

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR TO START OF ANY WORK. A REGISTERED SURVEYOR SHALL BE ENGAGED TO LAY OUT ALL SITE WORK.
- CONTRACTOR SHALL REVIEW DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PROJECT PLANS AND SPECIFICATIONS, IN WRITING.
- DRAWINGS SHALL NOT BE SCALED FOR BIDDING AND/OR CONSTRUCTION PURPOSES.
- ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WORK SHALL MEET OR EXCEED ALL LOCAL, STATE AND NATIONAL BUILDING CODES, AND COMPLY WITH THE CITY OF FORT WORTH BUILDING ORDINANCES. A BUILDING PERMIT SHALL BE OBTAINED FROM THE CITY OF FORT WORTH.
- A LANDING MUST BE PROVIDED AT EACH EXIT DOOR. THE FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL BE AT THE SAME ELEVATION AS PER THE TEXAS FIRE PREVENTION CODE.
- VERIFY ALL EXIT DOOR LOCKING HARDWARE COMPLIES WITH THE TEXAS FIRE PREVENTION CODE.
- ALL NEW CONCRETE FLOOR SLAB AREAS SHALL HAVE TERMITES TREATMENT.
- ALL STRUCTURES SHALL HAVE ADDRESS NUMBERS PLACED ON THE BUILDING IN ACCORDANCE WITH FORT WORTH MUNICIPAL CODE.
- ALL SIGNAGE, PERMANENT, PORTABLE, BANNERS, ETC. WILL CONFIRM TO ARTICLE 4, SIGNS.
- HOURS OF OPERATION:
CAR WASH - 7 DAYS A WEEK, 7:00 AM TO 8:00 PM.
- BUILDING (TUNNEL) NOT TO EXCEED 17'-0" IN HEIGHT AND TOWERS NOT TO EXCEED 35'-0" IN HEIGHT.
- EXTERIOR MATERIALS FOR BUILDING WILL BE SPLIT-FACED CMU BLOCK, GLASS WINDOW PANELS AND STORE FRONT MATERIALS.
- ALL DOMESTIC WATER SERVICE AND METER SHALL BE 1-1/2".
- BUILDING IS A ONE STORY BUILDING WITH MEZZANINES ABOVE STORAGE AREA AND OFFICE.
- PROJECT WILL COMPLY WITH SECTION 6.301 LANDSCAPING.
- PROJECT WILL COMPLY WITH SECTION 6.302 URBAN FORESTRY.
- ALL PROVIDED LIGHTING WILL CONFIRM TO THE LIGHTING CODE.

LEGAL DESCRIPTION

LOT 2-B, BLOCK 1, PUTT PUTT ADDITION TO THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, ACCORDING TO THE REVISED PLAT THEREOF RECORDED IN CABINET B, SLIDE 632, PLAT RECORDS, TARRANT COUNTY, TEXAS

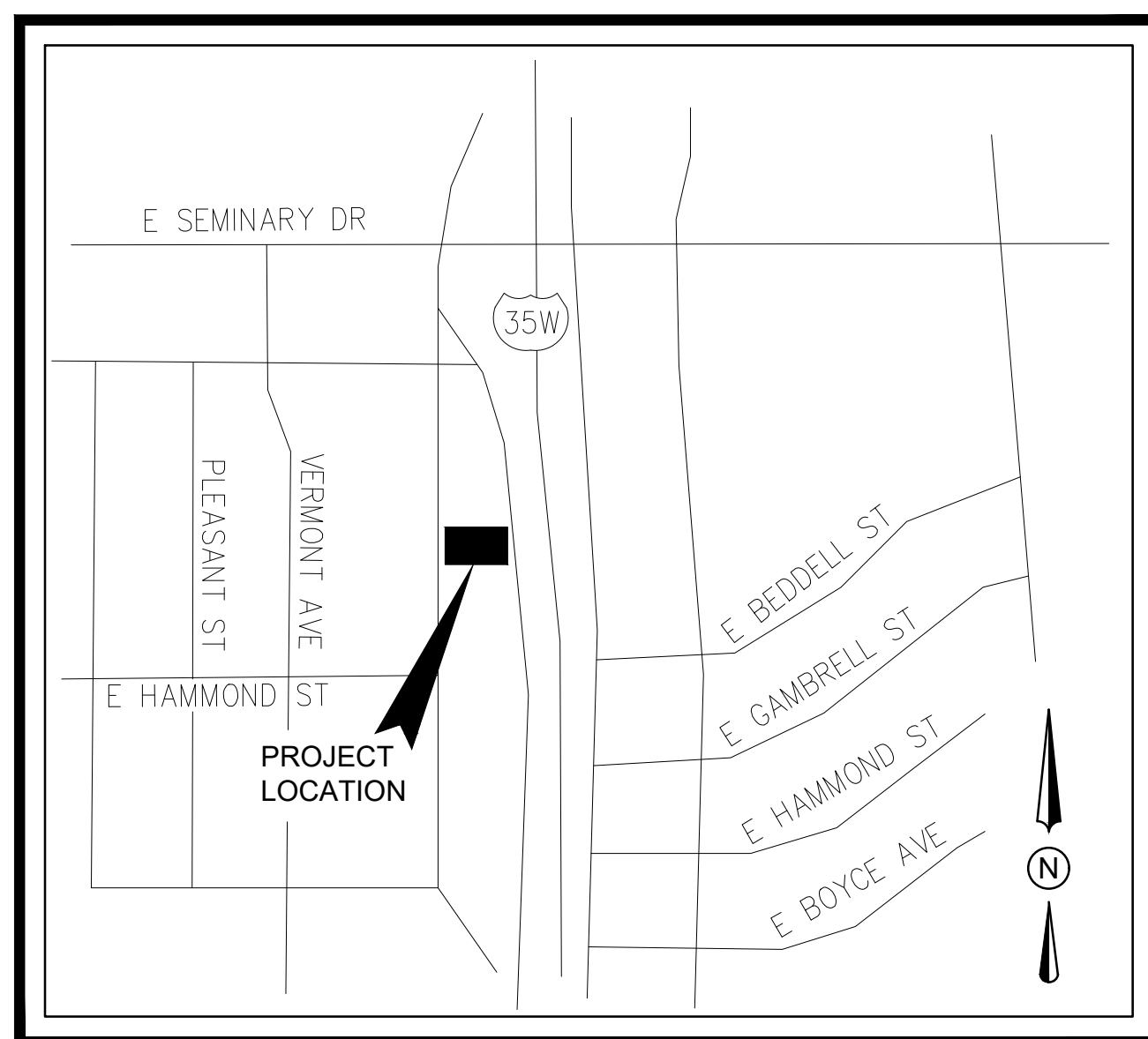
DATE: 01.30.2023
JOB NO: 23001
DRAWN: STAFF
CHECKED: CM



AG DESIGN GROUP
PO BOX 383023
DUNCANVILLE, TX 75138
PH: 214-766-5905

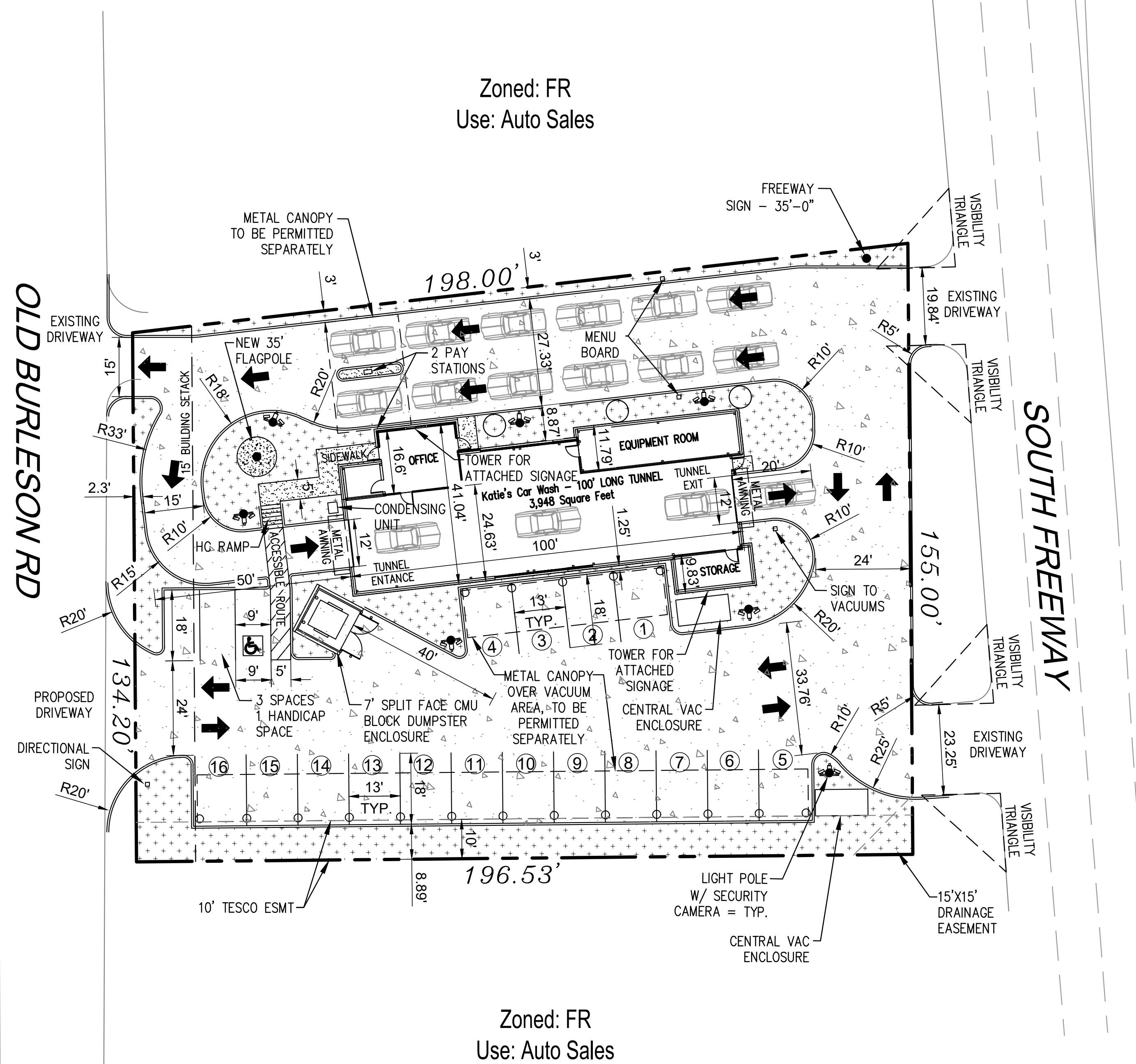
SURFACE LEGEND	
PROPOSED CONCRETE	
PROPOSED LANDSCAPE	
PROPOSED SIDEWALK	

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	0.65 ACRES (28,475 S.F.)
ZONING:	FR - GENERAL COMMERCIAL RESTRICTED
PROPOSED USE:	CUP FOR AUTOMATED CARWASH
BUILDING AREA:	3,948 S.F.
BUILDING HEIGHT:	TUNNEL = 17', TOWER = 35'
NUMBER OF STORIES:	1
BUILDING COVERAGE:	14%
FLOOR AREA RATIO:	0.14
IMPERVIOUS AREA:	22,640 S.F. (79.5%)
PERVIOUS/LANDSCAPE AREA:	5,835 S.F. (20.5%)
REGULAR PARKING REQUIRED:	15 SPACES
5 SPACES PER 1 CAR IN WASH LINE	
WASH LINE CAR STACKING:	3 CARS
REGULAR PARKING PROVIDED:	2 SPACES
HANDICAP PARKING REQUIRED:	1 SPACE
HANDICAP PARKING PROVIDED:	1 SPACE
TOTAL PARKING PROVIDED:	3 SPACES
VACUUM STALLS PROVIDED:	16



02 VICINITY MAP
NOT TO SCALE

01 SITE PLAN
SCALE: 1" = 20'-0"



Zoned: A-5
Use: Residential

Zoned: FR
Use: Auto Sales

Zoned: F
Use: Hotel

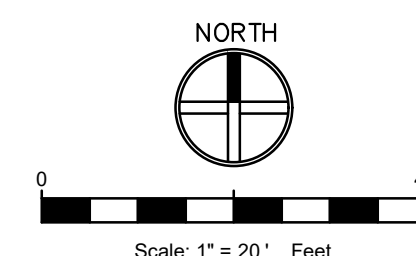
Zoned: FR
Use: Auto Sales

OWNER:
PETRIE PROPERTIES
CONTACT: ROBERT PETRIE
6111 LAKE WORTH BLVD.
LAKE WORTH, TX 76135
817-401-1617

ARCHITECT:
AG DESIGN GROUP
CONTACT: ARMANDO GARCIA
P.O. BOX 383023
DUNCANVILLE, TX 75138
214-766-5905

SURVEYOR:
TUCKER SURVEYORS
CONTACT: DONNIE L. TUCKER
P.O. BOX 1855
BURLESON, TX 76097
817-295-2999

ENGINEER:
THOMAS HOOVER ENGINEERING, LLC
CONTACT: THOMAS HOOVER
P.O. BOX 1808
KELLER, TX 76244
817-913-1350



Developer/Owner: Robert Petrie
Address: 6111 Lake Worth Blvd.
City/State: Lake Worth, Texas 76135
Telephone Number: 817.401.1617
E-mail Address: robert@petrieautosales.com

Director of Development Services Date
KATIE'S CAR WASH
Zoning Case Number: ZC-23-006

KATIE'S CAR WASH
4444 SOUTH FREEWAY,
FORT WORTH, TX 76115

REVISIONS

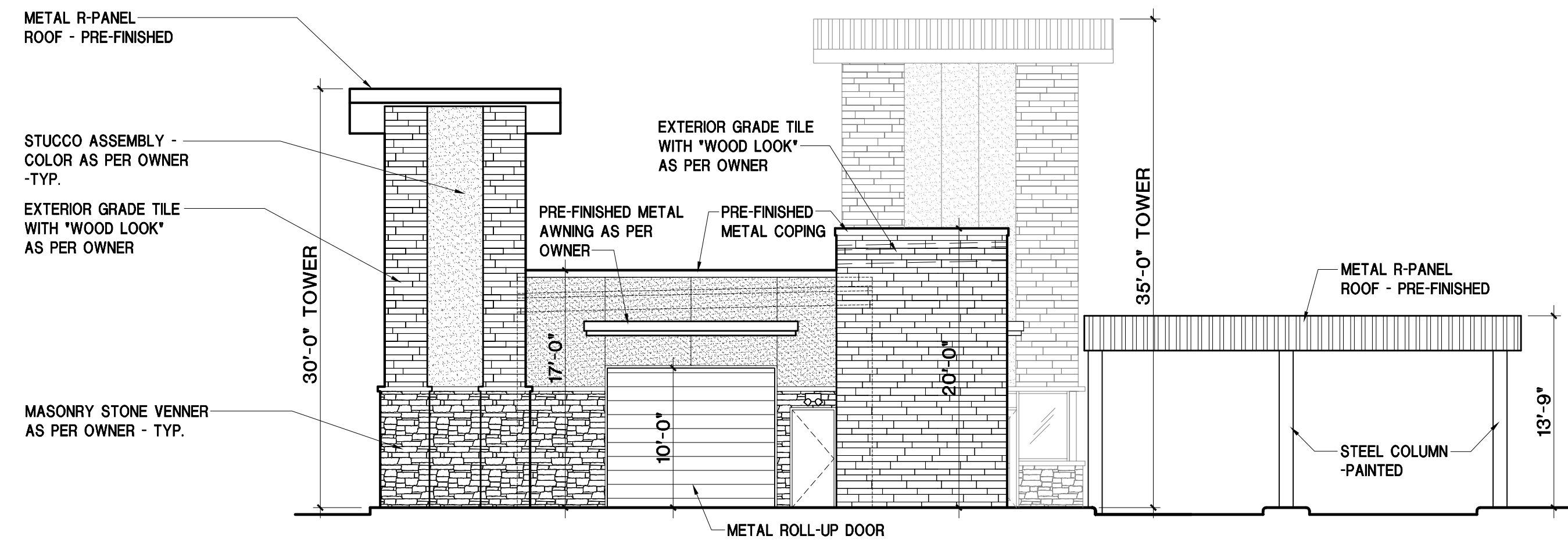
SITE PLAN

SHEET NUMBER

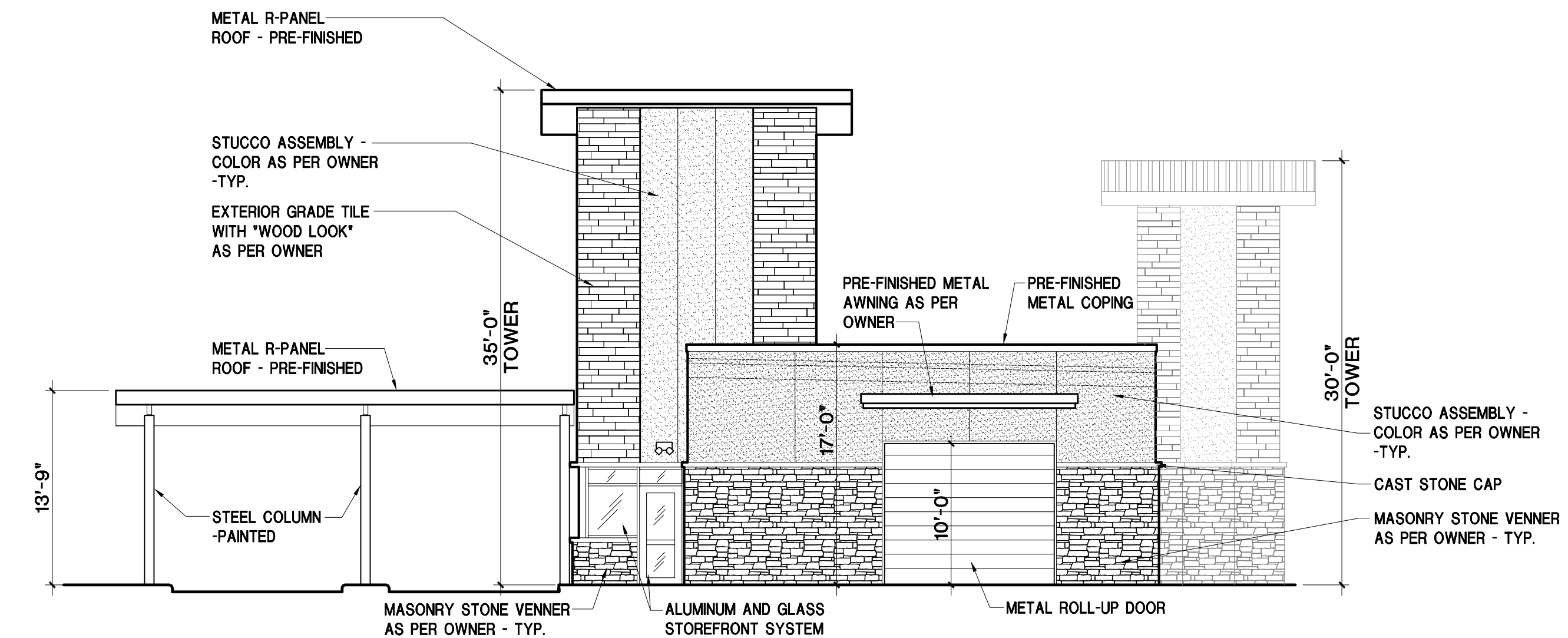
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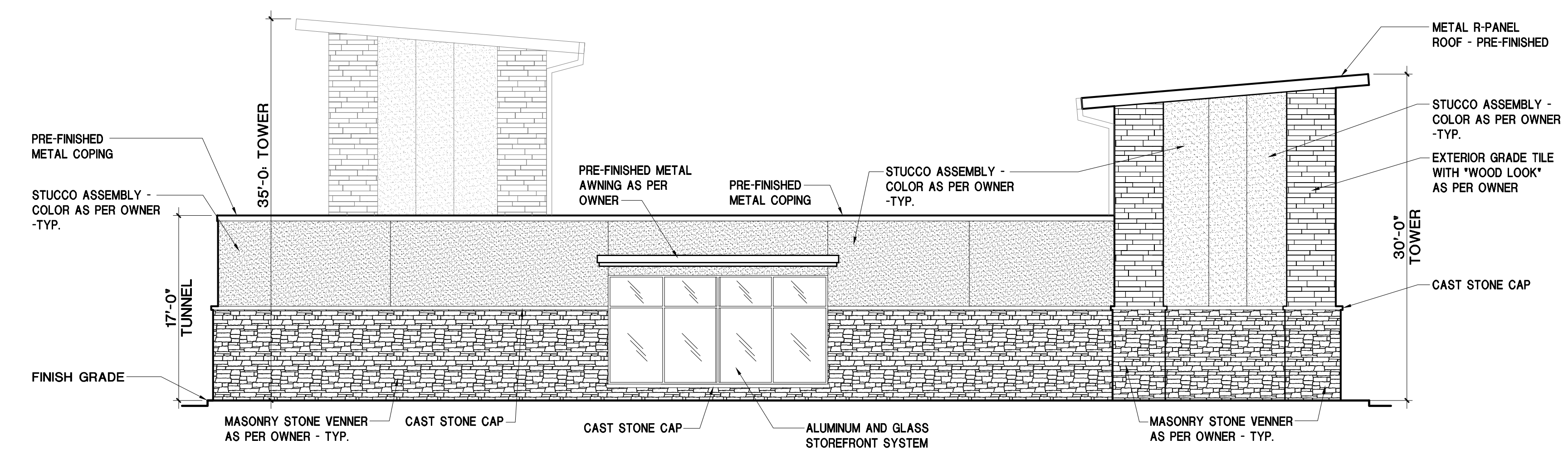
214.766.5905
 PO BOX 383023
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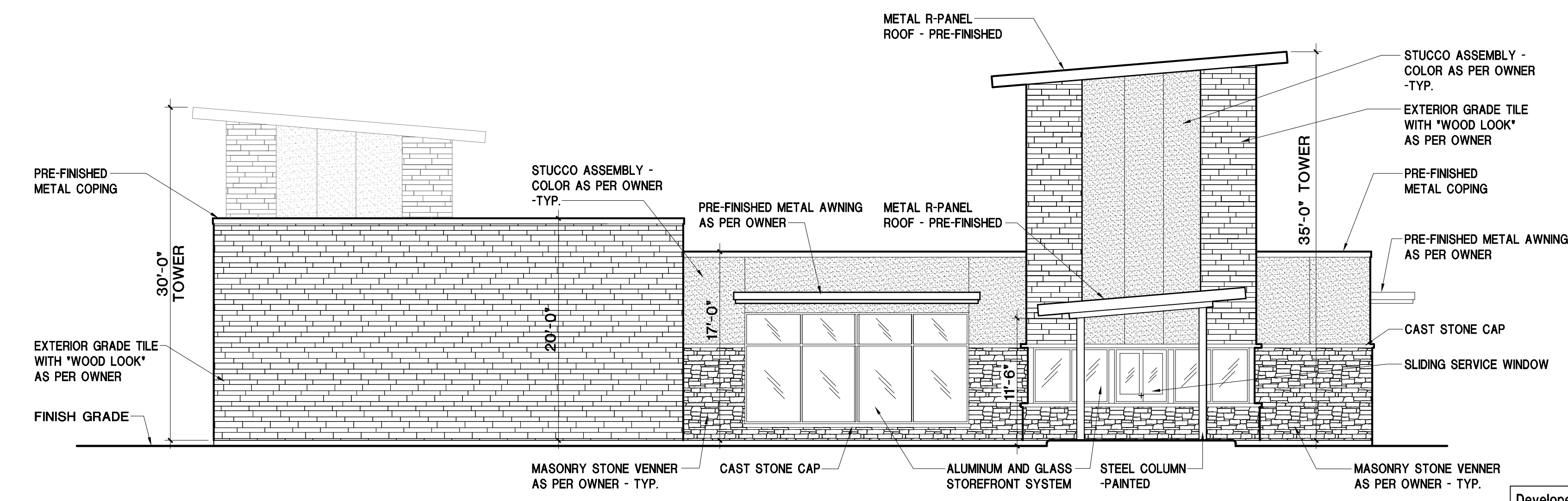
03 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



04 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



01 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

Developer/Owner: Robert Petrie
 Address: 6111 Lake Worth Blvd.
 City/State: Lake Worth, Texas 76135
 Telephone Number: 817.401.1617
 E-mail Address: robertpetrieautosales.com

Zoning Case Number: ZC-23-006
 Director of Development Services
 Date: _____

KATIE'S CAR WASH
 4444 SOUTH FREEWAY
 FORT WORTH, TX 76115

REVISIONS

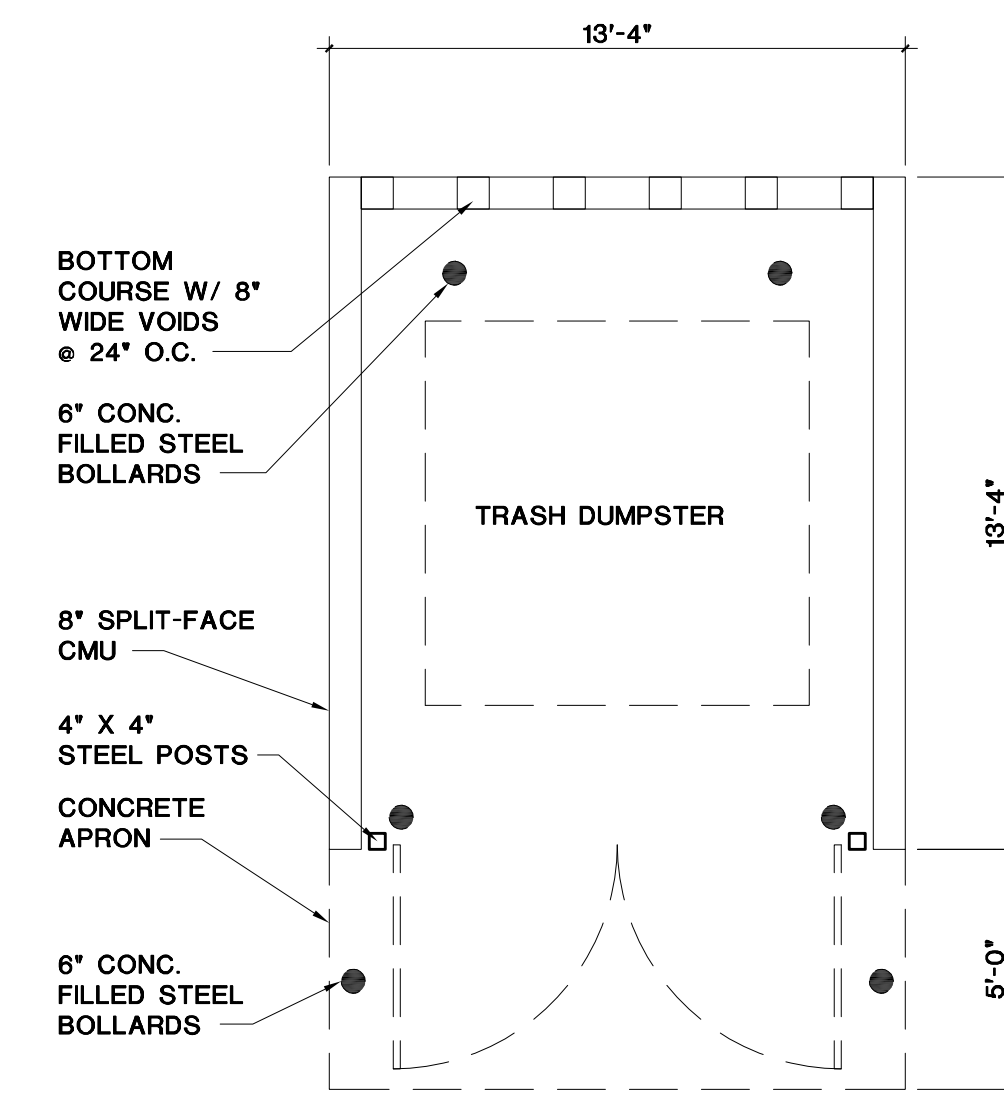
EXTERIOR ELEVATIONS

SHEET NUMBER

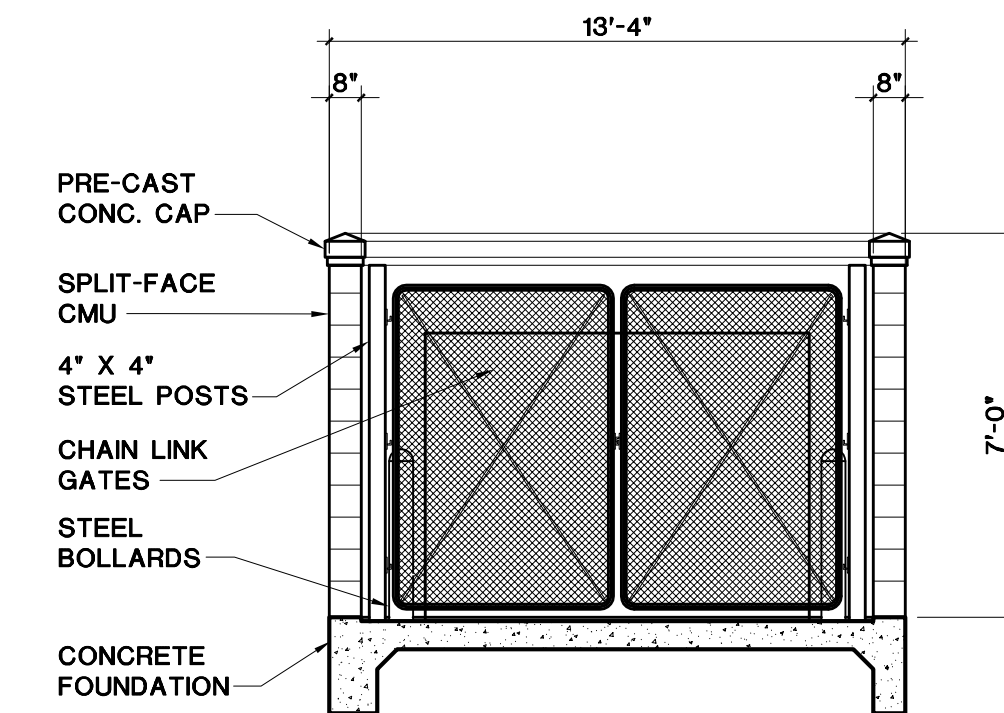
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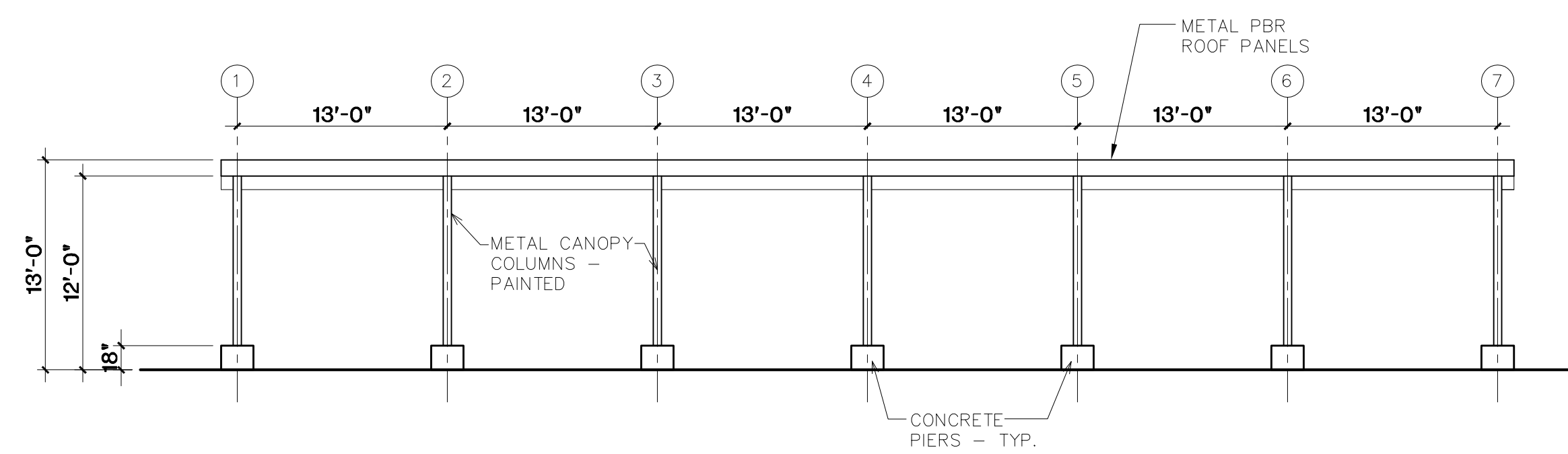
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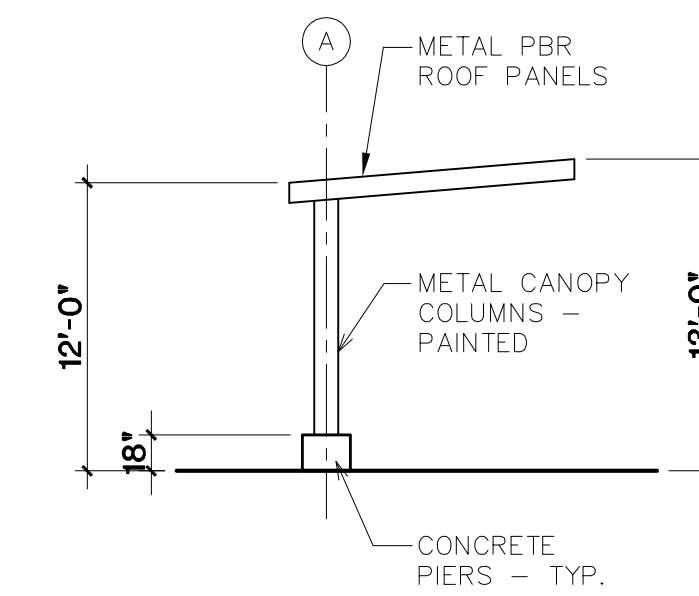
04 TRASH ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"



03 TRASH ENCLOSURE ELEV.
 SCALE: 1/4" = 1'-0"



01 VACUUM CANOPY ELEVATION (FRONT) - TYPICAL
 1/8" = 1'-0"



02 VACUUM CANOPY ELEVATION (SIDE) - TYPICAL
 1/8" = 1'-0"

KATIE'S CAR WASH
 4444 SOUTH FREEWAY
 FORT WORTH, TX 76115

REVISIONS

EXTERIOR
 ELEVATIONS

SHEET NUMBER

A2.02

Developer/Owner: Robert Petrie
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 City/State: Lake Worth, Texas 76135
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