

1890 COMMERCE PARK



FOR SALE & FOR LEASE

1890 N A.W. Grimes Blvd
Round Rock, TX 78665



Irulian Dabbs Burger
512-422-8928

1890 COMMERCE PARK

Flex Warehouse & Office Spaces



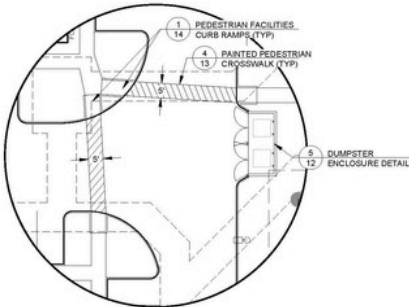
Discover [1890 Commerce Park](#), a premier office & warehouse development offering approximately 115,000 SF of flexible space in the heart of Round Rock. This strategic location provides seamless access to major highways and is on the business corridor, ideal for logistics, light manufacturing, creative studios and more.

Sizes start at 1,445 SF and go up to 18,840 SF, providing an entrance for every type of business. This is a unique opportunity to purchase and lease in a Class A Business Park at the business hub of Round Rock .

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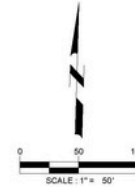


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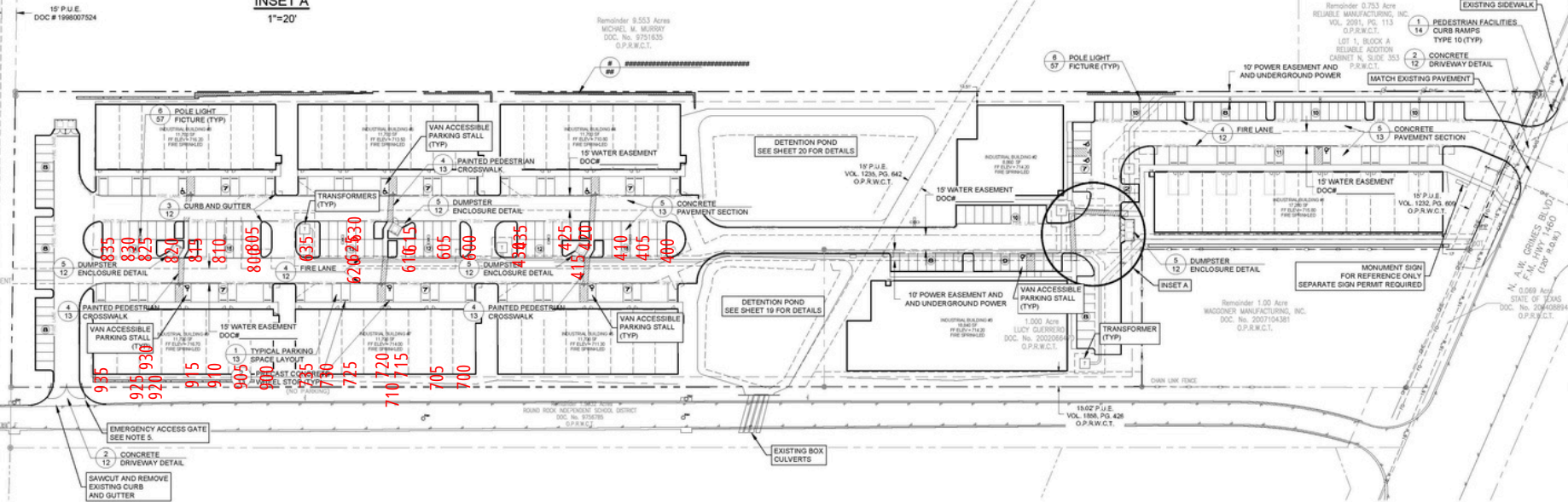
INSET A
1"=20'

PARKING ANALYSIS			
USE	(SF)	RATIO	REQUIRED
OFFICE/WAREHOUSE	115,180	1:500	231
TOTAL PARKING SPACES REQUIRED			231
HANDICAP PARKING SPACES REQUIRED			7
TOTAL PARKING SPACES PROVIDED			240
HANDICAP PARKING SPOTS PROVIDED			10



SYMBOLS		LINETYPES	
WATER METER	WATER SERVICE	PROPERTY BOUNDARY	LIMITS OF CONSTRUCTION
WATER VALVE	WATER SERVICE	LIMITS OF CONSTRUCTION	FENCES (SHALL NOT)
BACKFLOW PREVENTER	STORMWATER MANHOLE	SEWER	(WOOD)
UTILITY POLE	SEWER	SEWER	(BRICK/PIPE)
UTILITY POLE	CLASH INLET	SEWER	(CONCRETE)
WATER/WATER MANHOLE	GATE INLET	SEWER	PROPOSED CONTOURS
CLEAN OUT	TABLE TOP VENT INLET	SEWER	EXISTING CONTOURS
MANHOLE	TREE TO BE SAVED	SEWER	UNDERGROUND ELEC.
PARKING COUNT	TREE TO BE REMOVED	SEWER	OVERHEAD UTILITY
		SEWER	UNDERGROUND TELE
		SEWER	UNDERGROUND GAS LINE
		SEWER	WATER LINE
		SEWER	WASTEWATER LINE
		SEWER	ACCESSIBLE ROUTE

DETAIL NUMBER	DETAIL NAME
SHEET NUMBER WHERE DETAIL IS LOCATED	DETAIL REFERENCE CALLOUT



Building Information							
Building Number	Proposed Use	Construction Type	Building Occupancy Type	Sprinkled	Maximum Height	Number of Stories	Square Footage
1	Office/Warehouse	IB	F-1	Yes	30ft	1	17,280 sf
2	Office/Warehouse	IB	F-1	Yes	30ft	1	8,860 sf
3	Office/Warehouse	IB	F-1	Yes	30ft	1	18,840 sf
4	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
5	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
6	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
7	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
8	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
9	Office/Warehouse	IB	F-1	Yes	30ft	1	11,700 sf
							Total: 115,180 sf

SITE AREA CALCULATIONS			
	AREA (SF)	AREA (AC)	AREA (%)
SITE AREA	344,480.88	8.02	100.00%
EXISTING IMPERVIOUS COVER	967.39	0.022	0.25%
PROPOSED IMPERVIOUS COVER	260,898.64	5.99	87.56%

DRY UTILITY NOTES:

- A DRY UTILITY PLAN SHALL BE PROVIDED TO THE CITY OF ROUND ROCK FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THIS ADDITION WILL BE TREATED AS A REVISION TO THE APPROVED PLANS AT THAT TIME.
- ALL DESIGNS SHALL MEET THE CITY OF ROUND ROCK STANDARDS WITH REGARD TO UTILITY SEPARATIONS, CROSSINGS AND LANDSCAPING.
- DRY UTILITIES CANNOT TRAVEL WITHIN CITY OF ROUND ROCK EASEMENTS (SAVE FOR PUE) AND MUST PROVIDE ADEQUATE SEPARATION FROM TREE PLANTINGS.
- DRY UTILITY EASEMENTS, AS APPLICABLE, CANNOT OVERLAP CITY OF ROUND ROCK EASEMENTS.
- LANDSCAPE PLANTINGS IN EASEMENTS DO NOT COUNT TOWARD MINIMUM REQUIREMENTS FOR CODE COMPLIANCE.

SITE PLAN NOTES:

- DIMENSIONS ARE SHOWN ON THE DIMENSIONAL CONTROL PLAN. FOR PRECISE DIMENSIONS AND LOCATION OF SITE IMPROVEMENTS, ELECTRONIC FILES OF THE SITE LAYOUT WILL BE MADE AVAILABLE TO THE CONTRACTOR AND HIS SURVEYOR UPON REQUEST. FOR BUILDING DIMENSIONS, CONTRACTOR SHALL USE ARCHITECTURAL AND STRUCTURAL PLANS.
- EXISTING UTILITIES ARE SHOWN PER RECORD DRAWINGS.
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 INCHES. REFER TO GRADING SHEET(S).
- FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS (34,000 KG). THE APPROVED FIRE APPARATUS ACCESS ROAD MUST BE IN PLACE BEFORE COMBUSTIBLES ARE BROUGHT ON SITE.
- EMERGENCY ACCESS GATES
THE FOLLOWING ACCESS SYSTEMS SHALL BE INSTALLED ON ALL PRIMARY GATES:
5.1. OPTICOM IR PLATFORM RECEIVER AND TRANSMITTER. WHEN ACTIVATED VIA THE OPTICOM RECEIVER, THE GATE(S) SHALL REMAIN OPEN FOR 20 MINUTES.
5.2. KNOX KEY SWITCH.
5.3. THE GATE OPENING SYSTEM SHALL INCORPORATE A FAIL-SAFE MANUAL BACKUP OR AUTOMATIC RELEASE IN THE EVENT OF A FAILURE OF THE ELECTRICAL OR MECHANICAL EQUIPMENT. THE MANUAL RELEASE MAY BE IN THE FORM OF A PULL CABLE THAT DISENGAGES THE CHAIN DRIVE OR A 911 PIN-LOCK THAT DISENGAGES THE ARM OF A SWING GATE. LOCKED WITH A KNOX SHACKLE PADLOCK (116 - 316').



Know what's below.
Call before you dig.

CONTRACTOR NOTES:
EXISTING UNDERGROUND AND OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTHS PRIOR TO BEGINNING CONSTRUCTION.
CONTRACTOR SHALL CONSIDER PROPOSED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

2P CONSULTANTS, LLC
1100 W. UNIVERSITY BLVD. SUITE 204
ROUND ROCK, TEXAS 78664
312.844.6664
INFO@2PCONSULTANTS.COM
2PCONSULTANTS.COM



NO.	DATE	REVISIONS

BLUEACE DEVELOPMENT
1890 COMMERCE PARK
SITE DEVELOPMENT IMPROVEMENTS
1890 N. A.W. GRIMES BOULEVARD ROUND ROCK,
TEXAS 78684

OVERALL SITE PLAN

PERMIT NO:
SDP2108-0003
SHEET NO:
8
OF 80

1890 COMMERCE PARK

BUILDINGS 7 & 9

Units for Sale Or Lease
Individual or combined suites
Mezzanine option available for
additional squarefootage

100% HVAC throughout
22' building height
10x12 Overhead door (glass
options)

200 amps 3phase / unit

Upper rear windows

Sealed concrete floor

ADA bathroom

Sprinkled with external riser room

Light Industrial Zoned

Expected Delivery for
Phase 1 is June 2026



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BUILDINGS 6 & 8

Units for Sale Or Lease individually or combined. **Delivery is in shell condition** to accommodate custom buildout requirements.

Each building in total has:

- Up to 1200 amps/3phase
- Glass garage door options
- Upper windows in rear
- Sprinkler system with external riser room
- Slab leave-out for plumbing
- 22' building height
- 4000 SF minimum size*

Expected Delivery for Phase 1 is June 2026



4,000 - 11,700 SF Suites

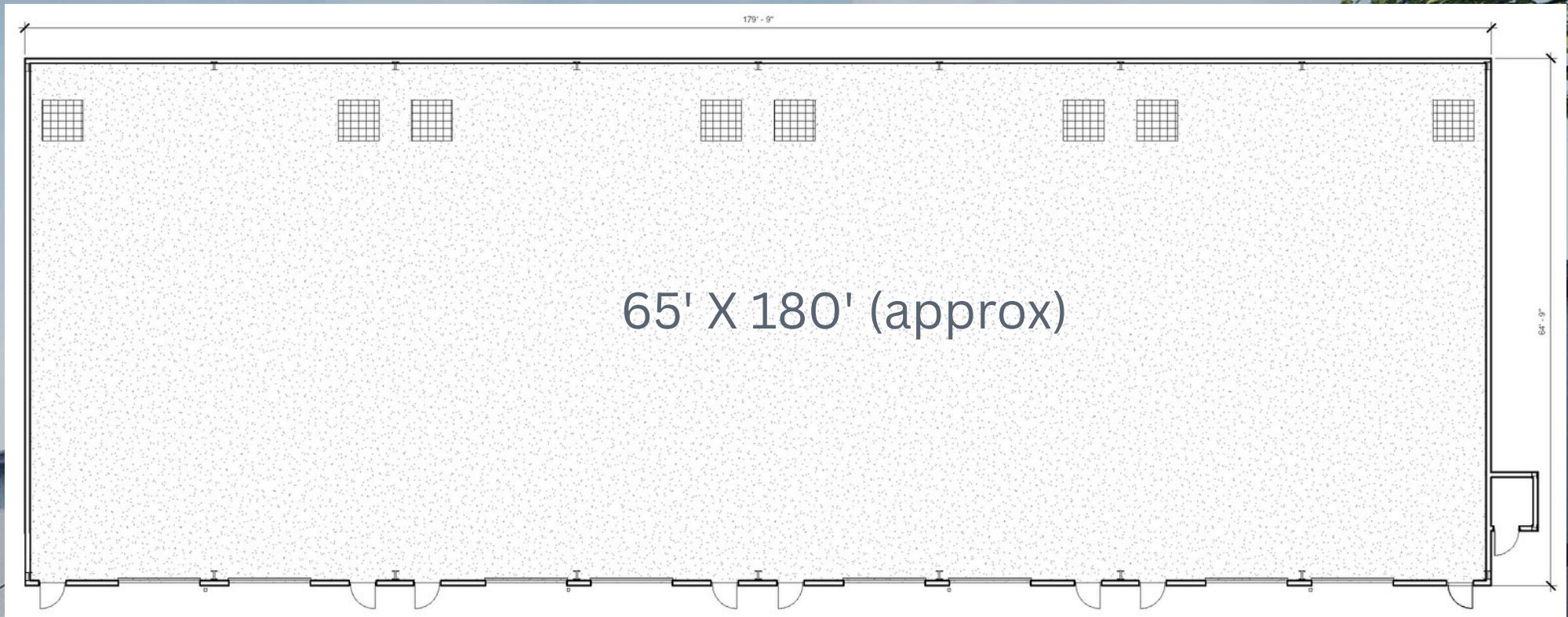
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Drive Times and Points of Business

Austin - Downtown | 30 mins

Austin Bergstrom Airport | 30 mins

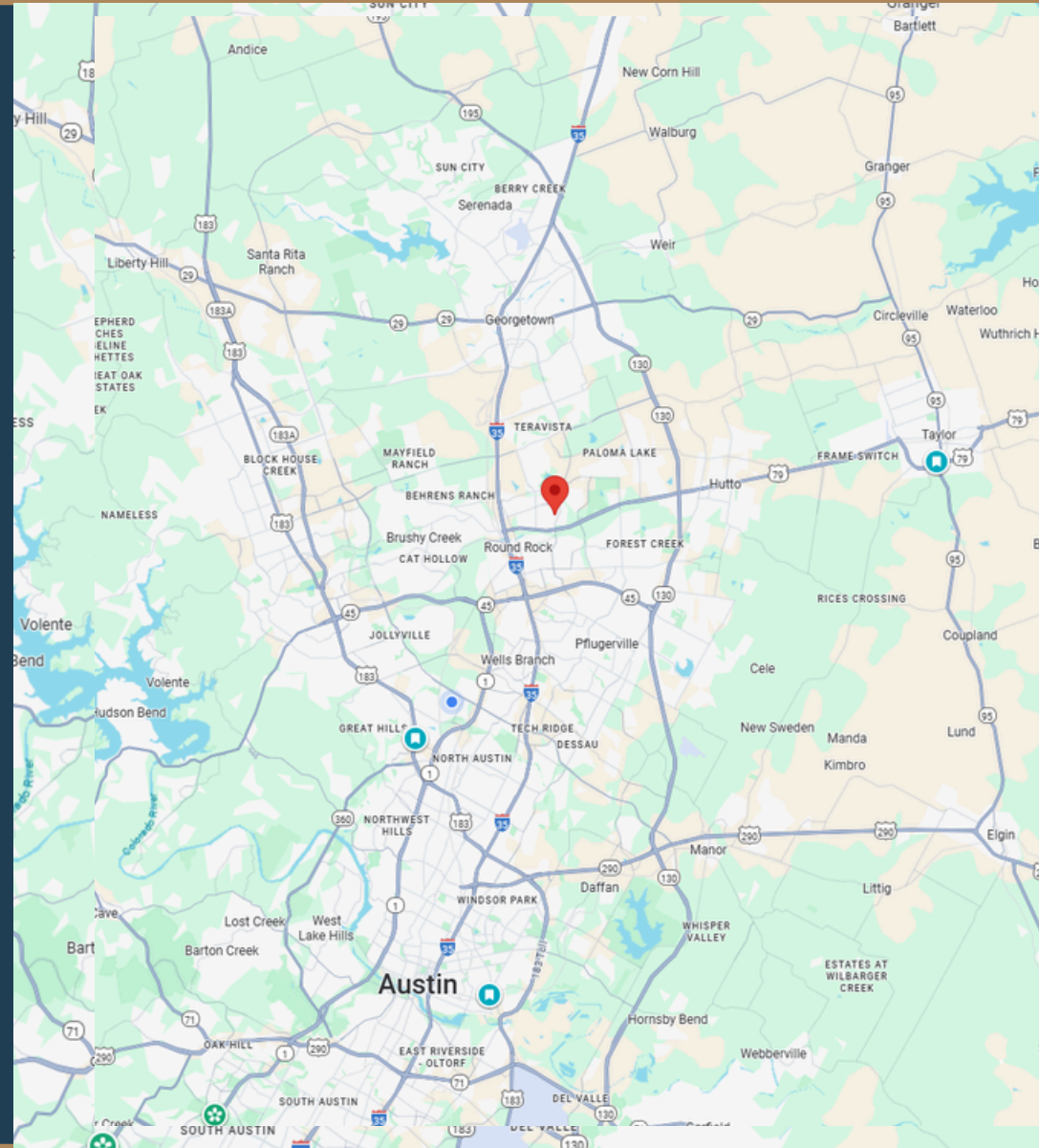
Hutto | 10 mins

Interstate 35 | 6 mins

Hwy 183 | 23 mins

Toll Road 130 | 12 mins

Samsung | 25 mins



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Information About Brokerage Services
Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

2-10-2025



TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent. **An owner's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent. **A buyer/tenant's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

TX Sales LLC	9014095	irulian@breakawaycre.com	512-422-8928
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
Irulian Dabbs Burger	686473	irulian@breakawaycre.com	512-422-8928
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
Sales Agent/Associate's Name	License No.	Email	Phone

 Buyer/Tenant/Seller/Landlord Initials

 Date

SALE & LEASE INFORMATION

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