

HIGH STREET VISIBILITY · LOCATED AT VILLAGE OF THE OAKS SHOPPING CENTER  
**DRIVE-THRU PARCEL AVAILABLE FOR LEASE**

3650 Gosford Rd · Bakersfield, CA 93309 · NEC White Lane & Gosford Road



FOR INFORMATION, CONTACT:

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**RETAIL CALIFORNIA CRE**

A division of Pearson Realty

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### Property Description:

The subject property is an entitled drive-thru parcel which can accommodate up to 2,380+/- square feet. The property is a part of the Albertson's anchored Village at the Oaks Shopping Center and is just north of the dominant Gosford Village Shopping Center. This retail trade area offers a great mix of national Tenants with average daily traffic counts of 115,228 at the intersection of White Ln & Gosford Rd.

### Property Highlights:

The property is surrounded by dense, mature residential development.

### Available Space:

Maximum Building Size: 2,380± SF

### Pricing:

Please contact broker for details.

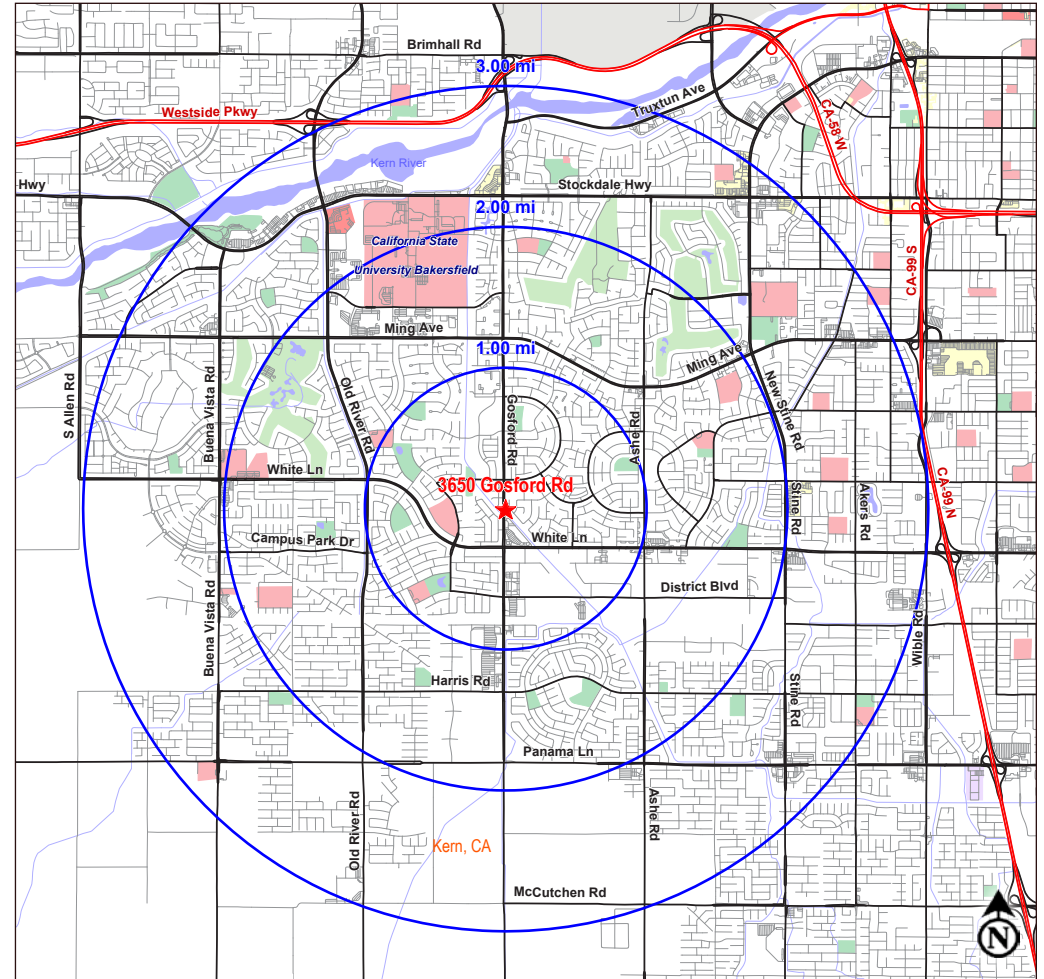
### 2022 Demographics:

|                    | 1 Mile    | 2 Miles   | 3 Miles   |
|--------------------|-----------|-----------|-----------|
| Total Population:  | 17,590    | 64,236    | 118,900   |
| Total Households:  | 6,477     | 21,480    | 40,108    |
| Avg HH Income:     | \$112,763 | \$112,943 | \$105,323 |
| Total Daytime Pop: | 13,815    | 56,108    | 117,535   |

### 2022 Traffic Counts:

|               |                           |
|---------------|---------------------------|
| White Lane:   | 59,072 ADT                |
| Gosford Road: | 56,156 ADT                |
| Total:        | 115,228 Avg Daily Traffic |

Source: Claritas LLC, Kalibrate



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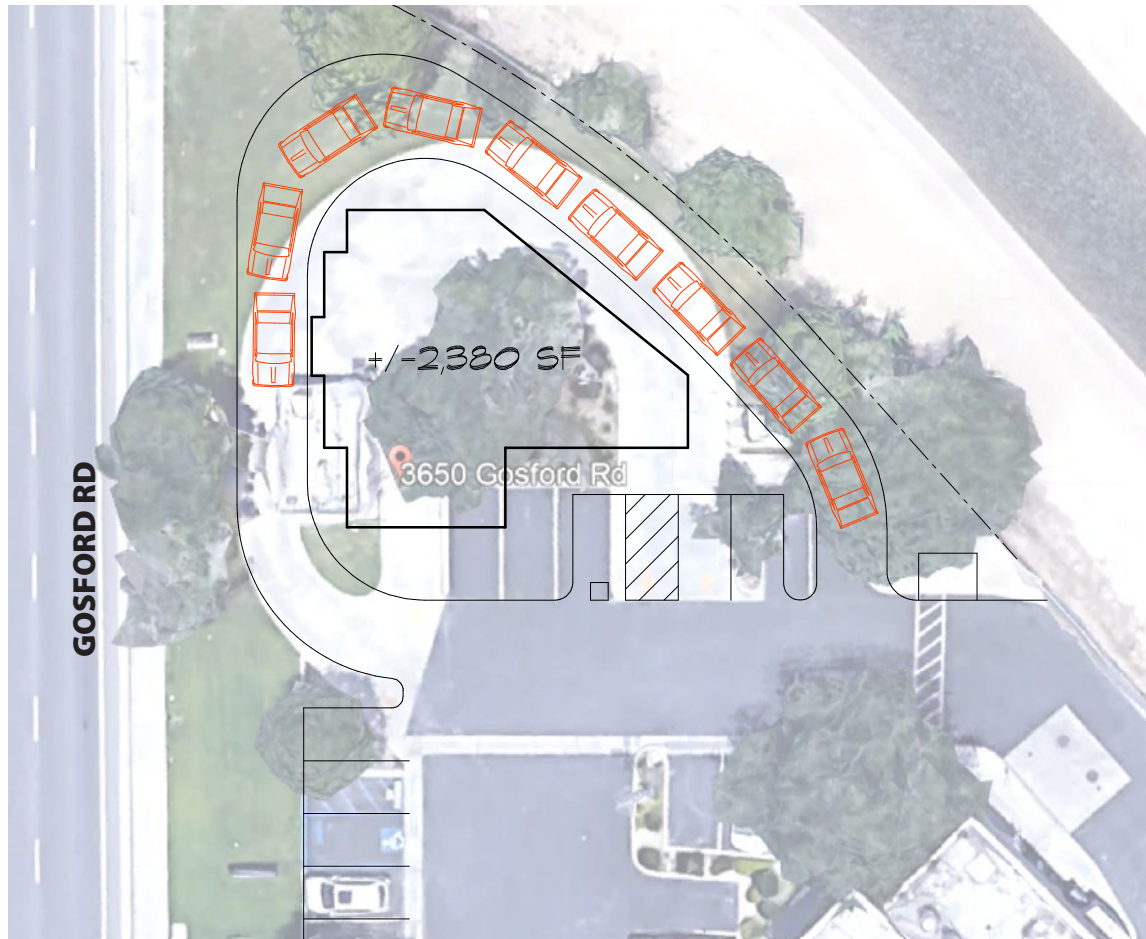


This information is given with the understanding that all negotiations relating to the purchase, renting or leasing of the property described herein shall be conducted through this office. The information included here, while not guaranteed, has been secured from sources we believe to be reliable. Each investor is encouraged to have a C.P.A. and/or Financial Advisor make an independent projection. ©2022 Retail California. All rights reserved.

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## PROPOSED SITE PLAN



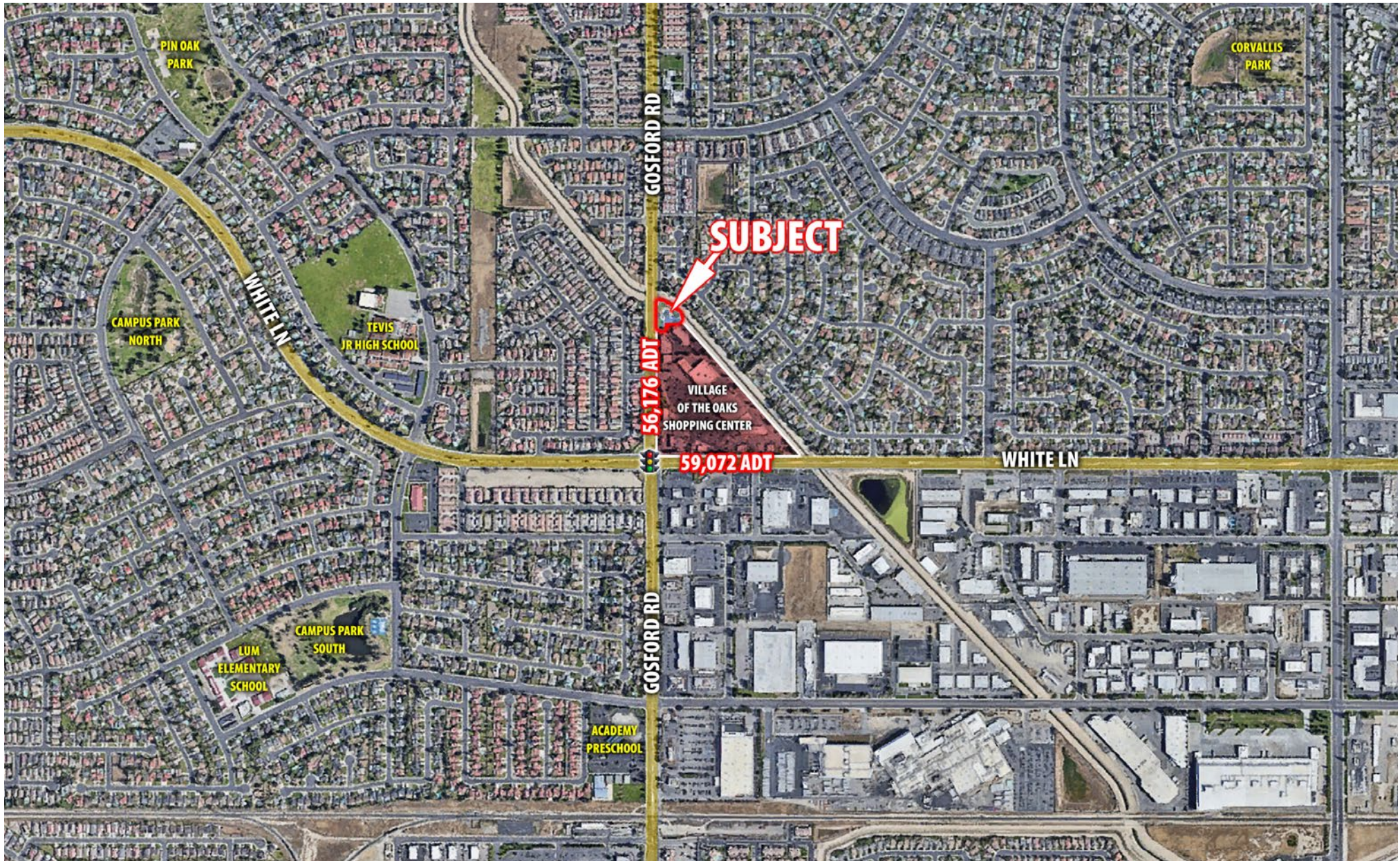
|                             |                 |
|-----------------------------|-----------------|
| PARKING REQUIRED            |                 |
| FF PAD (2,380/15):          | 32 STALLS       |
| PARKING PROVIDED ON PARCEL: |                 |
| PARKING STALLS:             | 9 STALLS        |
| DRIVE-THRU CREDIT:          | 2 STALLS        |
| <hr/> PARKING PROVIDED:     | <hr/> 11 STALLS |

 **SCHEME 'C2'**  
GOSFORD & WHITE LANE  
PDA, INC. 2-26-21



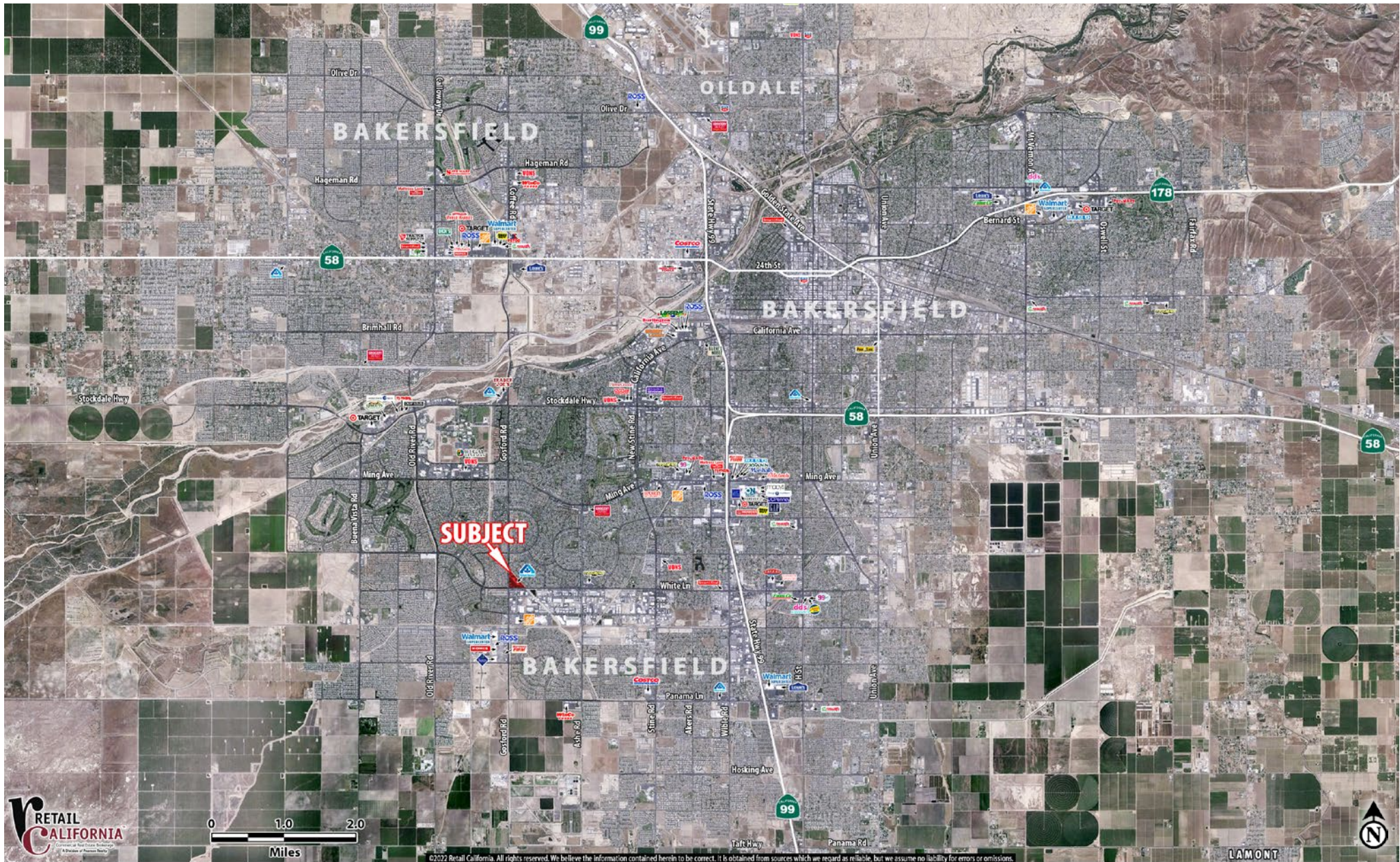
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