

38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

ZONE LOT DESCRIPTION

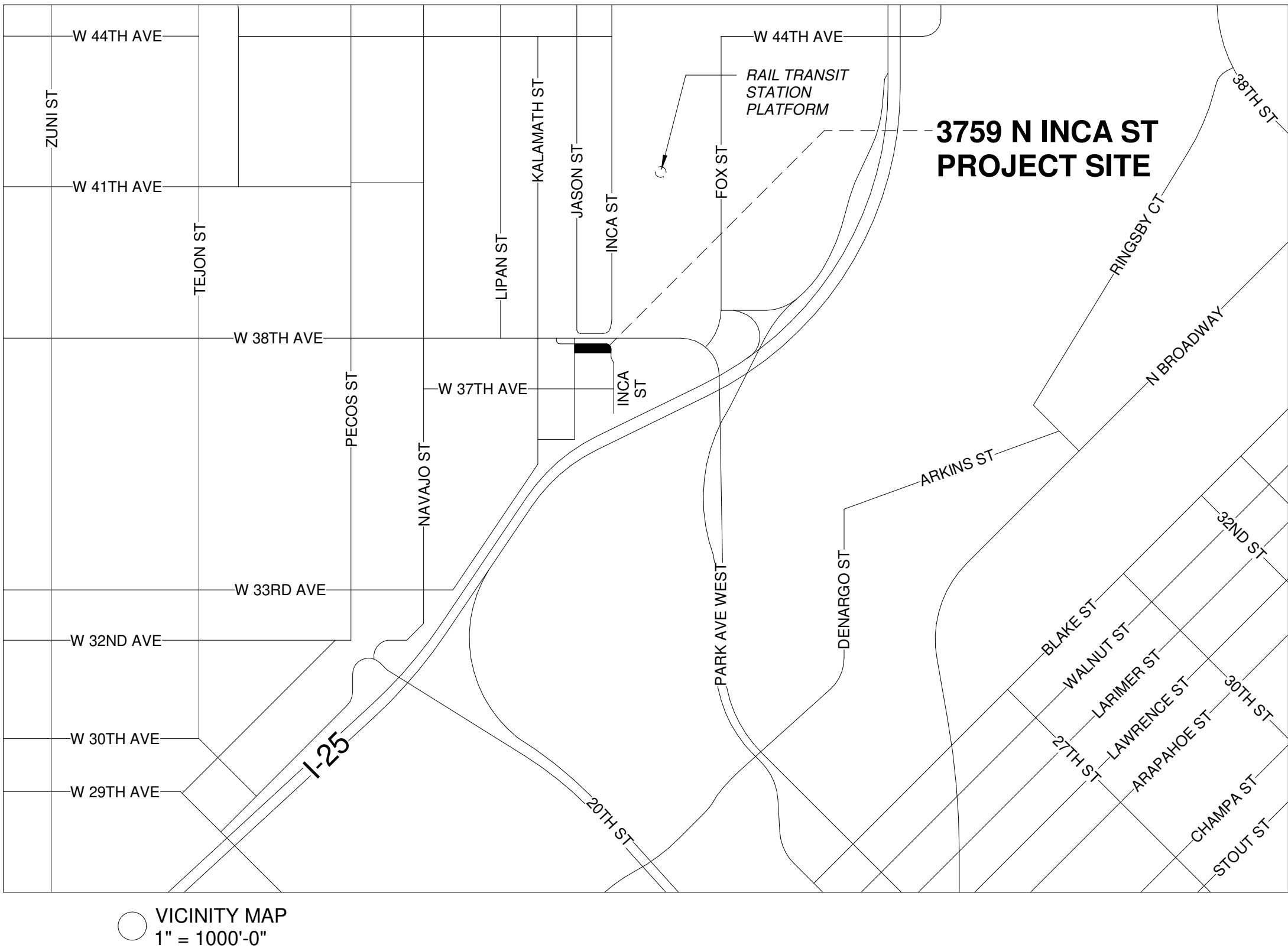
A PARCEL OF LAND BEING ALL OF LOTS 29 AND 30 EXCEPT THE NORTH 20 FEET OF SAID LOT 30, BLOCK 53, AS RECORDED IN ORDINANCE NO. 399, SERIES 1988, VIADUCT ADDITION TO DENVER, LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF DENVER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 29, BLOCK 53;
THENCE ALONG THE SOUTH LINE OF SAID LOT 29, BLOCK 53, NORTH 89°53'06" WEST A DISTANCE OF 125.07 FEET TO THE SOUTHWEST CORNER OF SAID LOT 29, BLOCK 53;
THENCE ALONG THE WEST LINE OF SAID LOTS 29 AND 30, BLOCK 53, NORTH 00°02'37" EAST A DISTANCE OF 29.99 FEET TO THE NORTHWEST CORNER OF THE SOUTH 10.00 FEET OF SAID LOT 30;
THENCE ALONG A LINE 10.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID LOT 30, BLOCK 53, SOUTH 89°52'27" EAST A DISTANCE OF 125.07 FEET TO THE NORTHEAST CORNER OF THE SOUTH 10 FEET OF SAID LOT 30, BLOCK 53;
THENCE ALONG THE EAST LINE OF SAID LOTS 29 AND 30, BLOCK 53; SOUTH 00°02'19" WEST A DISTANCE OF 29.97 FEET TO SAID SOUTHEAST CORNER OF LOT 29, BLOCK 53 AND THE POINT OF BEGINNING.
TOTAL AREA OF SUBJECT PROPERTY IS ±3,750 SQUARE FEET OR ±0.086 ACRES OF LAND, MORE OR LESS.
ALSO KNOWN BY STREET AND NUMBER AS: 3759 INCA STREET, DENVER, CO 80211

CCD NAVD88 BENCHMARK

CCD NAVD88 BENCHMARK USED	496A
N-S STREET	N PECOS ST
E-W STREET	W 38TH AVE
DESCRIPTION	CCD BRASS CAP, SE CORNER, TOP OF CURB
ELEVATION POINT	5,244.15'
APPLICABLE VIEW PLANE	PARK AT 51ST AVE. AND ZUNI ST (TYPE: CENTRAL BUSINESS DISTRICT), RE: DESIGN ELEMENTS , BELOW

SITE STATISTICS

ZONE DISTRICT	U-RX-3	
GENERAL ZONE LOT INFORMATION	SQ-FT	ACRES more-or-less
TOTAL ZONE LOT SIZE (GROSS PROJECT AREA)	3,750	0.086
AREA TO BE DEED FOR ADDITIONAL RIGHT-OF-WAY	TBD	TBD
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT-OF-WAY)	TBD	TBD
PRIMARY STREET	INCA STREET	
SIDE STREETS	W 38TH AVENUE	
PROPOSED USE(S)	DWELLING, MULTI UNIT & OFFICE, ALL OTHERS	
NUMBER OF DWELLING UNITS	4 UNITS	
BUILDING FORMS USED	SHOPFRONT	
TOTAL GROSS FLOOR AREA	8,043 SF (TOTAL), 646 SF (OFFICE), 7,397 SF (RESIDENTIAL)	
SITING	REQUIRED	PROVIDED
BUILD TO: PRIMARY ST (MIN. BUILD-TO WITHIN 0'/15' MIN/MAX RANGE)	70%	70%
	29.97 X .070 = 20.979 ~ 20'-11 3/4"	21.00 ~ 21'-0"
BUILD TO: SIDE STREET	N/A	N/A
PRIMARY STREET SETBACK	0'	5'8"
SIDE STREET SETBACK	0'	0'
SIDE INTERIOR SETBACK	0'	2'-6 1/8"
REAR SETBACK - ALLEY	0'	7'-0"
SURFACE PARKING BETWEEN BUILDING AND PRIMARY/SIDE STREET	NOT ALLOWED	N/A
VEHICLE ACCESS	DETERMINED IN SDP REVIEW	ALLEY
DESIGN ELEMENTS	REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES MAX (DWELLINGS)	3	3
BUILDING HEIGHT, FEET MAX (DWELLINGS)	45'	44'-6 3/8"
VIEW PLANE, PARK AT 51ST AVE AND ZUNI ST SITE LIES ENTIRELY WITHIN DRMC SEC. 10-137.1 MAP SHADED AREA, MAXIMUM HEIGHT RESTRICTION APPLIES	SHALL NOT EXCEED 5,347 FEET ABOVE MEAN SEA LEVEL	HIGHEST POINT @ 5238'- 1/8", RE: SHEET 9
TRANSPARENCY (PRIMARY STREET), RE: SHEET 8	60%	65%
	25.77' X 0.60 = 15.46' ~ 15'-5 5/8"	16.69' ~ 16'-8 1/4"
TRANSPARENCY (SIDE STREET), RE: SHEET 9	25%	37%
	113.33' X 0.25 = 28.33' ~ 28'-4"	41.59' ~ 41'-7 1/8"
PEDESTRIAN ACCESS, PRIMARY STREET	ENTRANCE	ENTRANCE
PARKING	REQUIRED	PROVIDED
PARKING SPACES @ 1 / UNIT (RESIDENTIAL) PARKING SPACES @ 1 / 1,000 SF (OFFICE)	4 - 1 = 3 SPACES REQUIRED • 4 RESIDENTIAL UNITS (3 TOWNHOUSES & 1 APARTMENT) REQUIRE 4 PARKING SPACES • PER 10.4.5.1.B.2 OFFICE IS EXEMPT FROM PROVIDING PARKING • PER 10.4.5.3.B. 25% REDUCTION IN TOTAL SPACES CAN BE APPLIED (1/4 FROM TRANSIT PRIORITY STREET - W 38TH AVE)	3 SPACES
BICYCLE SPACES @ 1 / 4 UNITS (80% ENCLOSED / 20% FIXED), RESIDENTIAL BICYCLE SPACES @ 1 / 10,000 SF GFA (60% ENCLOSED / 40% FIXED), OFFICE	4 UNITS = 1 SPACE 80% ENCLOSED = .8 ROUND TO 1 20% FIXED= .2 ROUND TO 0 PER DZC 10.4.3.2.A, FIXED SHALL BE 2 REQUIRED: 1 ENCLOSED, 2 FIXED (RESIDENTIAL) 411 SF GFA= 0 SPACES PER DZC 10.4.3.2.A, FIXED SHALL BE 2 REQUIRED: 0 ENCLOSED, 2 FIXED (OFFICE)	2 ENCLOSED 4 FIXED
USES	REQUIRED	PROVIDED
STREET LEVEL ACTIVE USES (MIN % OF PRIMARY STREET FRONTAGE MEETING BUILD-TO REQUIREMENT)	N/A	N/A



GENERAL NOTES

THE VERSION OF THE DENVER ZONING CODE (DZC) USED IN THE REVIEW AND APPROVAL OF THIS SDP WAS EFFECTIVE JUNE 25, 2010, RESTATED IN ENTIRETY ON JULY 1, 2021, AS AMENDED THROUGH JULY 5, 2023.

- FENCES, WALL, SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS
- ALL SITES SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIME THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 435 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISIONS OF EMERGENCY SERVICES
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS, TREES SHRUBS & DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREAS. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF. APPLICANT CERTIFIES THAT THE PROPOSED IRRIGATION SYSTEM IS ADEQUATE.
- ALL COMMON AREAS AND FACILITIES SHALL BE MAINTAINED BY A PARTY WALL AGREEMENT.
- THE GREEN BUILDING ORDINANCE REQUIREMENTS ARE NOT APPLICABLE TO THIS PROJECT AS THE TOTAL AMOUNT OF GFA IS LESS THAN 25,000 SQ. FT.

TRANSPORTATION DEMAND MANAGEMENT

TDM FALLS WITHIN TIER 0, NO REQUIREMENTS

SHEET INDEX

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GREEN BUILDING ORDINANCE

THIS PROJECT HAS A FULL EXEMPTION FROM THE GREEN BUILDING ORDINANCE: THE BUILDING HAS LESS THAN 25,000 SF OF GROSS FLOOR AREA, TOTAL GFA IS 8,043 SF.

OWNER'S SIGNATURE

I, (WE), THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN THE DENVER ZONING CODE OF THE CITY AND COUNTY OF DENVER. THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS OF AND HOLDERS OF DEEDS OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN:

MICHAEL MCATEE
MCATEE PROPERTIES, LLC

BY: _____ DATE _____

State of Colorado
City and County of Denver

The foregoing instrument was acknowledged before me this ____ day of _____ A.D. 20__

BY: _____

Witness my hand and official seal

My commission expires: _____

Notary Public

Address

SURVEYOR'S CERTIFICATE

I, Richard B Gabriel, a Registered Land Surveyor registered in the State of Colorado, do hereby certify 38TH & INCA MIXED USE was made directly under my supervision, and the accompanying plan accurately and properly shows said survey.

RICHARD B GABRIEL, P.L.S. #37929

APPROVALS

Approved by _____
FOR THE ZONING ADMINISTRATOR

Approved by _____
FOR THE MANAGER, COMMUNITY PLANNING AND DEVELOPMENT

CLERK AND RECORDER'S CERTIFICATION

State of Colorado
City and County of Denver

I hereby, certify that this instrument was filed for record in my DEN at ____o'clock

_____, 20__ and duly recorded under Reception # _____

Clerk and Recorder; Ex-Officio Clerk of the City and County of Denver

By: _____ Deputy

Fee _____

COVER SHEET

38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

LAND DESCRIPTION

ALL OF LOTS 29 AND 30 EXCEPT THE NORTH 20 FEET OF SAID LOT 30, BLOCK 53, VIADUCT ADDITION TO DENVER, CITY AND COUNTY OF DENVER, STATE OF COLORADO.

TOTAL AREA OF SUBJECT PROPERTY IS ±3,750 SQUARE FEET OR ±0.086 ACRES OF LAND, MORE OR LESS.

ALSO KNOWN BY STREET AND NUMBER AS: 3759 INCA STREET, DENVER, CO 80211

BASIS OF BEARINGS

A 20.0 FOOT RANGE LINE LOCATED IN WEST 39TH AVENUE BETWEEN A FOUND CHISELED "+" IN STONE 1.50' DOWN IN RANGE BOX AT THE INTERSECTION OF NORTH JASON STREET AND WEST 39TH AVENUE AND A FOUND 2" ALUMINUM CAP STAMPED "PLS 35597" 0.50' DOWN IN RANGE BOX AT THE INTERSECTION OF NORTH INCA STREET AND WEST 39TH AVENUE, SAID LINE IS ASSUMED TO BEAR SOUTH 89°55'23" EAST, A DISTANCE OF 330.92 FEET.

SURVEYOR'S NOTES

DATE OF FIELD WORK COMPLETION: SEPTEMBER 24, 2021.

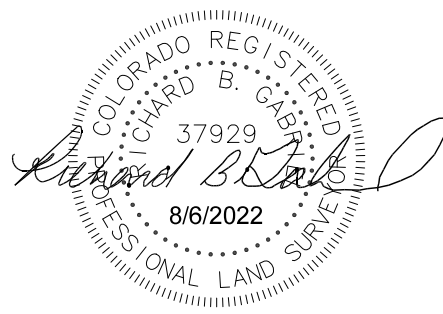
- NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- THIS SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES AS NAMED IN THE CERTIFICATE AS SHOWN HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED ENTITY OR PERSON WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SUCH PERSON OR ENTITY.
- THIS SURVEY PLAT, AND THE INFORMATION HEREON, MAY NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSES BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
- A TITLE COMMITMENT WAS NOT PROVIDED BY THE CLIENT, AND PER C.R.S. 38-51-106 (b) II; CLIENT DOES NOT WANT RIGHTS-OF-WAY AND EASEMENTS SHOWN BASED ON FURTHER RECORD RESEARCH BY THE LAND SURVEYOR OTHER THAN EASEMENTS AND RIGHTS-OF-WAYS WHICH WERE DILIGENTLY DISCOVERED IN THE RECORDS OBTAINED BY THIS SURVEYOR.
- THIS SURVEY PLAT CONSISTS OF TWO (2) SHEETS, AND SHOULD NOT BE CONSIDERED COMPLETE UNLESS ALL SHEETS ARE INCLUDED AS A SET.
- UNIT OF MEASUREMENT: U.S. SURVEY FOOT.
- PROJECT BENCHMARK: #496A
CITY AND COUNTY OF DENVER BRASS CAP
LOCATED AT SOUTHEAST CORNER OF INTERSECTION OF PECOS STREET AND 38TH AVENUE ON TOP OF CURB.

PUBLISHED NAVD 88 ELEVATION = 5244.15 U.S. SURVEY FEET

SURVEYOR'S CERTIFICATE

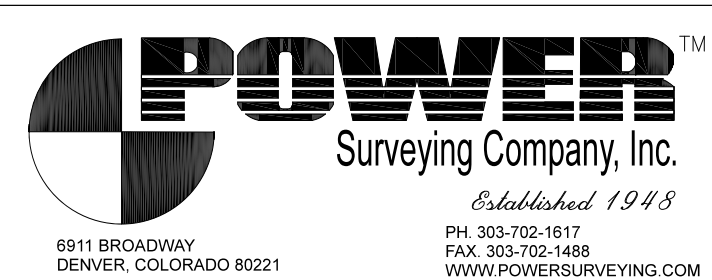
I, RICHARD B. GABRIEL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT ON SEPTEMBER 24, 2021, A SURVEY WAS MADE OF THE ABOVE DESCRIBED PROPERTY UNDER MY DIRECT SUPERVISION, AND BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF IS IN ACCORDANCE WITH APPLICABLE STANDARDS AT PRACTICE DEFINED BY THE STATE OF COLORADO, AND THE CORNERS WERE SET AS SHOWN, HOLDING FOUND POINTS AND PLAT DISTANCES WHEREVER POSSIBLE AND UTILIZING CITY OF DENVER SURVEY INFORMATION FOR CONTROL. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE PARCEL ON THIS DATE, SEPTEMBER 24, 2021, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED. THIS STATEMENT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

RICHARD B. GABRIEL, P.L.S.
Colorado License No. 37929
For and on behalf of
Power Surveying Company, Inc.



LEGEND

- RANGE POINT CALCULATED POSITION
- SET #5 REBAR W/ 1-1/4" DIAM.
YELLOW PLASTIC CAP
OR 1" BRASS TAG STAMPED
P.L.S. 37929
- FOUND MONUMENT AS NOTED
- RANGE LINE
- BOUNDARY
- LOT LINES



SURVEY

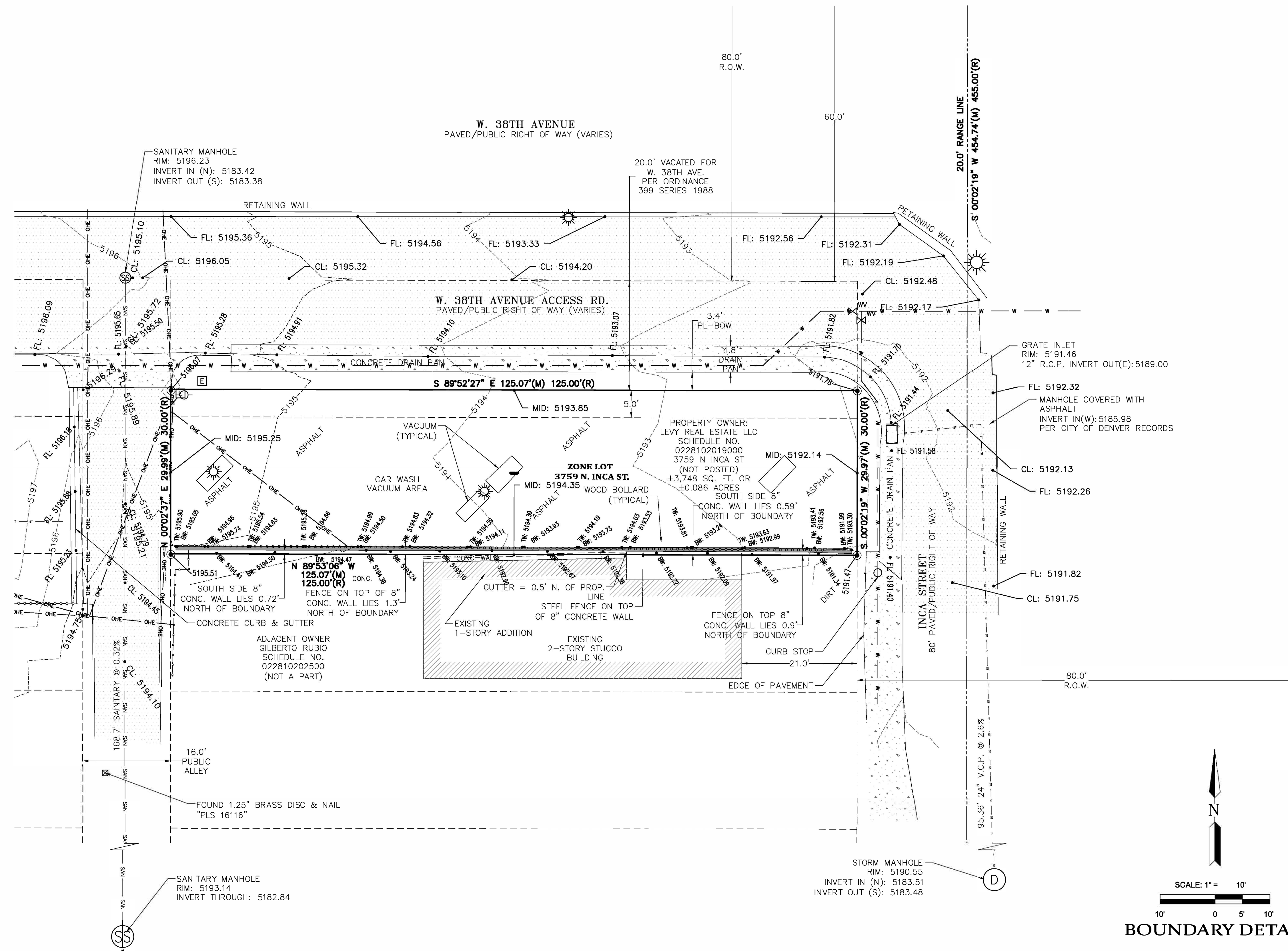
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38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

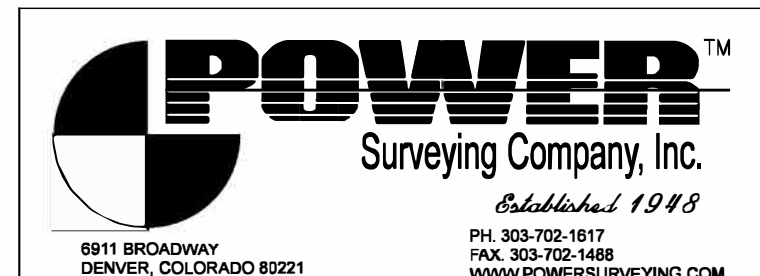


LEGEND

- SET #5 REBAR W/ 1-1/4" DIAM. YELLOW PLASTIC CAP OR 1" BRASS TAG STAMPED P.L.S. 37929
- FOUND MONUMENT AS NOTED
- STORM MANHOLE
- SANITARY MANHOLE
- ELECTRIC POLE
- ELECTRIC METER
- BOLLARD
- LIGHT POLE
- SIGN
- FIRE HYDRANT
- GAS METER
- ELECTRIC BOX
- UTILITY POLE
- WATER VALVE
- BURIED WATER
- RANGE LINE
- WOOD FENCE
- METAL FENCE
- OVERHEAD ELECTRIC
- BOUNDARY
- SANITARY
- CONTOUR MAJOR
- CONTOUR MINOR
- CONCRETE
- ASPHALT
- EOC
- BOW
- FL
- PL
- RL
- TBC
- R.O.W.
- MID
- CL
- TW
- SB
- BW
- (C)
- (R)
- (M)
- 5350.49
- EDGE OF CONCRETE
- BACK OF WALK
- FLOWLINE
- PROPERTY LINE
- RANGE LINE
- TOP BACK OF CURB
- RIGHT OF WAY
- MID POINT PROPERTY LINE
- CENTER LINE
- TOP OF WALL
- ELEVATION AT PROPERTY SETBACK
- BOTTOM OF WALL
- CALCULATED
- RECORD
- MEASURED
- SPOT ELEVATION

SCALE: 1" = 10'
10' 0 5' 10'

BOUNDARY DETAIL



SURVEY

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SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

BUILD-TO ANALYSIS

PRIMARY STREET: N INCA STREET

PRIMARY STREET ZONE LOT LINE DIMENSION (FT):29.97'

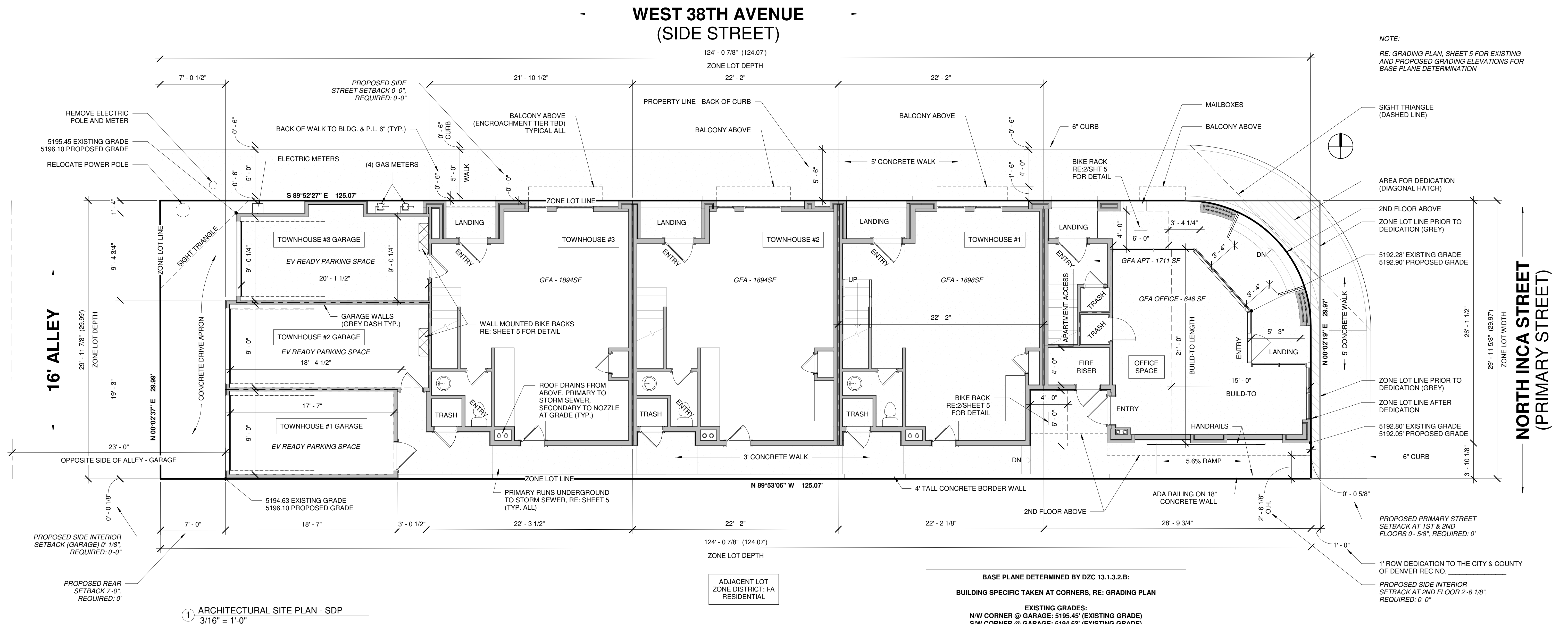
REQUIRED BUILD-TO (FT/%) : 70%

BUILDING DIMENSION PROVIDED WITHIN BUILD-TO RANGE (FT/%): 21'-0"

21/29.97= 0.701 OR 70.1% BUILD-TO PROVIDED

NOTE:

RE: GRADING PLAN, SHEET 5 FOR EXISTING
AND PROPOSED GRADING ELEVATIONS FOR
BASE PLANE DETERMINATION



BASE PLANE DETERMINED BY DZC 13.1.3.2.B:

BUILDING SPECIFIC TAKEN AT CORNERS, RE: GRADING PLAN

EXISTING GRADES:

EXISTING GRADES:
N/W CORNER @ GARAGE: 5195.45' (EXISTING GRADE)
S/W CORNER @ GARAGE: 5194.63' (EXISTING GRADE)
S/E CORNER @ COMMERCIAL SPACE: 5192.80' (EXISTING GRADE)
N/E CORNER @ COMMERCIAL SPACE: 5192.28' (EXISTING GRADE)

$$(95.45+94.63+92.80+92.28) / 4 = \underline{5193.79'}$$
FINISHED GRADES:

N/W CORNER @ GARAGE: 5196.10' (FINISHED GRADE)
S/W CORNER @ GARAGE: 5196.10' (FINISHED GRADE)
S/E CORNER @ COMMERCIAL SPACE: 5192.05' (FINISHED GRADE)
N/E CORNER @ COMMERCIAL SPACE: 5192.90' (FINISHED GRADE)

$$(96.10+96.10+92.05+93.90) / 4 = 5194.29'$$

LOWER BASE PLANE SHALL BE USED, EXISTING GRADE AVERAGE: 5193.79'

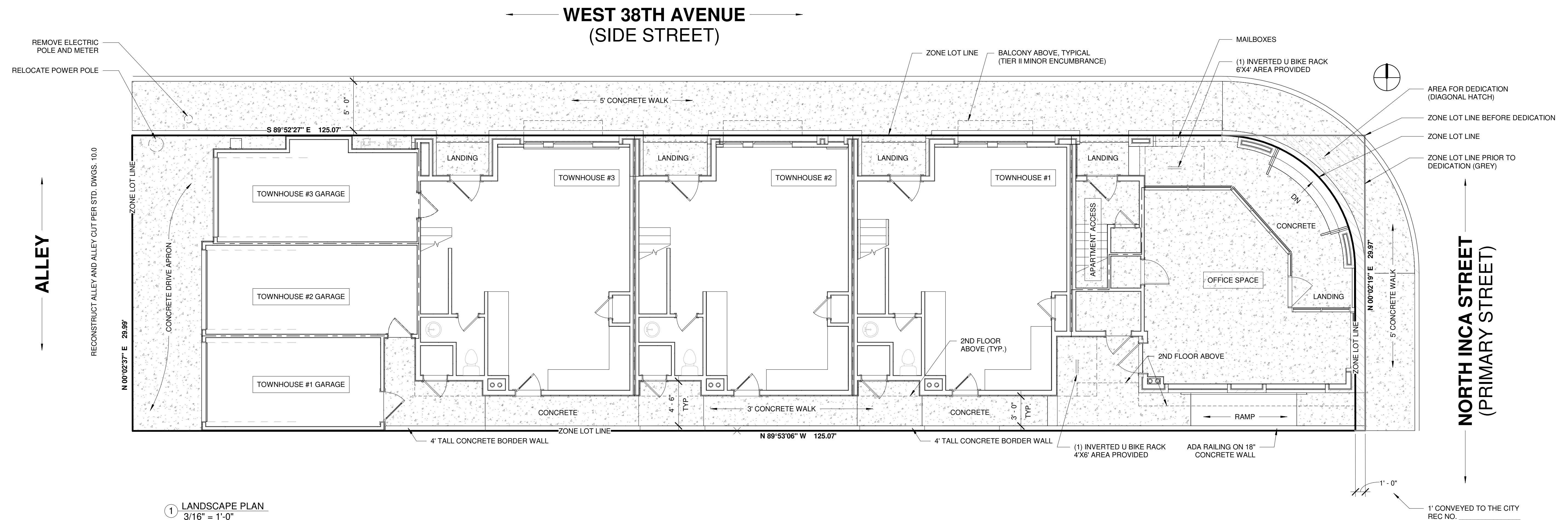
ARCHITECTURAL SITE
PLAN

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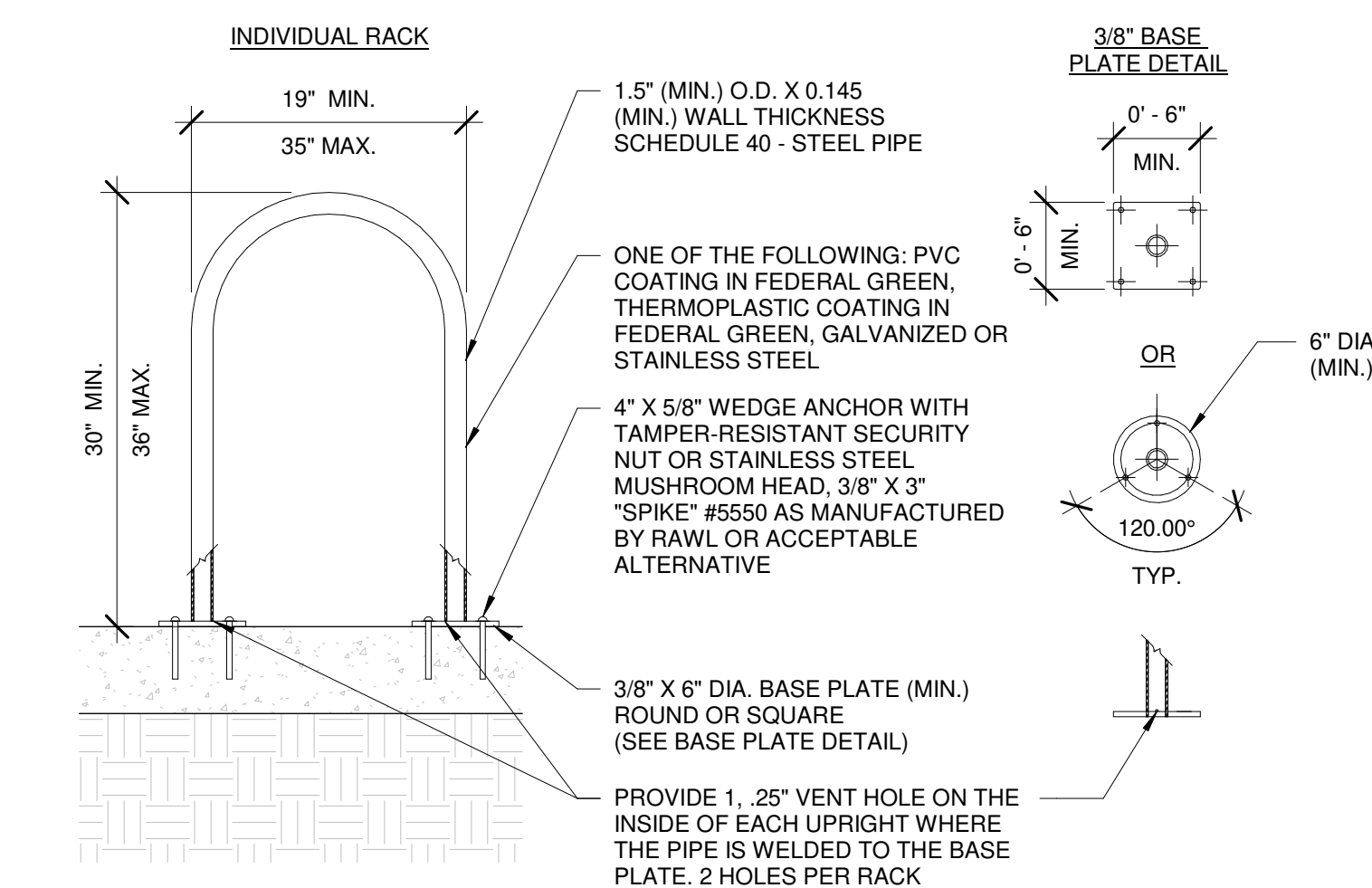
SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST



1 LANDSCAPE PLAN
3/16" = 1'-0"



② INVERTED U BIKE RACK
1" = 1'-0"

GARAGE WALL MOUNTED BICYCLE RACKS
MONKEY BARS MODEL #01001, 1 BIKE WALL MOUNTED RACK



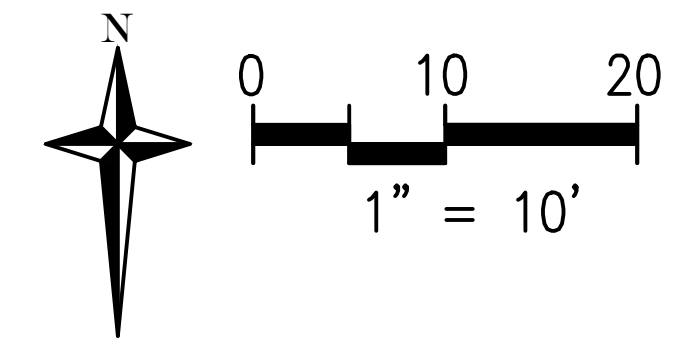
LANDSCAPE PLAN

38TH & INCA MIXED USE

SITE IMPROVEMENT PLANS

A PARCEL OF LAND LOCATED IN THE NE 1/4 OF S28, T3S, R68W OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO.

3759 N INCA ST



LEGEND

	ZONE LOT LINE
	EXISTING LOT LINE
	PROPOSED RIGHT-OF-WAY
	EXISTING RIGHT-OF-WAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED SETBACK LINE
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED PERCENT SLOPE
	EXISTING PERCENT SLOPE
	PROPOSED SPOT ELEVATION (SEE ABBR. LIST)
	EXISTING SPOT ELEVATION (SEE ABBR. LIST)
	PROPOSED GRADE BREAK
	EXISTING GRADE BREAK
	PROPOSED DITCH FLOWLINE

** ABBREVIATIONS

BW	FG @ BOTTOM OF WALL
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
M.E.	MATCH EXISTING
TBC	TOP BACK OF CURB
TW	FG @ TOP OF WALL
TR	TOP OF RISER
BR	BOTTOM OF RISER

SOIL PREPARATION NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: TBD
REPORT NO: ###, DATED:

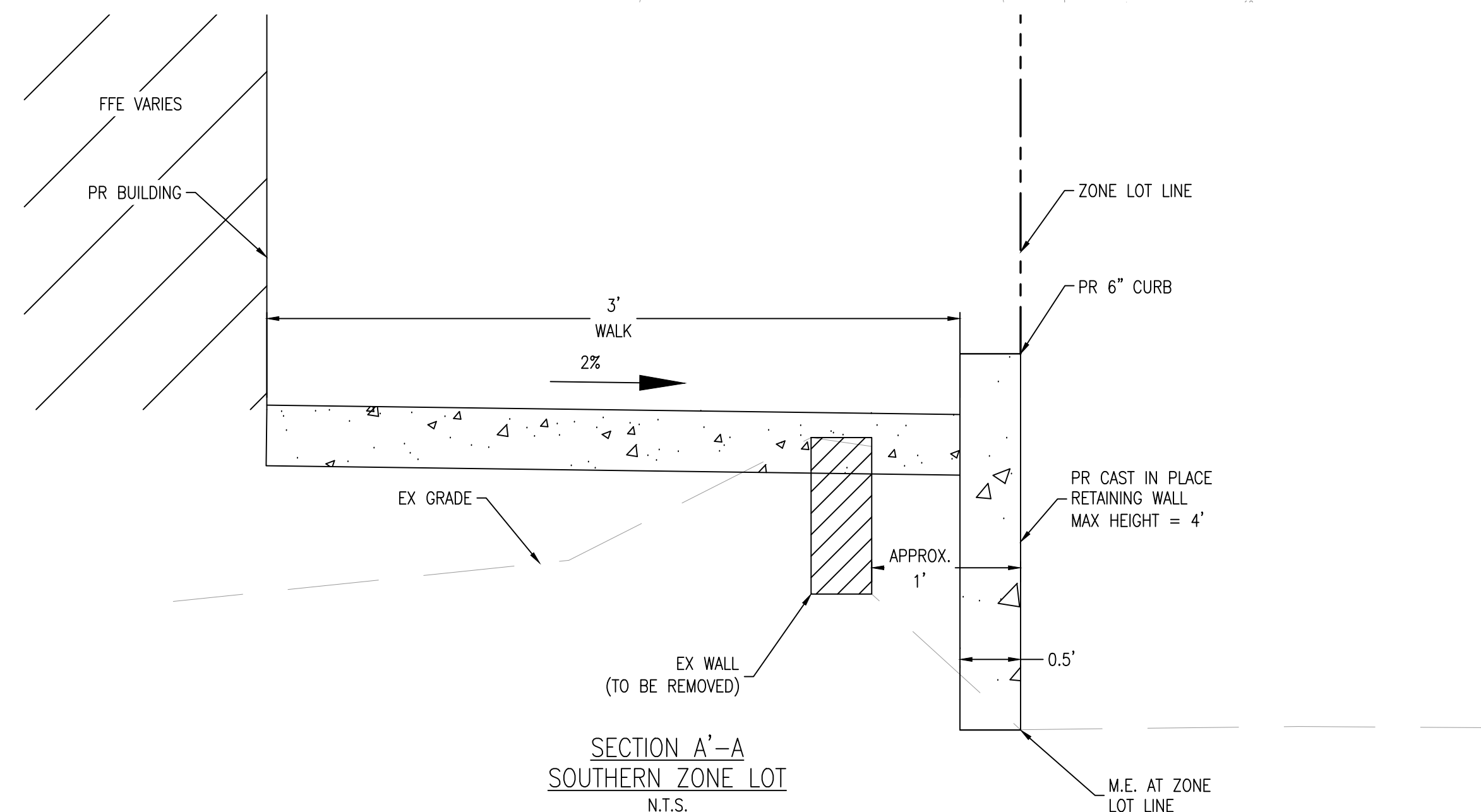
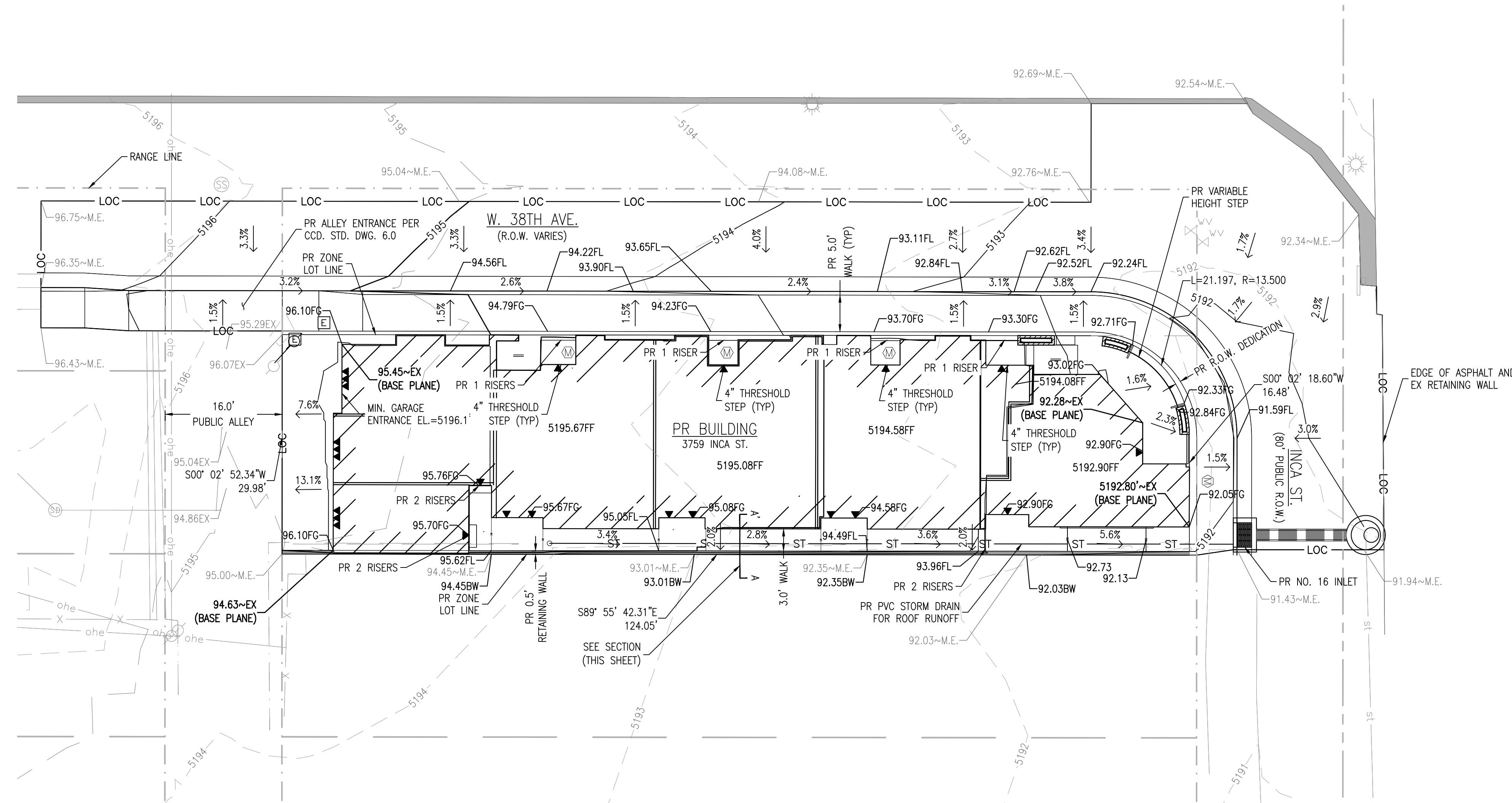
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

BENCHMARK

#496A CITY AND COUNTY OF DENVER BRASS CAP LOCATED AT SOUTHEAST CORNER OF INTERSECTION OF PECOS STREET AND 38TH AVENUE ON TOP OF CURB. NAVD 88 EL = 5244.15 U.S. SURVEY FEET.

BASIS OF BEARINGS

A 20.0 FOOT RANGE LINE LOCATED IN WEST 39TH AVENUE BETWEEN A FOUND CHISLED "+" IN STONE 1.50' DOWN IN RANGE BOX AT THE INTERSECTION OF NORTH JASON STREET AND WEST 39TH AVENUE AND A FOUND 2" ALUMINUM CAP STAMPED "PLS 35597" 0.50' DOWN IN RANGE BOX AT THE INTERSECTION OF NORTH INCA STREET AND WEST 39TH AVENUE, SAID LINE IS ASSUMED TO BEAR SOUTH 89°55'23" EAST, A DISTANCE OF 330.92 FEET.



GRADING PLAN

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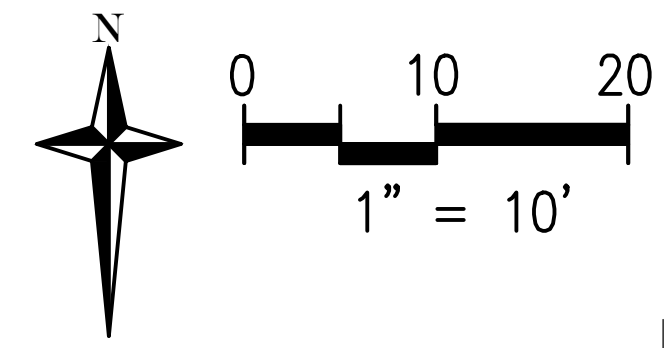


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SITE IMPROVEMENT PLANS

A PARCEL OF LAND LOCATED IN THE NE 1/4 OF S28, T3S, R68W OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO.

3759 N INCA ST



LEGEND

	ZONE LOT LINE
	EXISTING LOT LINE
	PROPOSED RIGHT-OF-WAY
	EXISTING RIGHT-OF-WAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED SETBACK LINE
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED UTILITY (TYP)
	EXISTING UTILITY (TYP)
	PROPOSED STORM <18"
	EXISTING STORM <18"
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED WATER LINE
	EXISTING WATER LINE
	STORM MANHOLE
	STORM STRUCTURE
	SANITARY MANHOLE
	DOMESTIC WATER
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER METER IN MANHOLE
	WATER METER IN VAULT
	CORB STOP
	CURB STOP
	TAP SLEEVE VALVE
	OPEN GATE VALVE

DENVER WATER STANDARD NOTES

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. EXISTING HYDRANTS OR NEW HYDRANT LOCATIONS ON EXISTING MAINS, MAY NOT MEET THE FIRE FLOW REQUIREMENTS AS IS, AND REPLACEMENT OR MODIFICATION OF EXISTING DISTRIBUTION SYSTEM MAY BE REQUIRED TO MEET FIRE PROTECTIONS.
3. OVERALL SITE FLOW REQUIREMENT MAY INVOLVE MULTIPLE HYDRANTS. THE DISTRIBUTION SYSTEM MUST BE CAPABLE OF DELIVERING TO OVERALL SITE FLOW, AS WELL AS THE MINIMUM OF 1500 GPM TO EACH OF THE INDIVIDUAL HYDRANTS.
4. WATER PLANS MUST BE SUBMITTED TO DENVER WATER FOR REVIEW AND APPROVAL.
5. METER LOCATIONS MUST BE APPROVED BY DENVER WATER.
6. DEVELOPER IS RESPONSIBLE FOR ANY NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
7. ALL EXISTING TAPS ON THE PROJECT SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY A DENVER WATER OFFICIAL, AT THE COST OF THE DEVELOPER.
8. SYSTEM DEVELOPMENT CHARGE CREDITS WILL BE ISSUED PER DENVER WATER POLICY.
9. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICES.
10. PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO FORMAL WATER PLAN REVIEW.
11. CONTRACTORS RESPONSIBILITY TO PROTECT OR REPAIR EXISTING TRACER WIRE ON THE EXISTING WATER MAIN.

DENVER WATER TAP REMOVAL NOTES-SECTION 3.18 (A.)

FOR 2-INCH AND SMALLER SERVICE LINES, THE SERVICE LINE CONNECTION SHALL BE EXCAVATED WHERE THE CORPORATION STOP IS INSERTED INTO THE WATER MAIN. THE CORPORATION STOP SHALL BE CLOSED, THE SERVICE TUBING OR PIPING SHALL BE REMOVED FROM THE CORPORATION STOP, THE THREADS SHALL BE SCARRED ON THE CORPORATION STOP, AND A SECTION OF THE WATER SERVICE LINE AT LEAST 12-INCHES LONG SHALL BE CUT OUT. THE CURB OR VALVE BOX OVER THE CURB STOP SHALL BE REMOVED IN ITS ENTIRETY OR CUT OFF AT LEAST 18-INCHES BELOW THE GROUND LINE. THE METER SHALL BE DELIVERED TO DENVER WATER'S METER SHOP FOR A FINAL TEST AND READING. THE METER MAY NOT BE USED AGAIN IN THE DENVER WATER SYSTEM. THE METER PIT, IF PRESENT, MAY BE REMOVED IN ITS ENTIRETY. IF IT IS LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 18-INCHES BELOW THE GROUND LINE AND FILLED WITH SAND OR OTHER FILL MATERIAL.

DENVER WATER STANDARD SHEET DETAIL REFERENCE

SHEET 15 - OPEN CUT CROSSING OVER OR UNDER CONDUIT OR CONFLICTING UTILITY
SHEET 46 - GENERAL METER AND SERVICE NOTES
SHEET 79 - POLYETHYLENE WRAP ON PIPE AND AT TAP INSTALLATION

GENERAL UTILITY

1. ALL CONTRACTORS UTILIZING THESE PLANS ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF COLORADO CODE TITLE 9, ARTICLE 1.5, AS AMENDED, CONCERNING THE PROTECTION OF EXISTING UNDERGROUND FACILITIES FROM DAMAGE DUE TO EXCAVATIONS. THE LOCATION OF EXISTING UTILITIES AND FACILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE, AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER AT 811 2 DAYS IN ADVANCE OF STARTING WORK, AS REQUIRED BY COLORADO CODE.
2. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES PRIOR TO STARTING WORK. HAND EXCAVATION MAY BE REQUIRED. WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY VARIATIONS BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS.
3. CONTRACTOR SHALL VERIFY UTILITY STUB-OUT INVERT AND HORIZONTAL LOCATION FROM THE BUILDING PLANS PRIOR TO ANY UTILITY INSTALLATION. IF A DISCREPANCY EXISTS BETWEEN THE BUILDING AND UTILITY PLANS, NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL APPURTENANCES SHALL BE ADJUSTED TO FINISHED GRADE.
5. UTILITY LOCATIONS ARE APPROXIMATE AND ARE SHOWN BASED ON SURFACE APPURTENANCES AND UTILITY MAPS.

ALL PIPES ARE CLASS III RCP UNLESS OTHERWISE NOTED.
CALCULATIONS TO TOP OF PIPE (TOP) FOR REINFORCED CONCRETE PIPE (RCP) ASSUMES WALL THICKNESS AS SHOWN BELOW:

PIPE I.D. (INCHES)	WALL THICKNESS (INCHES)	PIPE O.D. (INCHES)
12	2.50	16.00
15	2.25	19.50
18	2.50	23.00
21	2.75	26.50
24	3.00	30.00
27	3.25	33.50
30	3.50	37.00
33	3.75	40.50
36	4.00	44.00
42	4.50	51.00
48	5.00	58.00
54	5.50	65.00
60	6.00	72.00
66	6.50	80.00

PIPE LENGTH NOTE

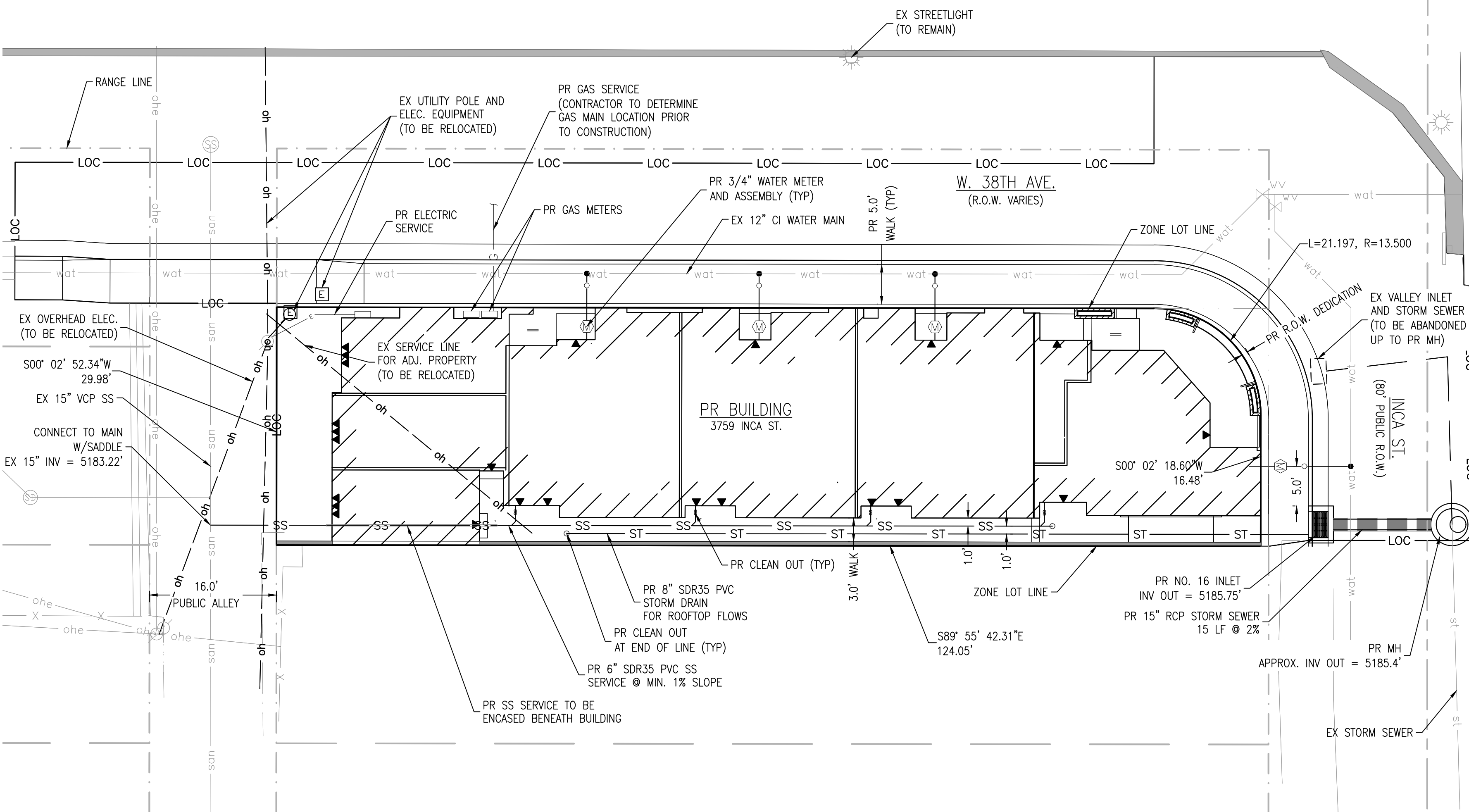
LENGTHS OF STORM/SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

FIRE FLOW DATA

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1,500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FIRE FLOW MUST BE PROVIDED FROM A MINIMUM OF ONE (1) FIRE HYDRANTS. EACH HYDRANT SHALL SUPPLY A MINIMUM OF 1,500 GPM @ 20 PSI RESIDUAL PRESSURE AT THE HYDRANT OUTLET TO BE ACCEPTABLE.

CODE USED FOR ANALYSIS: 2018 IFC WITH CITY OF DENVER AMENDMENTS
OCCUPANCY GROUP(S): R-2, B, U
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: V-B: 1,870 SF

THE BUILDING IS FULLY PROTECTED WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM.

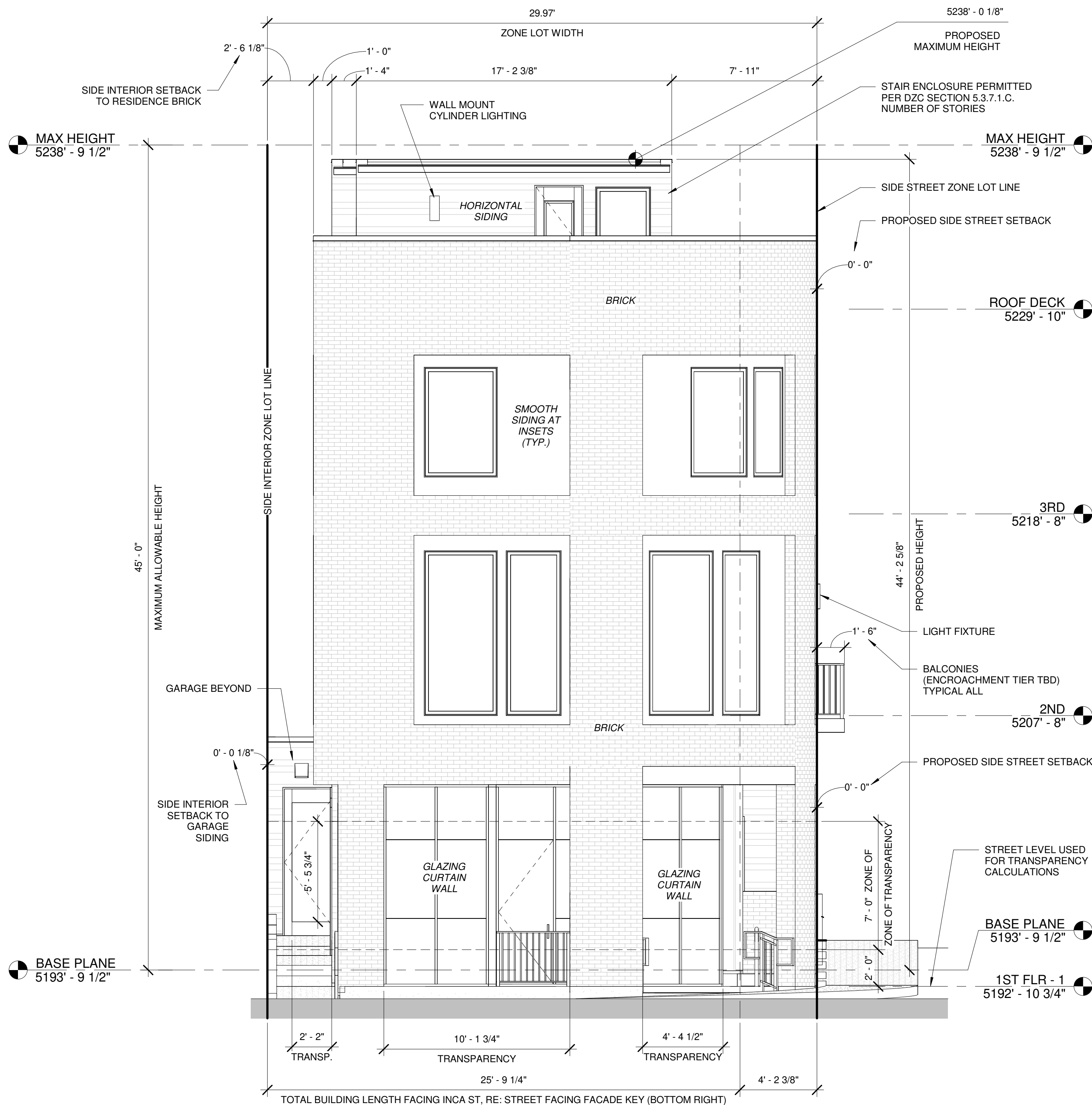


38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

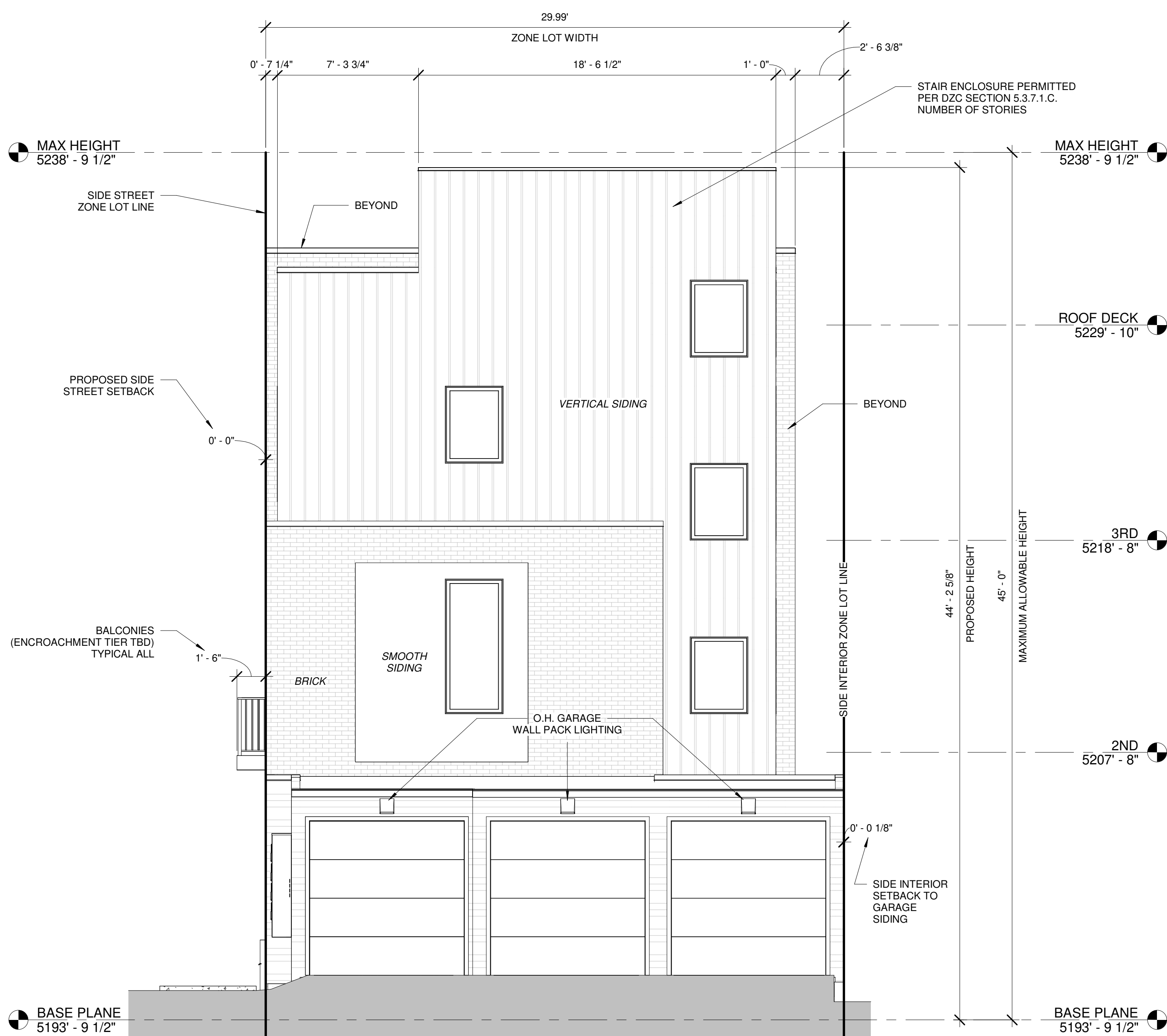
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CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

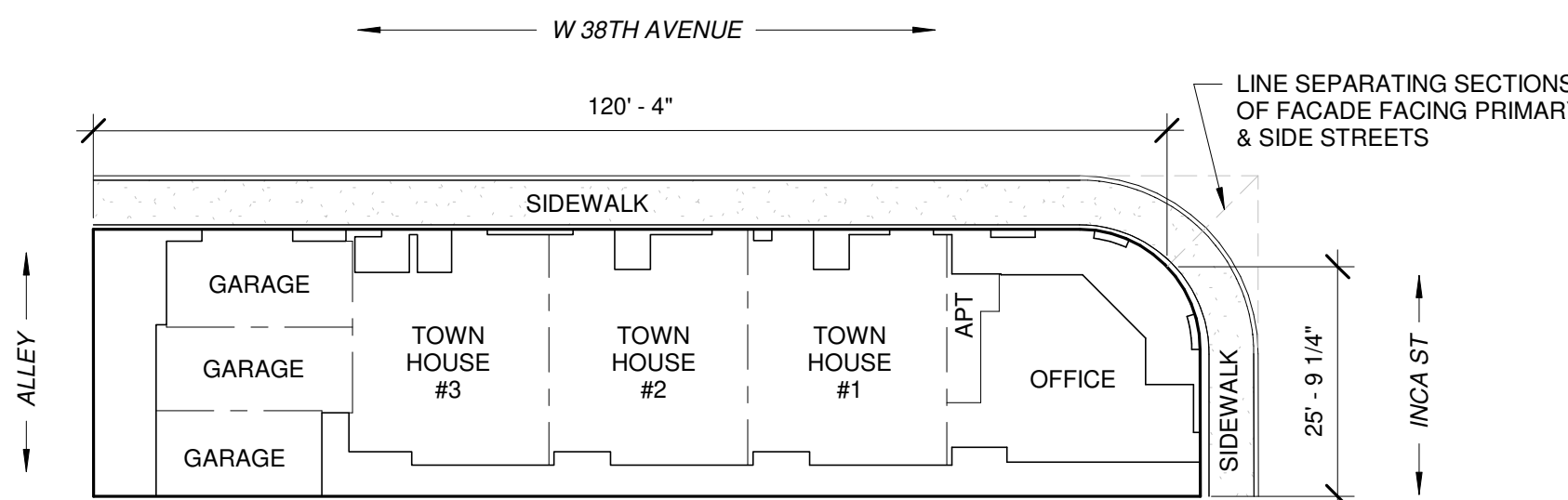


BUILDING TOTAL LENGTH FACING INCA ST: 25' - 9 1/4" (25.77)
TRANSPARENCY REQUIRED: 60%
25.77 X .60 = 15.46' - 15' - 5 5/8" REQUIRED
ALL GLAZING TO HAVE VISIBLE TRANSMITTANCE OF 0.65 OR GREATER
WINDOWS/DOORS CONTRIBUTE 16' - 8 1/4" LF OF GLAZING - 16.69 / 25.77 = 0.65 OR 65%

① SDP - EAST ELEVATION, PRIMARY ST (INCA ST)
1/4" = 1'-0"



② SDP - WEST ELEVATION, REAR (ALLEY)
1/4" = 1'-0"



○ STREET FACING FACADE KEY
1" = 20'-0"

EAST & WEST
ELEVATION

8 of 17

38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

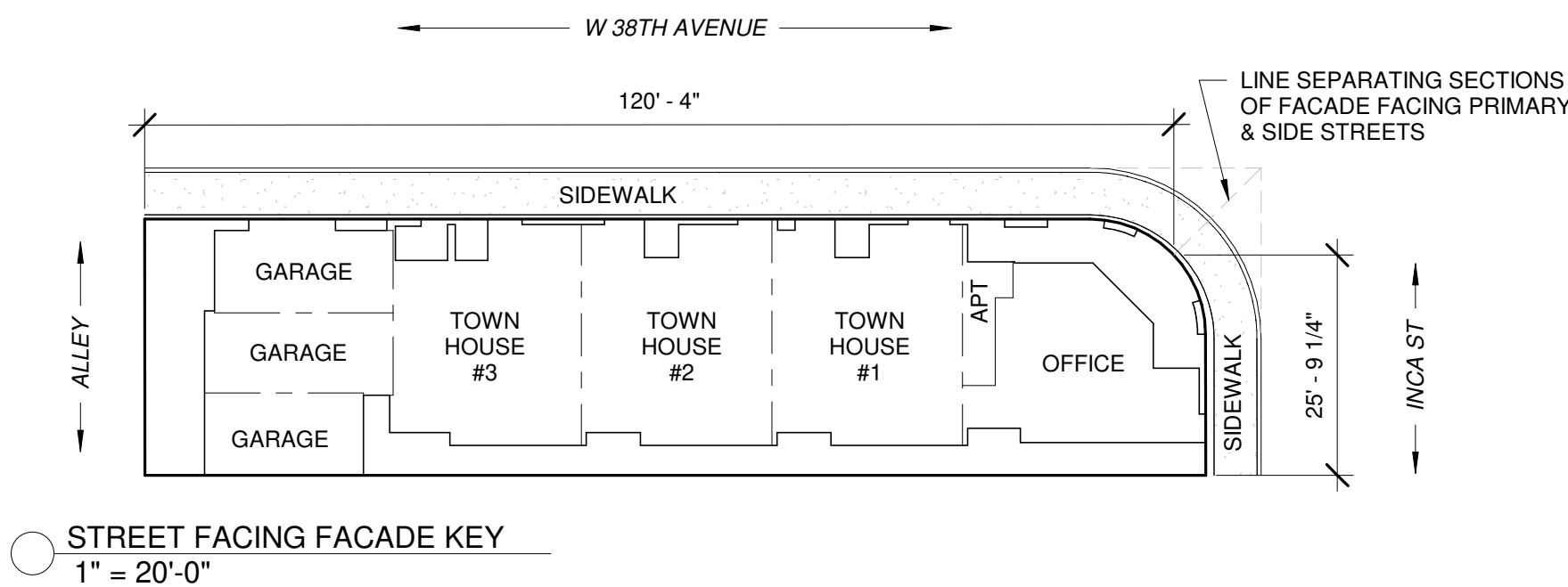
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CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST



① SDP - NORTH ELEVATION, SIDE STREET (W 38TH AVE)
3/16" = 1'-0"

BUILDING TOTAL LENGTH FACING W 38TH AVE: 120'-4" (120.33')
TRANSPARENCY REQUIRED: 25%
120.33 X .25 = 30.08' - 30'-1" REQUIRED
ENTRY DOOR GLAZING TO HAVE VISIBLE TRANSMITTANCE OF 0.65 OR GREATER
WINDOWS/DOORS CONTRIBUTE 41'-7 1/8" LF OF GLAZING - 41.59 / 113.33 = 0.37 OR 37%



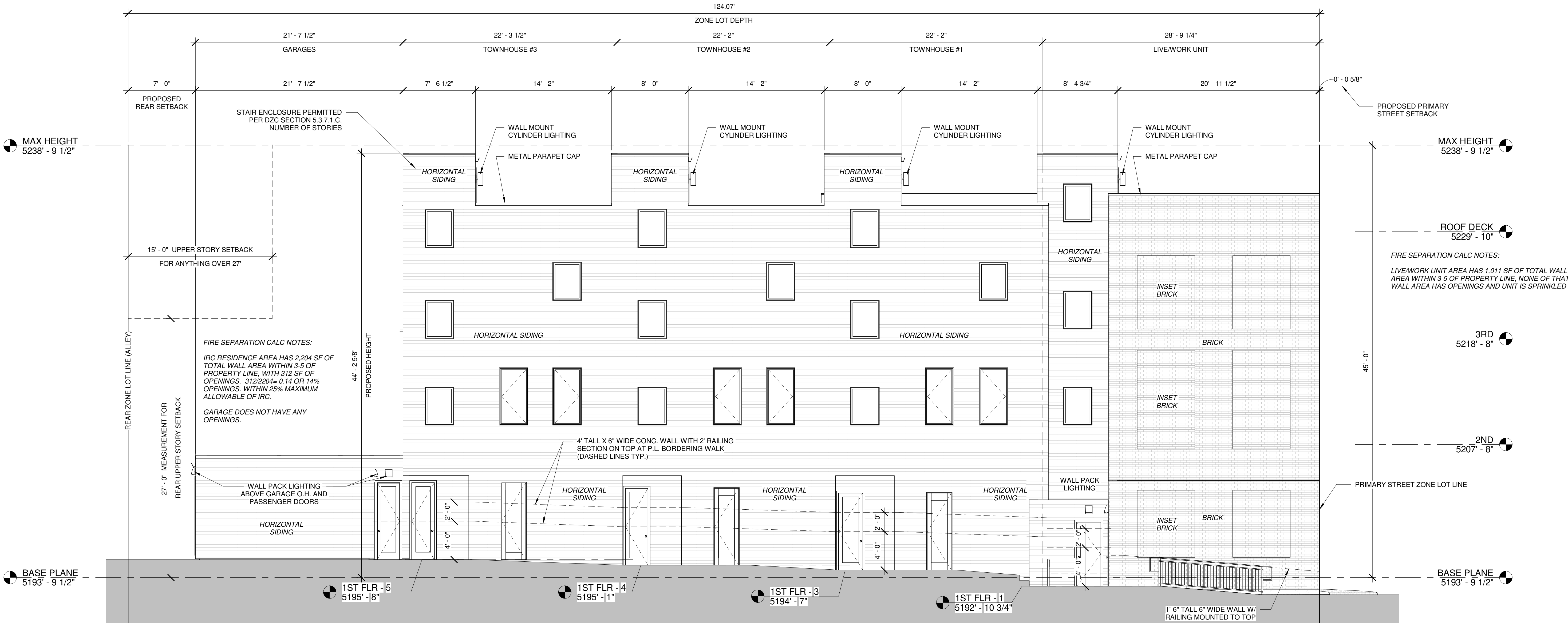
NORTH ELEVATION

38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST



① SDP - SOUTH ELEVATION, SIDE INTERIOR
3/16" = 1'-0"

SOUTH ELEVATION

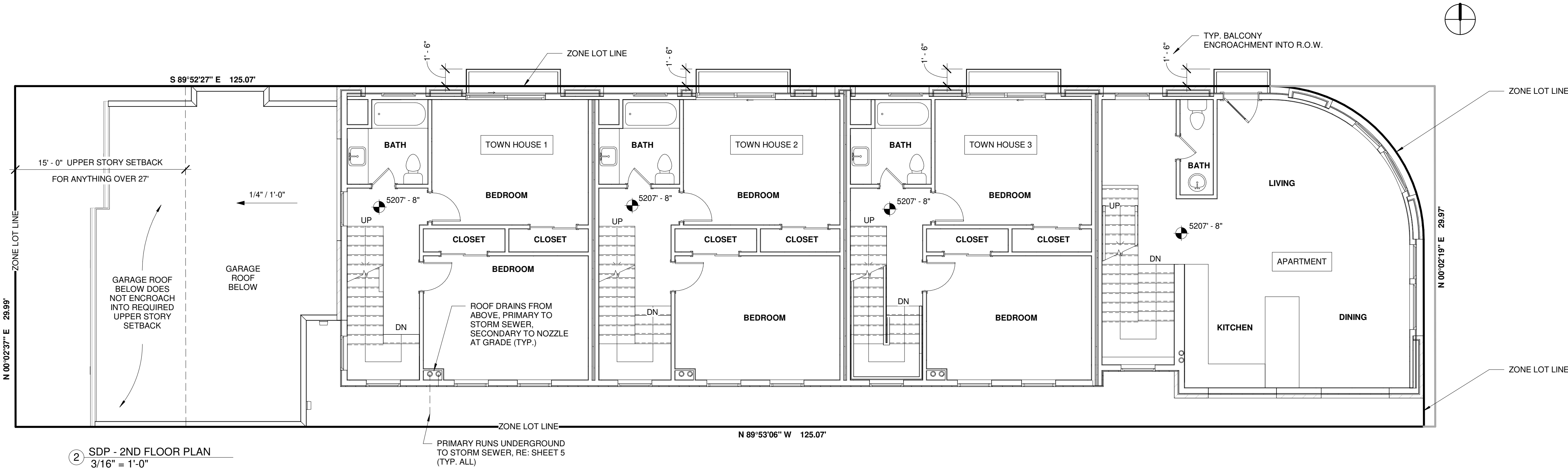
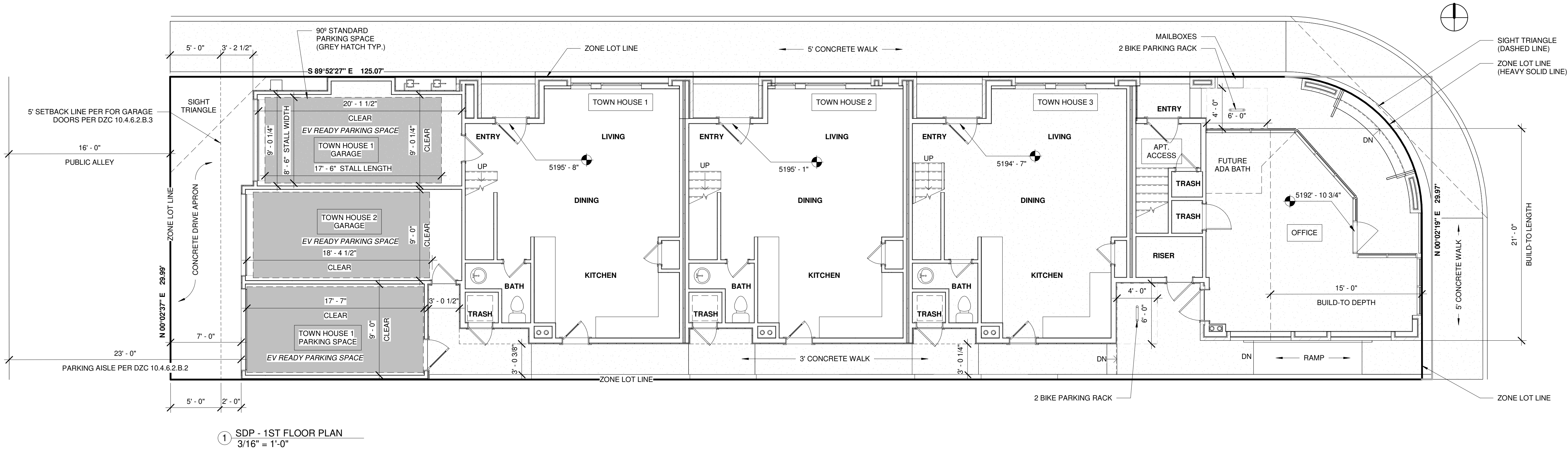
38TH & INCA MIXED USE

SITE DEVELOPMENT PLAN

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CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

GROSS BUILDING AREAS PER UNIT 1ST/2ND FLOORS	
UNIT & FLOOR LEVEL	AREA
APARTMENT 1ST FLOOR (ENTRY)	95 SF
APARTMENT 2ND FLOOR	736 SF
OFFICE 1ST FLOOR	646 SF
TOWNHOUSE 1 1ST FLOOR	578 SF
TOWNHOUSE 1 2ND FLOOR	586 SF
TOWNHOUSE 1-3 GARAGES	597 SF
TOWNHOUSE 2 1ST FLOOR	586 SF
TOWNHOUSE 2 2ND FLOOR	586 SF
TOWNHOUSE 3 1ST FLOOR	582 SF
TOWNHOUSE 3 2ND FLOOR	596 SF
	5591 SF



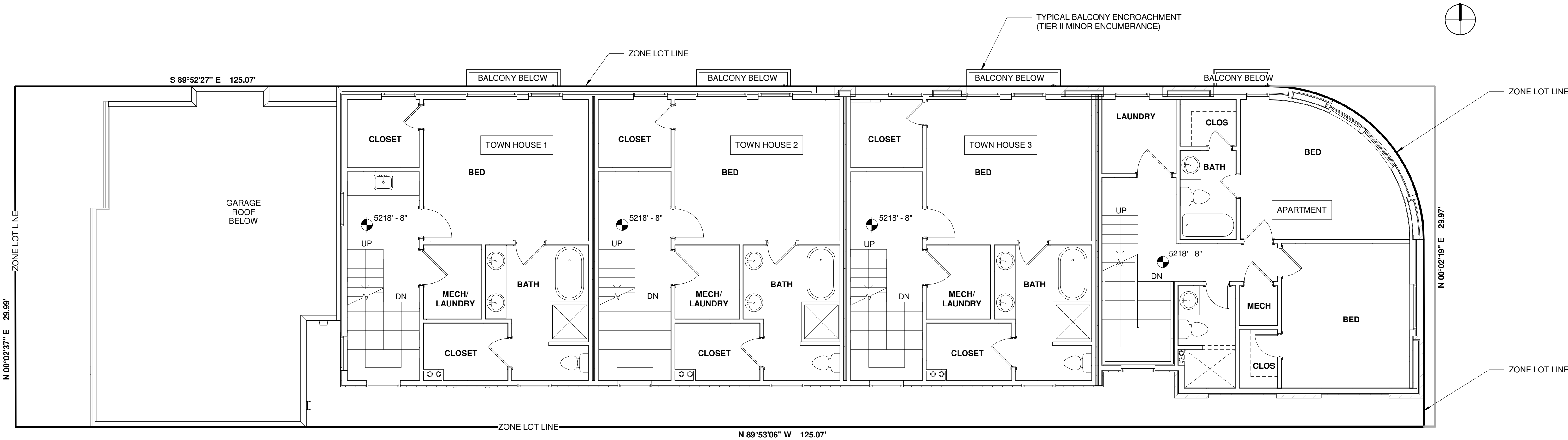
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SITE DEVELOPMENT PLAN

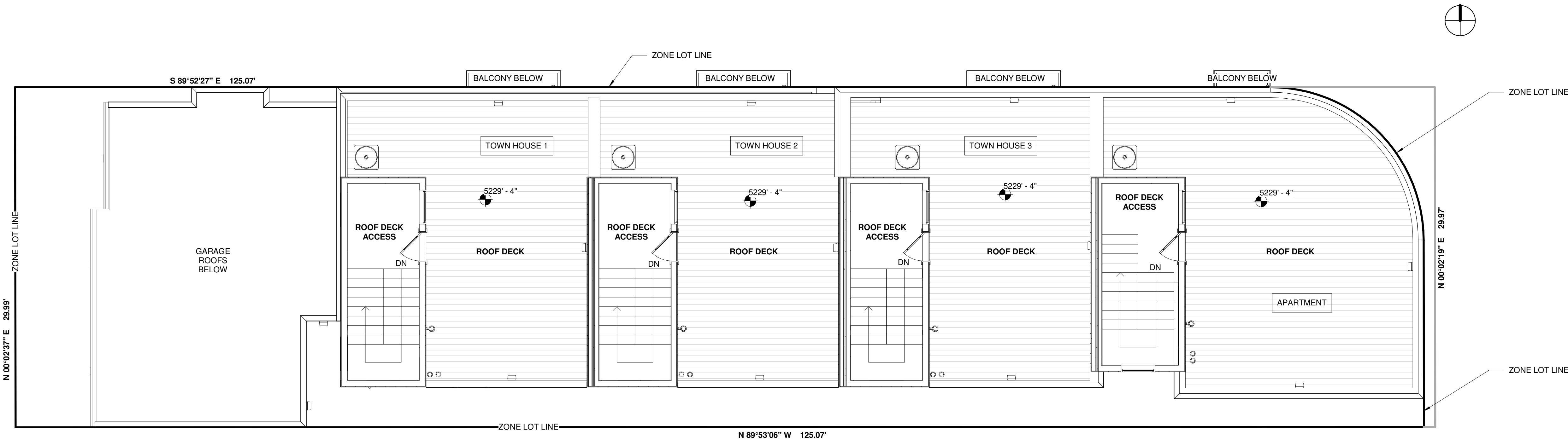
A PARCEL OF LAND LOCATED IN THE N/E 1/4 OF S28, T3S, R68W OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

GROSS BUILDING AREAS PER UNIT 3RD/ROOF DECK FLOORS	
UNIT & FLOOR LEVEL	AREA
APARTMENT 3RD FLOOR	736 SF
APARTMENT ROOF DECK	144 SF
TOWNHOUSE 1 3RD FLOOR	586 SF
TOWNHOUSE 1 ROOF DECK	148 SF
TOWNHOUSE 2 3RD FLOOR	574 SF
TOWNHOUSE 2 ROOF DECK	148 SF
TOWNHOUSE 3 3RD FLOOR	576 SF
TOWNHOUSE 3 ROOF DECK	140 SF
	3052 SF



① SDP - 3RD FLOOR PLAN
3/16" = 1'-0"

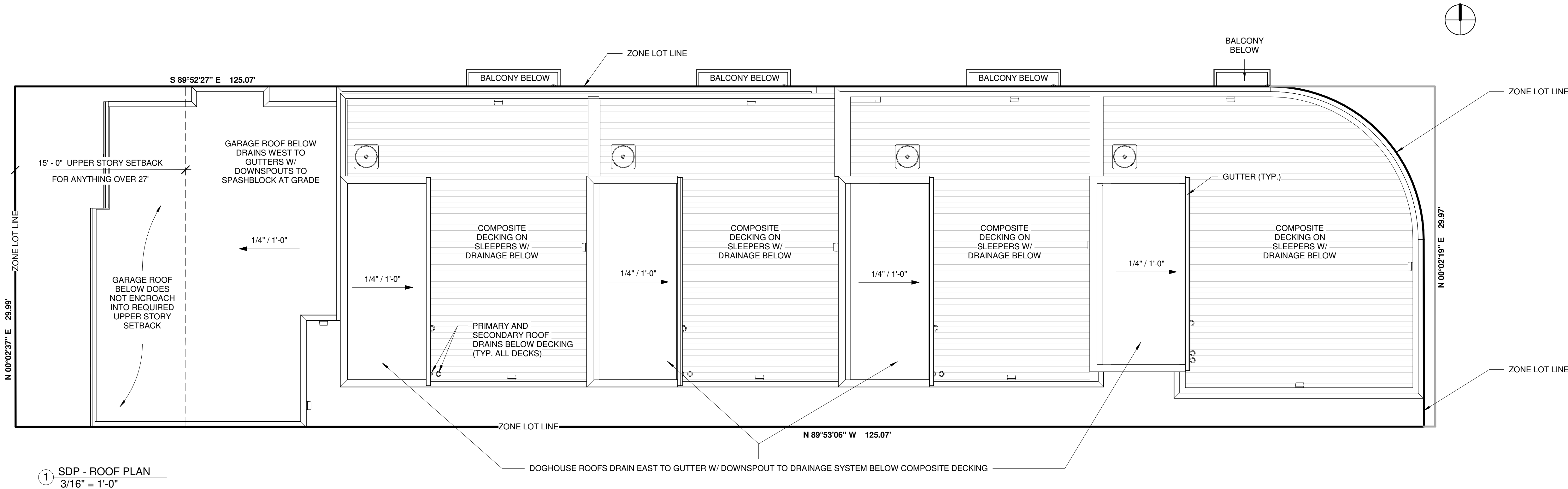


② SDP - ROOF DECK
3/16" = 1'-0"

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SITE DEVELOPMENT PLAN

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CITY AND COUNTY OF DENVER, STATE OF COLORADO
3759 N INCA ST



① SDP - ROOF PLAN
3/16" = 1'-0"

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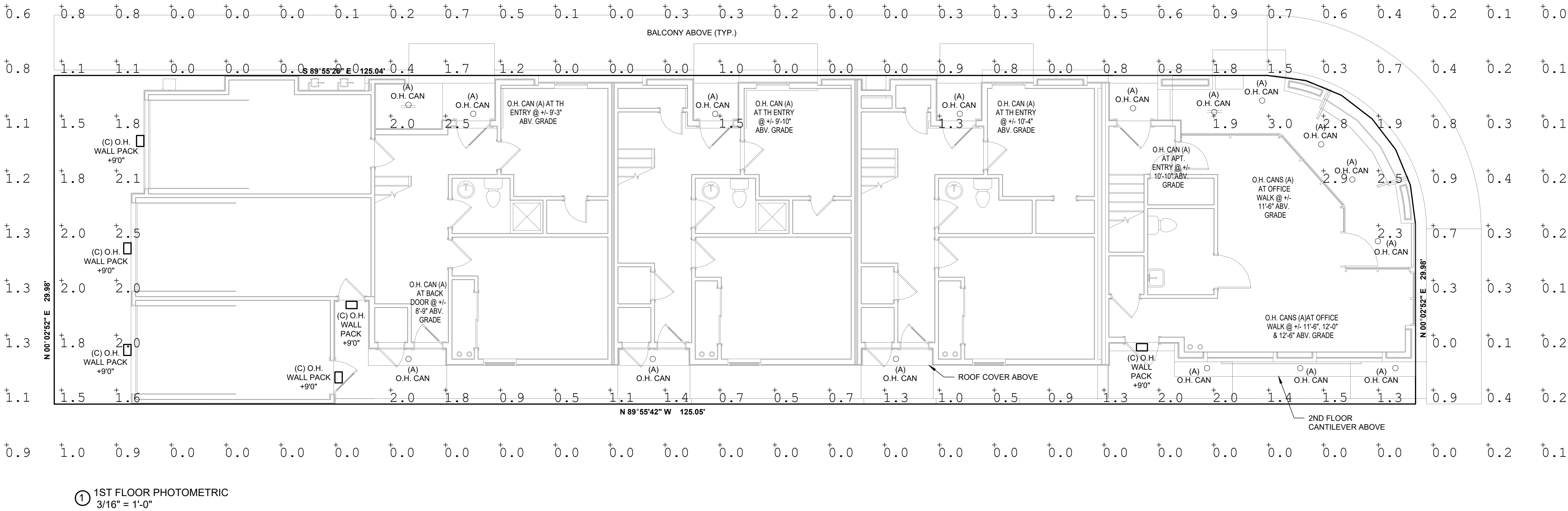
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CITY AND COUNTY OF DENVER, STATE OF COLORADO

3759 N INCA ST

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FIRST FLOOR CALCS	Illuminance	Fc	0.73	3.0	0.0	N.A.	N.A.
ROOF DECK CALCS	Illuminance	Fc	0.29	3.2	0.0	N.A.	N.A.
SECOND FLOOR CALCS	Illuminance	Fc	0.06	2.0	0.0	N.A.	N.A.

NOTE: SECOND FLOOR AND ROOF DECK CALCS ARE CALCULATED AT THEIR RESPECTIVE LEVEL.
GROUND FLOOR CALCULATIONS UNAFFECTED BY SECOND FLOOR AND ROOF DECK CALCS



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4100 Wadsworth Blvd.
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p 303.985.3260
#22.083

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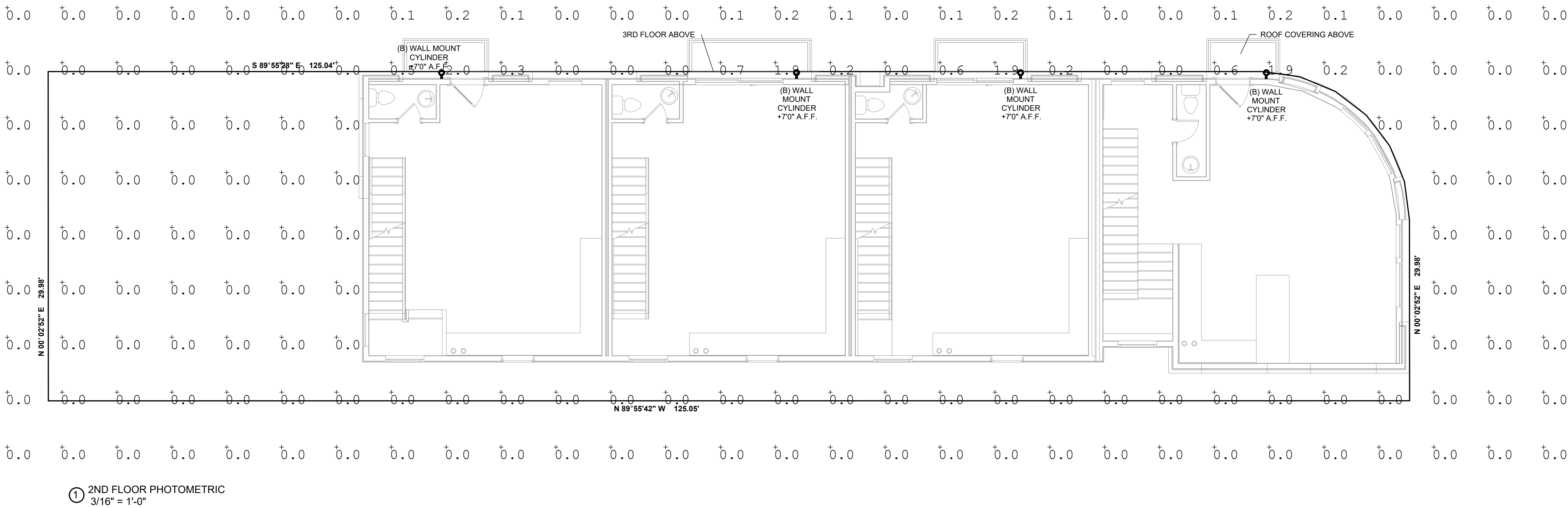
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SECOND FLOOR CALCS	Illuminance	Fc	0.06	2.0	0.0	N.A.	N.A.

NOTE: SECOND FLOOR AND ROOF DECK CALCS ARE CALCULATED AT THEIR RESPECTIVE LEVEL.
GROUND FLOOR CALCULATIONS UNAFFECTED BY SECOND FLOOR AND ROOF DECK CALCS



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4100 Wadsworth Blvd.
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#22.083

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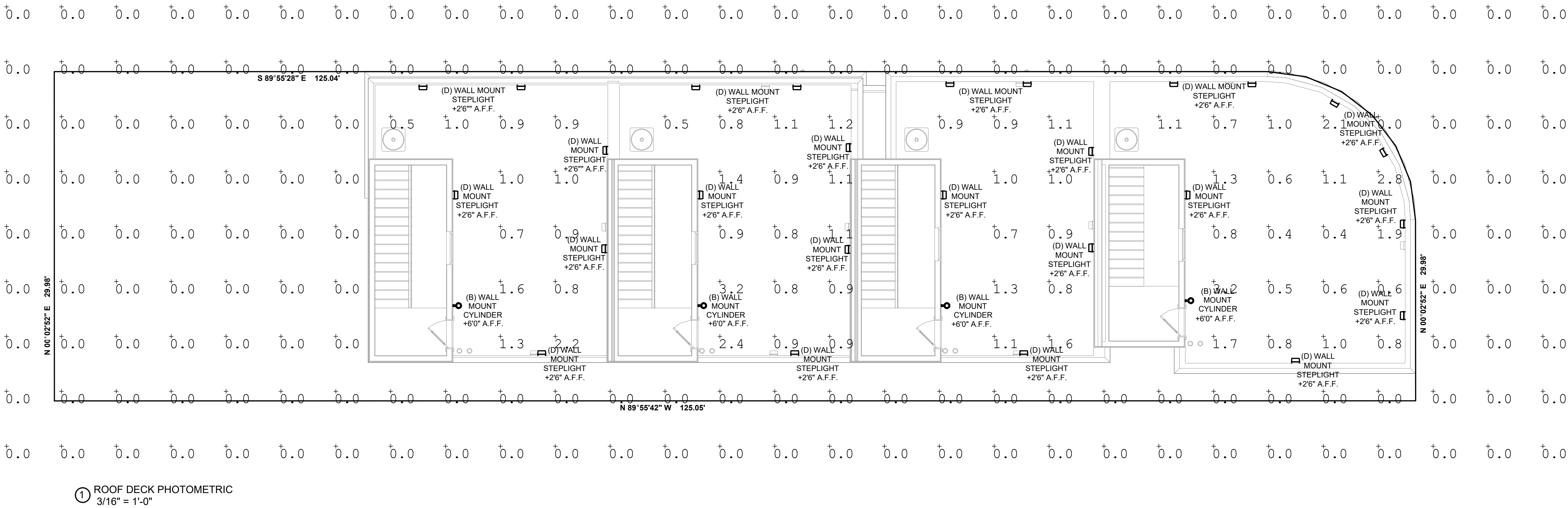
SITE DEVELOPMENT PLAN

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SECOND FLOOR CALCS	Illuminance	Fc	0.06	2.0	0.0	N.A.	N.A.

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GROUND FLOOR CALCULATIONS UNAFFECTED BY SECOND FLOOR AND ROOF DECK CALCS



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SITE DEVELOPMENT PLAN

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TYPE 'A'

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February 13, 2021 12:25 PM

TYPE 'A'

PS518146EN page: 1
February 10, 2021 12:25 PM

TYPE 'B'

TYPE 'C'

September 1, 2022 1:41 PM

TYPE 'D'

JAN 2019

LUMINAIRE SCHEDULE

FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	SOURCE LUMENS	LAMP WATTS	MOUNTING METHOD	DESCRIPTION	VOLTS
	NAME	CATALOG NUMBER							
A	COOPER LIGHTING	RL6-06-9S-1E-WH-DM-R	WHITE	LED	600	8.4	RECESSED	TYPICAL EXTERIOR COMMERCIAL QUALITY 6" DOWNLIGHT, DIMMED TO 50%, 3000K	120
B	WAC LIGHTING	WS-W190212-30-BK	BLACK	LED	260	12	SURFACE	9" TALL TWO LIGHT LED OUTDOOR CYLINER WALL SCONCE, 3000K	120
C	COOPER LIGHTING	ENC-SA1-740-1-SL2-BZ-DIM	BRONZE	LED	762	13	SURFACE	TYPE II WALL PACK WITH SPILL CONTROL, DIMMED TO 75%, 4000K	120
D	WAC LIGHTING	WL-LED101	WHITE	LED	68	3.5	SURFACE	STEP LIGHT, 3000K	120

NOTE: SEE ARCH PLANS FOR MOUNTING HEIGHT

