGH OF RUNNEMEDE CARDEN COUNTY, NEW JERSEY	PAUL D. MUTCH Jr., P.E. NEW JERSEY LICENSE NO. 55094 LICENSED PROFESSIONAL ENGINEER
 STONEFIELD engineering & design	
SCALE: 1" = 20'	PROJECT ID: PRI-220068
TITLE: UTILITY PLAN	
DRAWING: C-6	

The site plan illustrates the proposed lighting layout for a building complex. The building footprints are labeled with their respective areas and typical footcandle values: (18'), (15'), (12.67') 4-TYPICAL, (9'), (8') 10 TYPICAL, and (15'). The plan also shows the proposed 0.5, 1.0, and 2.0 footcandle isolines, as well as the 66' wide public right-of-way. The plan includes a north arrow, a scale bar, and a legend for the isolines. The plan also shows the proposed 0.5, 1.0, and 2.0 footcandle isolines, as well as the 66' wide public right-of-way. The plan includes a north arrow, a scale bar, and a legend for the isolines.

BLACK HORSE PIKE
 (A.K.A. NEW JERSEY STATE HIGHWAY ROUTE 42)
 (A.K.A. MT. EPHRAIM AVENUE)
 (66' WIDE PUBLIC RIGHT-OF-WAY)

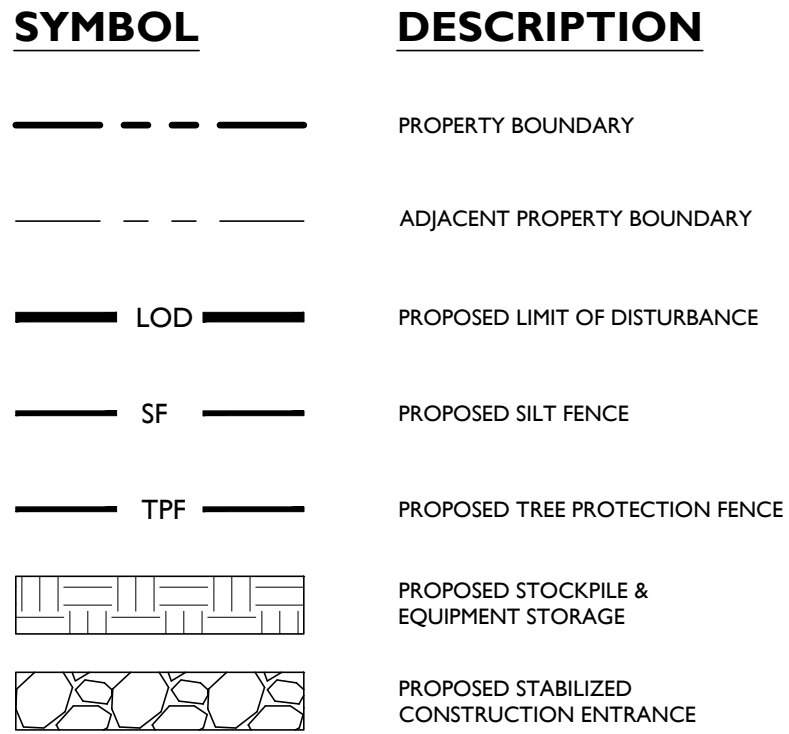
GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER, ACTUAL ILLUMINATION LEVELS AND PERFORMANCE MAY VARY. UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIATIONS MAY AFFECT LIGHTING CONDITIONS.
2. THE EXISTING LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON LIGHT OBSERVATIONS AND THE LIGHTING FIXTURES TO BE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMISSION DIRECTION: 0.72
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING LIGHTING LOCATIONS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WORKS TO BE SUBMITTED TO THE OWNER AND STONEFELD ENGINEERING & DESIGN, LLC.

- 20' 0' 20' 40'
- 
- GRAPHIC SCALE IN FEET
1" = 20'

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
2. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
3. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
4. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE APPLIED TO ALL EXPOSED AREAS AND ALL SEEDING AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
5. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
6. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE. ACCORDING TO THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT, CRITICAL AREAS ARE THOSE AREAS WHERE RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SEEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS TO PREVENT FAILURE OF SUCH STRUCTURES.
8. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR CRUSHED STONE TIRE CLEANING STRUCTURES.
9. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
11. ALL HIGH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
12. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
13. ALL DEVELOPER OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER FABRIC. THE SEDIMENT FILTER MUST BE COMPOSED OF A SUITABLE SEDIMENT FILTER FIBER. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
14. NESA 2019 SET EQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT RESIDENCE. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE FOR THE PROJECT TO BE OPENED TO THE PUBLIC BY THE MUNICIPALITY.
15. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
16. ONCE PERMANENT DISTURBED AREAS ARE STABILIZED, ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT INSPECTOR.
17. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
18. THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
19. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY TO THE SUBSEQUENT OWNER.
20. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL PILE WITH STRAW MULCH FOR PROTECTION IF IT IS NOT POSSIBLE TO NOT RELOCATE TOPSOIL PRIOR TO ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
21. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS.
22. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO HAVE A pH LESS THAN 5.5.
23. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
24. MAXIMUM SLOPE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
25. ALL EXPOSED STOCKPILES SHALL BE STABILIZED ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
26. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
27. TO USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
28. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE SEED AND ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
29. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPE PLAN.
30. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

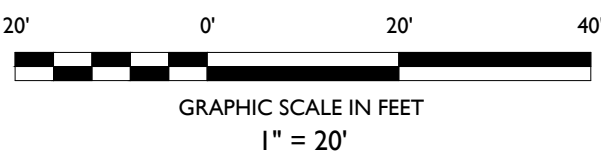


1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN A MAINTENANCE LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	FREEHOLD-DOWNER-URBAN LAND COMPLEX (FrpB)
PERCENT OF SITE COVERAGE	100%
HYDROLOGIC SOIL GROUP	B
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
DEPTH TO WATER TABLE	> 80 INCHES

1. CONSTRUCT TEMPORARY ASPHALT TRANSITION FROM EDGE OF ROAD TO CONSTRUCTION ENTRANCE AND INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE (3 DAYS).
2. DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (5 DAYS).
3. ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).
4. EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (30 DAYS).
5. INSTALL INLET FILTERS (1 DAY).
6. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (120 DAYS).
7. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
8. REMOVE SOIL EROSION MEASURES (1 DAY).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO BOROUGH AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

[illegible]

NOT APPROVED FOR CONSTRUCTION



15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

**BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY**

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



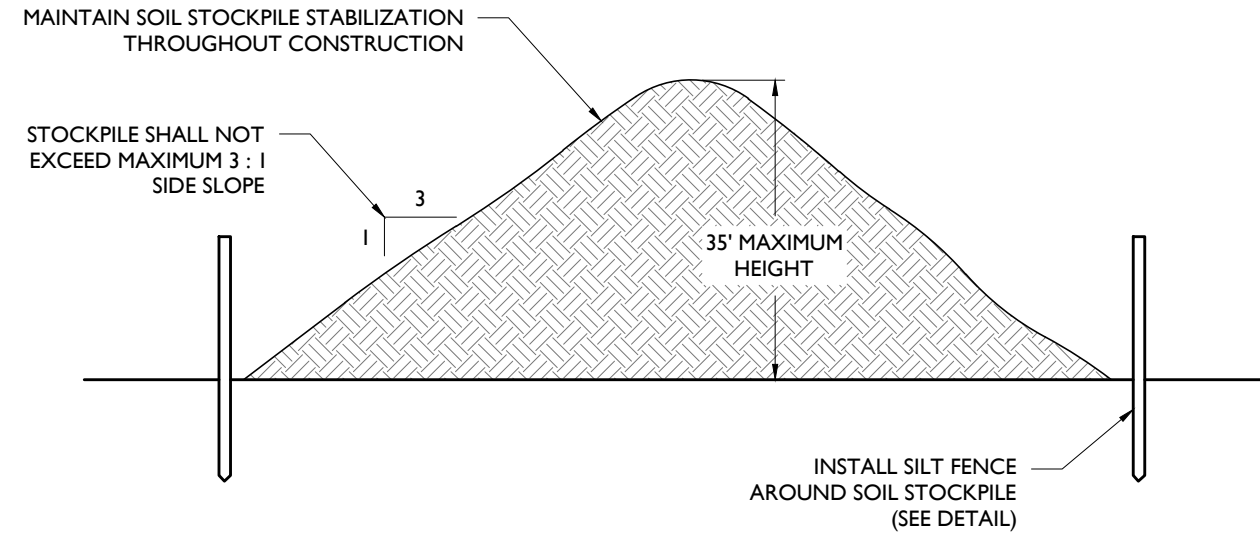
SCALE:	1" = 20'	PROJECT ID:	PRI-220068
--------	----------	-------------	------------

TITLE: **SOIL EROSION &
SEDIMENT CONTROL
PLAN**

DRAWING

C-8

Z:\PROJECTS\PRJ22\PRJ22068.AS GROUP - 812 BLACK HORSE PIKE RUNNER\812_N\CAD\DWG\TULDP-09-18.DWG

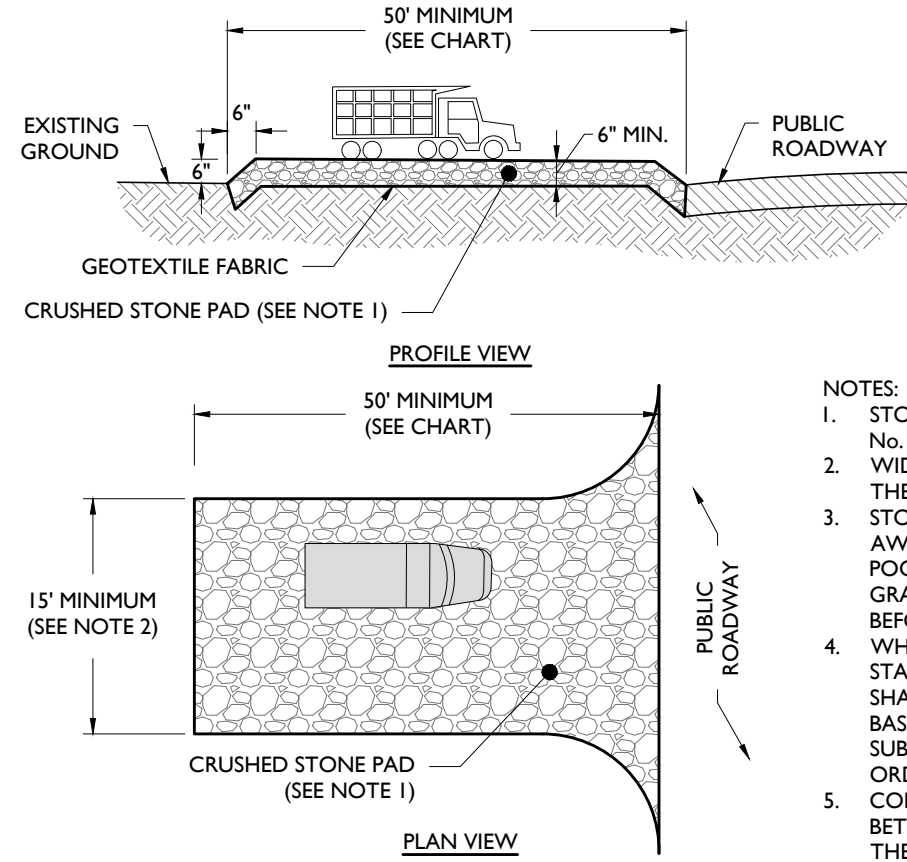


- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

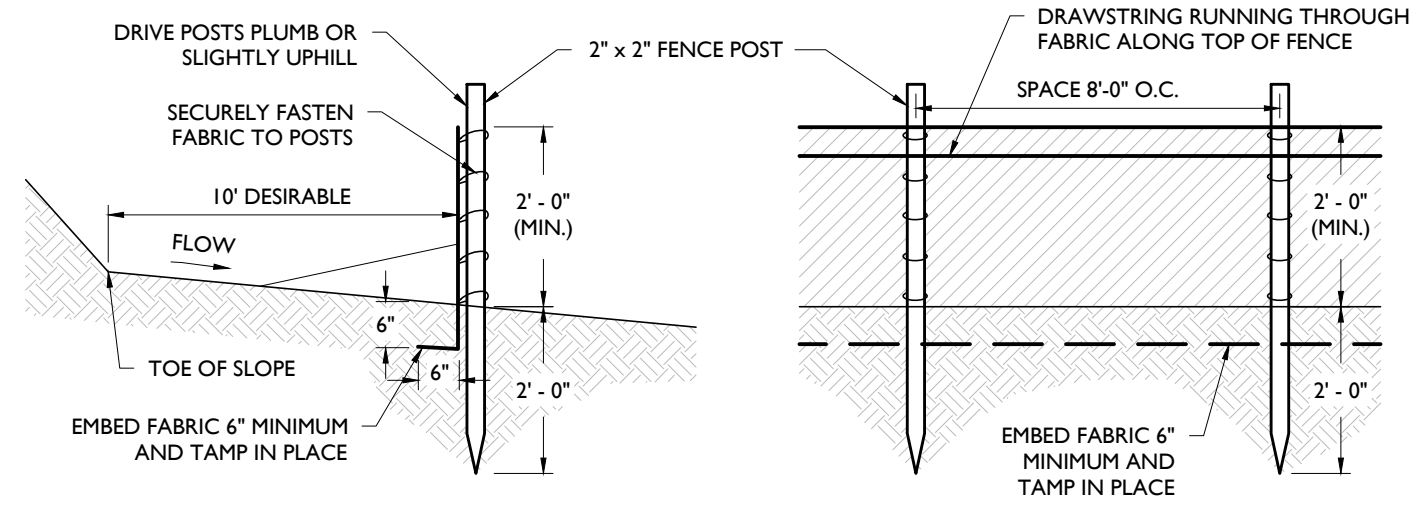
1



- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

2

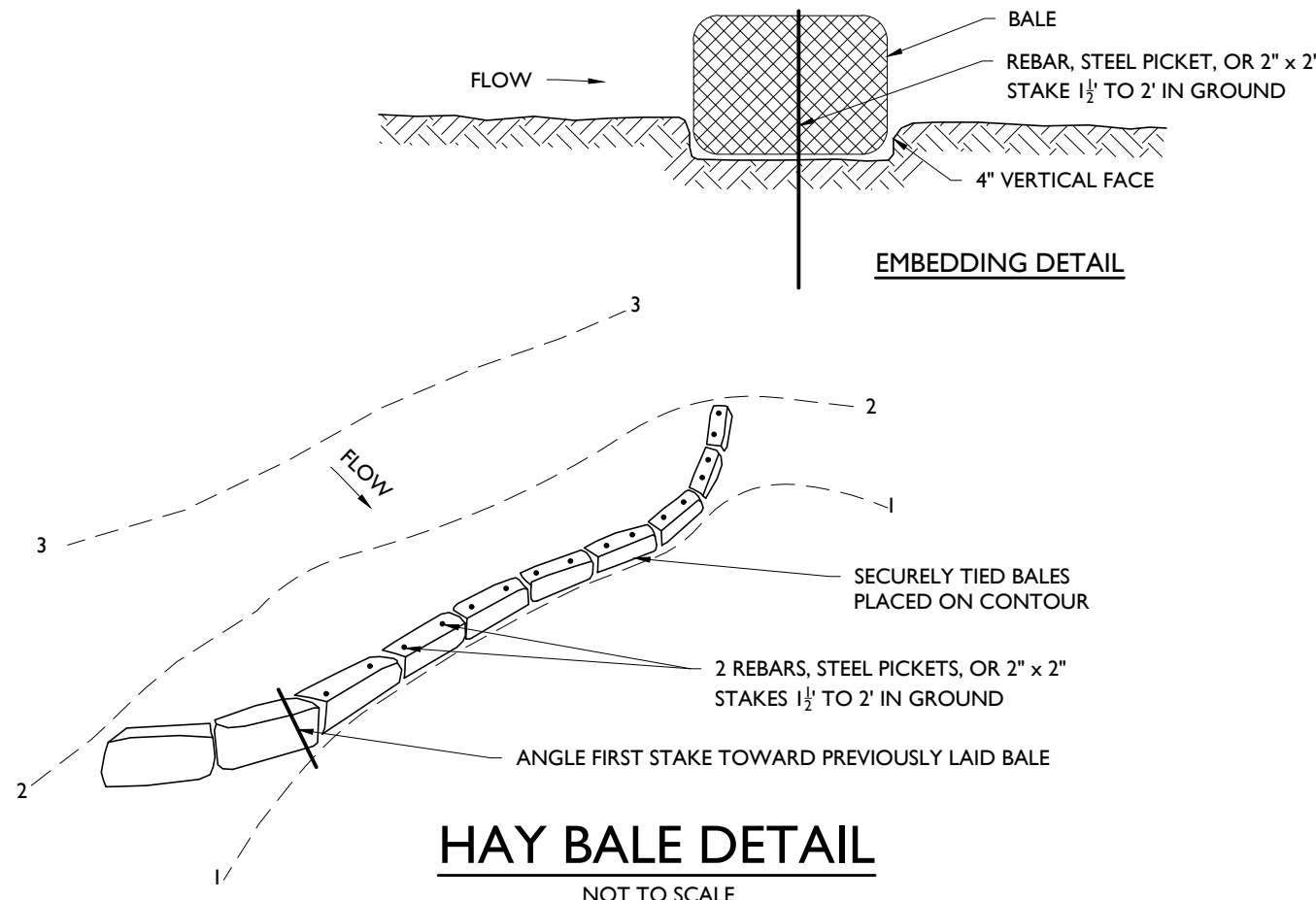


- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

3



HAY BALE DETAIL

NOT TO SCALE

4

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI

www.stonefielddeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDA
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:

**SOIL EROSION &
SEDIMENT CONTROL
DETAILS**

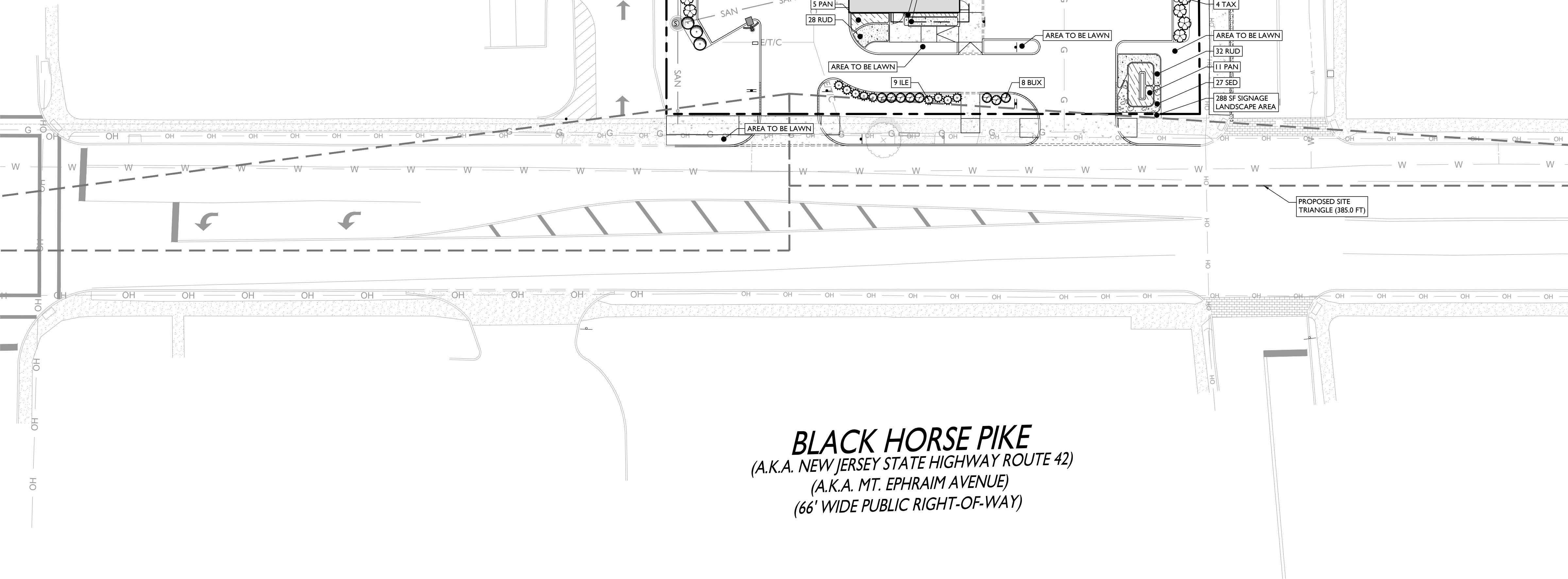
DRAWING:

C-9

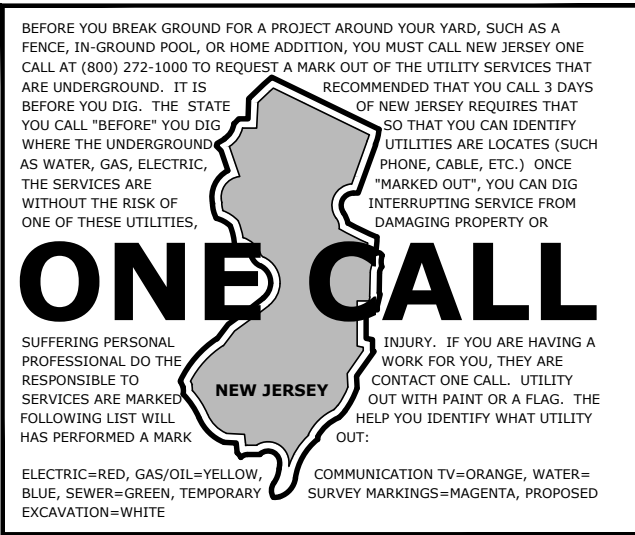
LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 395-9.G.(1)	BUFFER REQUIREMENTS A LANDSCAPED BUFFER AREA 20 FT WIDE IS REQUIRED ALONG ANY RESIDENTIAL ZONE	COMPLIES
§ 395-9.G.(2)	BUFFER AREAS SHALL CONSIST OF LAWN OR GROUND COVER AREA AND MASSES EVERGREEN TREES AND SHRUBS TO PROVIDE A CONTINUOUS VISUAL SCREEN	21 EVERGREEN TREES PROPOSED
§ 395-9.G.(3)	EVERGREEN AND DECIDUOUS SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 3 FT WHEN PLANTED	COMPLIES
§ 395-13.A.(6)	OFF-STREET PARKING SCREENING PARKING LOT SHALL BE ADEQUATELY SCREENED FROM ADJOINING PROPERTY IN A RESIDENTIAL DISTRICT BY A HEDGE OR SLIGHTLY FENCE OR WALL MINIMUM 3 FT HIGH. ANY SCREENING SHALL BE SET BACK 5 FT FROM PROPERLY LINE	HEDGE PROPOSED
§ 395-18.M.(1)(h)	SIGNAGE LANDSCAPING THE BASE OF A FREESTANDING OR MONUMENT SIGN SHALL HAVE A LANDSCAPED AREA AROUND THE BASE A MINIMUM OF 1.5 TIMES THE AREA OF THE SIGN. (54.6 SF SIGN) * (1.5) = 81.9 SF	288 SF PROPOSED

PLANT SCHEDULE						
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE
	ACE	7	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	40-50 FT HIGH 30-40 FT WIDE	2.5" - 3" CAL
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE
	OPA	6	ILEX OPACA 'JERSEY KNIGHT'	JERSEY KNIGHT AMERICAN HOLLY	20-30 FT HIGH 10-15 FT WIDE	6" - 7" HT
	JUV	8	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	25-35 FT HIGH 10-20 FT WIDE	6" - 7" HT
	THG	7	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	30-40 FT HIGH 10-14 FT WIDE	6" - 7" HT
	THS	7	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	12-14 FT HIGH 3-4 FT WIDE	6" - 7" HT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE
	BUX	12	BUXUS MICROPHYLLA 'WINTERGREEN'	WINTERGREEN BOXWOOD	2-3 FT HIGH 2-3 FT WIDE	3 GAL.
	ICH	9	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY	5-6 FT HIGH 6-8 FT WIDE	42" - 48"
	ILE	15	ILEX CRENATA 'HELLER'	HELLER JAPANESE HOLLY	2-3 FT HIGH 2-3 FT WIDE	3 GAL.
	GLA	11	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	4-6 FT HIGH 4-6 FT WIDE	3 GAL.
	TAX	12	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	3-4 FT HIGH 4-6 FT WIDE	3 GAL.
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SPACING
	PAN	19	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3-4 FT HIGH 2-3 FT WIDE	36" o.c.
	RUD	81	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	1-2 FT HIGH 1-2 FT WIDE	18" o.c.
	SED	43	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	1-2 FT HIGH 1-2 FT WIDE	18" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

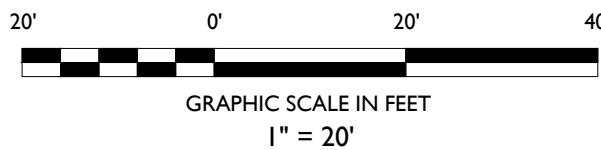


BLACK HORSE PIKE
(A.K.A. NEW JERSEY STATE HIGHWAY ROUTE 42)
(A.K.A. MT. EPHRAIM AVENUE)
(66' WIDE PUBLIC RIGHT-OF-WAY)



IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



FOR GRADING REVISIONS

TE

09/13/2024

6

FOR MUNICIPAL RESUBMISSION

GHC

03/05/2024

5

FOR MUNICIPAL RESUBMISSION

GHC

06/14/2023

4

FOR MUNICIPAL RESUBMISSION

GHC

05/09/2023

3

FOR MUNICIPAL RESUBMISSION

GHC

02/22/2023

2

FOR MUNICIPAL RESUBMISSION

LR

09/20/2023

1

DATE

BY

ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

STONEFIELD
engineering & design

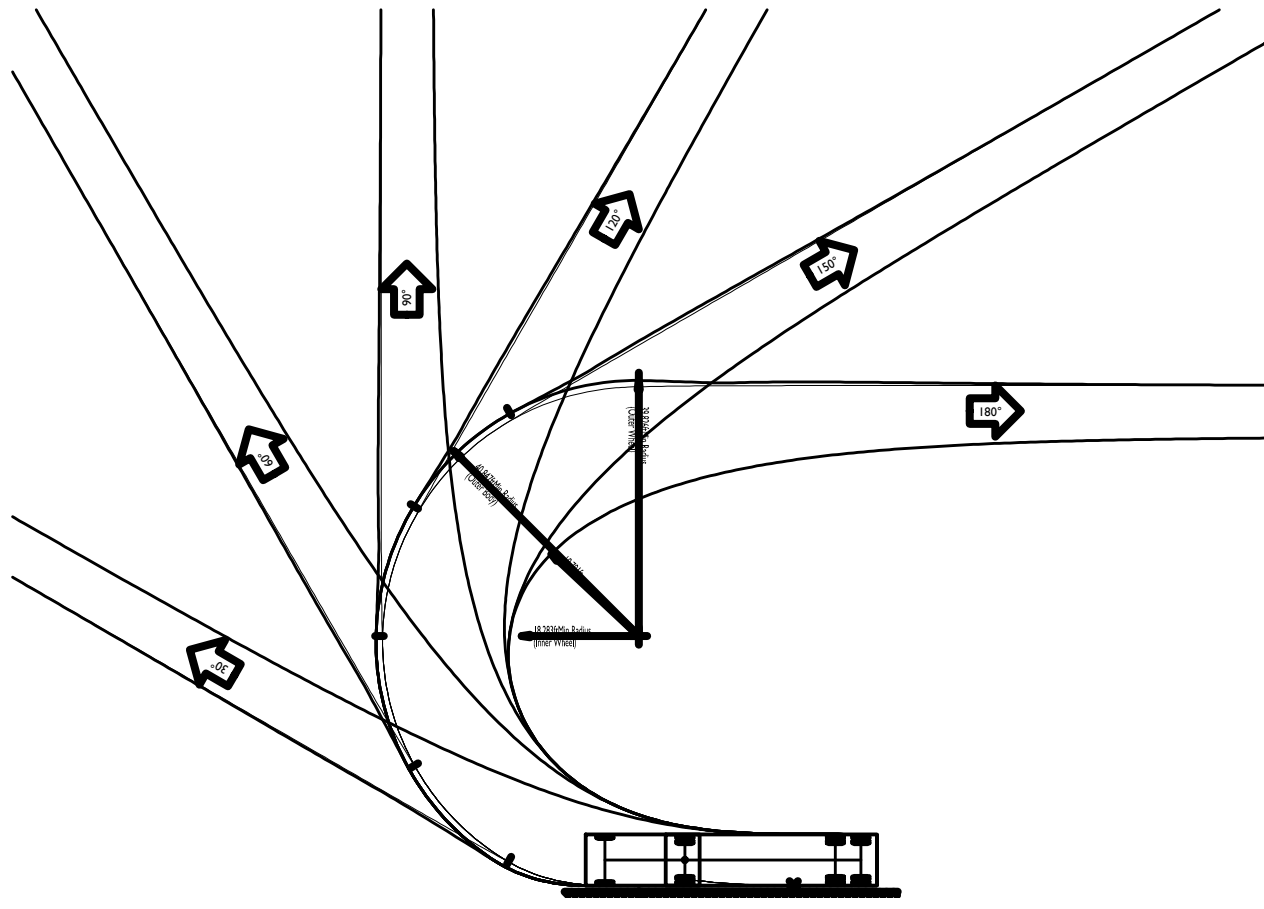
PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 20' PROJECT ID: PRI-220068

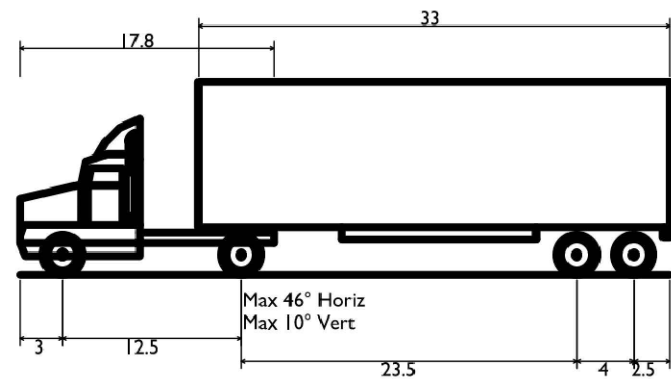
TITLE: LANDSCAPING PLAN

DRAWING: C-10

Z:\PROJECTS\PRJ220068\AS GROUP - 812 BLACK HORSE PIKE RUNNER\NJCADD\DOT\PLAN\TRUCK.DWG

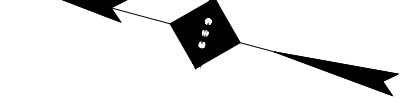
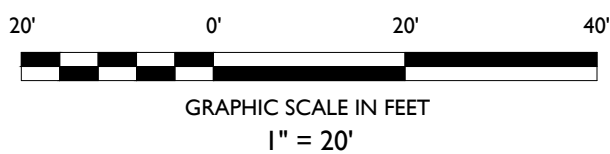
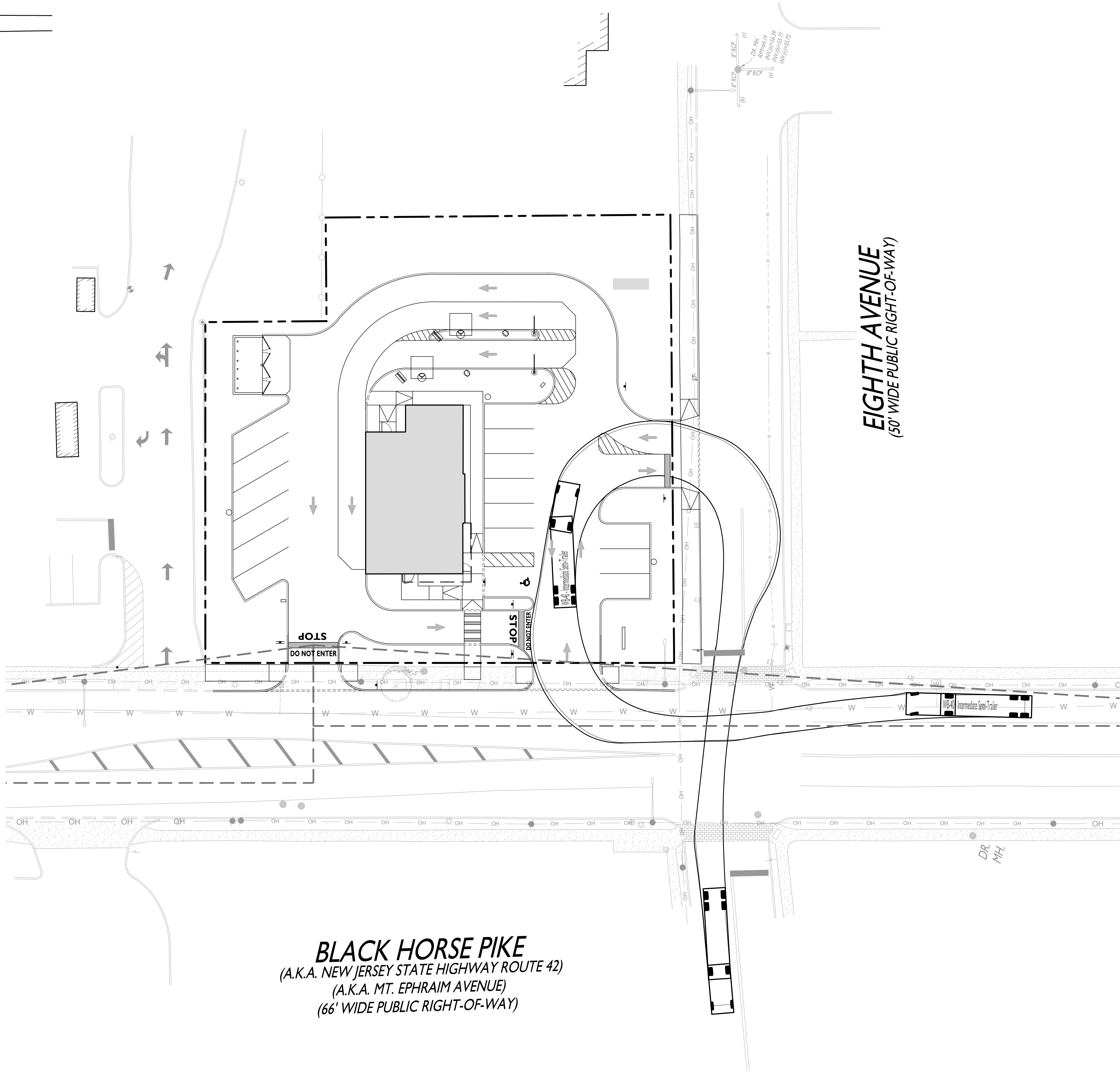


TURNING TEMPLATE
WB-40



WB-40 - Intermediate Semi-Trailer
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

45.499ft
8.000ft
13.500ft
1.334ft
8.000ft
4.00s
20.30°



PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



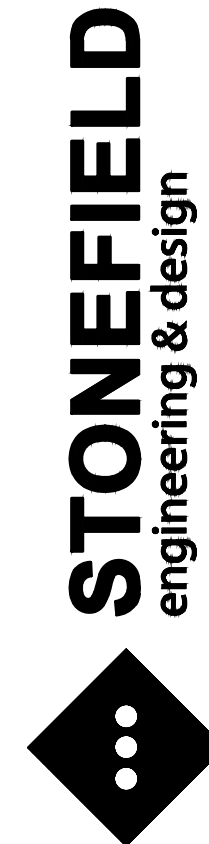
SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:

**TRUCK TURN PLAN -
WB-40**

DRAWING:

C-12



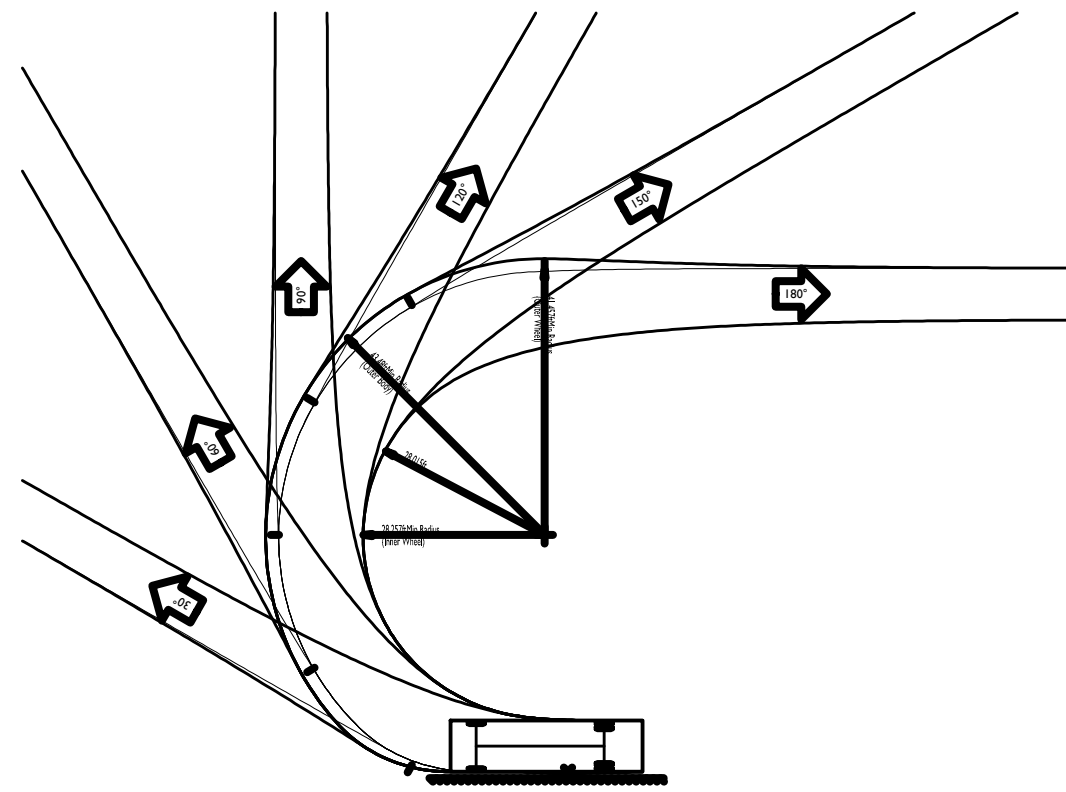
Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

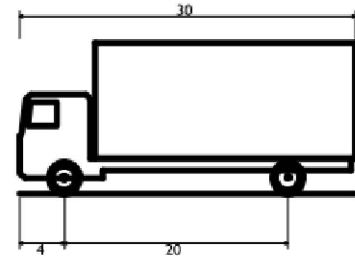
NOT APPROVED FOR CONSTRUCTION

FOR GRADING REVISIONS		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL RESUBMISSION		DESCRIPTION	
6	5	4	3	2	1	DATE	BY	ISSUE	DATE	BY	ISSUE		
09/13/2024	03/05/2024	06/14/2023	05/09/2023	02/22/2023	09/20/2022								
TE	GHC	GHC	GHC	GHC	LR								

Z:\PROJECTS\PRJ22068\AS GROUP - 812 BLACK HORSE PIKE RUNNER\ENR\NCAD\DOT\PLAN\TRUCK.DWG

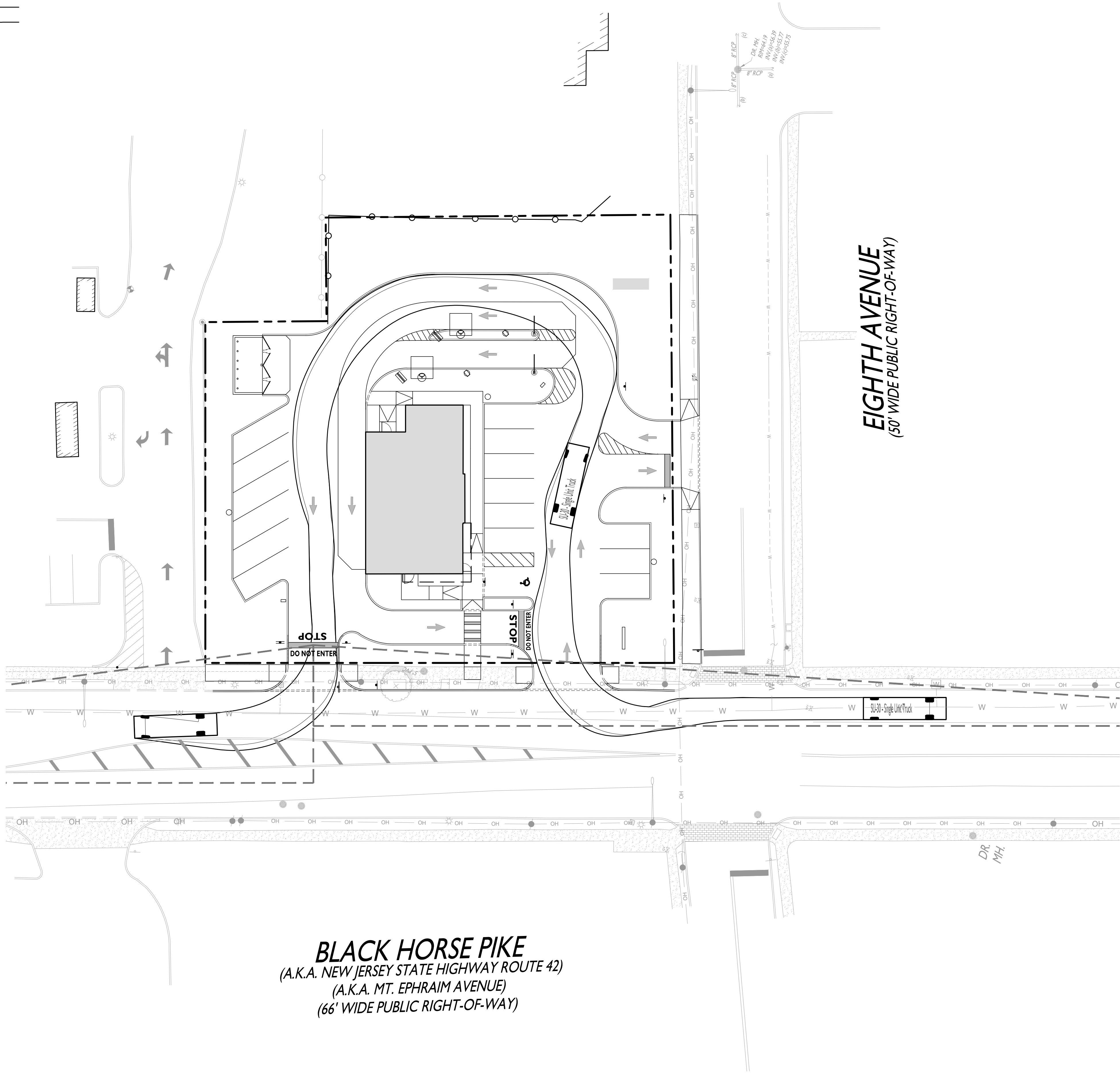


TURNING TEMPLATE
SU-30



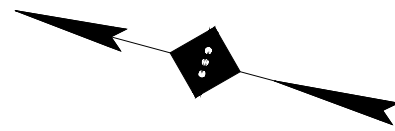
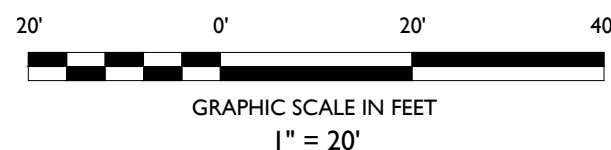
SU-30 - Single Unit Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

30.000ft
8.000ft
13.500ft
1.36ft
8.000ft
5.00s
31.80°



BLACK HORSE PIKE
(A.K.A. NEW JERSEY STATE HIGHWAY ROUTE 42)
(A.K.A. MT. EPHRAIM AVENUE)
(66' WIDE PUBLIC RIGHT-OF-WAY)

EIGHTH AVENUE
(50' WIDE PUBLIC RIGHT-OF-WAY)



PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDA
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:

**TRUCK TURN PLAN -
SU-30**

DRAWING:

C-13



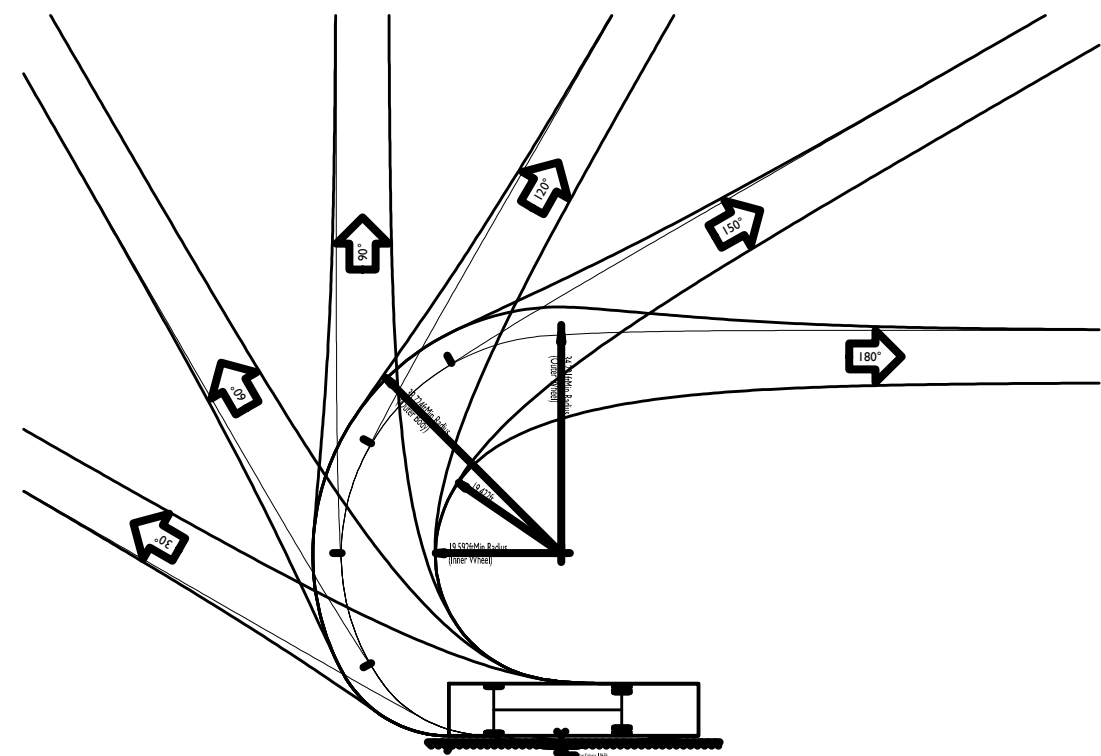
Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

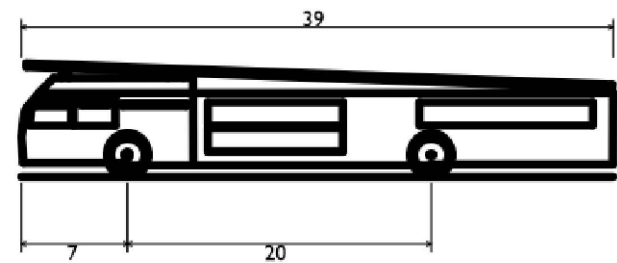
NOT APPROVED FOR CONSTRUCTION

FOR GRADING REVISIONS	TE	DATE	BY	DESCRIPTION
FOR MUNICIPAL RESUBMISSION	6	09/13/2024	GHC	
FOR MUNICIPAL RESUBMISSION	5	03/05/2024	GHC	
FOR MUNICIPAL RESUBMISSION	4	06/14/2023	GHC	
FOR MUNICIPAL RESUBMISSION	3	05/09/2023	GHC	
FOR MUNICIPAL RESUBMISSION	2	02/22/2023	GHC	
FOR MUNICIPAL RESUBMISSION	1	09/30/2022	LR	

Z:\PROJECTS\PRJ221068\AS GROUP - 812 BLACK HORSE PIKE RUNNERS\IN\CAD\DOT\PLAN\TRUCK.DWG

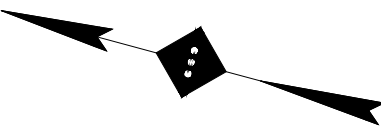
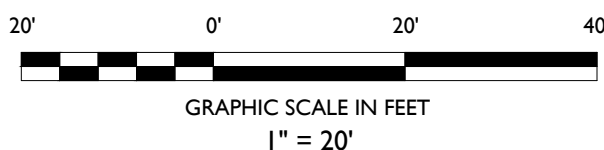
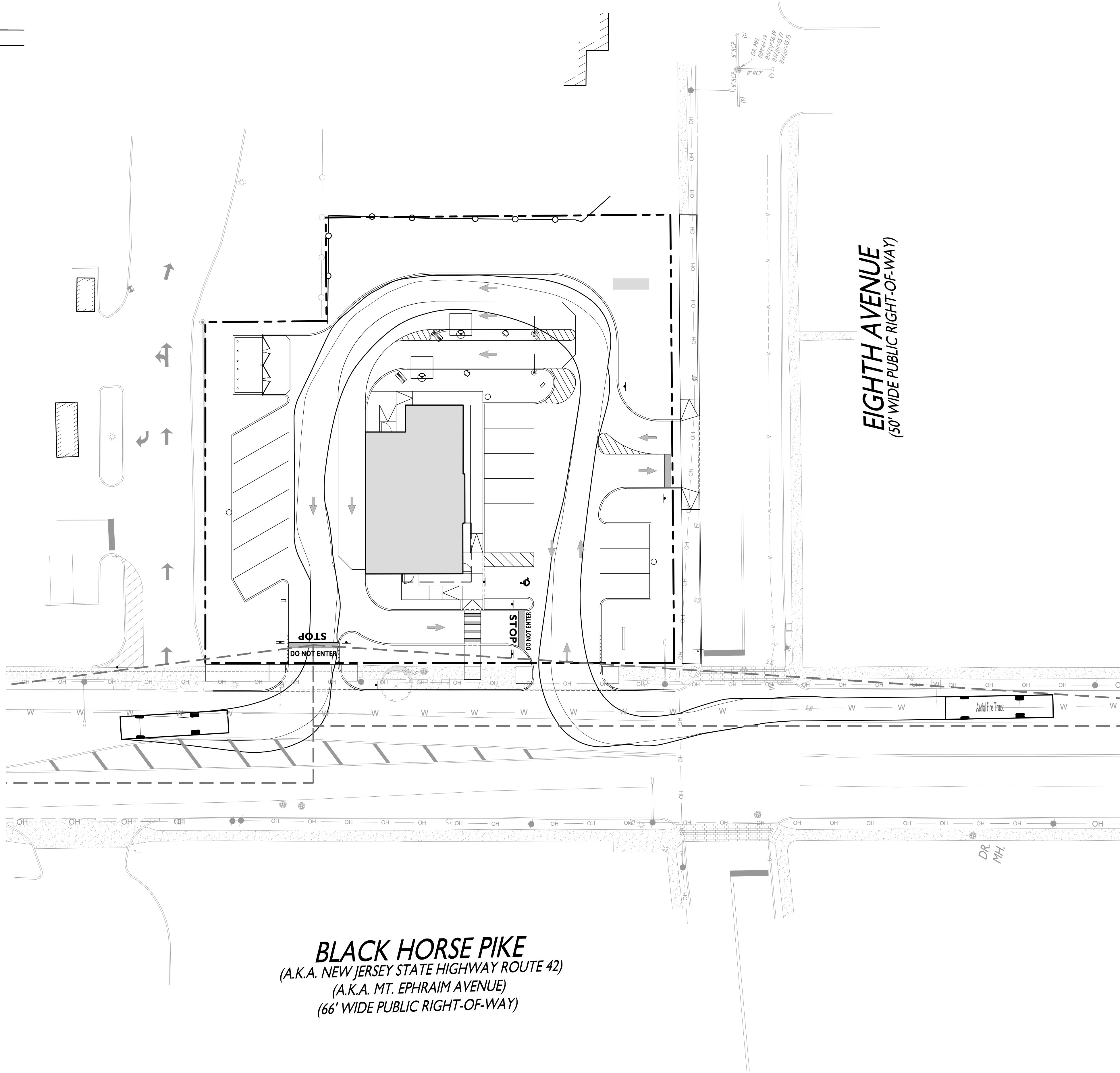


TURNING TEMPLATE
FIRE TRUCK



Aerial Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

39.000ft
8.167ft
7.500ft
0.750ft
8.167ft
5.00s
45.00°



PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC
PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: PRI-220068

TITLE:

**TRUCK TURN PLAN -
FIRE**

DRAWING:

C-14



Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI

www.stonefielddeng.com

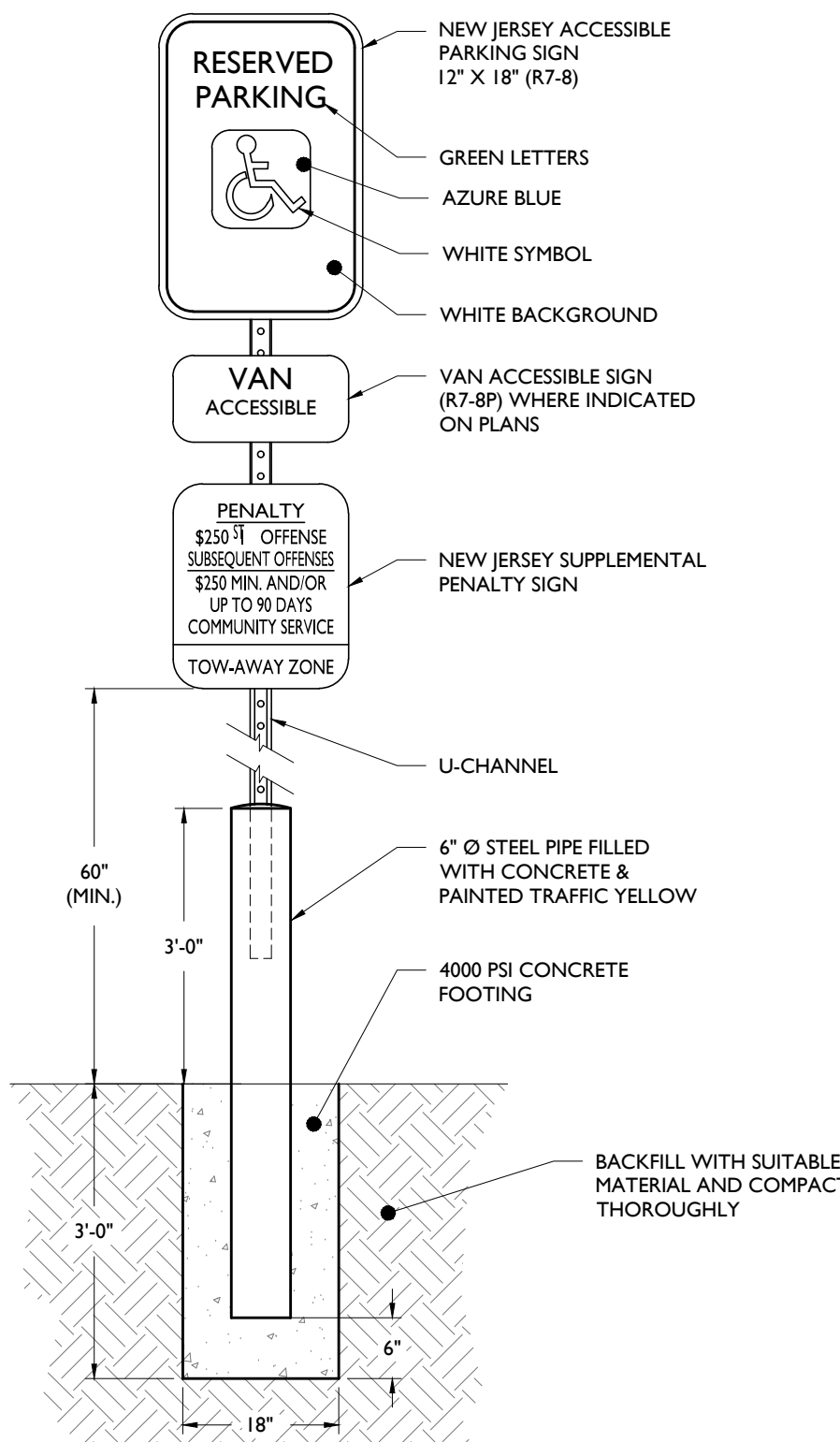
15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

NOT APPROVED FOR CONSTRUCTION

FOR GRADING REVISIONS	TE	DATE	BY	DESCRIPTION
FOR MUNICIPAL RESUBMISSION	6	09/13/2024	GHC	
FOR MUNICIPAL RESUBMISSION	5	03/05/2024	GHC	
FOR MUNICIPAL RESUBMISSION	4	06/14/2023	GHC	
FOR MUNICIPAL RESUBMISSION	3	05/09/2023	GHC	
FOR MUNICIPAL RESUBMISSION	2	02/22/2023	GHC	
FOR MUNICIPAL RESUBMISSION	1	09/20/2022	LR	

Z:\PROJECTS\PRJ221026\AS GROUP - 812 BLACK HORSE PIKE\RUNNER\812_NORTH\812_CAD\812_CAD\812_CAD\812_CAD.dwg

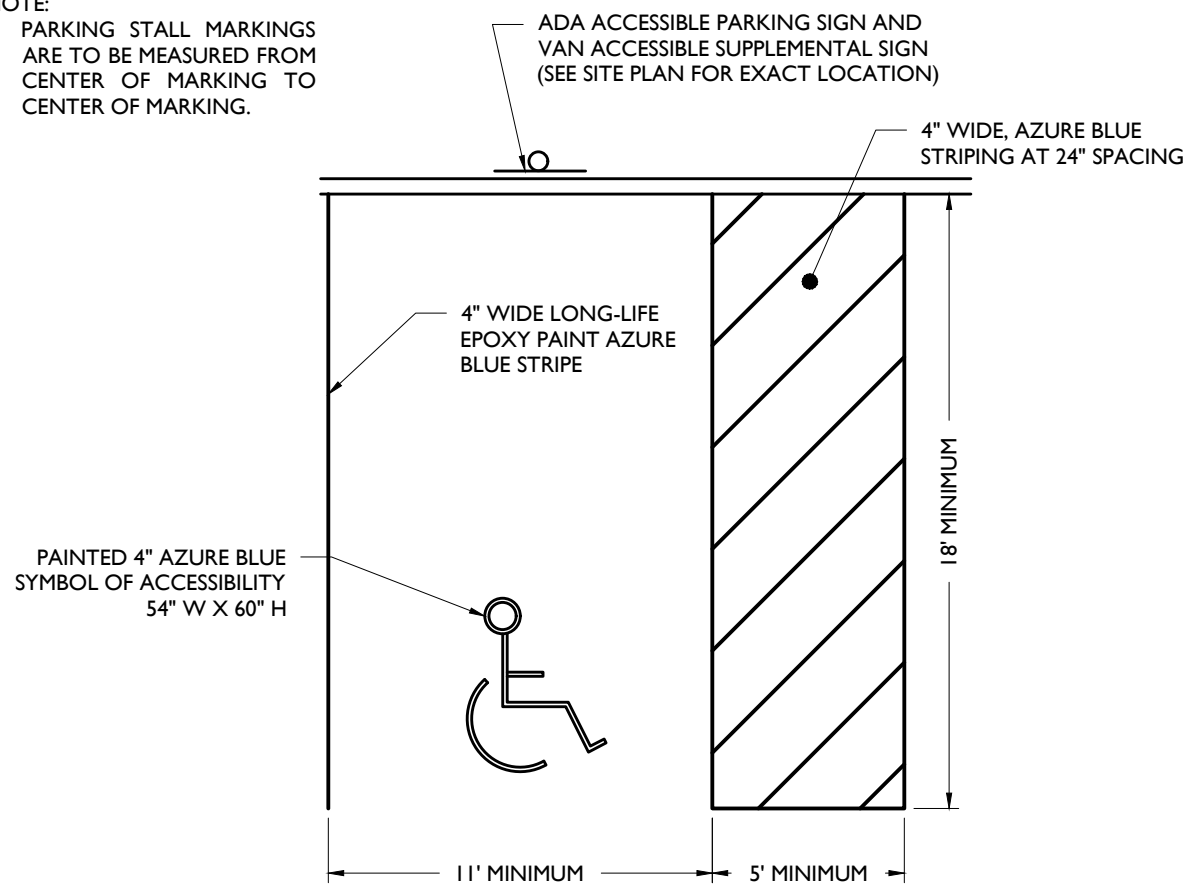
ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL



NOT TO SCALE

NOTE:

1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

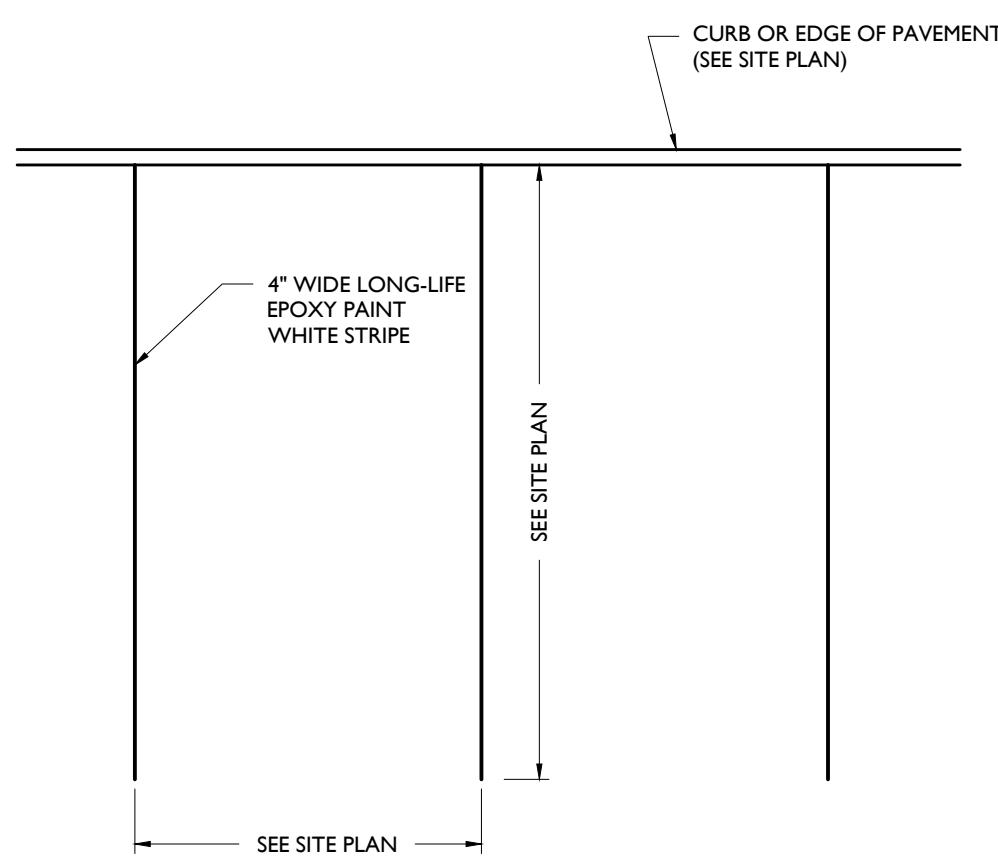


ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

2

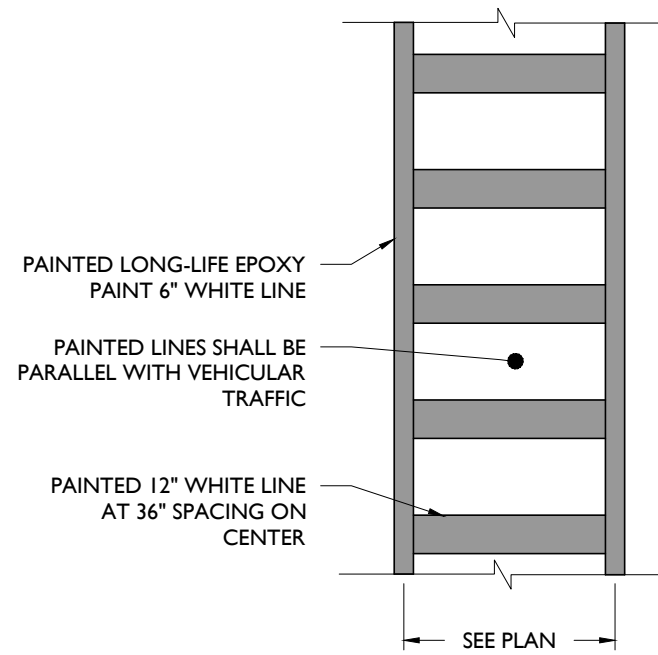
PARKING STALL MARKINGS



NOT TO SCALE

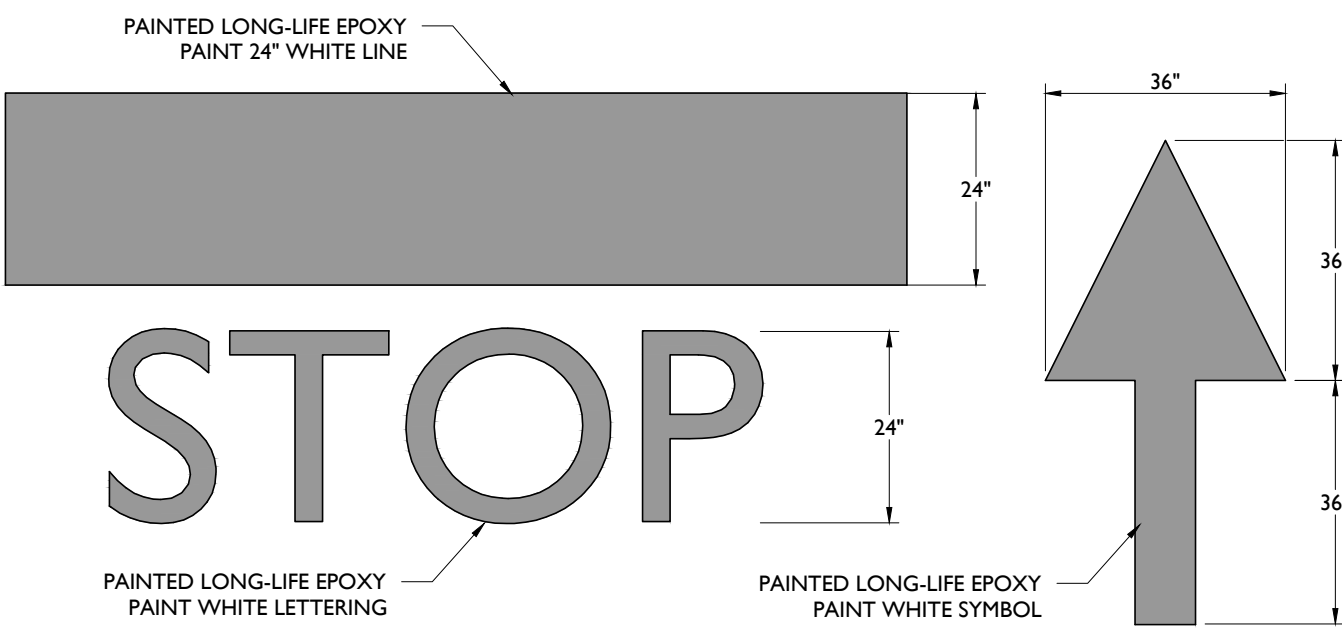
3

CROSSWALK DETAIL



NOT TO SCALE

4

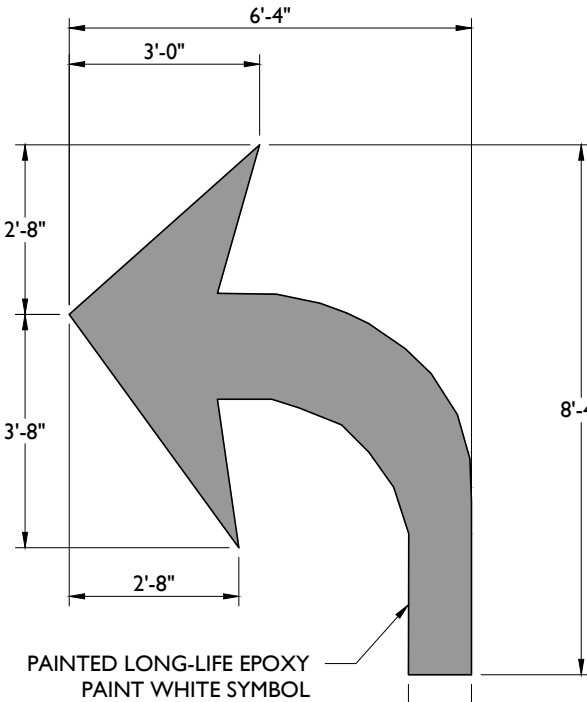


STOP BAR & ARROW DETAILS

NOT TO SCALE

5

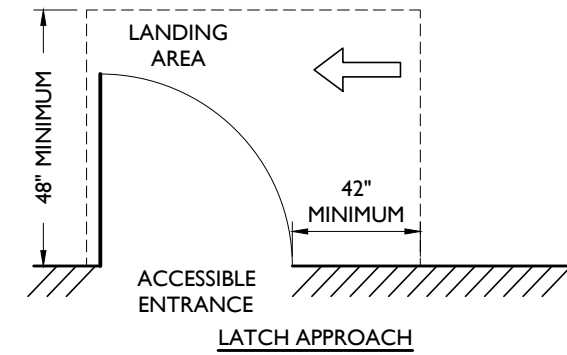
TURN ARROW DETAIL



NOT TO SCALE

6

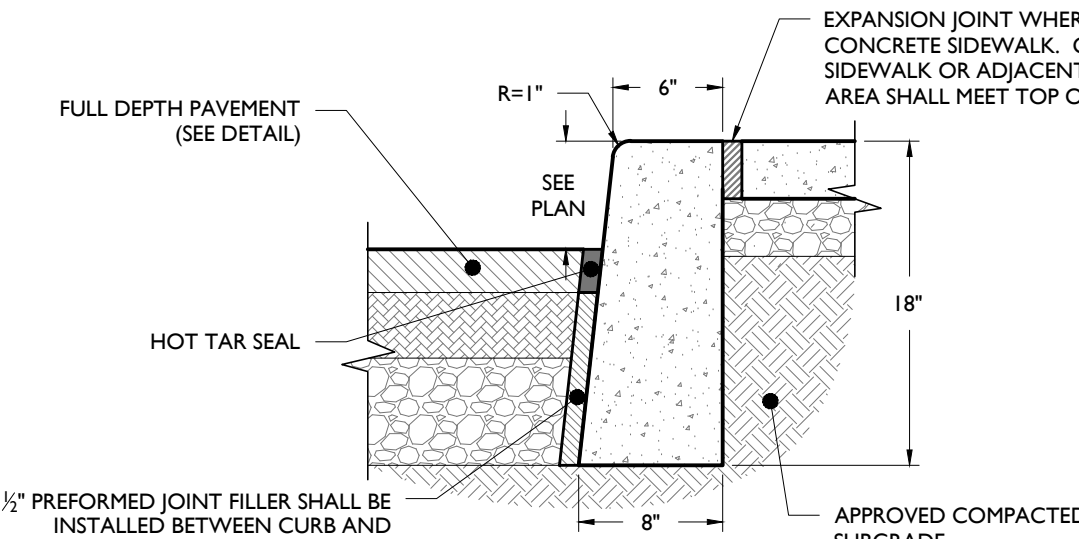
ACCESSIBLE ENTRANCE LANDING DETAIL



NOT TO SCALE

7

- NOTES:
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.
 2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
 3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

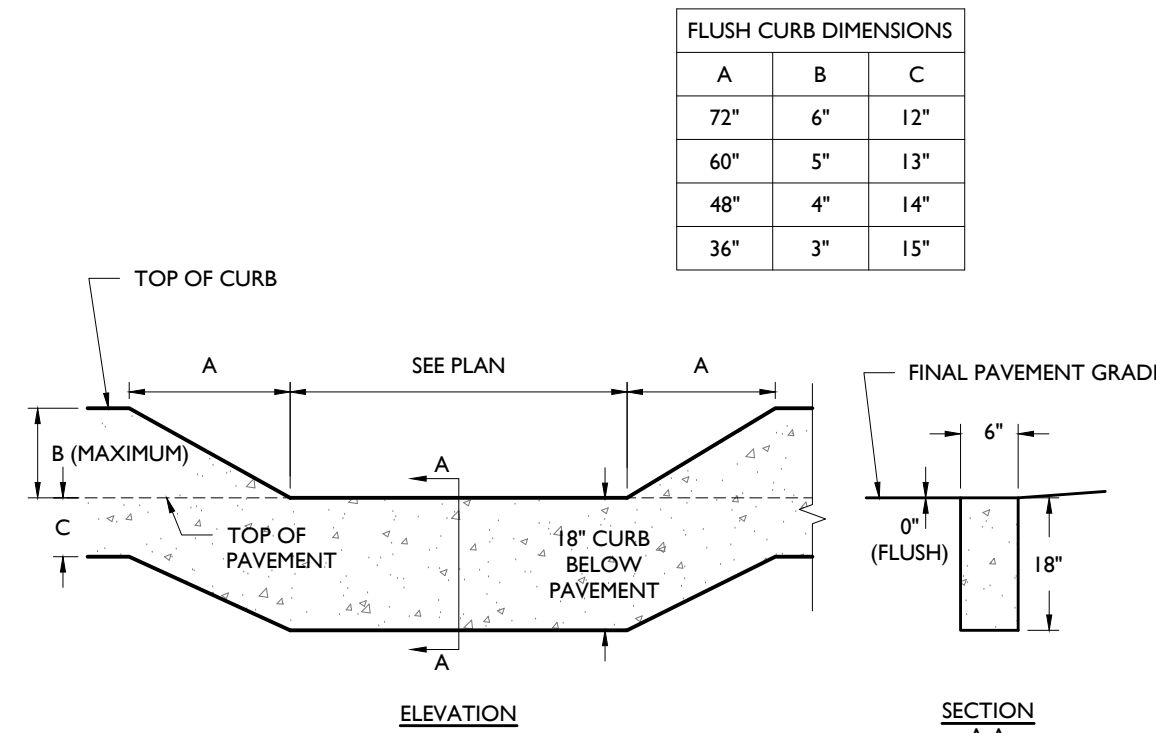


CONCRETE CURB DETAIL

NOT TO SCALE

9

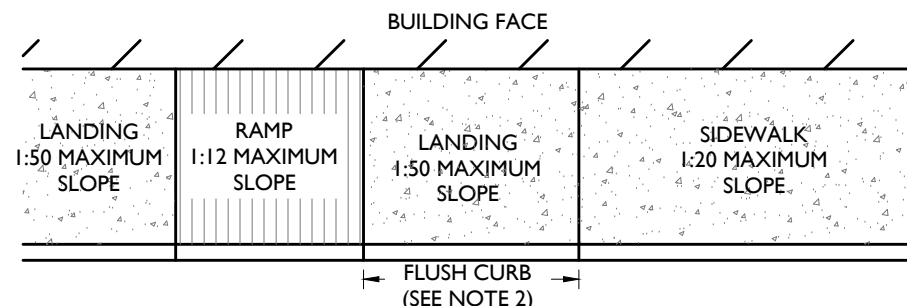
FLUSH CURB DETAIL



NOT TO SCALE

10

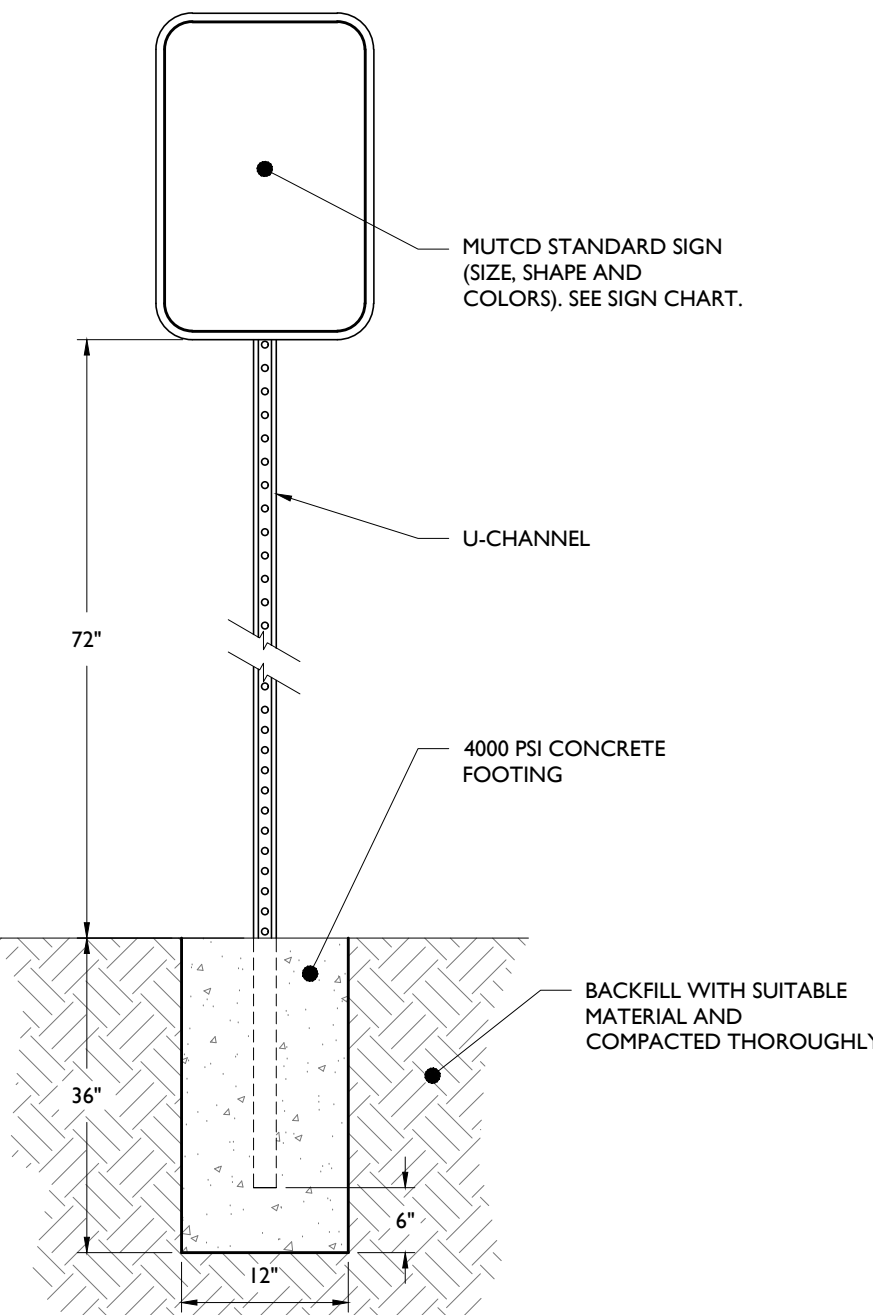
TRANSITION RAMP DETAIL



NOT TO SCALE

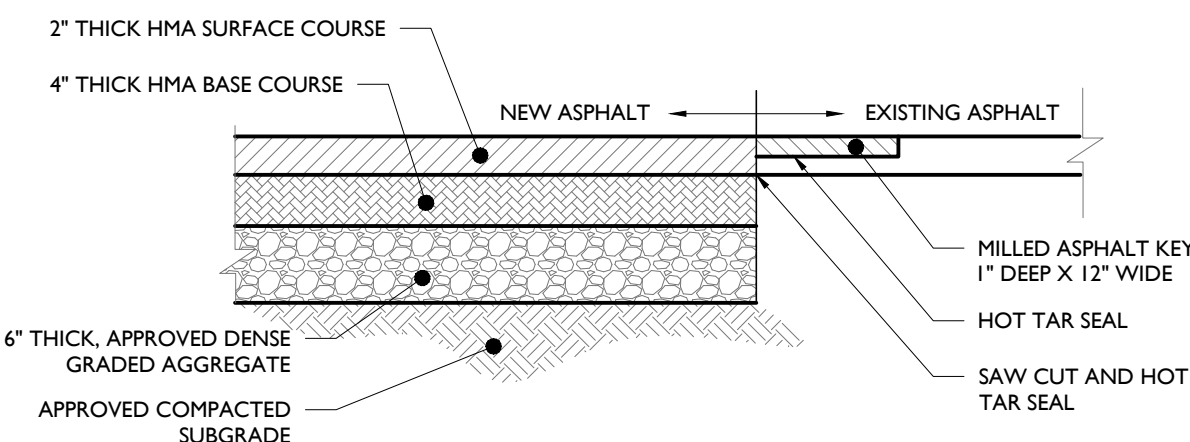
11

SIGN POST DETAIL



NOT TO SCALE

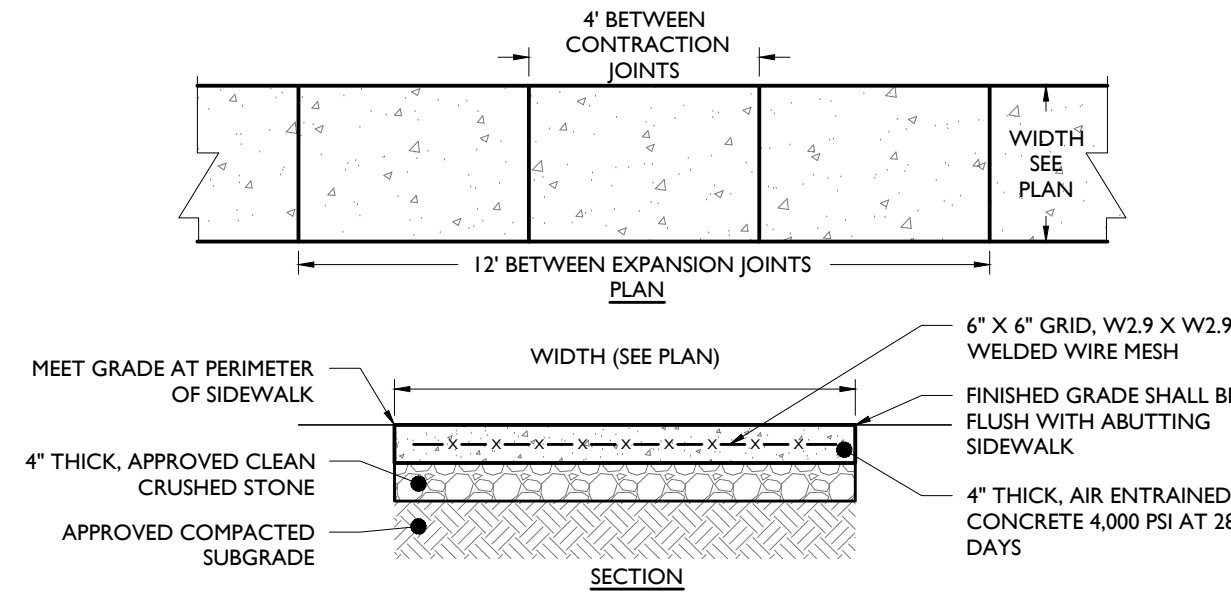
FULL DEPTH ASPHALT PAVEMENT DETAIL



NOT TO SCALE

12

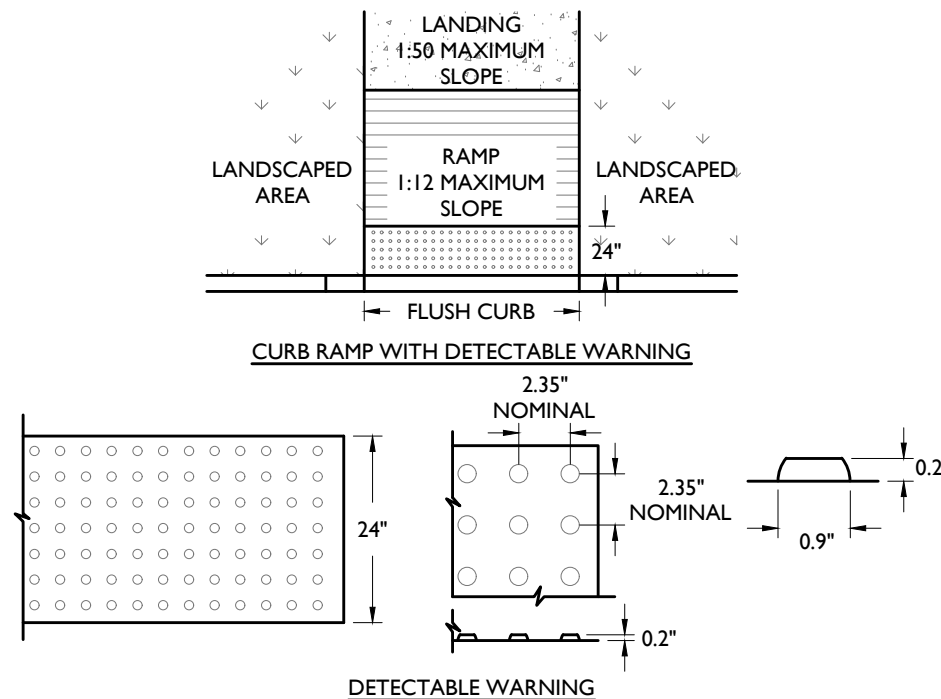
REINFORCED CONCRETE WALKWAY DETAIL



NOT TO SCALE

13

CURB RAMP DETAIL



NOT TO SCALE

14

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812, & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-2210068

TITLE:

CONSTRUCTION
DETAILS

DRAWING:

C-15

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

NOT APPROVED FOR CONSTRUCTION

DESCRIPTION

BY

DATE

ISSUE

6

5

4

3

2

1

FOR GRADING REVISIONS

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

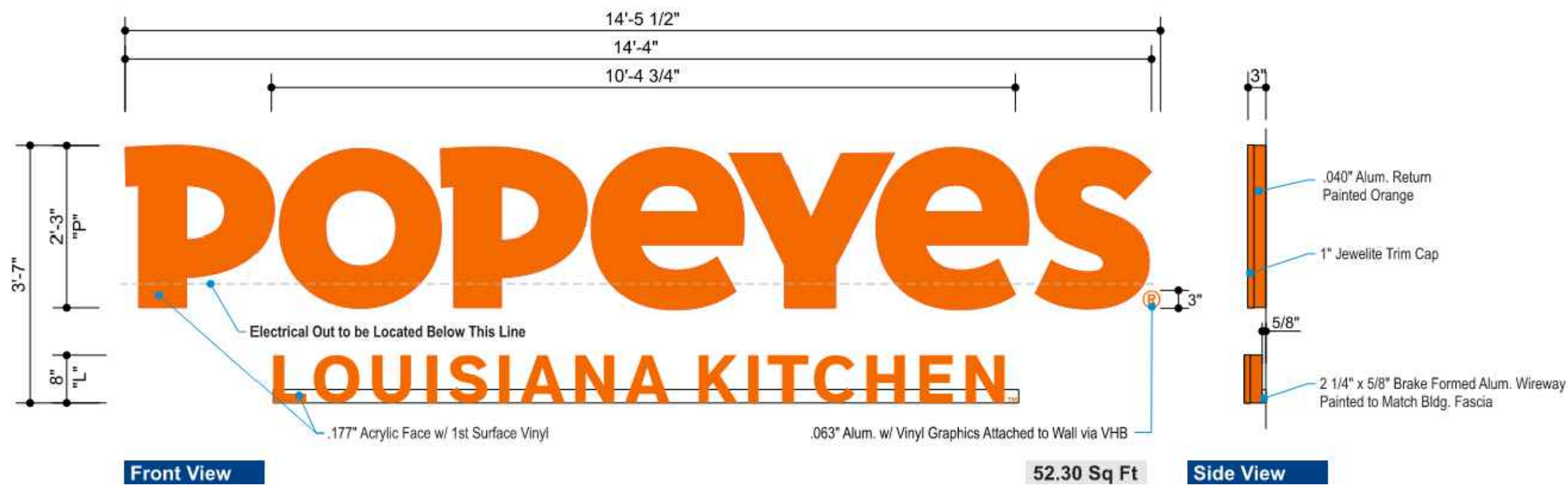
FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

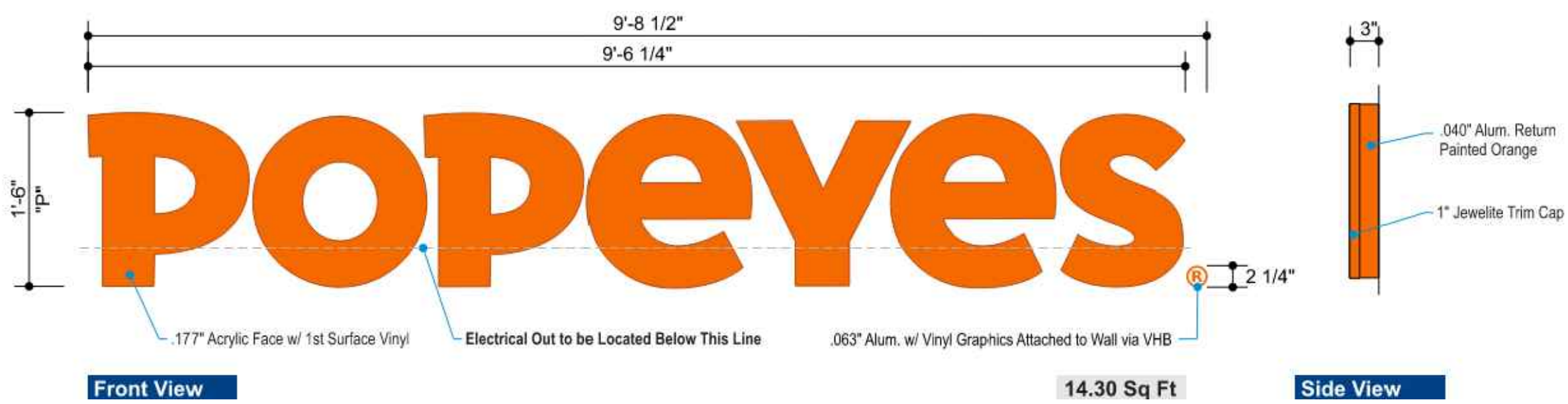
Z:\PROJECTS\PRJ2023\PRJ2023.dwg AS GROUP - 812 BLACK HORSE PIKE, RUNNERSIDE, NC\CAD\DWG\PLN-1.DWG



POPEYES 27" CHANNEL LETTERS WALL SIGN

NOT TO SCALE

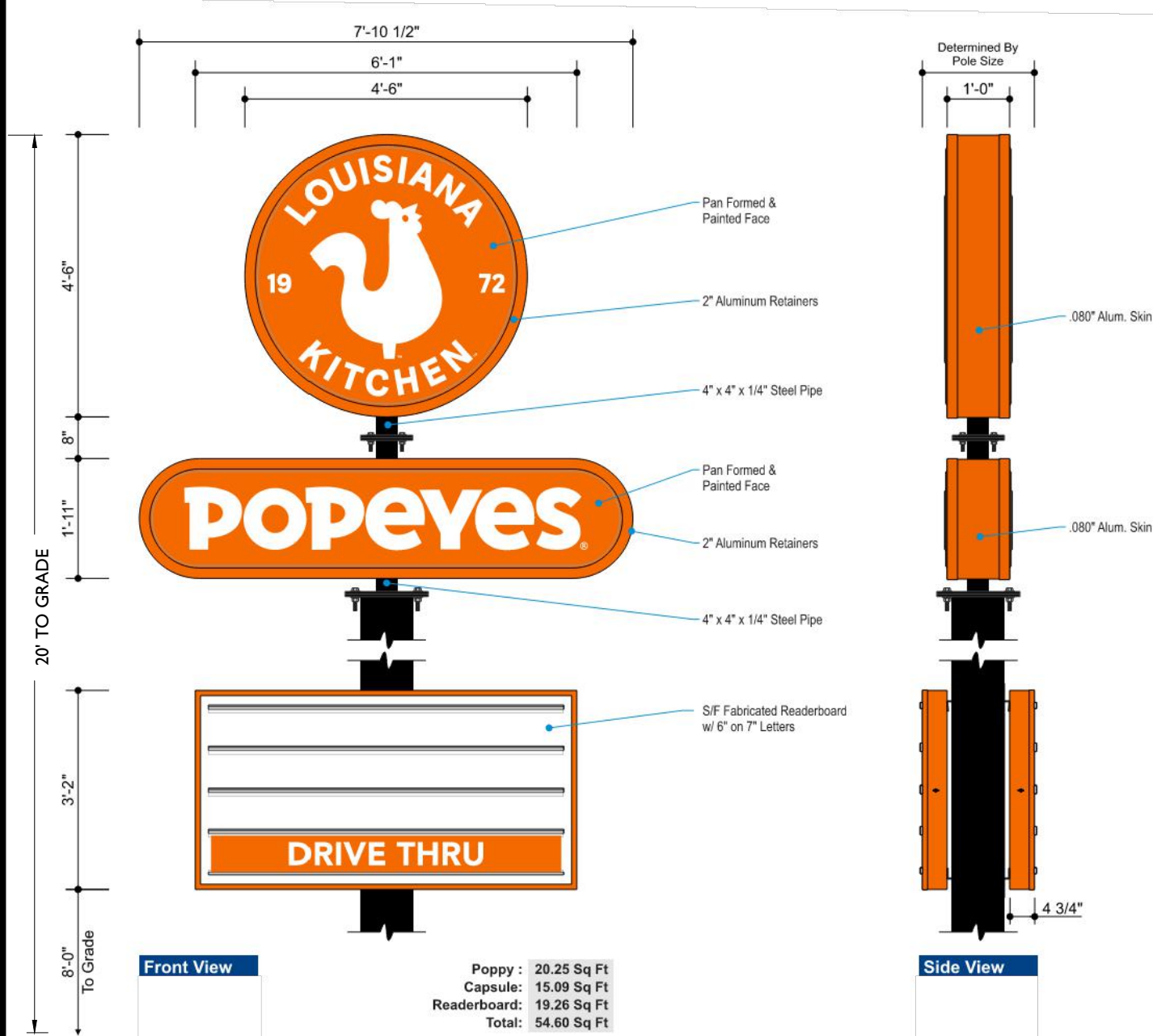
2



POPEYES 18" CHANNEL LETTERS WALL SIGN

NOT TO SCALE

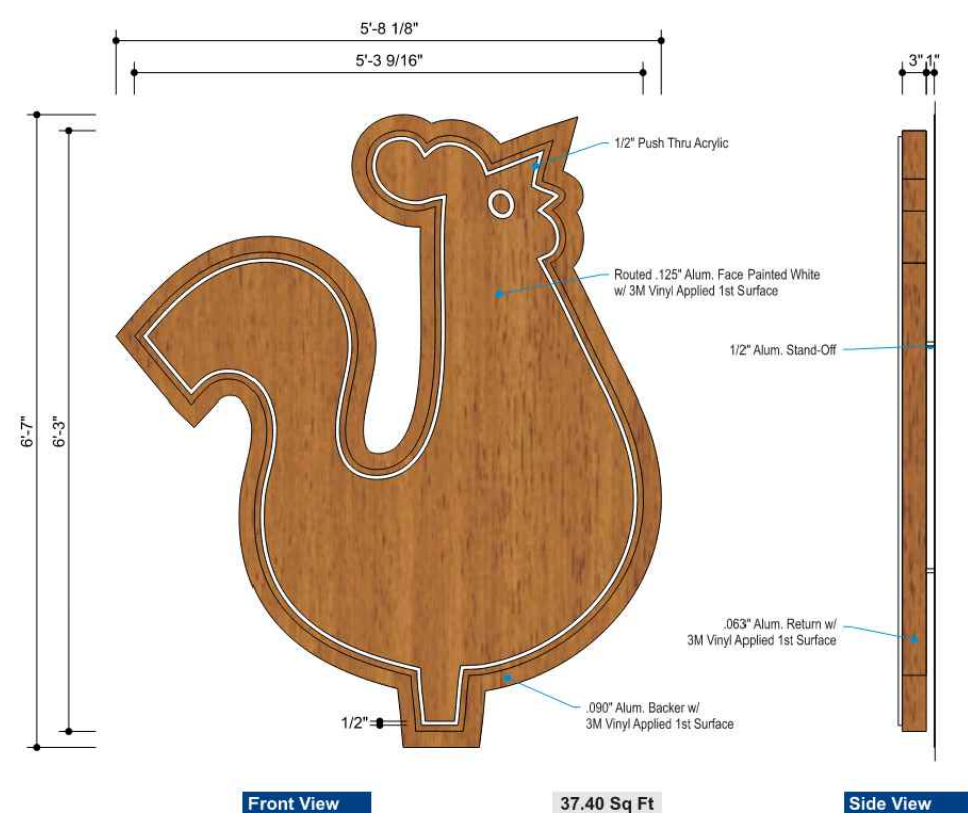
3



POPEYES (P-30) PYLON SIGN

NOT TO SCALE

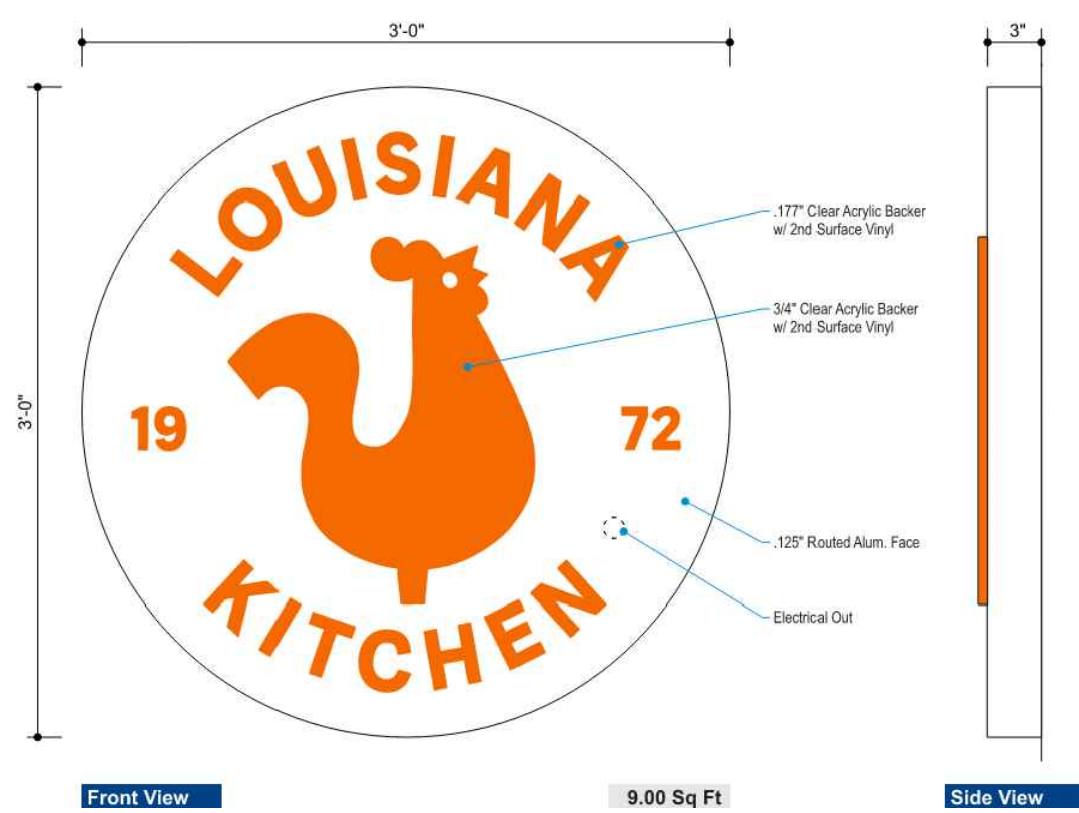
7



POPPY LOGO WALL SIGN

NOT TO SCALE

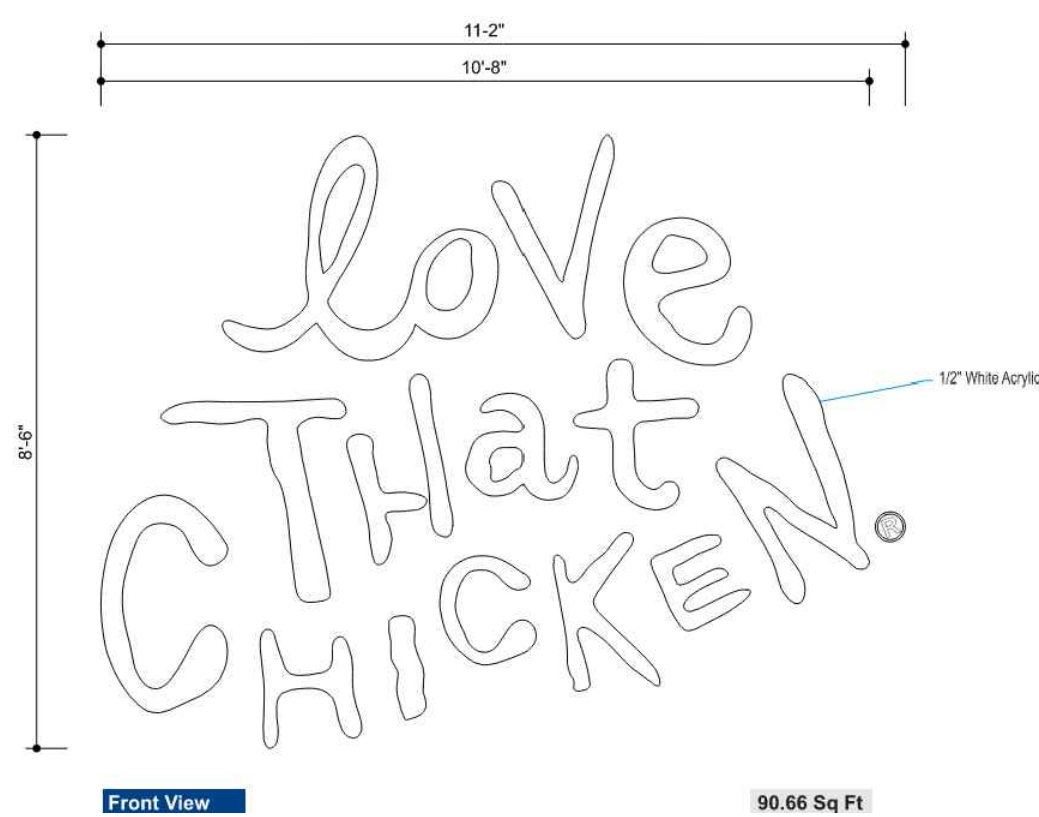
4



POPEYES SEAL WALL SIGN

NOT TO SCALE

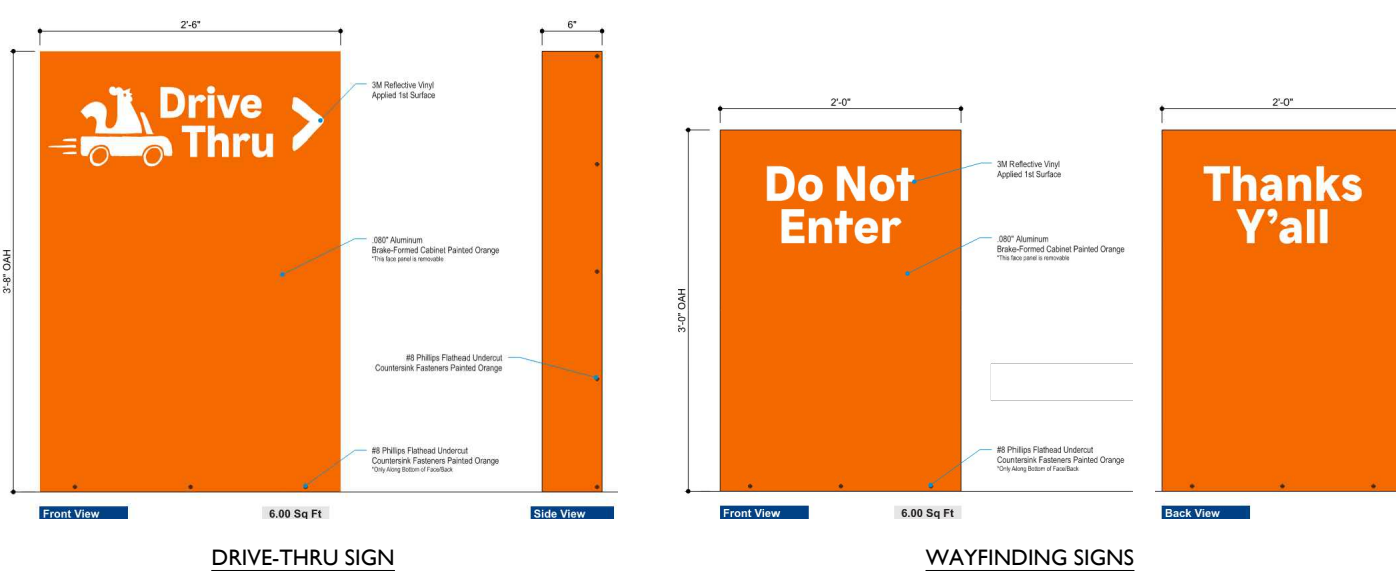
8



POPEYES LTC WALL SIGN

NOT TO SCALE

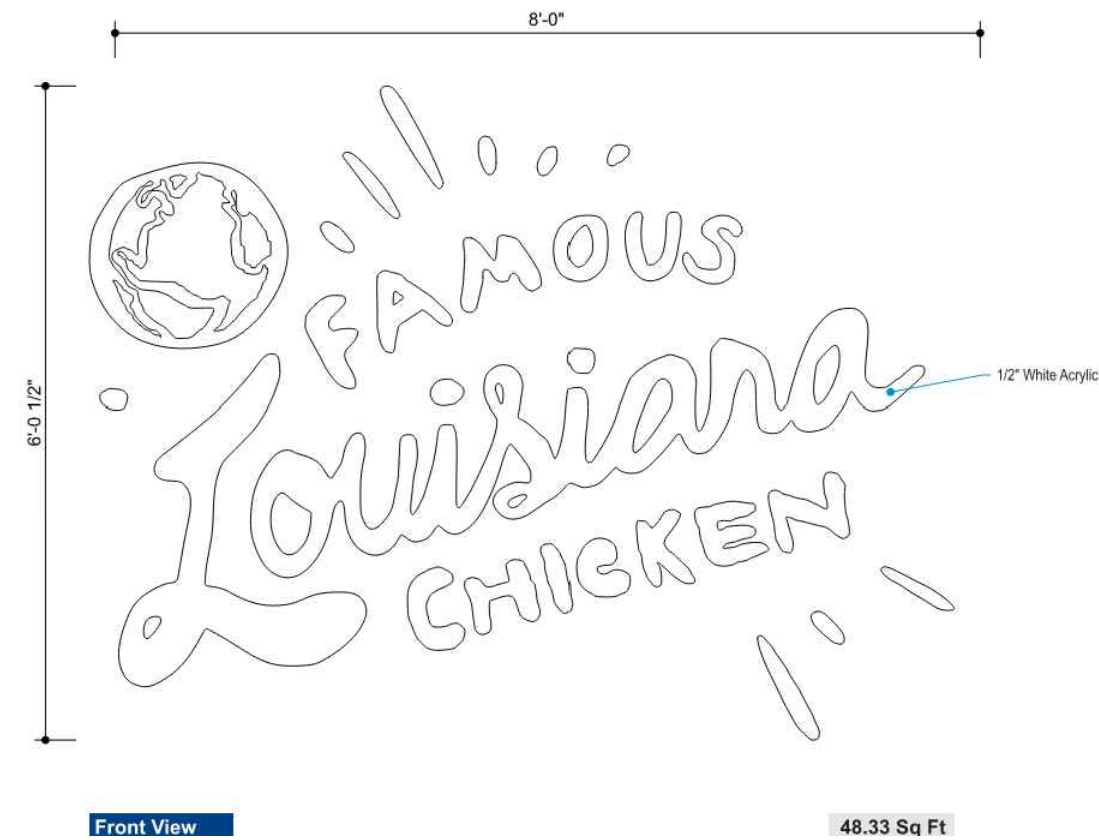
5



DIRECTIONAL SIGNAGE

NOT TO SCALE

9



POPEYES FLC WALL SIGN

NOT TO SCALE

6

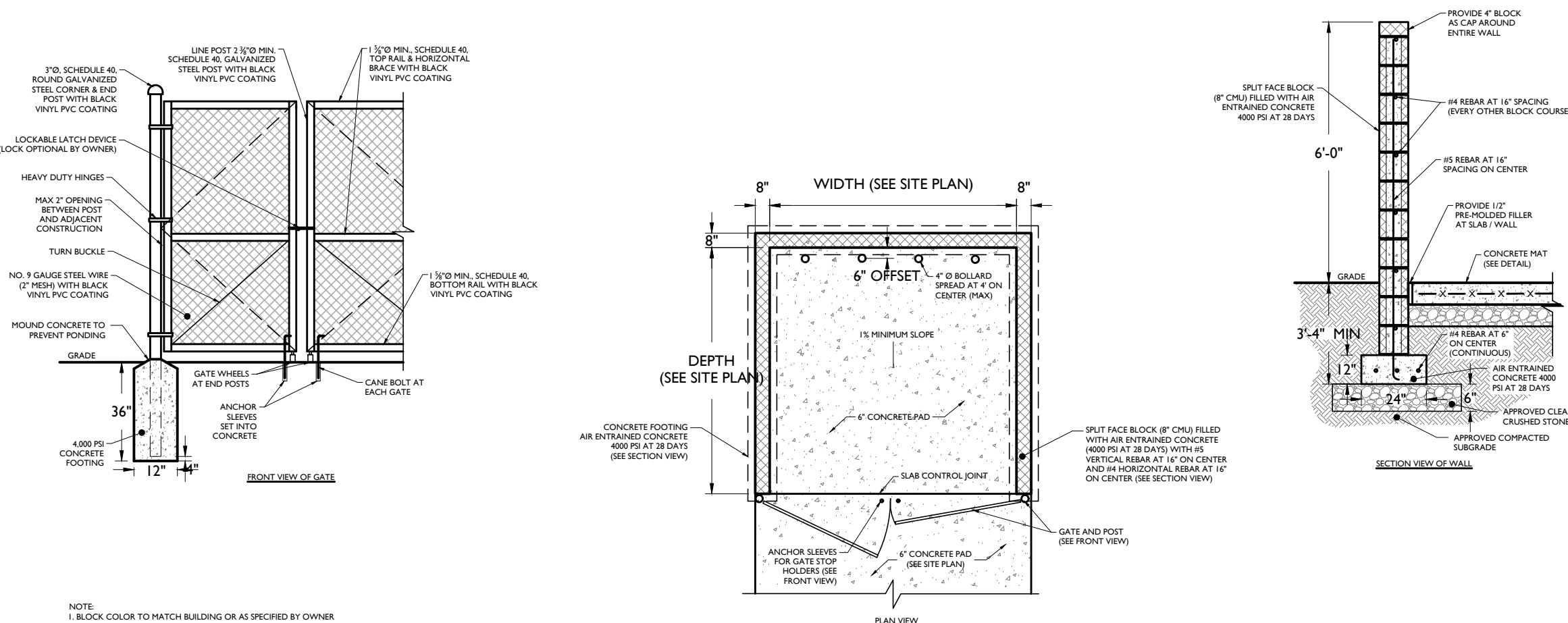
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
MANDATORY MOVEMENT LANE CONTROL-RIGHT (R3-5R)		BLACK	WHITE	30"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

- NOTE:
- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 - ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

NOT TO SCALE

10



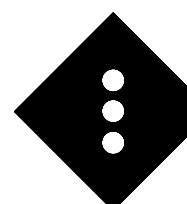
TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

1

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design



Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02
TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDA
CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-220068

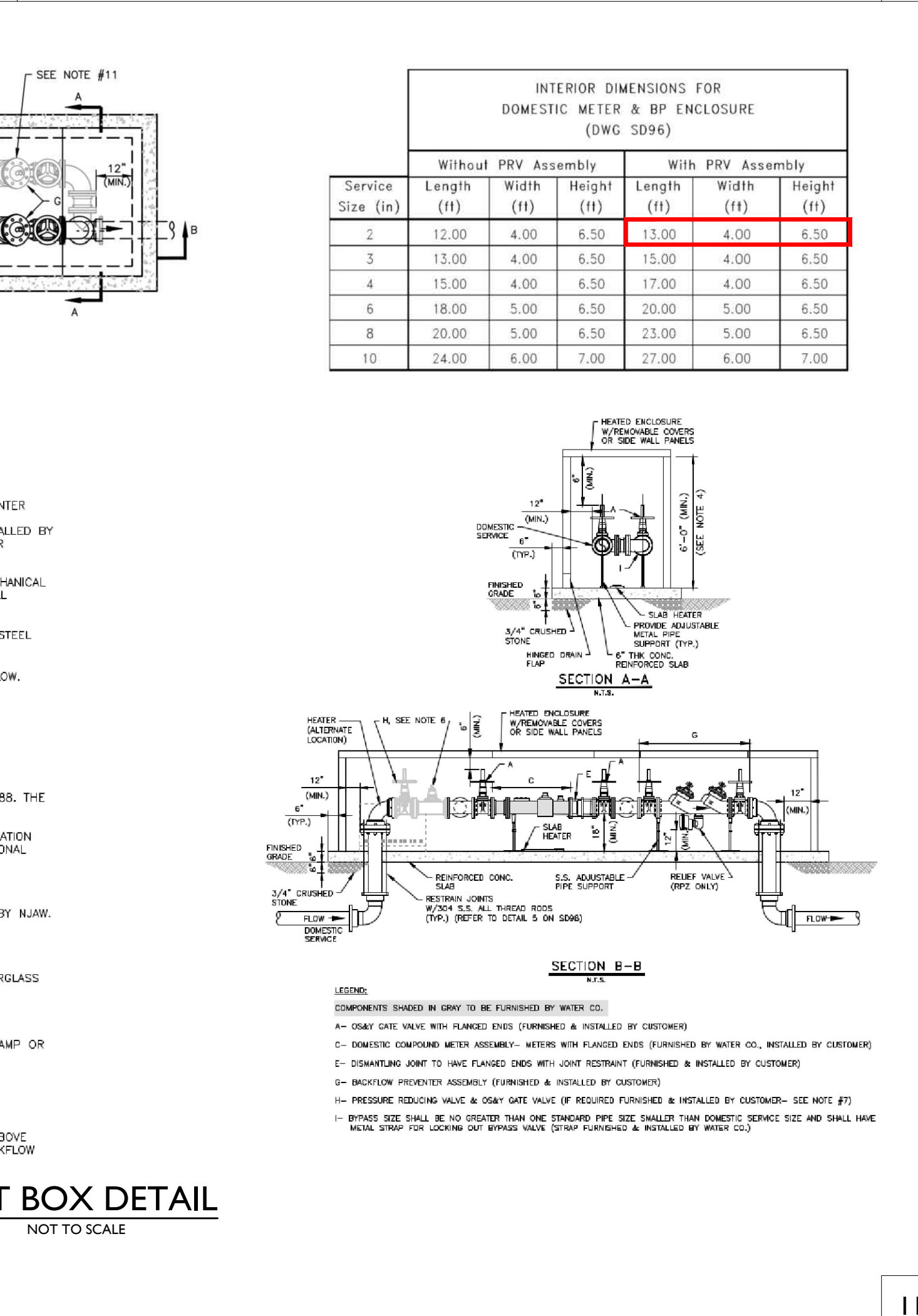
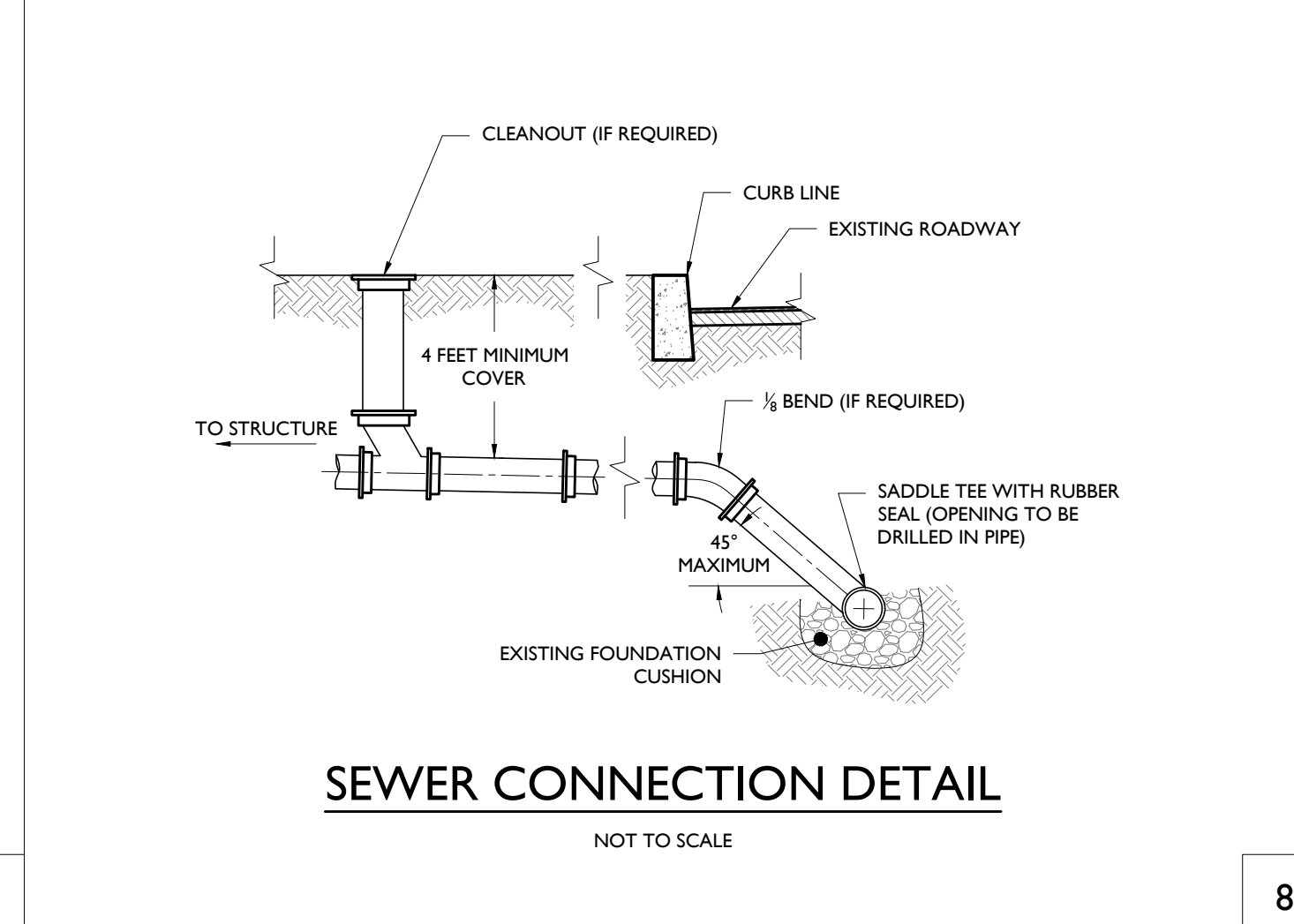
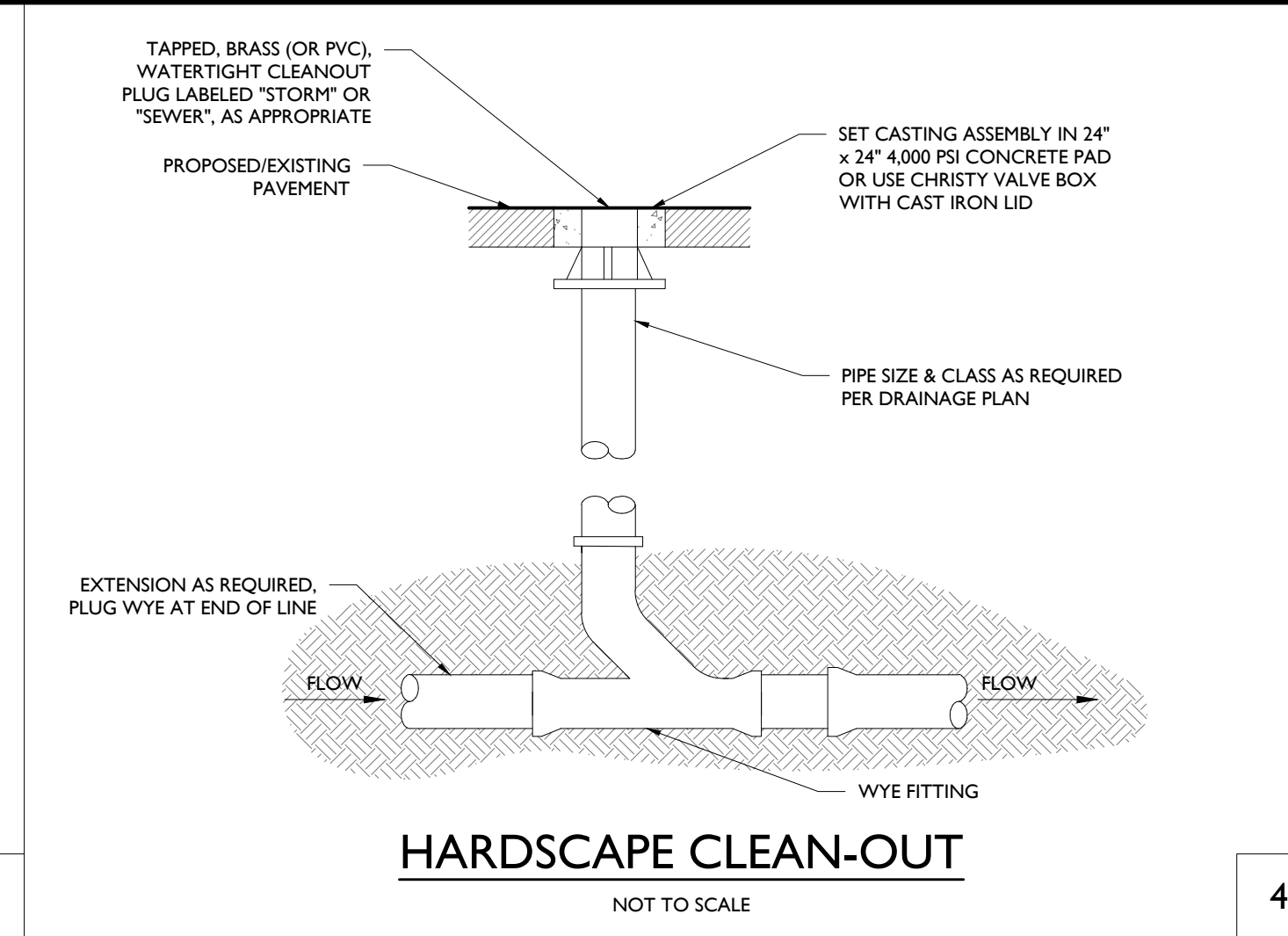
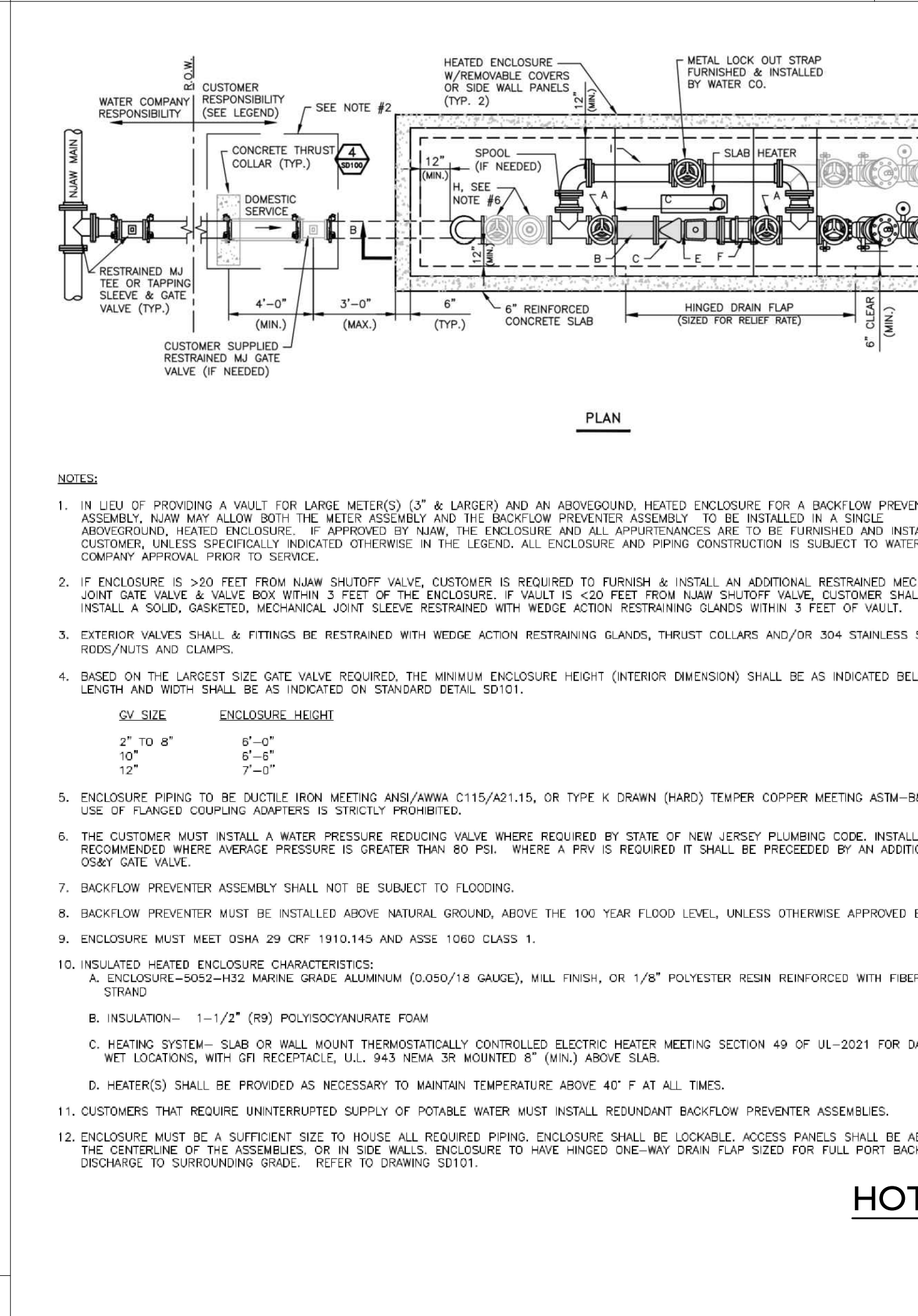
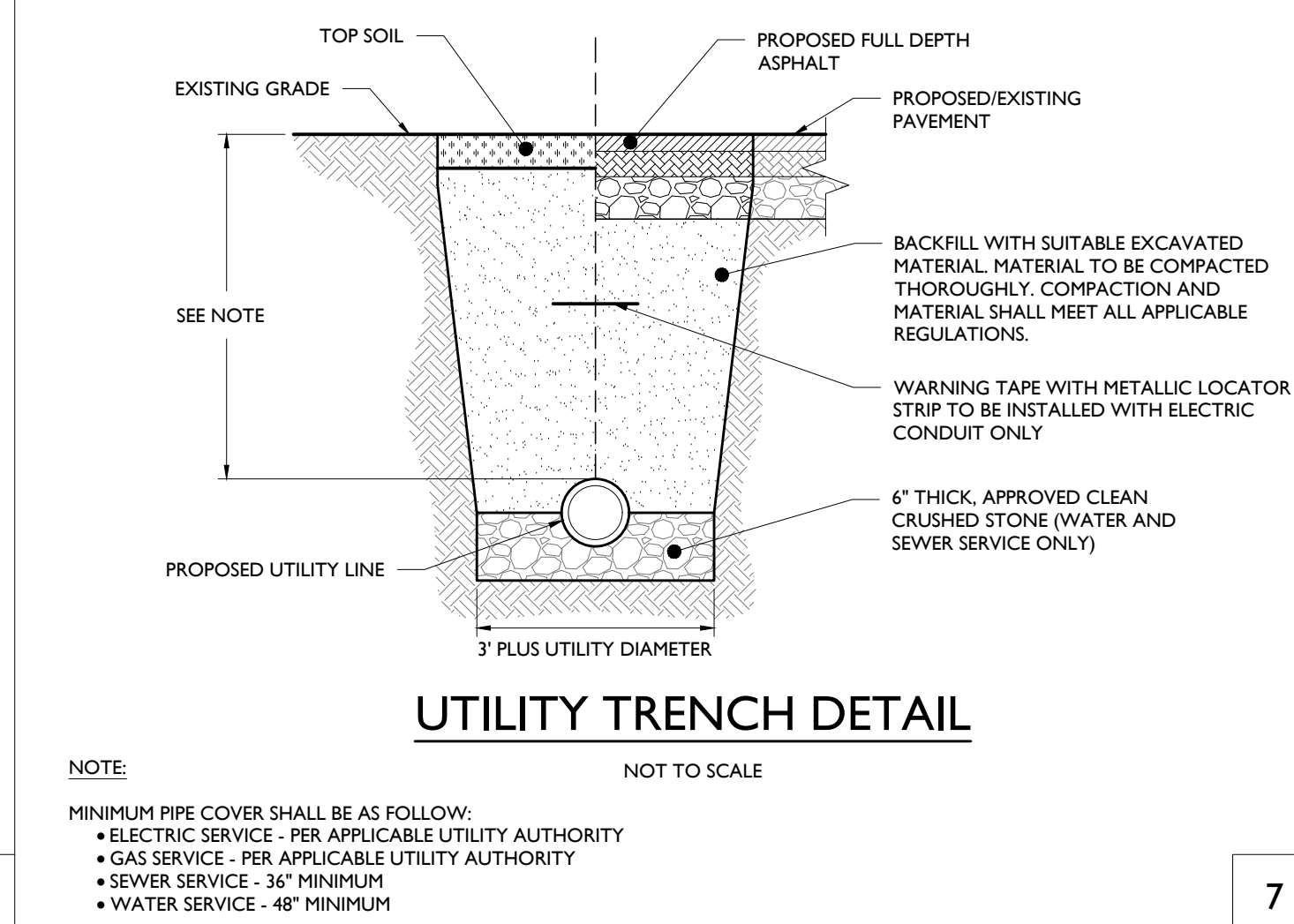
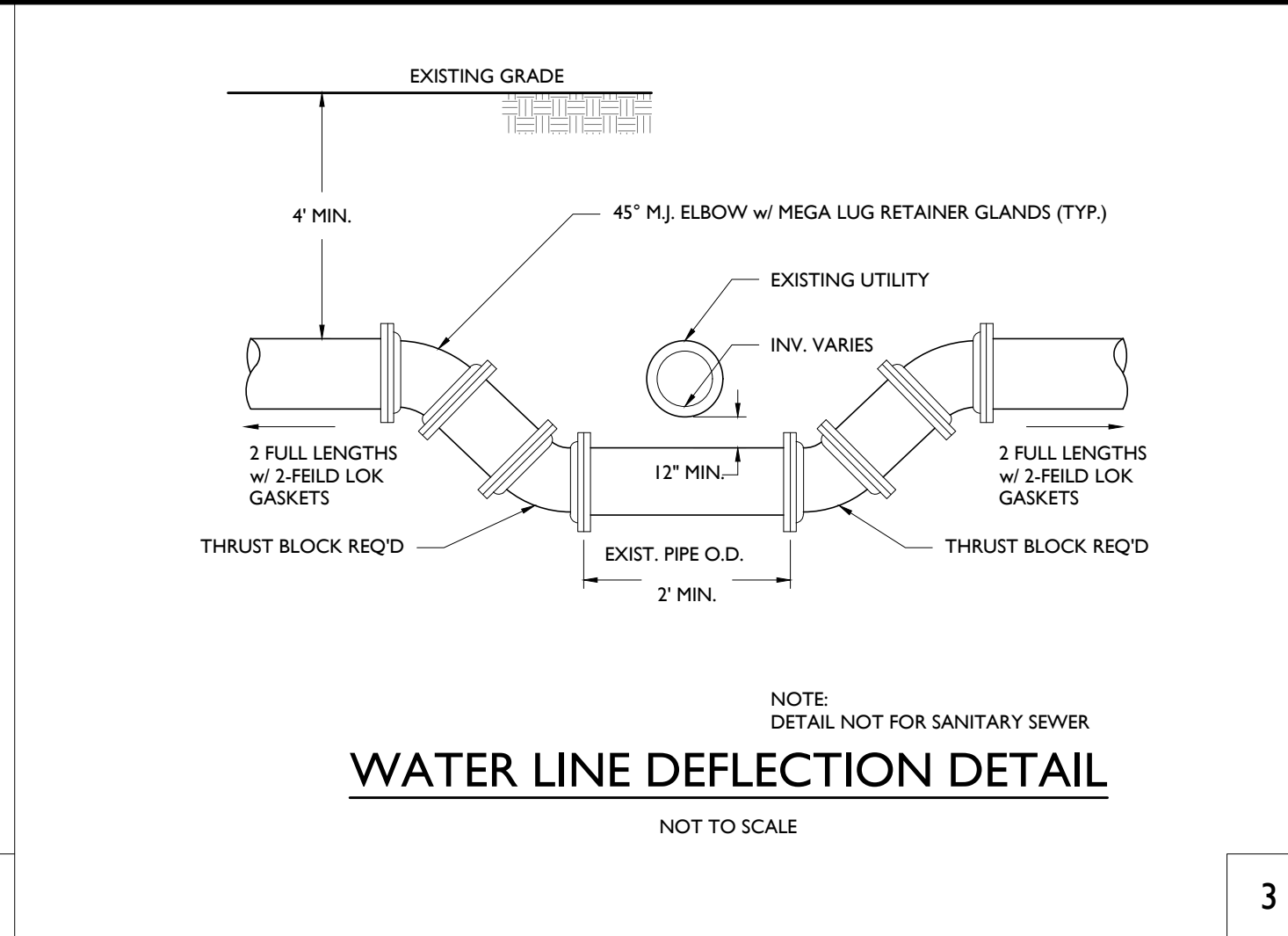
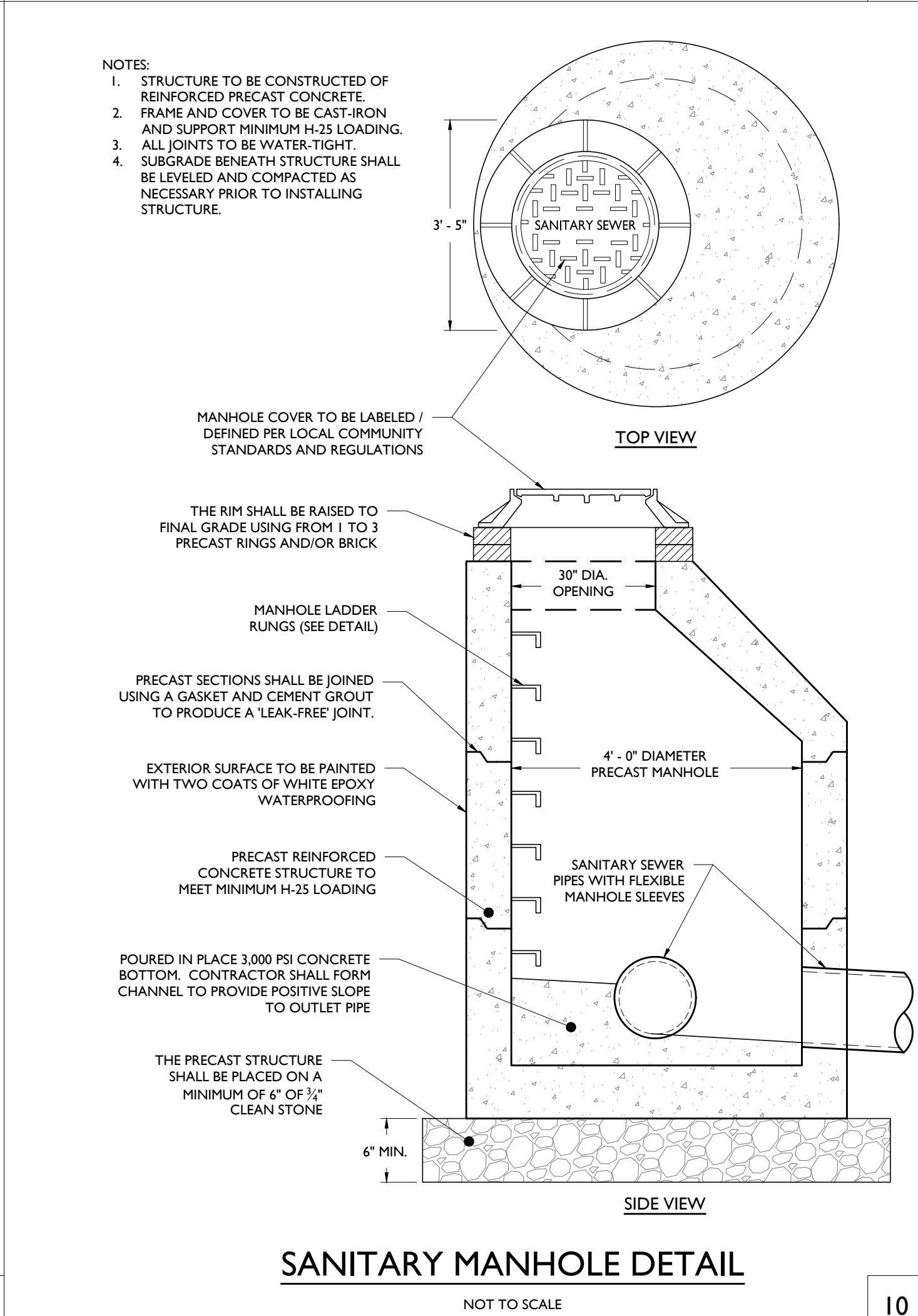
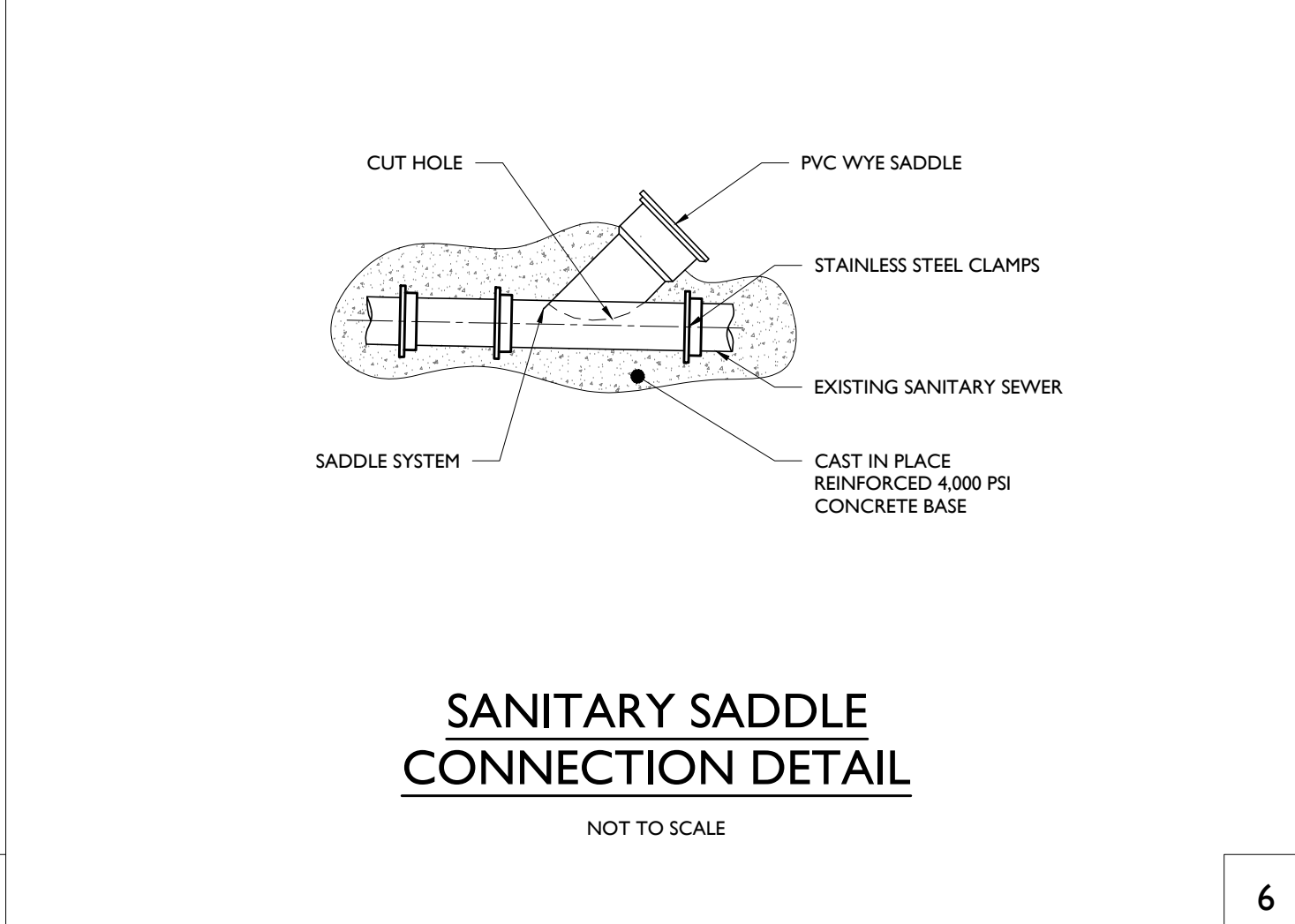
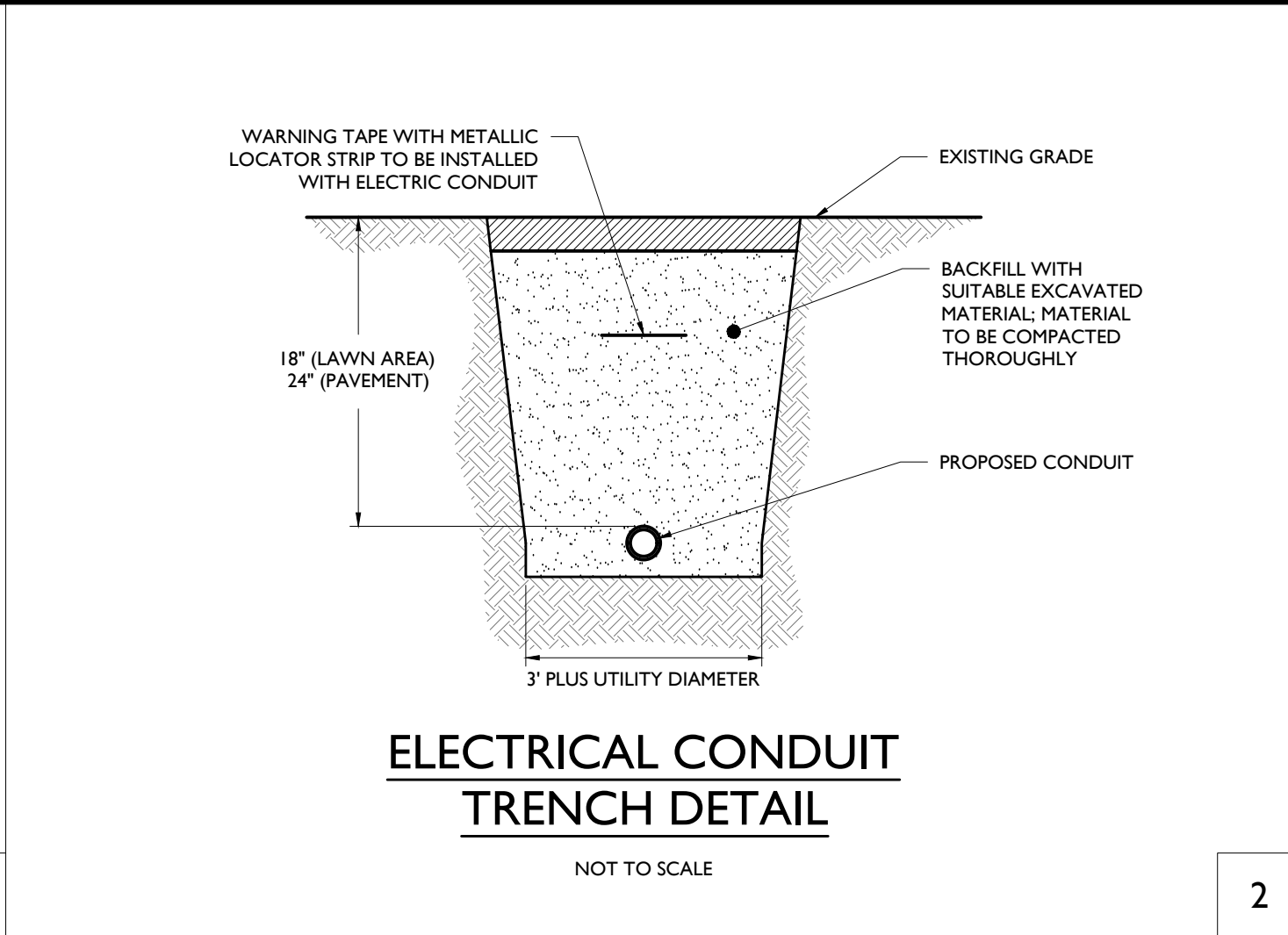
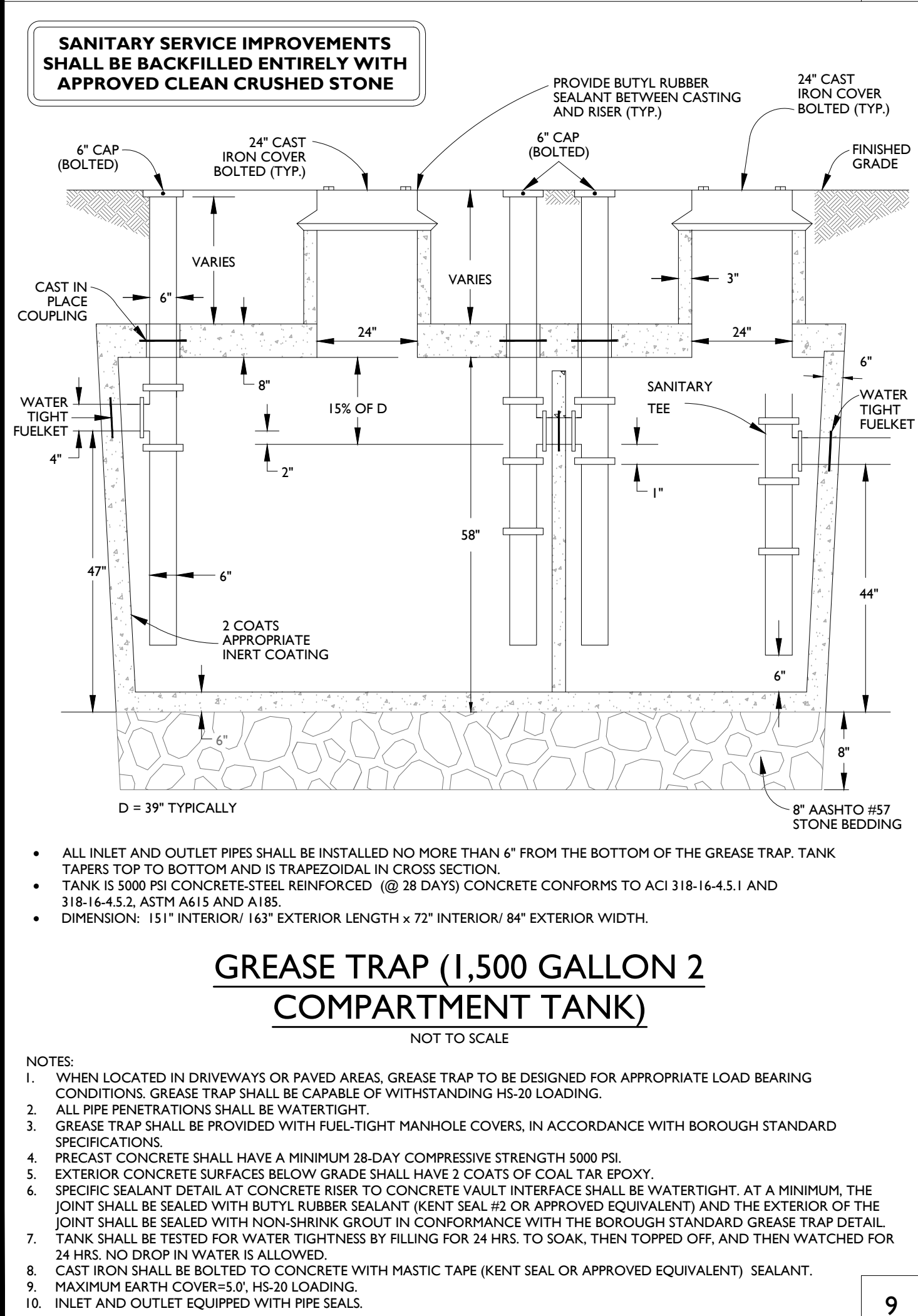
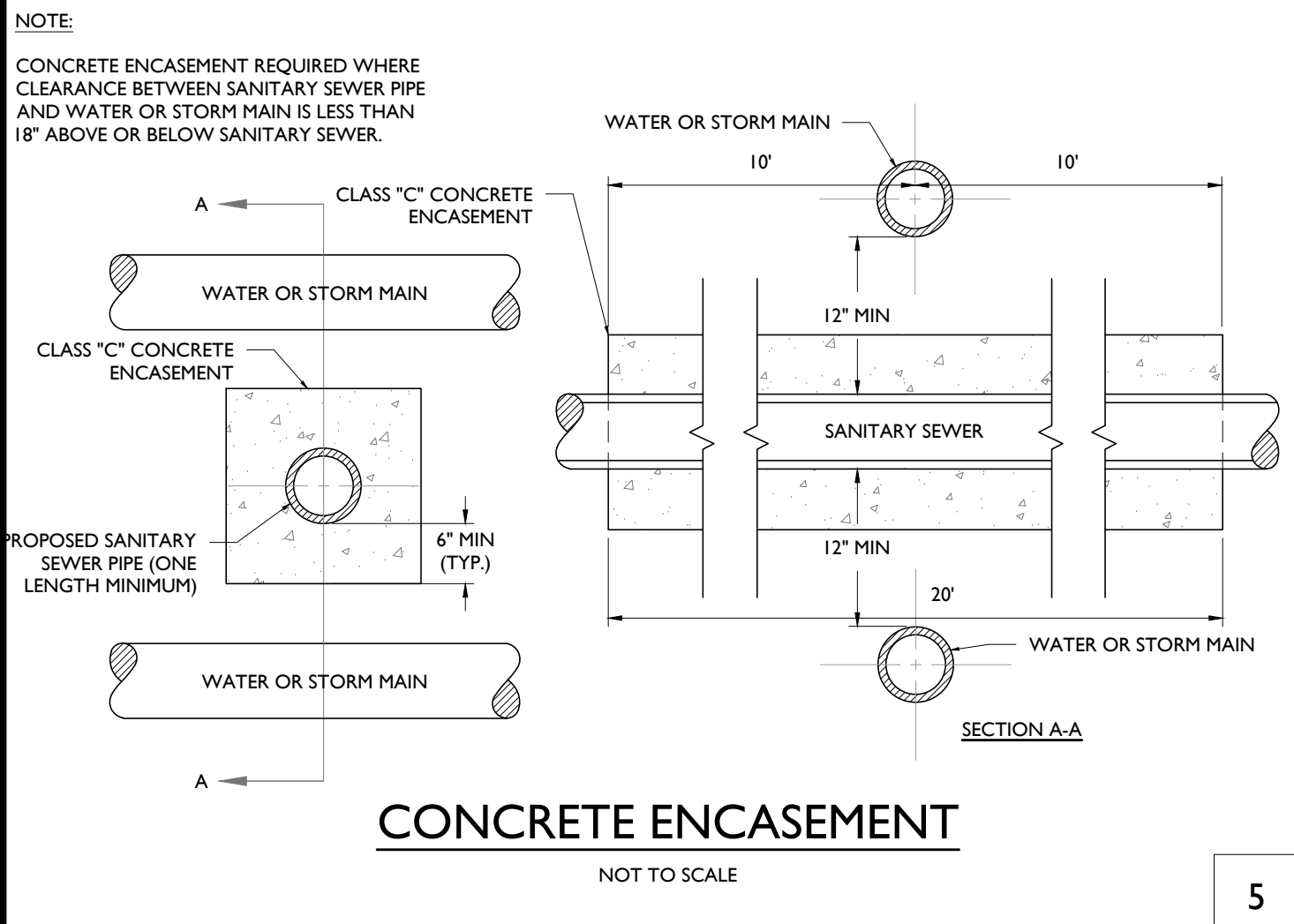
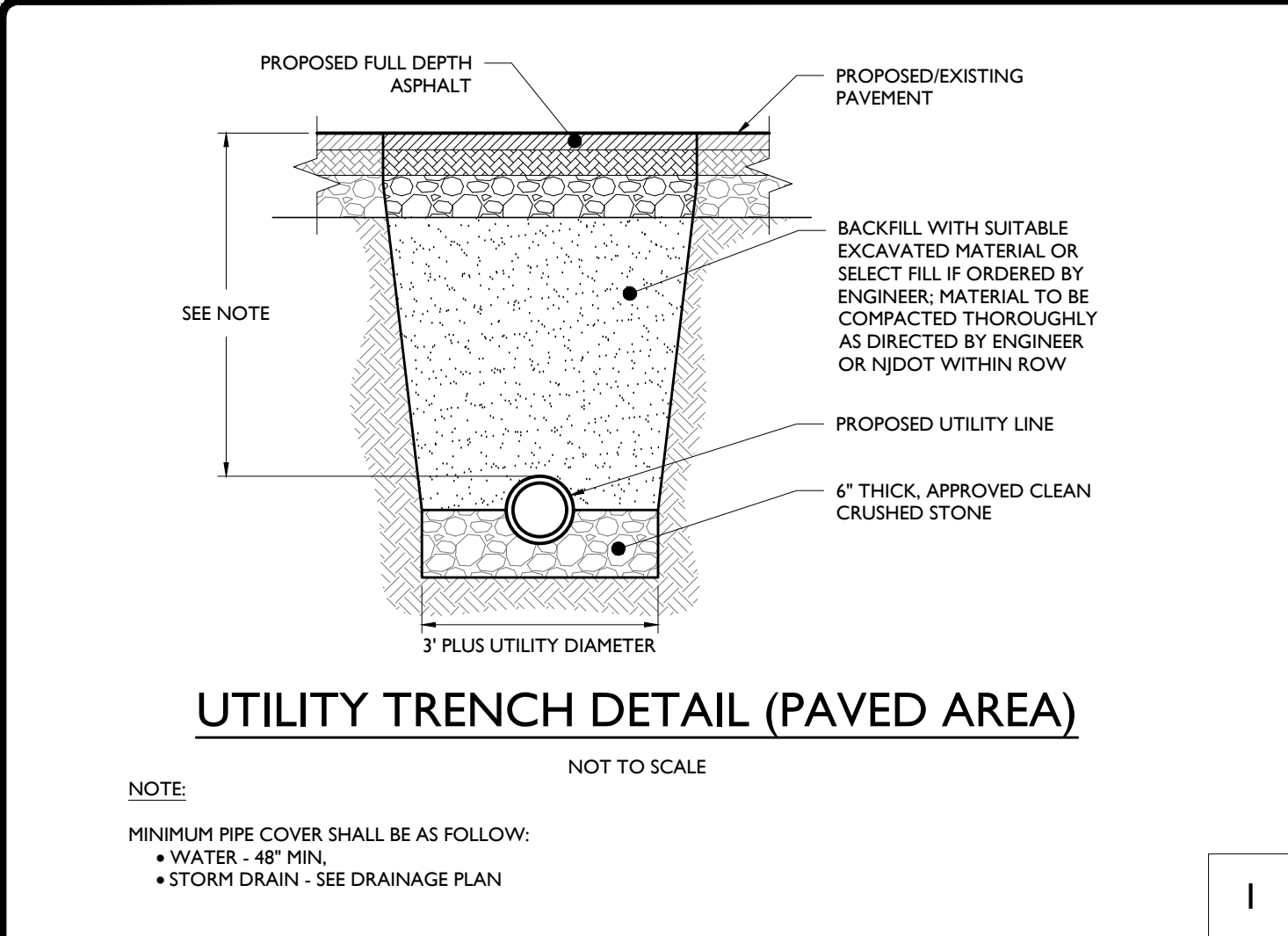
TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

C-16

Z:\PROJECTS\PRJ221068\AS\GROUP - 812 BLACK HORSE PIKE\RUNNER\812C-11.DWG



FOR GRADING REVISIONS

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

FOR MUNICIPAL RESUBMISSION

TE

GHC

GHC

GHC

GHC

LR

09/13/2024

03/05/2024

06/14/2023

05/09/2023

02/22/2023

10/20/2023

DATE

DATE

DATE

DATE

DATE

DATE

BY

BY

BY

BY

BY

BY

ISSUE

ISSUE

ISSUE

ISSUE

ISSUE

ISSUE

DESCRIPTION

DESCRIPTION

DESCRIPTION

DESCRIPTION

DESCRIPTION

DESCRIPTION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD

engineering & design

Rutherford, NJ • New York, NY • Boston, MA

Princeton, NJ • Tampa, FL • Detroit, MI

www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542

Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN

812 CHICKEN, LLC

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02

TAX MAP SHEET 2

800, 812 & 814 NORTH BLACK HORSE PIKE

BOROUGH OF RUNNEMEDE

CAMDEN COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.

NEW JERSEY LICENSE No. 55094

LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN

PROJECT ID: PRI-221068

TITLE: CONSTRUCTION DETAILS

DRAWING: C-17



NOT TO SCALE



NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH
PERFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF
CURB.
EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB



902.02.01 MIX DESIGNATIONS:

THE REQUIREMENTS FOR SPECIFIC HMA MIXTURES ARE INTENDED BY THE ABBREVIATED FIELDS IN THE ITEM DESCRIPTION AS DEFINED AS FOLLOWS:

HOT MIX ASPHALT 12.5M64 SURFACE COURSE

"HOT MIX ASPHALT" - "HOT MIX ASPHALT" IS LOCATED IN THE FIRST FIELD IN THE ITEM DESCRIPTION FOR THE PURPOSE OF IDENTIFYING THE MIXTURE REQUIREMENTS.

"12.5" - THE SECOND FIELD IN THE ITEM DESCRIPTION DESIGNATES THE NOMINAL MAXIMUM SIZE AGGREGATE (IN MILLIMETERS) FOR THE JOB MIX FORMULA (SIZES ARE 4.75, 9.5, 12.5, 19, 25 AND 37.5MM).

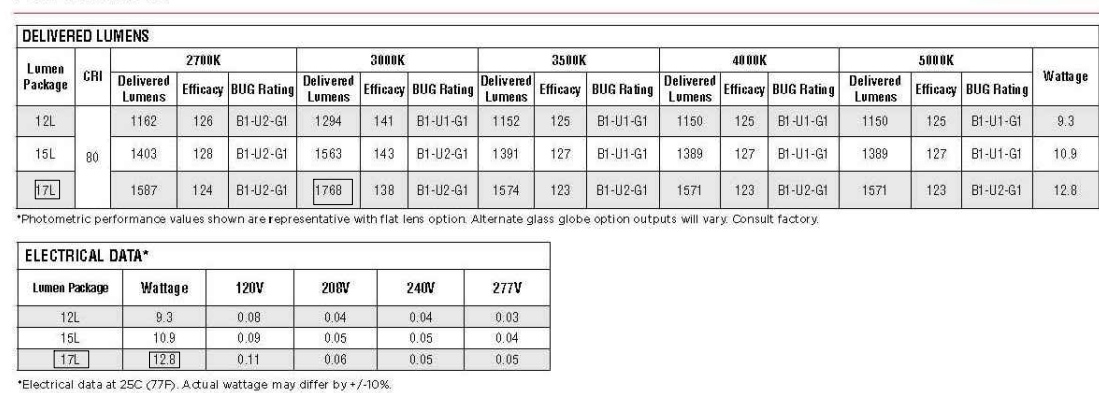
"M" - THE THIRD FIELD IN THE ITEM DESCRIPTION DESIGNATES THE DESIGN COMPACTION LEVEL FOR THE JOB MIX FORMULA BASED ON TRAFFIC FORECASTS AS LISTED IN TABLE 902.02.03 (LEVELS ARE LOW/M MEDIUM/HIGH).

"64" - THE FOURTH FIELD IN THE ITEM DESCRIPTION DESIGNATES THE HIGH TEMPERATURE (IN °C) OF THE PERFORMANCE-GRADED BINDER (OPTIONS ARE 64, 70 AND 76 °C). ALL BINDERS SHALL HAVE A LOW TEMPERATURE OF -22°C, UNLESS OTHERWISE SPECIFIED.

"SURFACE" COURSE - THE LAST FIELD IN THE ITEM DESCRIPTION DESIGNATES THE INTENDED USE AND LOCATION WITHIN THE PAVEMENT STRUCTURE (OPTIONS ARE SURFACE, INTERMEDIATE, OR BASE COURSE).

NOTES:

1. PAVEMENT SECTION TO BE A MINIMUM OF 2.0 FEET IN WIDTH.
2. SAWCUT PAVEMENT PRIOR TO EXCAVATION.
3. INTERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUB-BASE OR BORROW EXCAVATION-SELECTED MATERIAL.
4. APPLY TACK COAT TO THE EDGE OF EXISTING PAVEMENT PRIOR TO PAVING.
5. MILLING AND RESURFACING SHALL BE 2" HMA 12.5M64 SURFACE COURSE.
6. THE LONGITUDINAL JOINT BETWEEN THE NEW AND EXISTING PAVEMENT SHALL BE SAVED AND SEALED.
7. EXISTING CONCRETE PAVEMENT SHOULD BE REPLACED IN KIND IF FEASIBLE.



Product Description

The C727P2 LED Cree LightStripSLL™ Luminaires have an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily above the ceiling, the track and can be pendant mounted. Direct lighting is the use of the light source to illuminate the work area. The C727P2 LED Cree LightStripSLL™ Luminaires are available in 10' and 20' lengths. The C727P2 LED Cree LightStripSLL™ Luminaires are available in 10' and 20' lengths. The C727P2 LED Cree LightStripSLL™ Luminaires are available in 10' and 20' lengths.

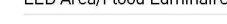
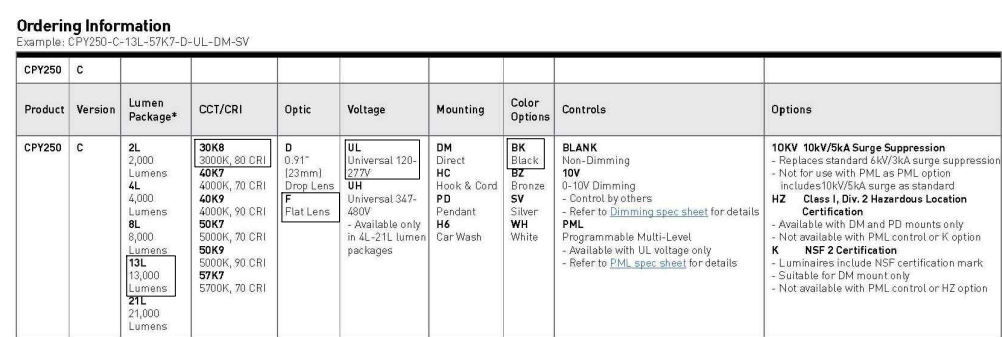
Performance Summary

Assembled in the USA by Cree Lighting from USA and Imported parts

Initial Delivered Lumens: up to 27,000

Efficiency: up to 165 LPW

CRI: Minimum 70 CRI 40K, 50K, 55K, 59K, 65K, 80K, 90K, 95K, 100K, 105K, 110K, 115K, 120K, 125K, 130K, 135K, 140K, 145K, 150K, 155K, 160K, 165K, 170K, 175K, 180K, 185K, 190K, 195K, 200K, 205K, 210K, 215K, 220K, 225K, 230K, 235K, 240K, 245K, 250K, 255K, 260K, 265K, 270K, 275K, 280K, 285K, 290K, 295K, 300K, 305K, 310K, 315K, 320K, 325K, 330K, 335K, 340K, 345K, 350K, 355K, 360K, 365K, 370K, 375K, 380K, 385K, 390K, 395K, 400K, 405K, 410K, 415K, 420K, 425K, 430K, 435K, 440K, 445K, 450K, 455K, 460K, 465K, 470K, 475K, 480K, 485K, 490K, 495K, 500K, 505K, 510K, 515K, 520K, 525K, 530K, 535K, 540K, 545K, 550K, 555K, 560K, 565K, 570K, 575K, 580K, 585K, 590K, 595K, 600K, 605K, 610K, 615K, 620K, 625K, 630K, 635K, 640K, 645K, 650K, 655K, 660K, 665K, 670K, 675K, 680K, 685K, 690K, 695K, 700K, 705K, 710K, 715K, 720K, 725K, 730K, 735K, 740K, 745K, 750K, 755K, 760K, 765K, 770K, 775K, 780K, 785K, 790K, 795K, 800K, 805K, 810K, 815K, 820K, 825K, 830K, 835K, 840K, 845K, 850K, 855K, 860K, 865K, 870K, 875K, 880K, 885K, 890K, 895K, 900K, 905K, 910K, 915K, 920K, 925K, 930K, 935K, 940K, 945K, 950K, 955K, 960K, 965K, 970K, 975K, 980K, 985K, 990K, 995K, 1000K, 1005K, 1010K, 1015K, 1020K, 1025K, 1030K, 1035K, 1040K, 1045K, 1050K, 1055K, 1060K, 1065K, 1070K, 1075K, 1080K, 1085K, 1090K, 1095K, 1100K, 1105K, 1110K, 1115K, 1120K, 1125K, 1130K, 1135K, 1140K, 1145K, 1150K, 1155K, 1160K, 1165K, 1170K, 1175K, 1180K, 1185K, 1190K, 1195K, 1200K, 1205K, 1210K, 1215K, 1220K, 1225K, 1230K, 1235K, 1240K, 1245K, 1250K, 1255K, 1260K, 1265K, 1270K, 1275K, 1280K, 1285K, 1290K, 1295K, 1300K, 1305K, 1310K, 1315K, 1320K, 1325K, 1330K, 1335K, 1340K, 1345K, 1350K, 1355K, 1360K, 1365K, 1370K, 1375K, 1380K, 1385K, 1390K, 1395K, 1400K, 1405K, 1410K, 1415K, 1420K, 1425K, 1430K, 1435K, 1440K, 1445K, 1450K, 1455K, 1460K, 1465K, 1470K, 1475K, 1480K, 1485K, 1490K, 1495K, 1500K, 1505K, 1510K, 1515K, 1520K, 1525K, 1530K, 1535K, 1540K, 1545K, 1550K, 1555K, 1560K, 1565K, 1570K, 1575K, 1580K, 1585K, 1590K, 1595K, 1600K, 1605K, 1610K, 1615K, 1620K, 1625K, 1630K, 1635K, 1640K, 1645K, 1650K, 1655K, 1660K, 1665K, 1670K, 1675K, 1680K, 1685K, 1690K, 1695K, 1700K, 1705K, 1710K, 1715K, 1720K, 1725K, 1730K, 1735K, 1740K, 1745K, 1750K, 1755K, 1760K, 1765K, 1770K, 1775K, 1780K, 1785K, 1790K, 1795K, 1800K, 1805K, 1810K, 1815K, 1820K, 1825K, 1830K, 1835K, 1840K, 1845K, 1850K, 1855K, 1860K, 1865K, 1870K, 1875K, 1880K, 1885K, 1890K, 1895K, 1900K, 1905K, 1910K, 1915K, 1920K, 1925K, 1930K, 1935K, 1940K, 1945K, 1950K, 1955K, 1960K, 1965K, 1970K, 1975K, 1980K, 1985K, 1990K, 1995K, 2000K, 2005K, 2010K, 2015K, 2020K, 2025K, 2030K, 2035K, 2040K, 2045K, 2050K, 2055K, 2060K, 2065K, 2070K, 2075K, 2080K, 2085K, 2090K, 2095K, 2100K, 2105K, 2110K, 2115K, 2120K, 2125K, 2130K, 2135K, 2140K, 2145K, 2150K, 2155K, 2160K, 2165K, 2170K, 2175K, 2180K, 2185K, 2190K, 2195K, 2200K, 2205K, 2210K, 2215K, 2220K, 2225K, 2230K, 2235K, 2240K, 2245K, 2250K, 2255K, 2260K, 2265K, 2270K, 2275K, 2280K, 2285K, 2290K, 2295K, 2300K, 2305K, 2310K, 2315K, 2320K, 2325K, 2330K, 2335K, 2340K, 2345K, 2350K, 2355K, 2360K, 2365K, 2370K, 2375K, 2380K, 2385K, 2390K, 2395K, 2400K, 2405K, 2410K, 2415K, 2420K, 2425K, 2430K, 2435K, 2440K, 2445K, 2450K, 2455K, 2460K, 2465K, 2470K, 2475K, 2480K, 2485K, 2490K, 2495K, 2500K, 2505K, 2510K, 2515K, 2520K, 2525K, 2530K, 2535K, 2540K, 2545K, 2550K, 2555K, 2560K, 2565K, 2570K, 2575K, 2580K, 2585K, 2590K, 2595K, 2600K, 2605K, 2610K, 2615K, 2620K, 2625K, 2630K, 2635K, 2640K, 2645K, 2650K, 2655K, 2660K, 2665K, 2670K, 2675K, 2680K, 2685K, 2690K, 2695K, 2700K, 2705K, 2710K, 2715K, 2720K, 2725K, 2730K, 2735K, 2740K, 2745K, 2750K, 2755K, 2760K, 2765K, 2770K, 2775K, 2780K, 2785K, 2790K, 2795K, 2800K, 2805K, 2810K, 2815K, 2820K, 2825K, 2830K, 2835K, 2840K, 2845K, 2850K, 2855K, 2860K, 2865K, 2870K, 2875K, 2880K, 2885K, 2890K, 2895K, 2900K, 2905K, 2910K, 2915K, 2920K, 2925K, 2930K, 2935K, 2940



Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

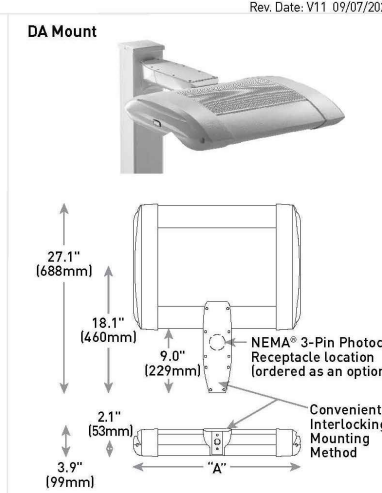
Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)

CCT: Turtle Friendly Ambient (3000K +/- 200K) 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard

Limited Warranty: 10 years on luminaires/10 years on Colorfast DeltaGuard® finish /7 year on accessories

*See <http://www.lighting.com/technology> for warranty details.



LED Count (x19)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	14.1" (357mm)	28 lbs. (12kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

Accessories	
Field-Installed	
Drive Scales JA-2000L-S	Backlight Control Shields JA-2000L-S
Hand-Held Remote JA-2000H-S	Four-Pack Unopened stainless steel
For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Shutting Cap JA-2000L-S
	NEMA® 3-Pin Photocell CACC-A-PCCELL-NEMA3-LV
	- On/off functionality only - Available with UL safety entry

Ordering Information

[illegible]



CREE  LIGHTING

US: creeighting.com (800) 236-6800
 Canada: creeighting-canada.com (800) 473-1234

CREE **LIGHTING**

US: creelighting.com (800) 236-6800
Canada: creelighting-canada.com (810) 473-123

STONEFIELD

Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI

www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542

Phone 609.362.6900

PROP. POPEYES W/ DRIVE-THROUGH

BLOCK 35, LOTS 7, 7.01, & 7.02

TAX MAP SHEET 2
800, 812 & 814 NORTH BLACK HORSE PIKE
BOROUGH OF RUNNEMEDE
CAMDEN COUNTY, NEW JERSEY

STONEFILL
engineering & design

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN	PROJECT ID: PRI-220068
-----------------	------------------------

TITLE:

CONSTRUCTION DETAILS

DRAWING

C-18

C-18