

**TEST HOLE DATA**

EL. 107.3	0.0'
EL. 104.3	3.0'
EL. 92.3	15.0'
EL. 79.3	28.0'

PALE BROWN SILT (ML)  
PALE BROWN SILTY SAND (SM)  
PALE BROWN FINE TO MEDIUM SAND (SP)

NO WATER ENCOUNTERED  
HIGHEST EXPECTED GROUNDWATER AT EL. 57.7  
TEST HOLE DATA BY:  
MCDONALD GEOSCIENCE  
P.O. BOX 1000  
SOUTHOLD, NY 11971  
DATE: 9/17/2019

**SYMBOL KEY**

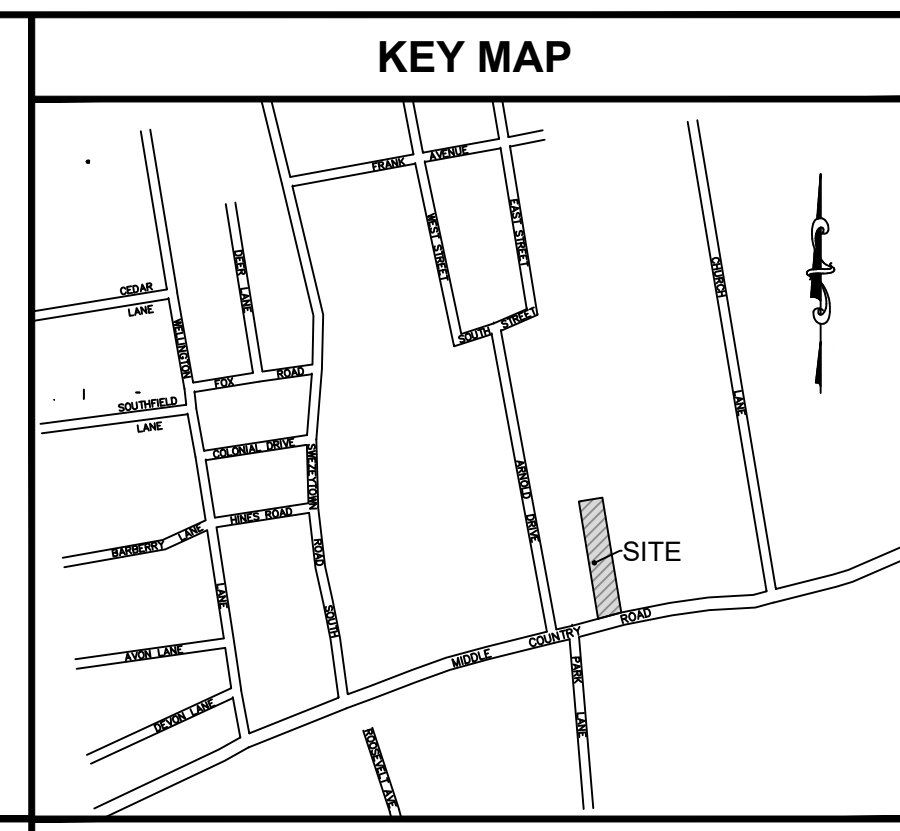
N.T.S.

[Symbol]	CATCH BASIN	[Symbol]	UTILITY POLE
[Symbol]	GAS VALVE	[Symbol]	GUY WIRE
[Symbol]	WATER VALVE	[Symbol]	WETLANDS
[Symbol]	MANHOLE COVER	[Symbol]	WELL
[Symbol]	DRAINAGE MANHOLE COVER	[Symbol]	RECT. DROP INLET
[Symbol]	LIGHT POST	[Symbol]	ELECTRIC BOX
[Symbol]	MONUMENT	[Symbol]	CABLE BOX
[Symbol]	ROOF LEADER	[Symbol]	TELEPHONE BOX
[Symbol]	PIPE	[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	DRILL HOLE	[Symbol]	FLAG POLE
[Symbol]	BOLLARD	[Symbol]	WETLANDS FLAG
[Symbol]	WATER METER	[Symbol]	HANDICAPPED PARKING
[Symbol]	PROPOSED ELEVATION	[Symbol]	DOOR LOCATION
[Symbol]	EXISTING ELEVATION		

**SPECIAL LINES**

N.T.S.

[Symbol]	STOCKADE FENCE
[Symbol]	VENT LINE
[Symbol]	WATER MAIN
[Symbol]	GAS LINE
[Symbol]	UNDER GROUND ELECTRIC
[Symbol]	CHAIN LINK FENCE
[Symbol]	PROPOSED FENCE
[Symbol]	SILT FENCE
[Symbol]	FENCE TO BE REMOVED
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED CONCRETE



**REQUIRED LANDSCAPING:**

	REQ.	PROP.	
NATURAL AREA 35% OF TOTAL SITE	26,663	26,937.5	SQ.FT.
VEGETATED AREA		7,290.1	SQ.FT.
TOTAL NATURAL AREA & VEGETATED AREA		34,227.6	SQ.FT.
FRONT YARD LANDSCAPE 50% OF TOTAL REQUIRED	7,818.1	2,311.5	SQ.FT.

**COVENANTS and RESTRICTIONS:**

RECORDED ON 5-25-10 IN L. 12625, P. 870  
OVERALL SUBJECT PARCEL KNOWN AS LOT 'A':

- MAXIMUM FERTILIZER DEPENDENT VEGETATION SHALL BE LIMITED TO 15% FOR LOT 'A'.
- CLEARING OF NATURAL VEGETATION SHALL NOT EXCEED 35% FOR LOT 'A'.
- AN ADVISORY COVENANT SHALL BE NOTED ON ALL SURVEYS STATING 'THE SUBJECT PROPERTY IS LOCATED WITHIN THE COMPATIBLE GROWTH AREA OF THE CENTRAL PINE BARRENS AND IT IS A VIOLATION OF TOWN CODE TO CLEAR BEYOND THE IMPOSED CLEARING LIMIT'.

**BOARD of ZONING APPEALS GRANT LETTER:**

AT A PUBLIC HEARING OF THE TOWN OF BROOKHAVEN BOARD OF ZONING APPEALS HELD APRIL 29, 2021 APPLICATION No. 6 & 7 (ORIGINALLY OF 10/10) WAS DULY CONSIDERED FOR MODIFICATION OF MOTION AND ACTION TAKEN AS FOLLOWS:

PRIOR GRANT OF 3/10/10 IS MODIFIED TO REFLECT MITIGATION MEASURE #1 OF THE BZA PLANNER SHALL READ "CLEARING OF NATURAL VEGETATION SHALL NOT EXCEED 65% FOR LOT 'A'; REMAINING CONDITIONS AS ORIGINALLY APPROVED."

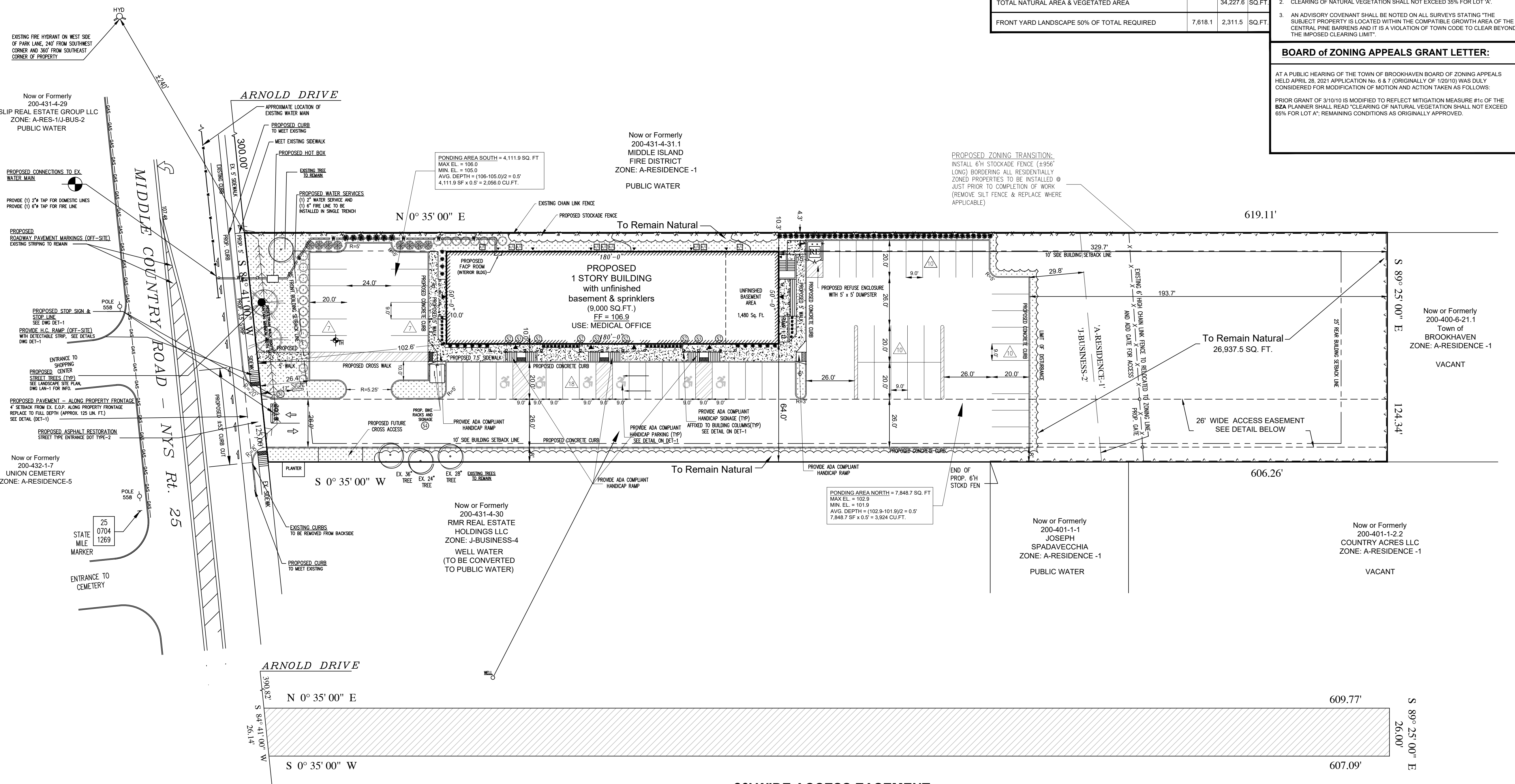
**SITE CRITERIA**

**SITE DATA:**

	REQ.	PROP.	
SITE AREA	1,748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA		0	SQ.FT.
PROPOSED BUILDING AREA		9,000	SQ.FT.
TOTAL BUILDING G.F.A.		9,000	SQ.FT.
EXISTING F.A.R.		0	%
PROP. F.A.R.		11.8	%
PROP. G.F.A.R.		11.8	%
PARKING REQUIRED	60	60	STALLS
PARKING PROVIDED	63	63	STALLS
ZONING	J-BUS-2 / A-RES-1		
USE	MEDICAL OFFICES		

**J-BUSINESS-2 ZONING REQUIREMENTS:**

	REQ.	PROP.	
LOT AREA	15,000.0	76,181	SQ.FT.
FRONT YARD SETBACK	25.0	102.6	FEET
MIN. SIDE YARD SETBACK	10.0	10.3	FEET
TOTAL SIDE YARD SETBACK	N/A	74.3	FEET
REAR YARD SETBACK	25.0	329.7	FEET
MIN. FRONTAGE	100.0	125.0	FEET
F.A.R.	35.0 MAX	11.8	%
MAX HEIGHT	35 / 2.5	35.0	FT / STY



**ON SITE QUANTITIES:**

	EXISTING	PROPOSED	
CONCRETE CURB	N/A	1,338	LN.FT.
CONCRETE WALK	N/A	2,964	SQ.FT.
ASPHALT PAVING	N/A	3294.0	SQ.YD.
LEACHING BASINS	N/A	21	UNITS
CATCH BASINS	N/A	0	UNITS
15" C.P.P. CONNECTOR PIPE	N/A	494	LN.FT.
8" C.P.P. CONNECTOR PIPE	N/A	243	LN.FT.
STOCKADE FENCING	N/A	957	LN.FT.
CHAIN LINK FENCING	603	0	LN.FT.
SCREEN PLANTINGS	N/A	206	UNITS
TREES	1	2	UNITS
SHRUBS	N/A	122	UNITS
SEEDED AREA	N/A	10,756	SQ.FT.

**PARKING CALCULATIONS:**

MEDICAL (9,000 SQ.FT.) = 1 STALL PER 150 SQ.FT.	60	STALLS
REQUIRED ADA STALLS	2	STALLS
TOTAL PROVIDED ( W/LOADING STALL)	62	STALLS

**BROOKHAVEN GENERAL NOTES:**

- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURE SHALL CONFORM TO PLANNING BOARD STANDARD DETAIL AND SPECIFICATIONS.
- TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT 631-451-6400 BETWEEN THE HOURS OF 9:00AM-4:30PM MONDAY THROUGH FRIDAY.
- PLEASE CONTACT THE DIVISION OF ENGINEERING AT 631-451-6400 TO SCHEDULE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION ACTIVITIES.
- LOCATION AND GRADES FOR CURBS AND WALKS TO BE VERIFIED WITH THE TOWN OF BROOKHAVEN HIGHWAY DEPARTMENT, SCOPW OR WISDOT PRIOR TO CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
- THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY, 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN ROAD.
- ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECIFICATIONS) UNLESS OTHERWISE NOTE ON PLAN.
- STOP LINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.
- CLEARING LIMITS SHALL BE DELINEATED AND INSPECTED PRIOR TO CLEARING TO PROTECT WETLAND HABITAT AND THE AREA TO REMAIN NATURAL.

**TOWN OF BROOKHAVEN VARIANCES:**

THE FOLLOWING VARIANCES/SPECIAL PERMITS ARE REQUESTED FROM THE TOWN OF BROOKHAVEN TOWN BOARD, PLANNING BOARD AND ZONING BOARD:

- § 85-843.A.2 - FRONT YARD LANDSCAPING 7,818.1 sq.ft. REQUIRED: 2,311.5 sq.ft. PROVIDED: 69.6% RELAXATION.
- § 85-567 - RESIDENTIAL BUFFER - 25' REQ'D. 8' PROVIDED: 68% RELAXATION.
- § 85-843.A.8.b - 10' LANDSCAPE STRIP BETWEEN PARALLEL PARKING ROWS. NOT PROVIDED: 100% RELAXATION.
- § 85-843.B.1 - 25' RESIDENTIAL BUFFER. 4.3' PROVIDED ON WEST PROPERTY LINE: 83% RELAXATION.
- § 85-843.B.1 - 25' RESIDENTIAL BUFFER. 8' PROVIDED ON EAST PROPERTY LINE: 68% RELAXATION.

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SHEET #	SHEET TITLE
1	AL-1 ALIGNMENT PLAN
2	SAN-1 SANITARY PLAN
3	GRD-1 DRAINAGE AND GRADING PLAN
4	LIG-1 LIGHTING PLAN
5	LAN-1 LANDSCAPE PLAN
6	MRP-1 MATERIALS REMOVAL PLAN
7	ECP-1 EROSION CONTROL PLAN
8	DET-1 SITE DETAILS
9	DOT-1 N.Y.S. DOT PLAN

**REVISIONS:**

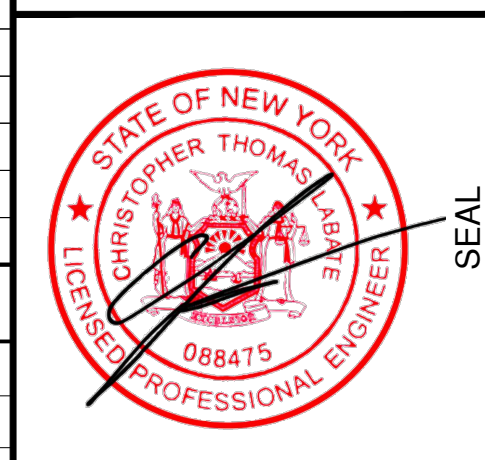
NO.	DATE	REVISION
1	1/14/22	REVISE LAYOUT PER OWNER
2	5/9/23	TOWN COMMENTS
3	7/21/23	COMMENTS
4	8/31/23	REV SIGN LOG, DUMPSTER
5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

**TOB LOG No. 19SP0053**

**SURVEY PREPARED BY:**  
THOMAS MATARAZZO LAND SURVEYOR  
235 SPRINGMEADOW DRIVE, HOLBROOK, NY 11741  
PHONE: (631) 472-0968 DATE: FEBRUARY 18, 2019  
tomthesurveyor@gmail.com

**LABCREW ENGINEERING, P.C.**  
SITE DESIGN/PLANNING/CIVIL ENGINEERING

460 HAWKINS AVENUE  
ROCKY HILL, NEW YORK 11779  
PHONE: (631) 674-8881  
LABCREW@OPTONLINE.NET



LABCREW ENGINEERING, P.C.

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**4K PROPERTY MANAGEMENT LLC**  
PROPOSED 9,000 SQ. FT. MEDICAL BUILDING  
217 MIDDLE COUNTRY ROAD  
MIDDLE ISLAND, NY 11963

**ALIGNMENT PLAN**

SCT#W: 0200 - 400.00 - 06.00 - 021.00

**PROJECT TITLE**

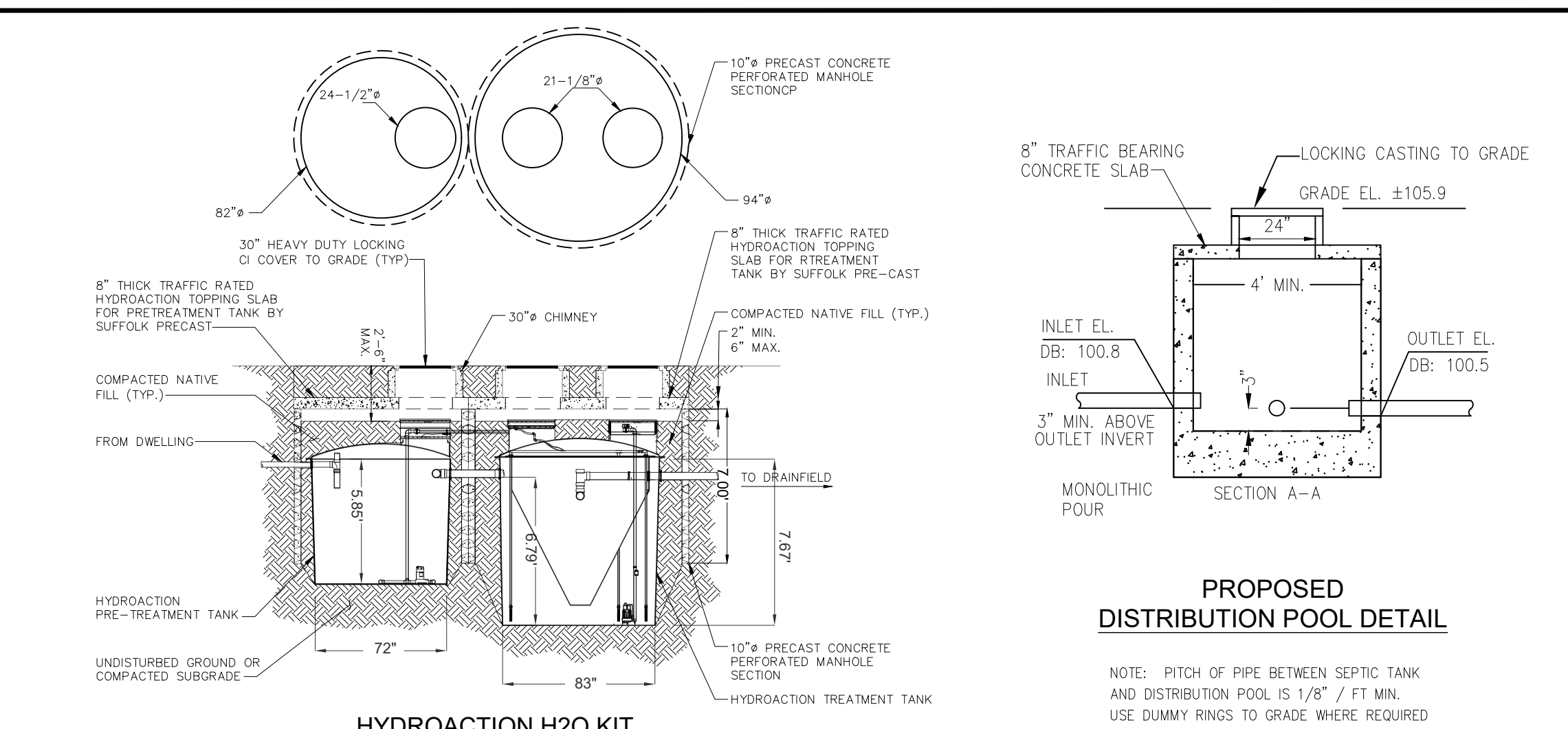
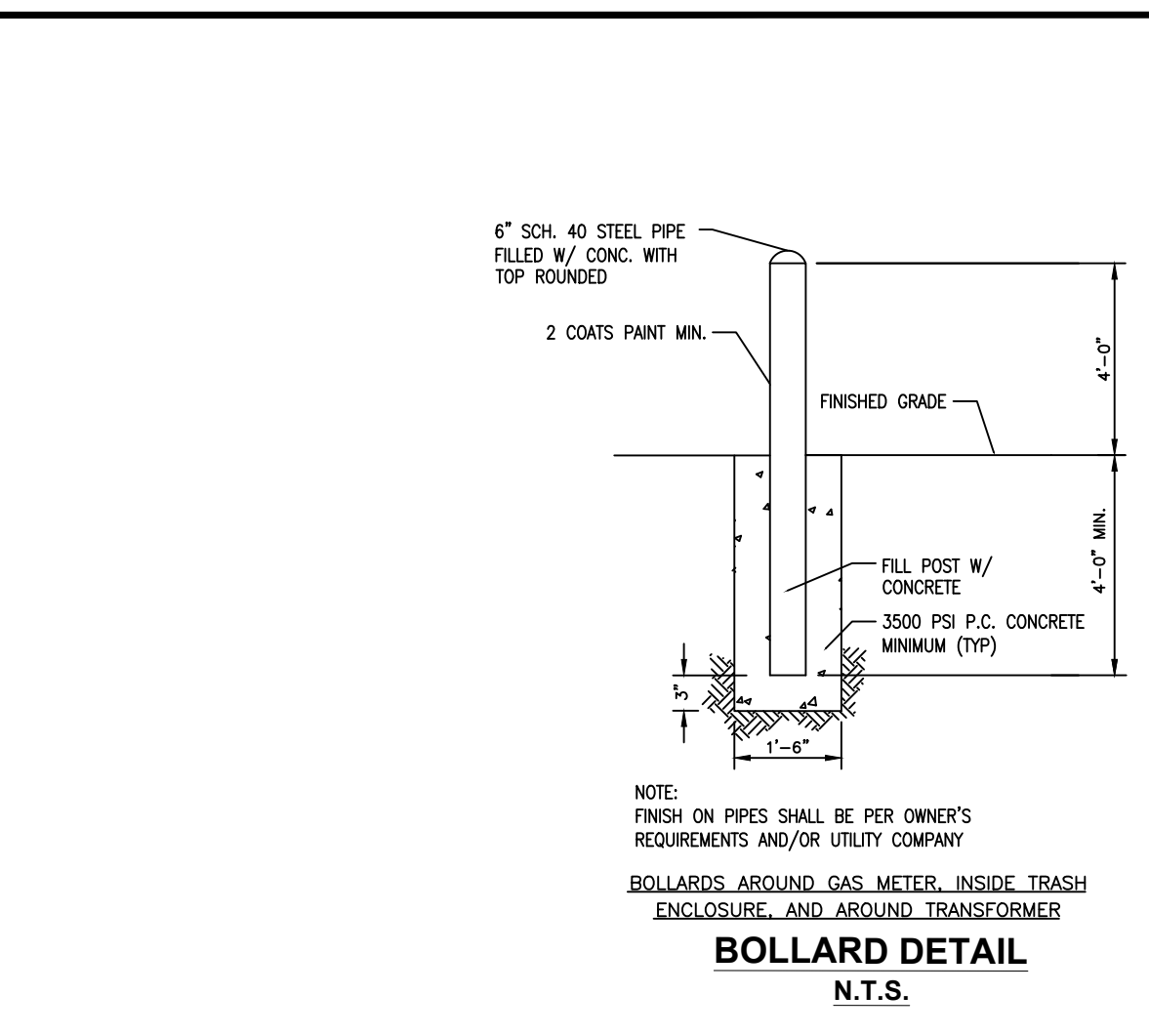
NO.	DATE	REVISION
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5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

**REVISED**  
1:59 pm, Apr 05, 2024

PROJECT No. 21-113  
DRAWN BY: CTN  
CHECKED: CL  
DATE: January, 2022  
SCALE: 1" = 30'

**AL-1**

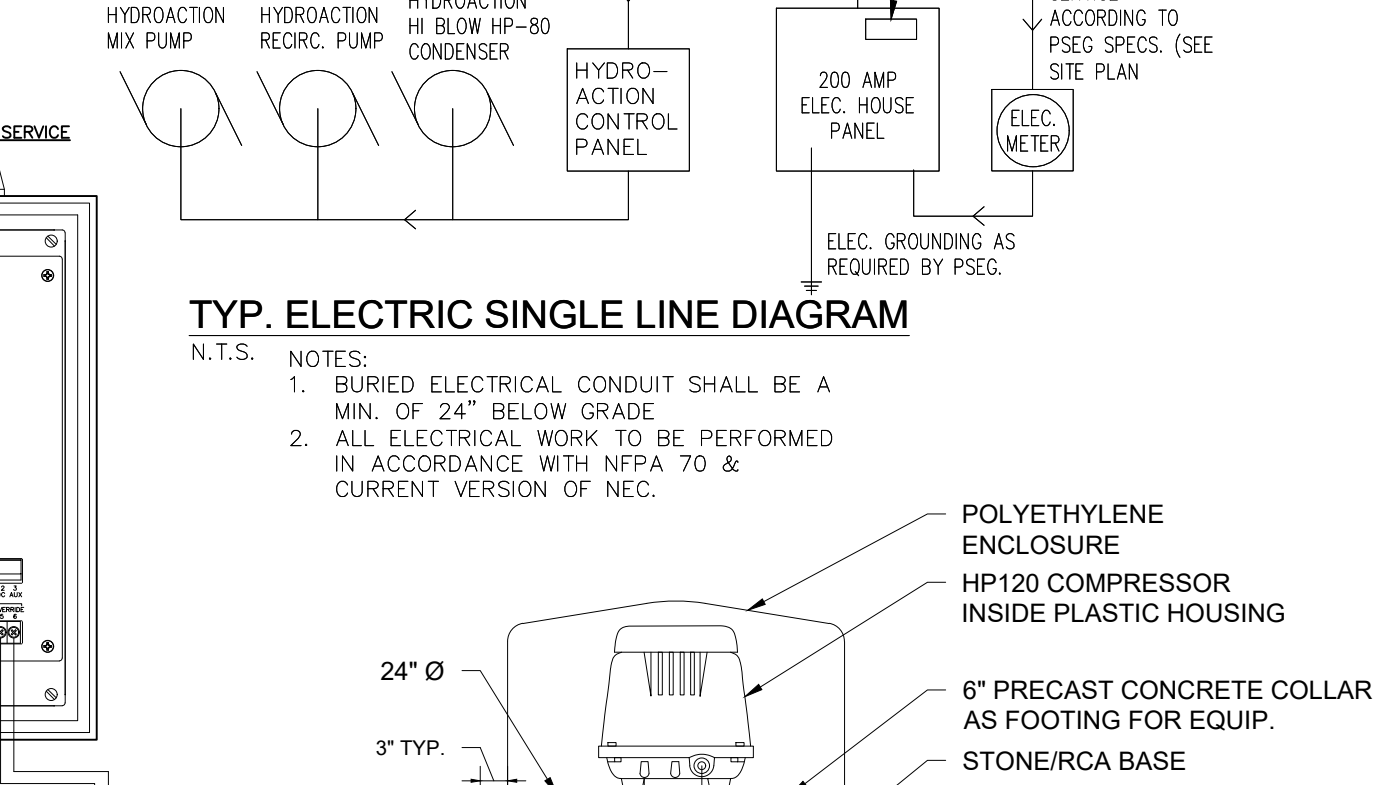
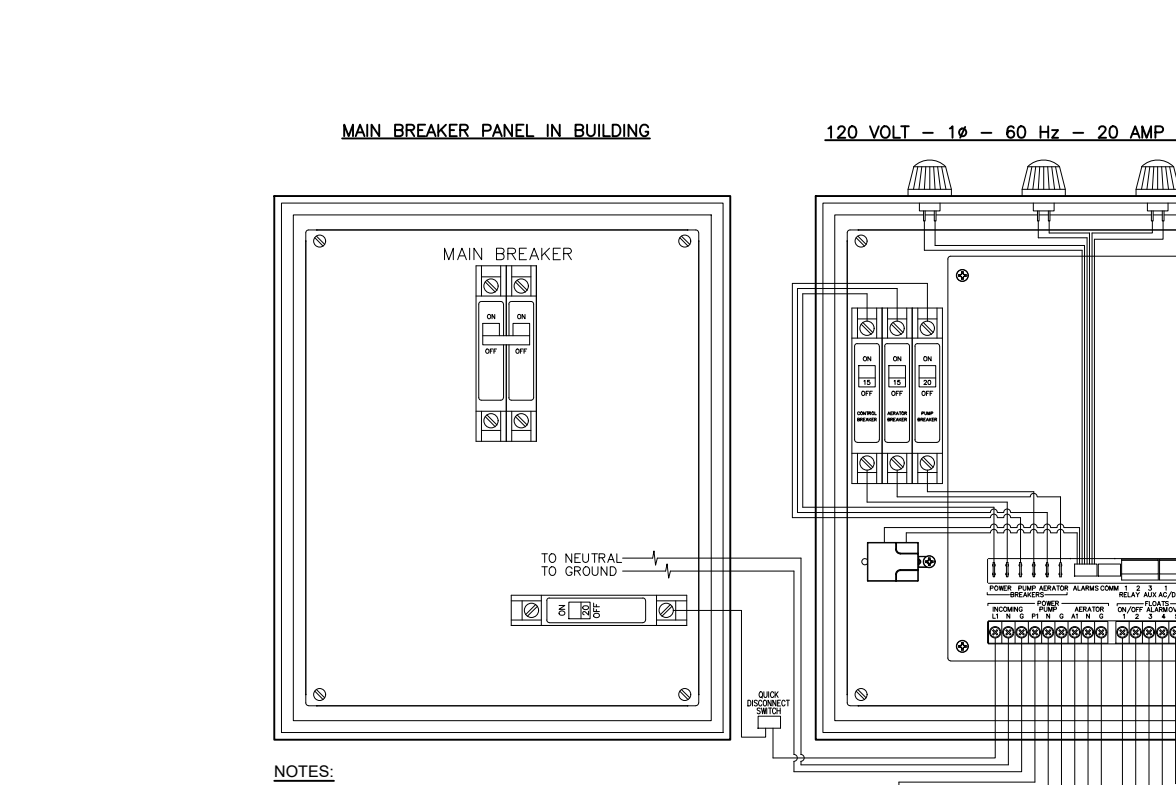
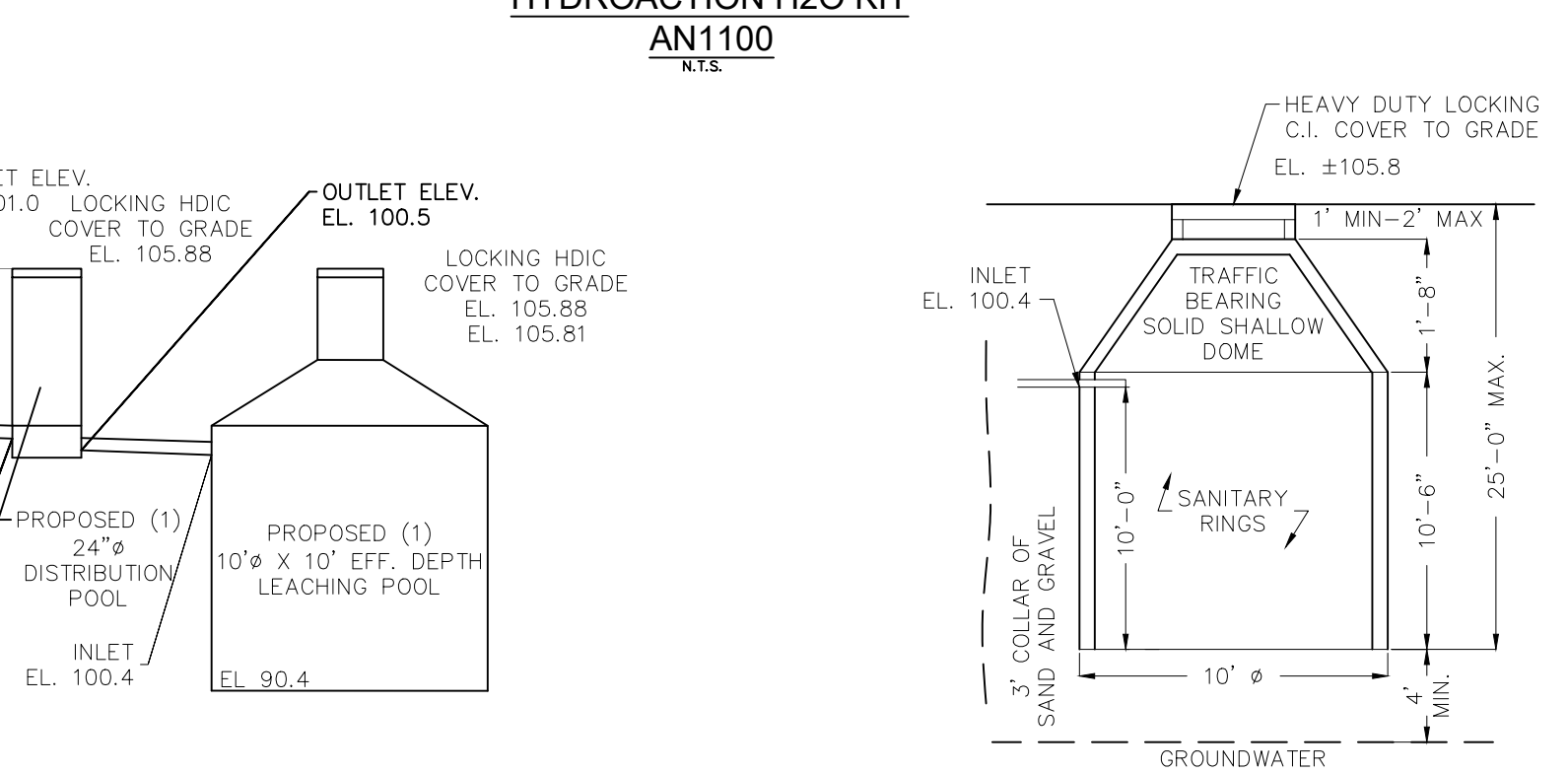
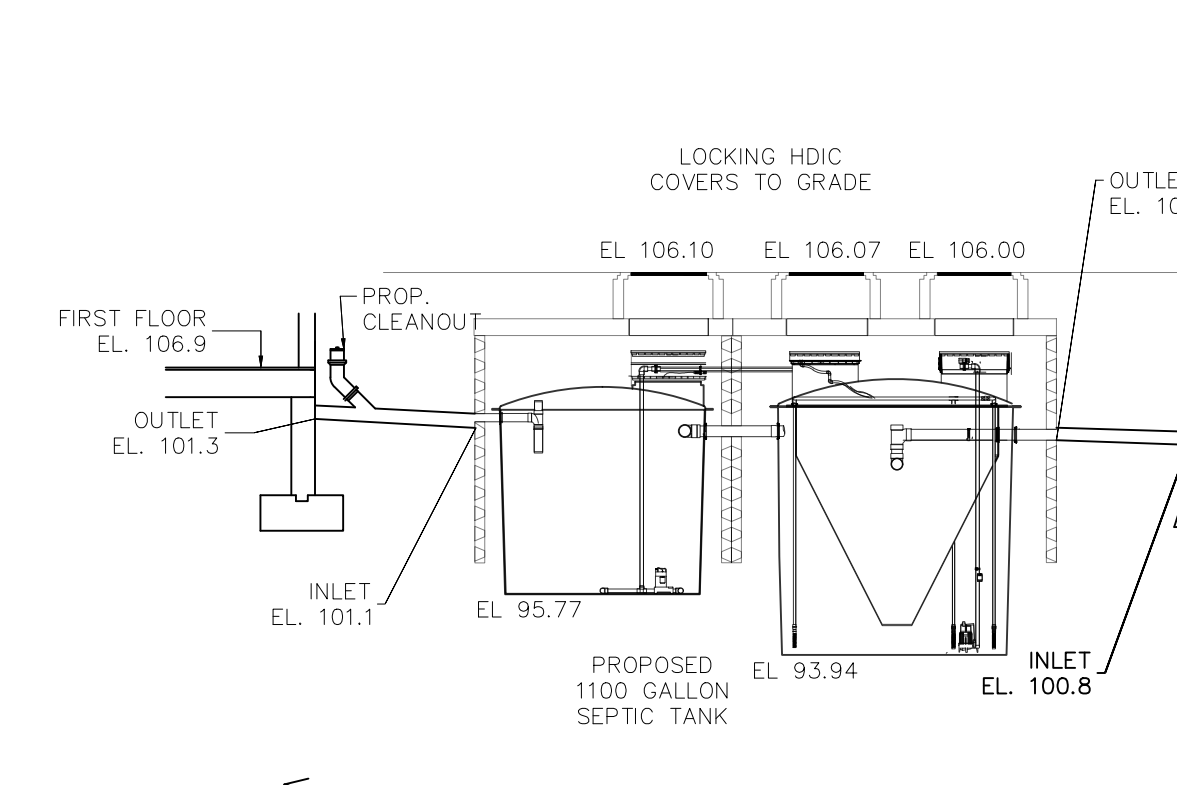
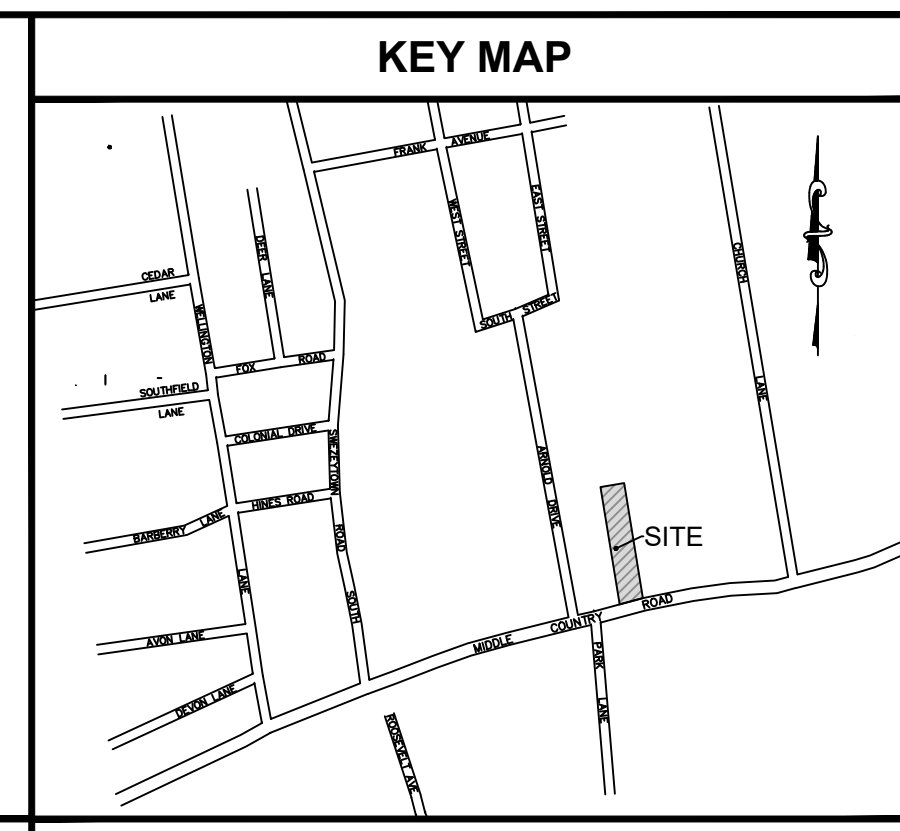
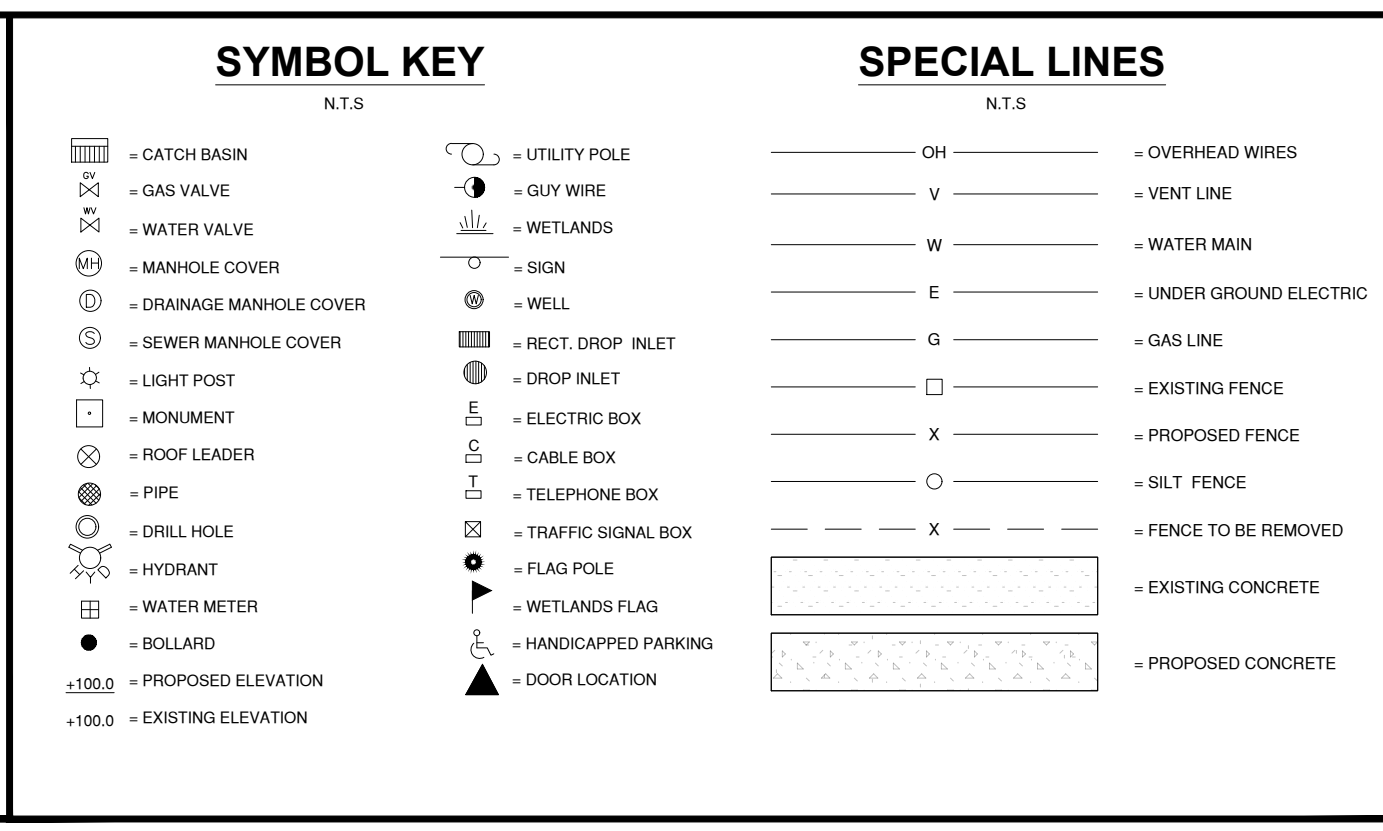
SHEET NO. 1 OF 9



**TEST HOLE DATA**

EL. 106.0	0.0'	PALE BROWN SILT (ML)
EL. 103.0	3.0'	PALE BROWN SILTY SAND (SM)
EL. 91.0	15.0'	PALE BROWN FINE TO MEDIUM SAND (SP)
EL. 78.0	28.0'	NO WATER ENCOUNTERED

TEST HOLE DATA BY: MCDONALD GEOSCIENCE  
P.O. BOX 1000  
SOUTHOLD, NY 11971  
DATE: 9/17/2019



**SITE CRITERIA**

**SITE DATA:**

SITE AREA	1.748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA	0		SQ.FT.
PROPOSED BUILDING AREA	9,000		SQ.FT.
TOTAL BUILDING G.F.A.	9,000		SQ.FT.
EXISTING F.A.R.	0		%
PROP. F.A.R.	11.8		%
PROP. G.F.A.R.	11.8		%
PARKING REQUIRED	60		STALLS
PARKING PROVIDED	63		STALLS
ZONE	J-BUS-2/A-RS-1		
USE	MEDICAL OFFICES		

**SANITARY CALCULATIONS:**

POPULATION DENSITY EQUIVALENT: 1.284 GPD ALLOWABLE PER APPROVED SUBDIVISION MAP 4K PROPERTY MANAGEMENT, SCDSHS REF NO. RS-20-0116.

ELEVATIONS SHOWN IN NAVD83 DATUM.

SUBJECT PARCEL IN GROUNDWATER MANAGEMENT ZONE III

SANITARY SYSTEM TO BE VENTED THROUGH THE PROPOSED PLUMBING SYSTEM.

UNFINISHED BASEMENT

NO WELLS WITHIN 150' OF SUBJECT PARCEL, UNLESS NOTED OTHERWISE.

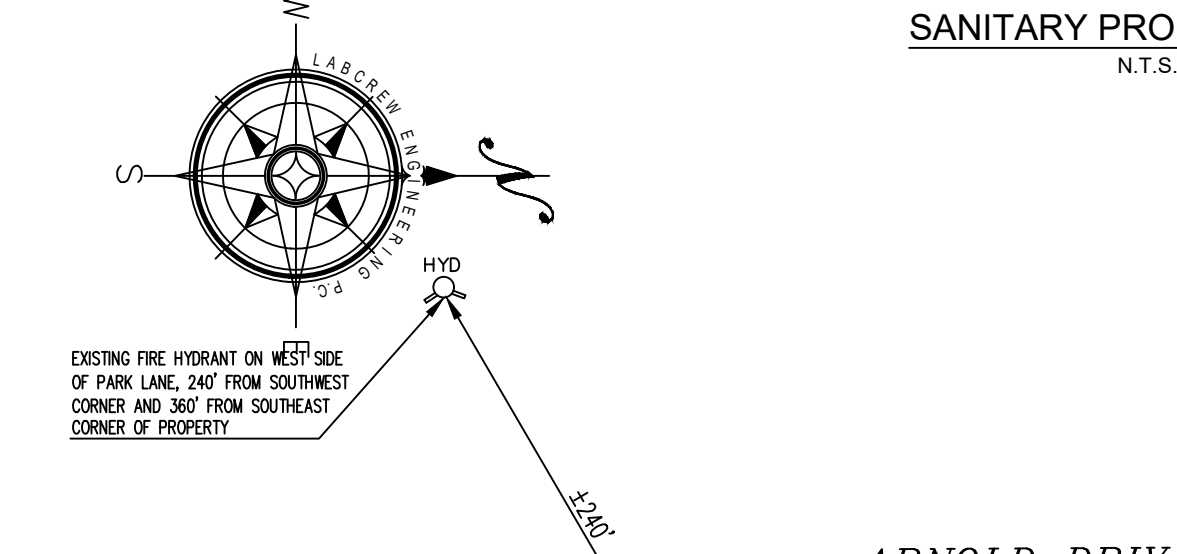
**PROPOSED 1 STORY MEDICAL BUILDING:**

9,000 SQ.FT. MEDICAL X 0.1 GPD/SQ.FT.	= 900 GPD
TOTAL SANITARY FLOW:	= 900 GPD
900 GPD REQUIRED - 1,100 GPD PROVIDED.	

**SANITARY SYSTEM DESIGN:**

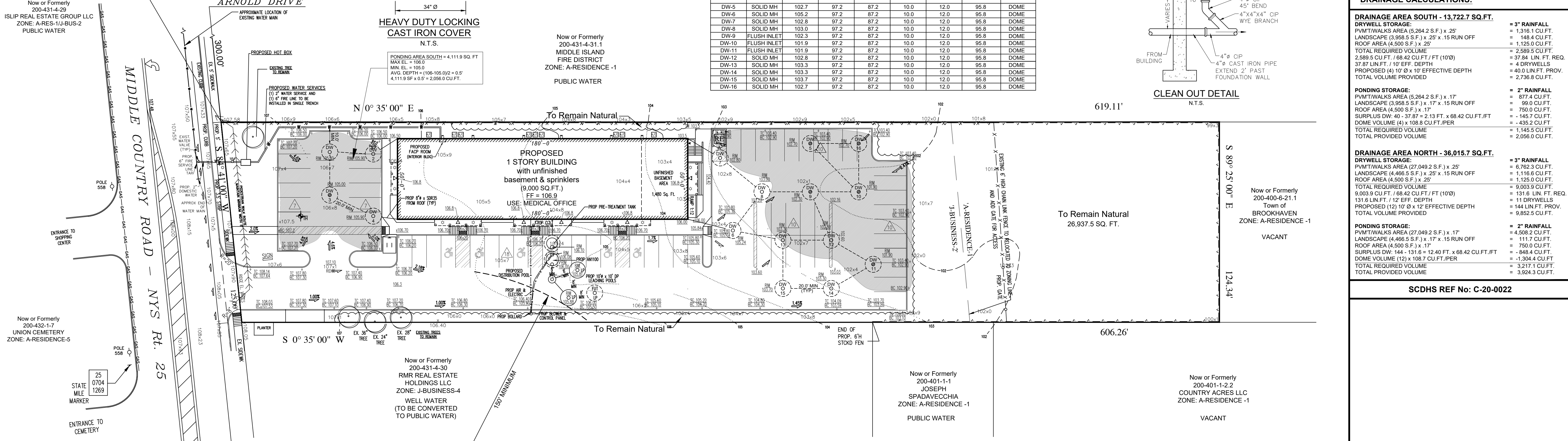
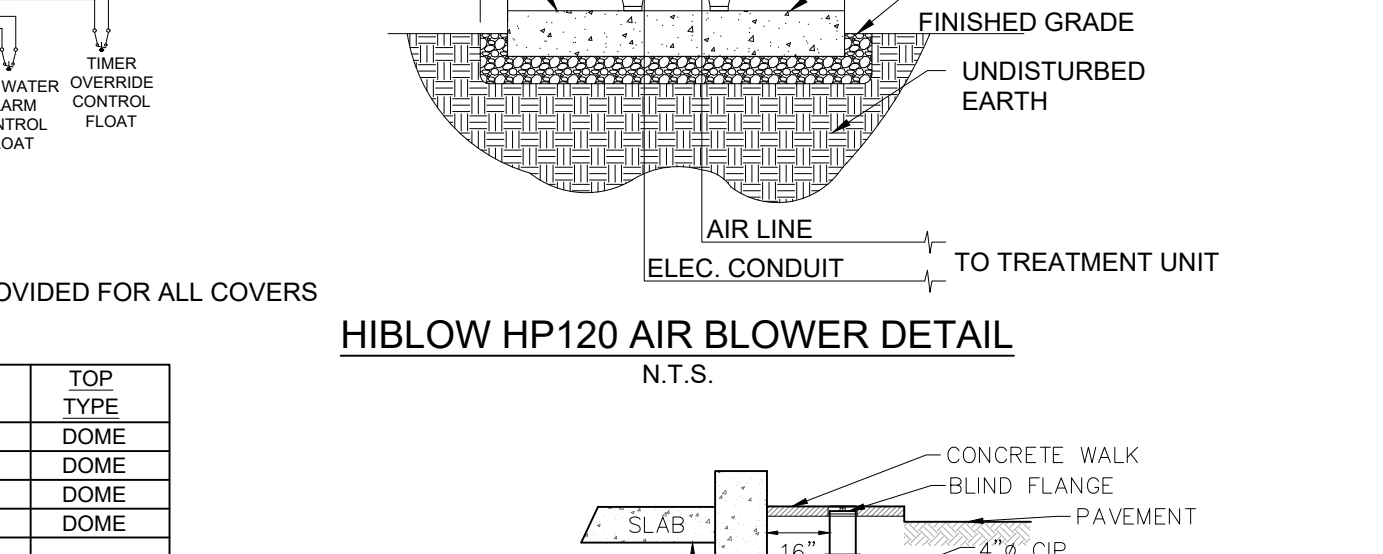
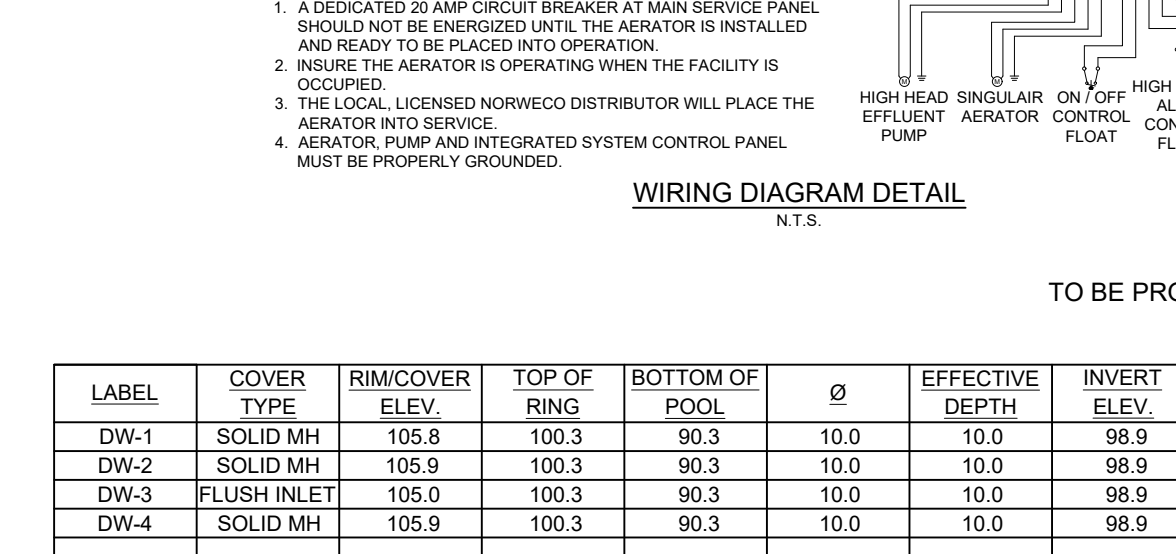
SEPTIC TANK: SANITARY FLOW 900 GPD = 900 GPD  
PROPOSED (1) AN1100 = 1,100 GPD TREATMENT CAPACITY

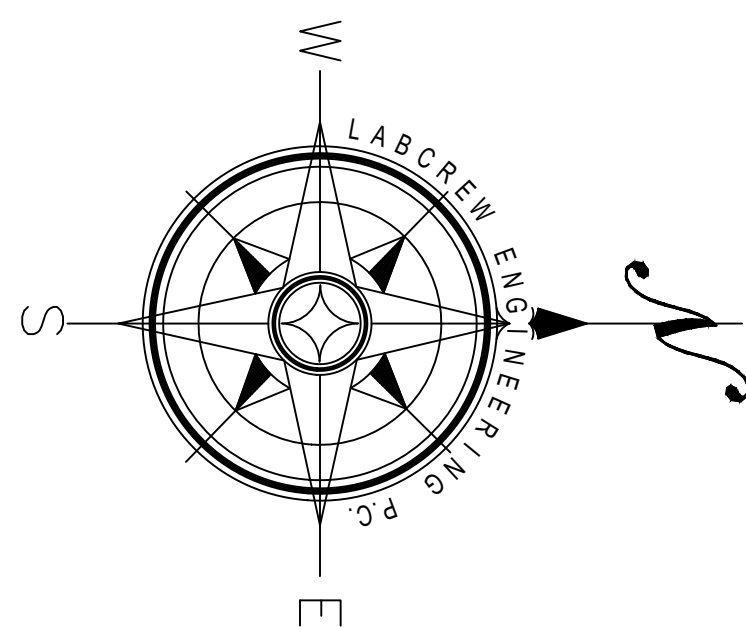
LEACHING POOLS: 900.0 GPD REQUIRED = 19.1 LN. FT. OF SIDEWALL REQ.  
PROVIDE (2) 10' Ø x 10' DP L.P.'s = 20 LN. FT.  
DISTRIBUTION POOL: 10' x 31' x 1.5' = 471 SQ.FT. OF SIDEWALL REQ.  
LEACHING POOL: 10' x 31' x 1.5' = 471 SQ.FT. OF SIDEWALL REQ.  
2 x 10' x 31' x 1.5' = 942 SQ.FT.  
TOTAL SIDEWALL AREA PROVIDED 2 x 471 SF = 942 SQ.FT.



**TABLE**

LABEL	COVER TYPE	RIMCOVER ELEV.	TOP OF RING	BOTTOM OF POOL	Ø	EFFECTIVE DEPTH	INVERT ELEV.	TOP TYPE
DW-1	SOLID MH	105.8	100.3	90.3	10.0	10.0	98.9	DOMES
DW-2	SOLID MH	105.9	100.3	90.3	10.0	10.0	98.9	DOMES
DW-3	FLUSH INLET	105.0	100.3	90.3	10.0	10.0	98.9	DOMES
DW-4	SOLID MH	105.9	100.3	90.3	10.0	10.0	98.9	DOMES
DW-5	SOLID MH	102.7	97.2	87.2	10.0	12.0	95.8	DOMES
DW-6	SOLID MH	105.2	97.2	87.2	10.0	12.0	95.8	DOMES
DW-7	SOLID MH	102.8	97.2	87.2	10.0	12.0	95.8	DOMES
DW-8	SOLID MH	103.0	97.2	87.2	10.0	12.0	95.8	DOMES
DW-9	FLUSH INLET	102.3	97.2	87.2	10.0	12.0	95.8	DOMES
DW-10	FLUSH INLET	101.9	97.2	87.2	10.0	12.0	95.8	DOMES
DW-11	FLUSH INLET	101.9	97.2	87.2	10.0	12.0	95.8	DOMES
DW-12	SOLID MH	102.8	97.2	87.2	10.0	12.0	95.8	DOMES
DW-13	SOLID MH	103.3	97.2	87.2	10.0	12.0	95.8	DOMES
DW-14	SOLID MH	103.3	97.2	87.2	10.0	12.0	95.8	DOMES
DW-15	SOLID MH	103.7	97.2	87.2	10.0	12.0	95.8	DOMES
DW-16	SOLID MH	102.7	97.2	87.2	10.0	12.0	95.8	DOMES





**TEST HOLE DATA**

EL. 106.0 0.0'

EL. 103.0 3.0'

EL. 91.0 15.0'

EL. 78.0 28.0'

NO WATER ENCOUNTERED

NAVD88 DATUM

TEST HOLE DATA BY:  
MCDONALD GEOSCIENCE  
P.O. BOX 1000  
SOUTHOLD, NY 11971  
DATE: 9/17/2021

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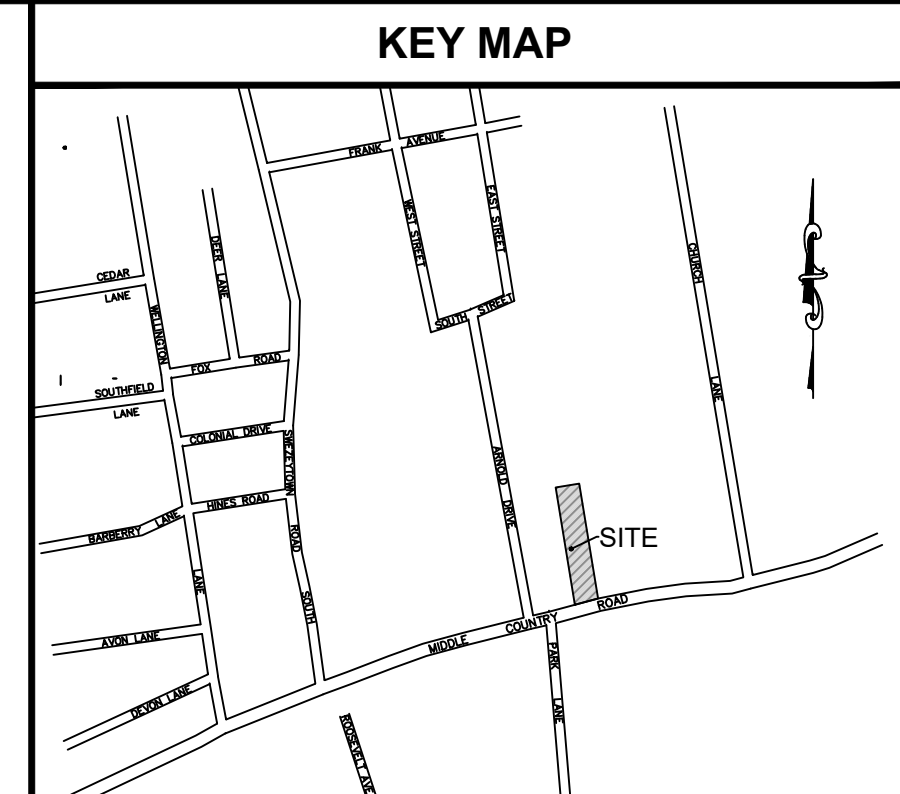
N.T.S.

UTILITY POLE  
GUY WIRE  
WETLANDS  
SKIN  
WELL  
RECT. DROP INLET  
DROP INLET  
ELECTRIC BOX  
MONUMENT  
ROOF LEADER  
PIPE  
DRILL HOLE  
HYDRANT  
WATER METER  
BOLLARD  
PROPOSED ELEVATION  
EXISTING ELEVATION

**SPECIAL LINES**

N.T.S.

OVERHEAD WIRES  
VENT LINE  
WATER MAIN  
GAS LINE  
UNDER GROUND ELECTRIC  
EXISTING FENCE  
PROPOSED FENCE  
SILT FENCE  
EXISTING CONCRETE  
PROPOSED CONCRETE



**LABCREW ENGINEERING, P.C.**

SITE DESIGN/PLANNING/CIVIL ENGINEERING

460 HAWKINS AVENUE  
ROCKY HILL, NEW YORK 11779  
TELEPHONE: (813) 674-4881  
LABCREW@OPTONLINE.NET

**DRAINAGE CALCULATIONS:**

**DRAINAGE AREA SOUTH - 13,722.7 SQ.FT.**

DRYWELL STORAGE:  
P.V.M.T/WALKS AREA (5,264.2 S.F.) x .25' = 1,316.1 CU.FT.  
LANDSCAPE (3,958.5 S.F.) x .25' x .15 RUN OFF = 148.4 CU.FT.  
ROOF AREA (4,500 S.F.) x .25' = 1,125.0 CU.FT.  
TOTAL REQUIRED VOLUME = 2,589.5 CU.FT.  
2,589.5 CU.FT. / 68.42 CU.FT./FT (10'0") = 37.84 LIN. FT. REQ.  
37.87 LIN.FT. / 10' EFF. DEPTH = 4 DRYWELLS  
PROPOSED (4) 10' 0" x 10' EFFECTIVE DEPTH  
TOTAL VOLUME PROVIDED = 2,736.8 CU.FT.

**PONDING STORAGE:**  
P.V.M.T/WALKS AREA (5,264.2 S.F.) x .17' = 897.4 CU.FT.  
LANDSCAPE (3,958.5 S.F.) x .17' x .15 RUN OFF = 99.0 CU.FT.  
ROOF AREA (4,500 S.F.) x .17' = 765.0 CU.FT.  
SURPLUS DW. 40' - 37.87' = 2.13 FT. x 68.42 CU.FT./FT = 145.7 CU.FT.  
DOME VOLUME (4) x 108.8 CU.FT./PER = 435.2 CU.FT.  
TOTAL REQUIRED VOLUME = 1,145.5 CU.FT.  
TOTAL PROVIDED VOLUME = 2,056.0 CU.FT.

**DRAINAGE AREA NORTH - 36,015.7 SQ.FT.**

DRYWELL STORAGE:  
P.V.M.T/WALKS AREA (27,049.2 S.F.) x .25' = 6,762.3 CU.FT.  
LANDSCAPE (4,466.5 S.F.) x .25' x .15 RUN OFF = 1,116.6 CU.FT.  
ROOF AREA (4,500 S.F.) x .25' = 1,125.0 CU.FT.  
TOTAL REQUIRED VOLUME = 9,003.9 CU.FT.  
9,003.9 CU.FT. / 68.42 CU.FT./FT (10'0") = 131.6 LIN.FT. REQ.  
131.6 LIN.FT. / 12' EFF. DEPTH = 11 DRYWELLS  
PROPOSED (12) 10' 0" x 12' EFFECTIVE DEPTH  
TOTAL VOLUME PROVIDED = 9,852.5 CU.FT.

**PONDING STORAGE:**  
P.V.M.T/WALKS AREA (27,049.2 S.F.) x .17' = 4,598.2 CU.FT.  
LANDSCAPE (4,466.5 S.F.) x .17' x .15 RUN OFF = 111.7 CU.FT.  
ROOF AREA (4,500 S.F.) x .17' = 765.0 CU.FT.  
SURPLUS DW. 144' - 131.6' = 12.40 FT. x 68.42 CU.FT./FT = 848.4 CU.FT.  
DOME VOLUME (12) x 108.7 CU.FT./PER = 1,304.4 CU.FT.  
TOTAL REQUIRED VOLUME = 3,217.1 CU.FT.  
TOTAL PROVIDED VOLUME = 3,924.3 CU.FT.

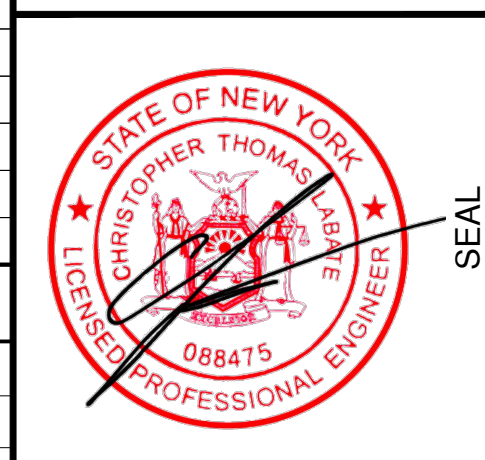
**SITE CRITERIA**

**SITE DATA:**

SITE AREA	1.748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA		0	SQ.FT.
PROPOSED BUILDING AREA		9,000	SQ.FT.
TOTAL BUILDING G.F.A.		9,000	SQ.FT.
EXISTING F.A.R.		0	%
PROP. F.A.R.		11.8	%
PROP. G.F.A.R.		11.8	%
PARKING REQUIRED	60		STALLS
PARKING PROVIDED	63		STALLS
ZONE		J-BUS-2 / A-RES-1	
USE		MEDICAL OFFICES	

**J BUSINESS 2 ZONING REQUIREMENTS:**

	PROP.	REQ.	SQ.FT.
LOT AREA	76,181	15,000	SQ.FT.
FRONT YARD SETBACK	102.6	25.0	FEET
MIN. SIDE YARD SETBACK	10.3	10.0	FEET
TOTAL SIDE YARD SETBACK	74.3	N/A	FEET
REAR YARD SETBACK	329.7	25.0	FEET
MIN. FRONTAGE	125.0	100.0	FEET
F.A.R.	11.8	35.0 MAX	%
MAX HEIGHT	35.0	35 / 2.5	FT / STY



LABCREW ENGINEERING, P.C.

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EXISTING FIRE HYDRANT

Now or Formerly 200-431-4-29 ISUP REAL ESTATE GROUP LLC ZONE: A-RES-1/J-BUS-2 PUBLIC WATER

Now or Formerly 200-432-1-7 UNION CEMETERY ZONE: A-RESIDENCE-5

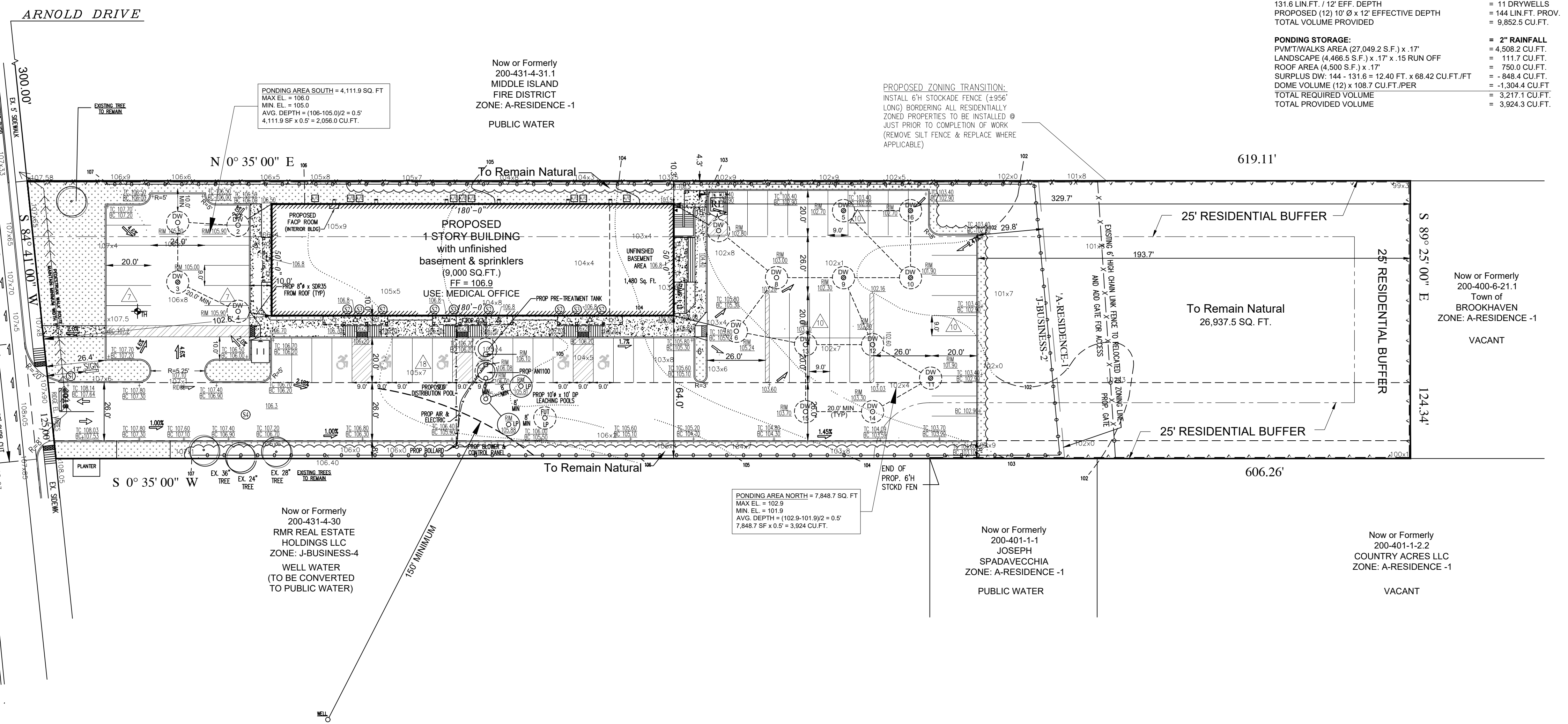
Now or Formerly 200-431-4-30 RMR REAL ESTATE HOLDINGS LLC ZONE: J-BUSINESS-4 WELL WATER (TO BE CONVERTED TO PUBLIC WATER)

Now or Formerly 200-401-1-1 JOSEPH SPADAVECCHIA ZONE: A-RESIDENCE -1 PUBLIC WATER

Now or Formerly 200-401-1-2.2 COUNTRY ACRES LLC ZONE: A-RESIDENCE -1 VACANT

Now or Formerly 200-400-6-21.1 Town of BROOKHAVEN ZONE: A-RESIDENCE -1 VACANT

Now or Formerly 200-431-4-31 MIDDLE ISLAND FIRE DISTRICT ZONE: A-RESIDENCE -1 PUBLIC WATER



LABEL	COVER	RIM/COVER	TOP OF RING	BOTTOM OF POOL	Ø	EFFECTIVE DEPTH	INVERT ELEV	TOP TYPE
DW-1	SOLID MH	105.8	100.3	90.3	10.0	10.0	98.9	DOME
DW-2	SOLID MH	105.9	100.3	90.3	10.0	10.0	98.9	DOME
DW-3	FLUSH INLET	105.0	100.3	90.3	10.0	10.0	98.9	DOME
DW-4	SOLID MH	105.9	100.3	90.3	10.0	10.0	98.9	DOME
DW-5	SOLID MH	104.5	97.2	87.2	10.0	10.0	95.8	DOME
DW-6	SOLID MH	104.9	97.2	87.2	10.0	10.0	95.8	DOME
DW-7	SOLID MH	103.4	97.2	87.2	10.0	10.0	95.8	DOME
DW-8	SOLID MH	103.0	97.2	87.2	10.0	10.0	95.8	DOME
DW-9	FLUSH INLET	101.9	97.2	87.2	10.0	10.0	95.8	DOME
DW-10	FLUSH INLET	101.9	97.2	87.2	10.0	10.0	95.8	DOME
DW-11	FLUSH INLET	101.9	97.2	87.2	10.0	10.0	95.8	DOME
DW-12	SOLID MH	102.5	97.2	87.2	10.0	10.0	95.8	DOME
DW-13	SOLID MH	103.3	97.2	87.2	10.0	10.0	95.8	DOME
DW-14	SOLID MH	103.1	97.2	87.2	10.0	10.0	95.8	DOME
DW-15	SOLID MH	103.7	97.2	87.2	10.0	10.0	95.8	DOME
DW-16	SOLID MH	104.3	97.2	87.2	10.0	10.0	95.8	DOME

**TABLE OF CONTENTS:**

SHEET #	SHEET TITLE
1	AL-1 ALIGNMENT PLAN
2	SAN-1 SANITARY PLAN
3	GRD-1 DRAINAGE AND GRADING PLAN
4	LIG-1 LIGHTING PLAN
5	LAN-1 LANDSCAPE PLAN
6	MRP-1 MATERIALS REMOVAL PLAN
7	ECP-1 EROSION CONTROL PLAN
8	DET-1 SITE DETAILS
9	DOT-1 N.Y.S. DOT PLAN

**PARKING CALCULATIONS:**

MEDICAL (9,000 SQ.FT.) = 1 STALL PER 150 SQ.FT. = 60 STALLS

REQUIRED ADA STALLS = 3 STALLS

TOTAL PROVIDED (W/LOADING STALL) = 63 STALLS

**REQUIRED LANDSCAPING:**

	REQ.	PROP.	SQ.FT.
NATURAL AREA TO REMAIN (35%)	26,663.4	26,937.5	SQ.FT.
FRONT YARD NATURAL AREA/ LANDSCAPE	7,618.1	2,908.8	SQ.FT.

**BROOKHAVEN GENERAL NOTES:**

- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURE SHALL CONFORM TO PLANNING BOARD STANDARD DETAIL AND SPECIFICATIONS.
- TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT 631-451-6400 BETWEEN THE HOURS OF 9:00AM-4:30PM MONDAY THROUGH FRIDAY.
- PLEASE CONTACT THE DIVISION OF ENGINEERING AT 631-451-6400 TO SCHEDULE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION ACTIVITIES.
- LOCATION AND GRADES FOR CURBS AND WALKS TO BE VERIFIED WITH THE TOWN OF BROOKHAVEN HIGHWAY DEPARTMENT, SCOPH OR NYSDOT PRIOR TO CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
- THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY, 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN ROAD.
- ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECIFICATIONS) UNLESS OTHERWISE NOTE ON PLAN.
- STOP LINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.
- CLEARING LIMITS SHALL BE DELINEATED AND INSPECTED PRIOR TO CLEARING TO PROTECT WETLAND HABITAT AND THE AREA TO REMAIN NATURAL.

**TOWN OF BROOKHAVEN VARIANCES:**

THE FOLLOWING VARIANCES/SPECIAL PERMITS ARE REQUESTED FROM THE TOWN OF BROOKHAVEN TOWN BOARD, PLANNING BOARD AND ZONING BOARD:

§ 85-84(a)(2) - FRONT YARD LANDSCAPING 14,035 sq.ft. REQ'D, 5,904.8 sq.ft. PROVIDED

**SURVEY PREPARED BY:**  
THOMAS MATARAZZO LAND SURVEYOR  
235 SPRINGMEADOW DRIVE, HOLBROOK, NY 11741  
PHONE: (631) 472-0968 DATE: FEBRUARY 18, 2019

**4K PROPERTY MANAGEMENT LLC**  
217 MIDDLE COUNTRY ROAD  
MIDDLE ISLAND, NY 11953

**DRAINAGE & GRADING PLAN**

SCTM#: 0200 - 400.00 - 06.00 - 021.000

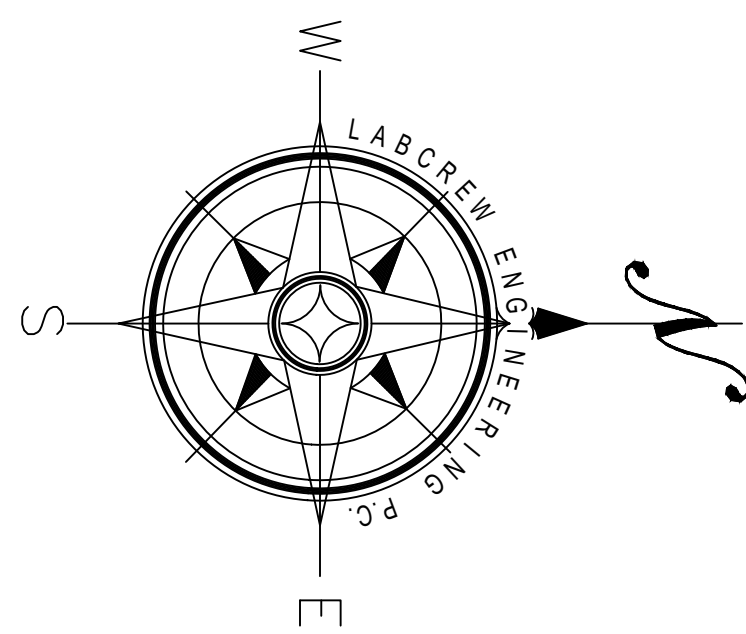
PROJECT NO.	DATE	REVISION
21-113	1/14/22	REVISE LAYOUT PER OWNER
	5/9/23	TOWN COMMENTS
	7/21/23	COMMENTS
	8/31/23	REV SIGN LOG, DUMPSTER
	1/17/24	SCDH COMMENTS
	4/4/24	TOWN COMMENTS

DRAWN BY: CTN  
CHECKED: CL  
DATE: January, 2022  
SCALE: 1" = 30'

**GRD-1**

SHEET NO. 3 OF 9

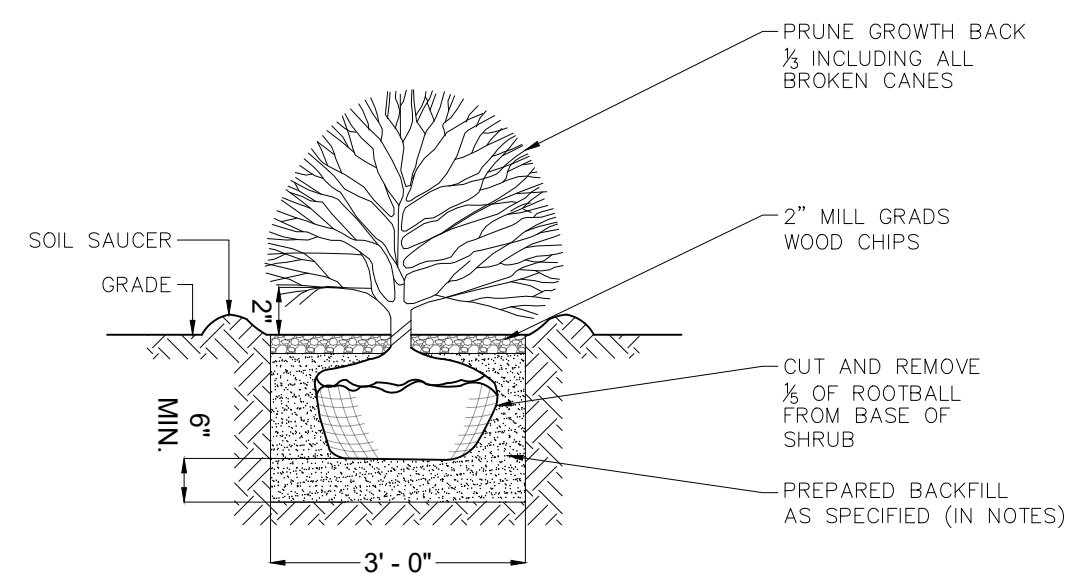




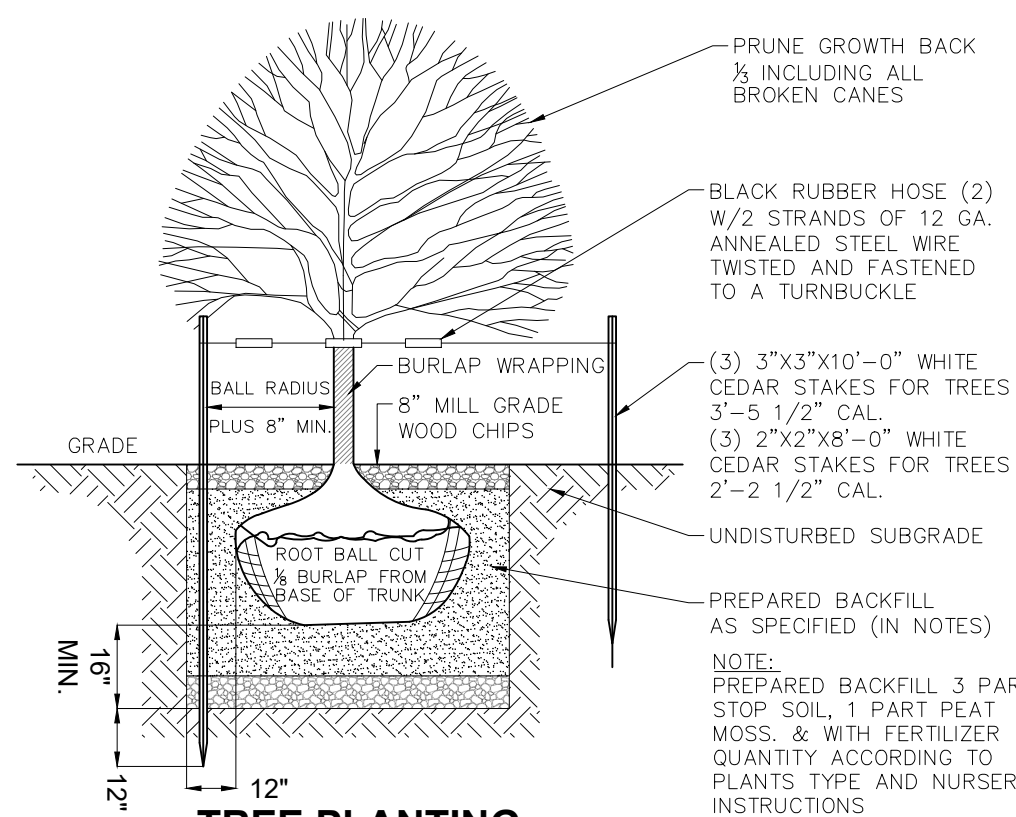
**SYMBOL LEGEND**

- AHC HINO-CRIMSON AZALEA
- TOY YELLOW RIBBON ARBORVITAE
- MV MAGNOLIA VIRGINIANA
- PR PITCH PINE
- HFS ST. JOHNSWORT
- AR RED MAPLE
- IO AMERICAN HOLLY
- JVE EMERALD SENTINEL JUNIPER

LEGEND  
 SPECIES — AHS  
 QUANTITY — 54



**SHRUB PLANTING**  
N.T.S.



**TREE PLANTING**  
N.T.S.

**TEST HOLE DATA**

EL. 106.0	0.0'
EL. 103.0	3.0'
EL. 91.0	15.0'
EL. 78.0	28.0'

NO WATER ENCOUNTERED  
 NAVD83 DATUM  
 TEST HOLE DATA BY:  
 MCDONALD GEOSCIENCE  
 P.O. BOX 1000  
 SOUTHOLD, NY 11971  
 DATE: 9/17/2019

**SYMBOL KEY**

- CATCH BASIN
- GAS VALVE
- WATER VALVE
- MANHOLE COVER
- DRAINAGE MANHOLE COVER
- LIGHT POST
- MONUMENT
- ROOF LEADER
- PIPE
- DRILL HOLE
- HYDRANT
- WATER METER
- BOLLARD
- PROPOSED ELEVATION
- EXISTING ELEVATION

**SPECIAL LINES**

- CH OVERHEAD WIRES
- V VENT LINE
- W WATER MAIN
- E GAS LINE
- G UNDER GROUND ELECTRIC
- X EXISTING FENCE
- O PROPOSED FENCE
- X EXISTING CONCRETE
- PROPOSED CONCRETE

**KEY MAP**



**PLANT MATERIAL LIST**

SYM	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	MATURE SIZE
STREET TREES					
AR	4	ACER RUBRUM	RED MAPLE	4 CAL.	30' HEIGHT / 10' SPREAD
DECIDUOUS TREES					
SCREEN PLANTINGS					
PR	9	PINUS RIGIDA	PITCH PINE	7 FEET	8-10' HEIGHT / 2-3' SPREAD
TOY	46	THUJA OCCIDENTALIS 'YELLOW RIBBON'	YELLOW RIBBON ARBORVITAE	#3 CONT.	8-10' HEIGHT / 2-3' SPREAD
JVE	8	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EMERALD SENTINEL JUNIPER	5-6 FEET	20-25' HEIGHT / 4-6' SPREAD
DECORATIVE PLANTINGS					
AHC	36	AZALEA X 'HINO-CRIMSON'	HINO-CRIMSON AZALEA	#1 CONT.	3' HEIGHT / 4' SPREAD
HFS	18	HYPERICUM PERFORATUM	ST. JOHNSWORT	#1 CONT.	18" HEIGHT / 24" SPREAD

- PROPOSED GRASS SEED TO BE A MIX OF FINE FESCUE @ 1000S F. PER POUND (20%), PERENNIAL RYEGRASS @ 1,000 S.F. PER POUND (20%) AND KENTUCKY BLUEGRASS BLEND @ 300 S.F. PER POUND (60%)
- ALL PLANTINGS SHALL BE SURROUNDED BY MULCH
- ALL LANDSCAPE AREAS TO BE HAVE AN IRRIGATION SYSTEM

**REQUIRED LANDSCAPING:**

	REQ.	PROP.
NATURAL AREA 35% OF TOTAL SITE	26,663	26,937.5
VEGETATED AREA		7,290.1
TOTAL NATURAL AREA & VEGETATED AREA		34,227.6
FRONT YARD LANDSCAPE 50% OF TOTAL REQUIRED	7,618.1	2,311.5

**SITE CRITERIA**

**SITE DATA:**

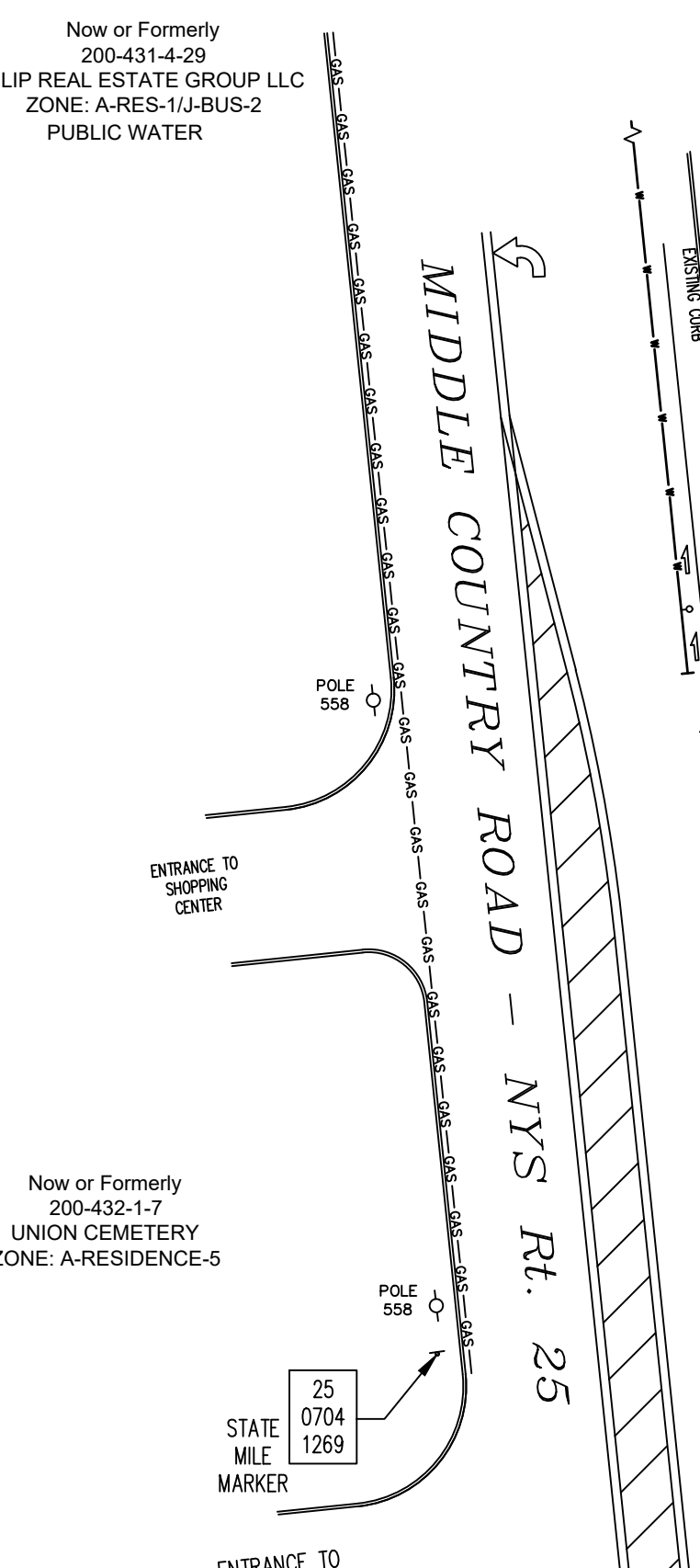
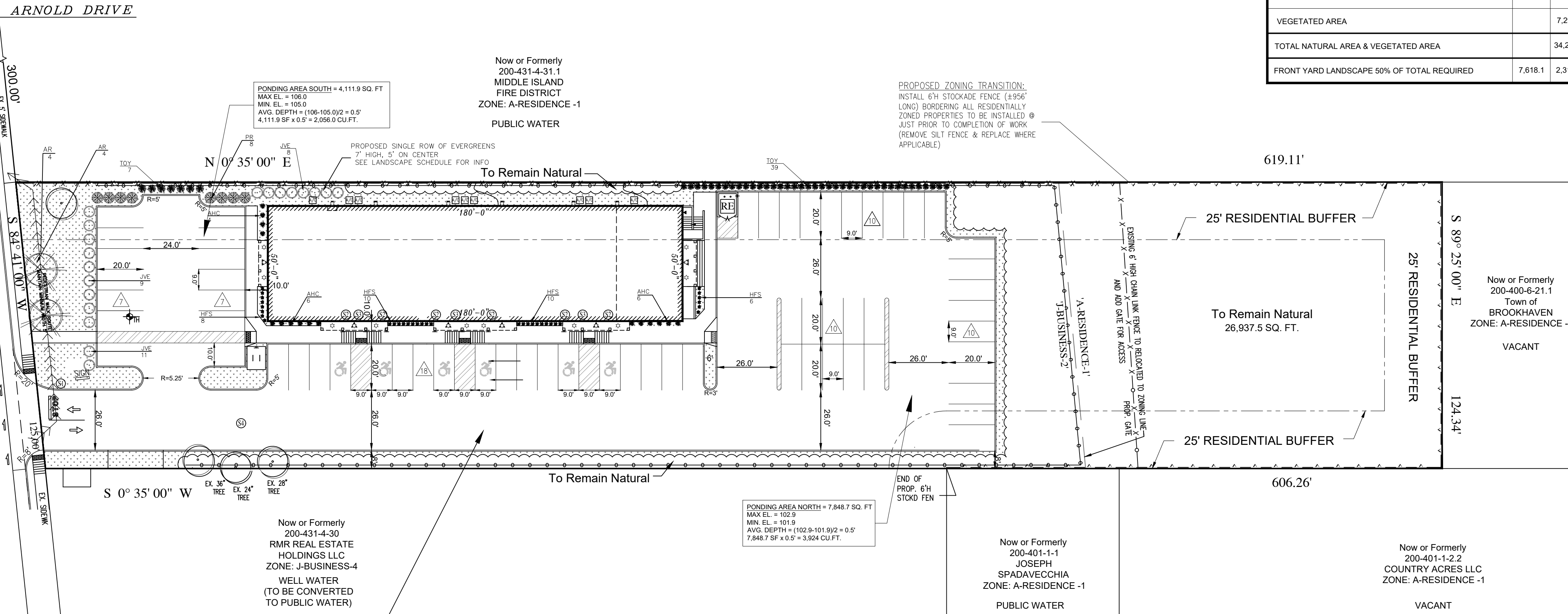
SITE AREA	1.748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA		0	SQ.FT.
PROPOSED BUILDING AREA		9,000	SQ.FT.
TOTAL BUILDING G.F.A.		9,000	SQ.FT.
EXISTING F.A.R.		0	%
PROP. F.A.R.		11.8	%
PROP. G.F.A.R.		11.8	%
PARKING REQUIRED		60	STALLS
PARKING PROVIDED		63	STALLS
ZONE		J-BUS-2 / A-RES-1	
USE		MEDICAL OFFICES	

**PLANT MATERIAL NOTES**

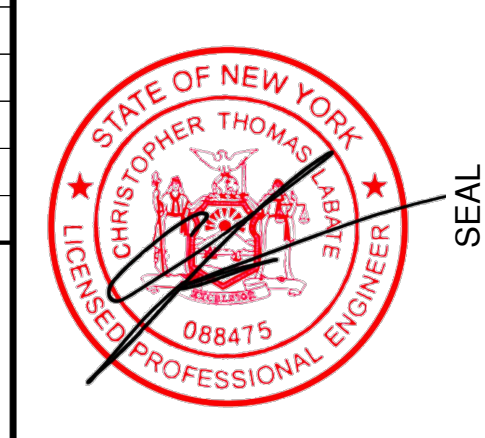
- ALL DECIDUOUS TREES TO BE SPECIMEN QUALITY, HAVE A SINGLE STEM AND STRAIGHT LEADER, WELL BRANCHED AND LIMBED UP. 67'
- ALL EVERGREEN TREES TO BE SPECIMEN QUALITY, FULL AND DENSE AND BRANCHED TO THE GROUND.
- ALL SHRUBS TO BE FULL AND DENSE WITH THE MIN. # OF CANES PER SIZE REQUESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. SPACING SHALL BE AS SHOWN ON THE PLAN OR AS NOTED.

**LANDSCAPE NOTES**

- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO PLANTS SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE NURSERY ARCHITECT OR SOIL.
- ALL PLANTS SHALL BE INSTALLED AS PER THE DETAILS AND CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN IF NECESSARY DURING THE FIRST GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" OF SHREDED BARK MULCH OVER A SYNTHETIC WEED BARRIER FABRIC.
- THE CONTRACTOR SHALL FURNISH A ONE YEAR WARRANTY ON ALL PLANT MATERIALS.
- ALL PLANT MATERIALS SHALL BE INSTALLED USING STANDARD ACCEPTABLE LANDSCAPE PRACTICES.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN COMPLIANCE WITH THE TOWN OF BROOKHAVEN REGULATIONS & SPECIFICATIONS.
- NO PLANTINGS AT THE DRIVEWAYS SHALL VIOLATE ANY LINES OF SIGHT.
- NO PLANT MATERIAL, EXCEPT LAWN OR GROUND COVER, IS TO BE LOCATED WITHIN 2' OF ANY PARKING LOT CURBS.
- PRUNE ALL BROKEN OR DAMAGED BRANCHES. ORIGINAL LEADER OF TREES SHALL BE MAINTAINED. TREES WITH BROKEN, DAMAGED OR PRUNED LEADERS WILL BE REJECTED.
- PLANTING HOLES SHOULD BE AT LEAST TWICE THE DIAMETER OF THE ROOT BALL.
- ROOT BALL OF PLANTS SHOULD BE PLACED ON UNDISTURBED EARTH. THE CROWN OF THE ROOT BALL AND FLARE OF THE PLANT TRUNK OR STEM SHOULD BE AT GROUND LEVEL. ROOT FLARE AT BASE OF TREE IS TO BE VISIBLE AFTER PLANTING.
- BURLAP SHOULD BE REMOVED FROM AT LEAST THE TOP ONE THIRD OF THE ROOT BALL. ALL WIRES AND NON-BIODEGRADABLE MATERIAL SHOULD BE REMOVED COMPLETELY FROM THE ROOT BALL.
- BACKFILL SHOULD CONSIST OF A MINIMUM OF 50% OF THE ORIGINAL SOIL EXCAVATED FROM THE PLANTING HOLE. UNLESS THE CONDITIONS OF THE EXCAVATED MATERIAL WARRANT REPLACEMENT OF SIGNIFICANT AMENDMENTS.
- PEAT MOSS IS NOT RECOMMENDED FOR USE AS MULCH OR AS A SOIL AMENDMENT IN BACKFILL.
- THREE (3) INCHES OF MULCH SHOULD BE SPREAD OVER THE PLANTING HOLE. THE MULCH SHOULD BE KEPT AWAY FROM THE TRUNK OF TREES.
- TREES SHOULD NOT BE STAKED UNLESS ABSOLUTELY NECESSARY. IF TREES ARE TO BE STAKED, THE GUY WIRES SHOULD BE LEFT LOOSE SO THAT THE TREE HAS A CHANCE TO ADAPT TO THE SITE CONDITIONS. STAKES AND WIRES SHOULD BE REMOVED FROM THE TREES WITHIN ONE YEAR.
- TREE WRAPPING IS NOT RECOMMENDED UNLESS SPECIFICALLY REQUIRED.
- ALL LANDSCAPING AS SHOWN ON AN APPROVED PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE AND QUALITY AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL IRRIGATION SYSTEM AS PER TOWN STANDARDS AND SPECIFICATIONS.
- PLANTINGS WITHIN THE ROAD FRONTAGE AND RESIDENTIAL BUFFERS ARE TO BE MAINTAINED WITH AN IRRIGATION SYSTEM. FERTILIZERS & OTHER REQUIRED MATERIALS TO MAINTAIN A NEAT & HEALTHY APPEARANCE.
- PLANTINGS IN ONE ROW OF THE DOUBLE STAGGERED HEDGEROW SHALL BE STAGGERED FROM PLANTINGS IN THE SECOND ROW SO AS TO FORM THE CORNERS OF AN EQUILATERAL TRIANGLE WITH SEVEN (7) FOOT ON CENTER SPACING THROUGHOUT.
- ALL DISTURBED AREAS NOT SPECIFICALLY IDENTIFIED FOR IMPROVEMENTS ARE TO BE RESTORED WITH 4" OF TOPSOIL AND GRASS SEED.
- THERE SHALL BE NO PLANT SUBSTITUTIONS UNLESS AUTHORIZED BY STAFF OF THE BROOKHAVEN PLANNING AND ENVIRONMENTAL DEPARTMENT.
- EXISTING VEGETATION AS SHOWN ON THIS PLAN SHALL BE RETAINED UNLESS SPECIFIED AS OTHER.



**LABCREW ENGINEERING, P.C.**  
 SITE DESIGN/PLANNING/CIVIL ENGINEERING  
 460 HAWKINS AVENUE  
 RONKONKOMA, NEW YORK 11779  
 TELEPHONE: (631) 674-4881  
 LABCREW@OPTONLINE.NET



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**4K PROPERTY MANAGEMENT LLC**  
 217 MIDDLE COUNTRY ROAD  
 MIDDLE ISLAND, NY 11953

**LANDSCAPING PLAN**

SCT#W: 0200 - 400.00 - 06.00 - 021.00.100

NO.	DATE	REVISION
1	1/14/22	REVISE LAYOUT PER OWNER
2	5/9/23	TOWN COMMENTS
3	7/21/23	COMMENTS
4	8/31/23	REV SIGN LOG, DUMPSITE
5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

PROJECT No.	21-113
DRAWN BY	CTN
CHECKED	CL
DATE	January, 2022
SCALE	1" = 30'

**LAN-1**

SHEET NO. 5 OF 9

**TABLE OF CONTENTS:**

SHEET #:	SHEET TITLE:
1	AL-1 ALIGNMENT PLAN
2	SAN-1 SANITARY PLAN
3	GRD-1 DRAINAGE AND GRADING PLAN
4	LIG-1 LIGHTING PLAN
5	LAN-1 LANDSCAPE PLAN
6	MRP-1 MATERIALS REMOVAL PLAN
7	ECP-1 EROSION CONTROL PLAN
8	DET-1 SITE DETAILS
9	DOT-1 N.Y.S. DOT PLAN

**SURVEY PREPARED BY:**  
 THOMAS MATARAZZO LAND SURVEYOR  
 235 SPRINGMEADOW DRIVE, HOLBROOK, NY 11741  
 PHONE: (631) 472-0968 DATE: FEBRUARY 18, 2019



### TEST HOLE DATA

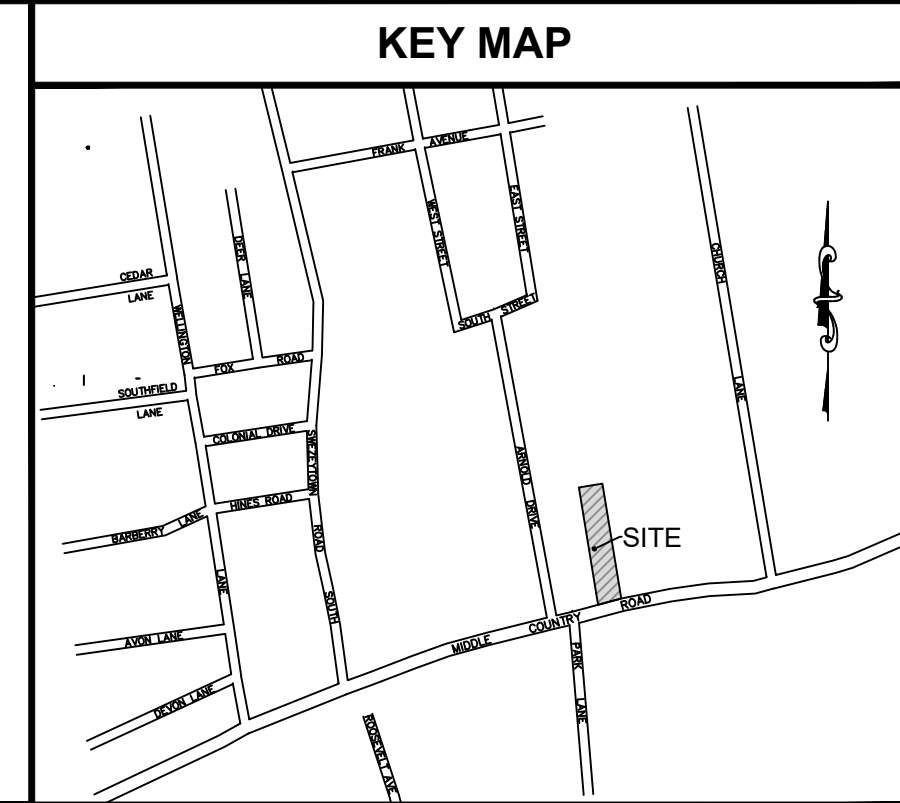
EL. 106.0	0.0'	PALE BROWN SILT (ML)
EL. 103.0	3.0'	PALE BROWN SILTY SAND (SM)
EL. 91.0	15.0'	PALE BROWN FINE TO MEDIUM SAND (SP)
EL. 78.0	28.0'	NO WATER ENCOUNTERED NAVD85 DATUM

TEST HOLE DATA BY:  
MCDONALD GEOSCIENCE  
P.O. BOX 1000  
SOUTHOLD, NY 11971  
DATE: 9/17/2019

### SYMBOL KEY

N.T.S.

	CATCH BASIN		UTILITY POLE
	GAS VALVE		GUY WIRE
	WATER VALVE		WETLANDS
	MANHOLE COVER		SKIN
	DRAINAGE MANHOLE COVER		WELL
	SEWER MANHOLE COVER		RECT. DROP INLET
	LIGHT POST		DROP INLET
	MONUMENT		ELECTRIC BOX
	ROOF LEADER		CABLE BOX
	PIPE		TELEPHONE BOX
	DRILL HOLE		TRAFFIC SIGNAL BOX
	HYDRANT		WETLANDS FLAG
	WATER METER		HANDICAPPED PARKING
	BOLLARD		DOOR LOCATION
	PROPOSED ELEVATION		
	EXISTING ELEVATION		



# LABCREW ENGINEERING, P.C.

SITE DESIGN/PLANNING/CIVIL ENGINEERING

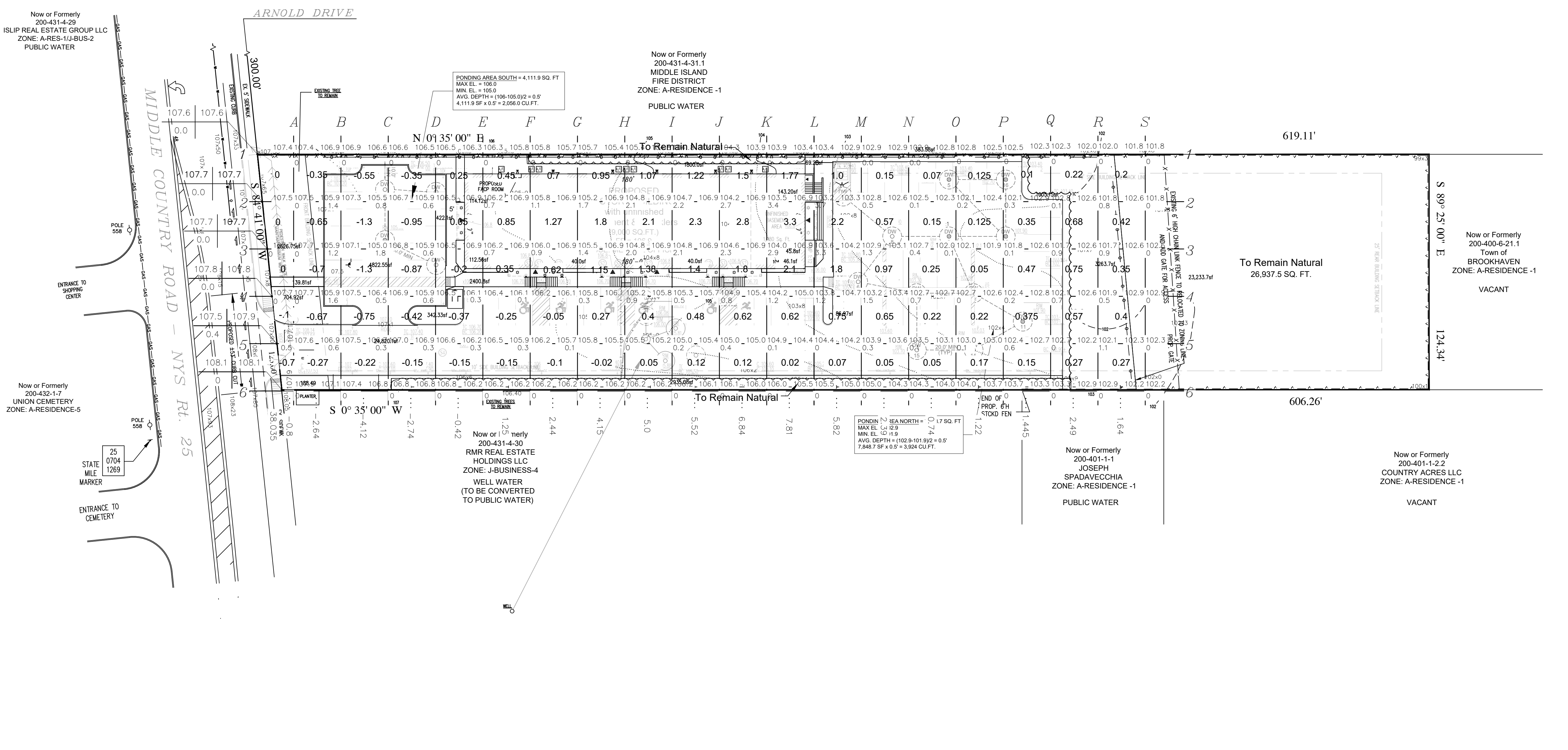
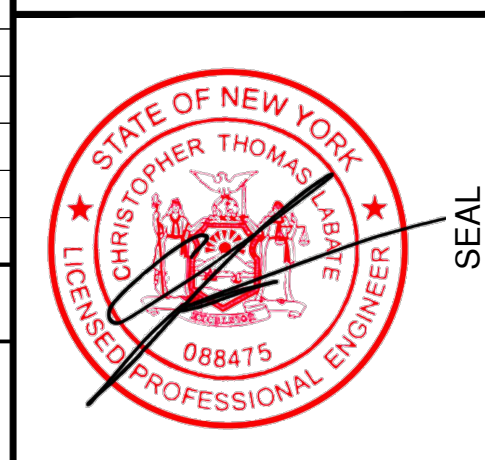
460 HAWKINS AVENUE  
ROCKY HILL, NEW YORK 11779  
TELEPHONE: (631) 674-4881  
LABCREW@OPTONLINE.NET

### CUT / FILL KEY

	PROPOSED GRADE		EXISTING GRADE
	DEPTH OF CUT		DEPTH OF FILL

### SITE CRITERIA

SITE DATA:			
SITE AREA	1.748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA		0	SQ.FT.
PROPOSED BUILDING AREA		9,000	SQ.FT.
TOTAL BUILDING G.F.A.		9,000	SQ.FT.
EXISTING F.A.R.		0	%
PROP. F.A.R.		11.8	%
PROP. G.F.A.R.		11.8	%
PARKING REQUIRED		60	STALLS
PARKING PROVIDED		63	STALLS
ZONE		J-BUS-2/A-RES-1	
USE		MEDICAL OFFICES	



### EXCESS MATERIAL CALCULATIONS:

CELL AREA: 50' x 50' = 2,500 SQ. FT.  
AVERAGE DEPTH OF IRREGULAR CELLS:  
AREA OF CELL / 2,500 x AVERAGE CUT/FILL = AVERAGE DEPTH PER 2,500 SQ. FT.

VOLUME OF FILL FOR SITE GRADING:  
CELL AREA: 25' x 25' = 625 SQ. FT.  
AVERAGE DEPTH OF IRREGULAR CELLS:  
AREA OF CELL (625) x AVERAGE CUT/FILL = AVERAGE DEPTH PER 625 SQ. FT.

SUM OF DEPTH CUT/FILL x 625 SQ. FT. = TOTAL CU. FT.  
38,035 (FILL) x 625 SQ. FT. = 23,771.9 CU. FT.  
23,771.9 CU. FT. / 27 CU. FT. / CU. YD. = 880.4 CUBIC YARDS OF FILL REQD.

VOLUME OF MATERIAL REMOVED FROM BUILDING:  
9000 SQ. FT. (BUILDING SLAB) x 0.33 FT. = 4,500 CU. FT.  
460 LIN. FT. (BILD FOUNDATION) x 4.34 SQ.FT./FT. = 1,996.4 CU. FT.  
TOTAL CU. FT. = 4,500 + 1,996.4 = 6,496.4 CU. FT.  
6,496.4 CU. FT. / 27 CU. FT. / CU. YDS. = 240.6 CUBIC YARDS

VOLUME OF MATERIAL REMOVED FROM PAVING AND SITE UTILITIES:  
PAVEMENT 30,096 SQ. FT. x 0.92 FT. = 27,688.3 CU. FT.  
SIDEWALK 24.3 SQ.FT. x 0.33 FT. = 7.9 CU. FT.  
CONC. CURB 1,379 LIN. FT. x 75 S.F. / FT. = 1,034.3 CU. FT.  
8" ROOF LEADER 60 LIN. FT. x 0.34' = 20.6 CU. FT.  
15" DRAINAGE LIN. FT. x = 126.9 CU. FT.  
DRYWELLS 16 x 8' x 6' x 10' = 12,566.4 CU. FT.  
TOTAL CU.FT. = 27,688.3 + 7.9 + 1,034.3 + 20.6 + 126.9 + 12,566.4 = 42,154.1 CU. FT.  
42,154. CU. FT. / 27 CU. FT. / CU. YD. = 1,561.3 CUBIC YARDS

TOTAL VOLUME OF MATERIAL TO BE REMOVED:  
240.6 CU. YDS. + 1,561.3 CU. YDS. = 1,801.9 CU. YDS.  
921.5 CUBIC YARDS OF MATERIAL TO BE REMOVED.

NOTE: EXCESS MATERIAL TO BE REMOVED AND DISPOSED AT DEC APPROVED LOCATION.

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4K PROPERTY MANAGEMENT LLC 217 MIDDLE COUNTRY ROAD MIDDLE ISLAND, NY 11953	EXCESS MATERIAL PLAN
PROJECT	TITLE

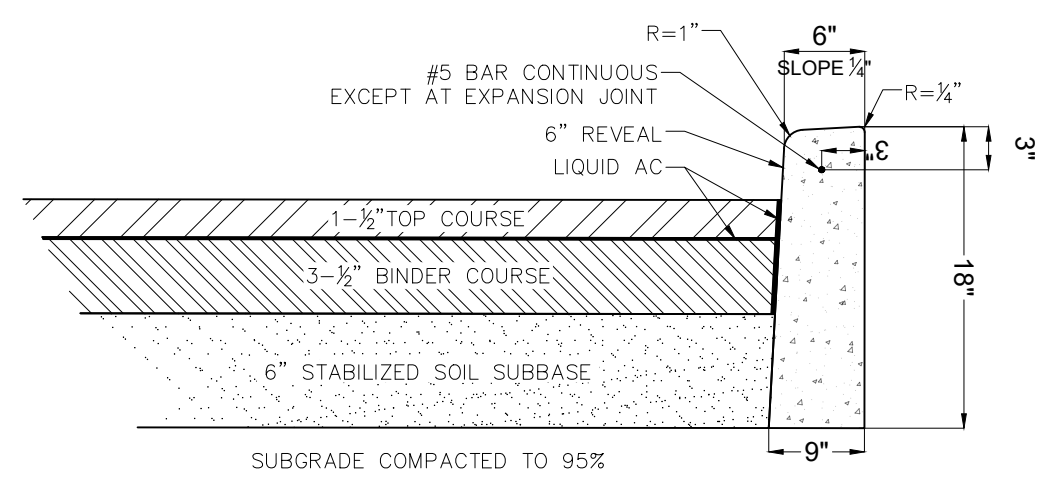
NO.	DATE	REVISION
1	1/14/22	REVISE LAYOUT PER OWNER
2	5/9/23	TOWN COMMENTS
3	7/21/23	COMMENTS
4	8/31/23	REV SIGN LOG, DUMPSTER
5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

PROJECT No.	21-113
DRAWN BY	CTN
CHECKED	CL
DATE	January, 2022
SCALE	1" = 30'

CUT/FILL GRID NOT TO BE USED FOR GRADING

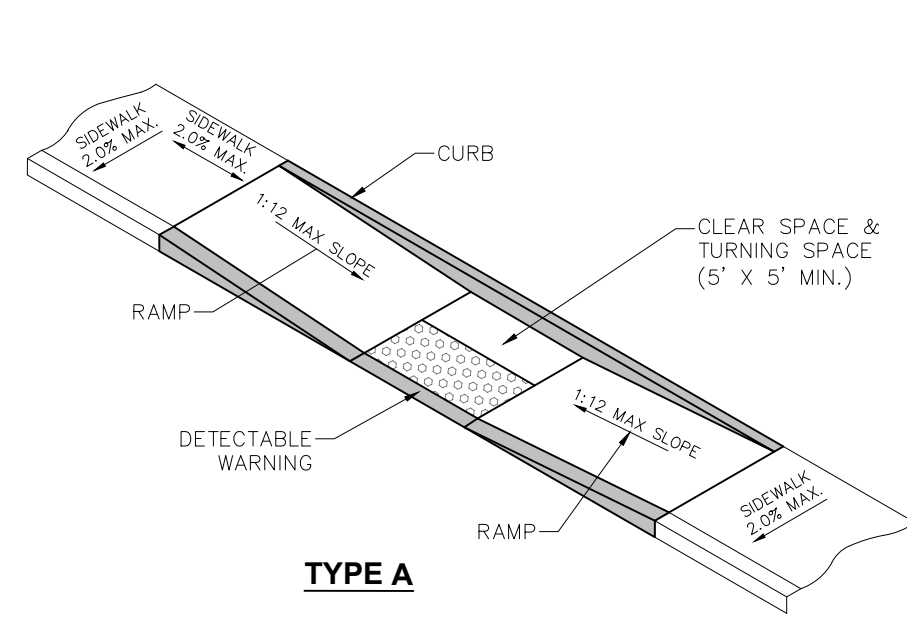
SURVEY PREPARED BY:  
THOMAS MATARAZZO LAND SURVEYOR  
235 SPRINGMEADOW DRIVE, HOLBROOK, NY 11741  
PHONE: (631) 472-0968 DATE: FEBRUARY 18, 2019





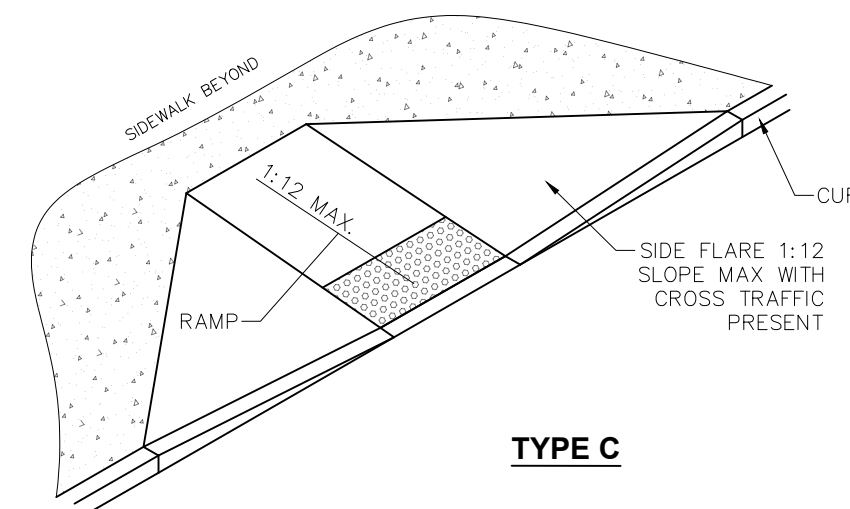
- NOTES:
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  2. CONCRETE SHALL BE A MONOLITHIC POUR, MUST USE FORMS FRONT AND REAR.
  3. CONCRETE CURE 14 DAYS MIN. BEFORE PAVING MAY BEGIN.
  4. EXPANSION JOINTS 5' MIN., 20' MAX.

**ON-SITE CONC. CURB & PAVEMENT DETAIL**  
N.T.S.

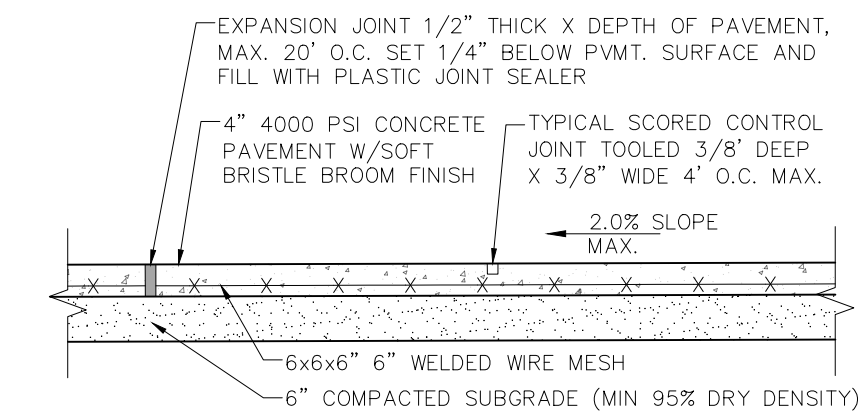


- NOTE:
1. THE MAXIMUM SLOPE OF A SIDEWALK CURB RAMP IN NEW CONSTRUCTION SHALL BE 1:12. IF SPACE LIMITATIONS ON EXISTING SITES PROHIBIT THE USE OF 1:12 THE FOLLOWING SLOPES AND RISES MAY BE USED:
    - A) STEEPER THAN 1:12 (8.33%) BUT NO STEEPER THAN 1:10 (10%) 6" MAX. RISE, 5' MAX. RUN.
    - B) STEEPER THAN 1:10 (10%) BUT NO STEEPER THAN 1:8 (12.5%) 3" MAX. RISE, 2' MAX. RUN.
    - C) A SLOPE STEEPER THAN 1:8 (12.5%) IS NOT ALLOWED.
  2. THE MIN. WIDTH OF A SIDEWALK CURB RAMP SHALL BE FIVE (5) FEET, EXCLUSIVE OF FLARED SIDES.
  3. ALL SIDEWALK CURB RAMP SHALL HAVE FLUSH, SMOOTH TRANSITIONS TO THE ADJACENT STREET OR HIGHWAY SURFACE.
  4. THE SURFACE OF ALL SIDEWALK CURB RAMP SHALL BE STABLE, FIRM, AND SLIP RESISTANT. (E.G. A COARSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE ON CEMENT CONCRETE CURB RAMP).
  5. EXISTING CONCRETE SHALL BE SAWCUT FULL DEPTH, 6. HANDICAP RAMP SHALL CONFORM TO REGULATIONS SPECIFIED IN THE NEW YORK UNIFORM BUILDING CODE AND ANSI A-117.1, LATEST REVISION.
  6. MONOLITHIC POUR AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI CONCRETE.
  7. 4" THICK CONCRETE, 6" STABILIZED BASE.
  8. 2% SLOPE MAXIMUM.

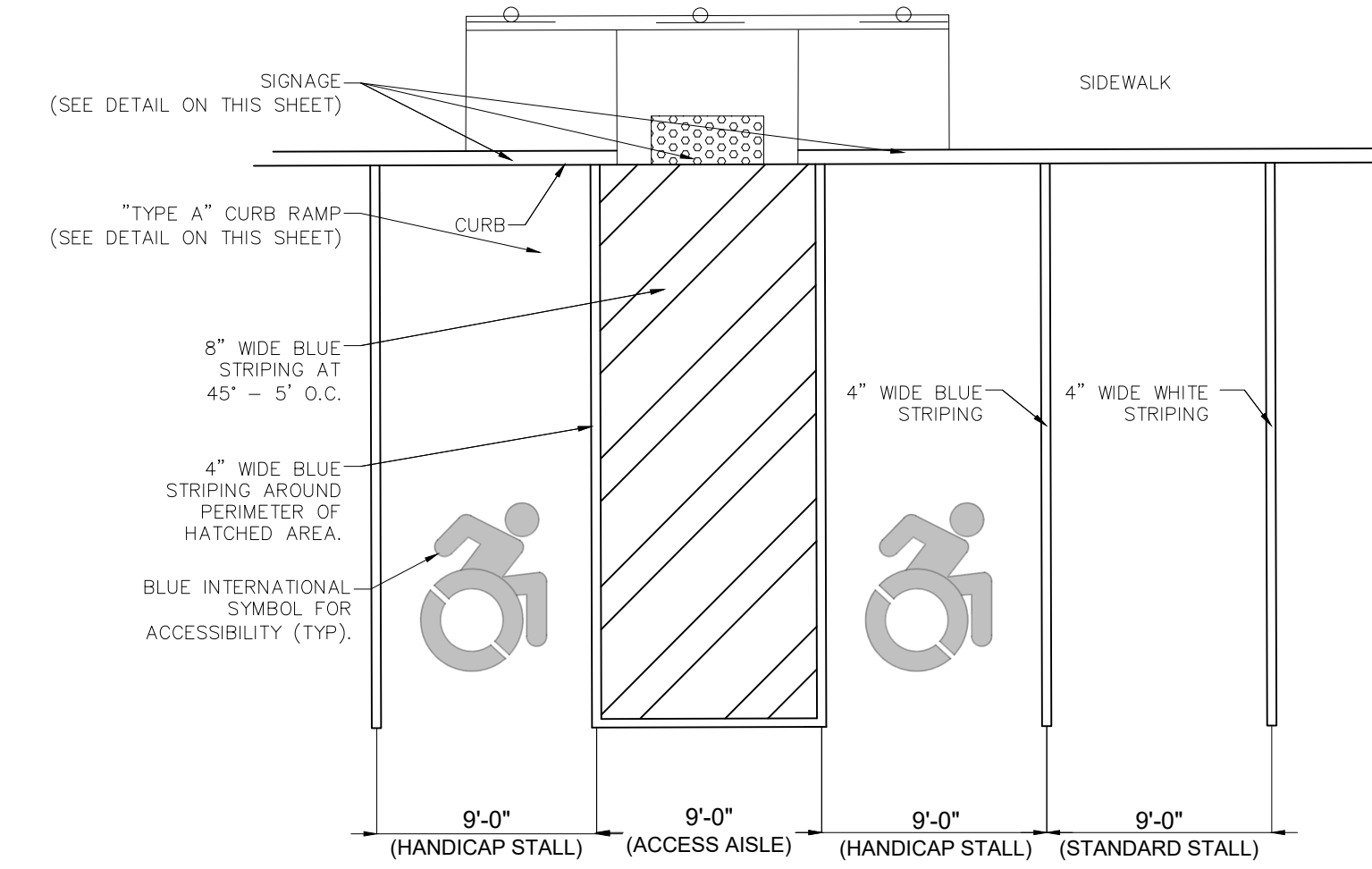
**TYPE B**  
**CURB RAMP DETAILS**  
N.T.S.



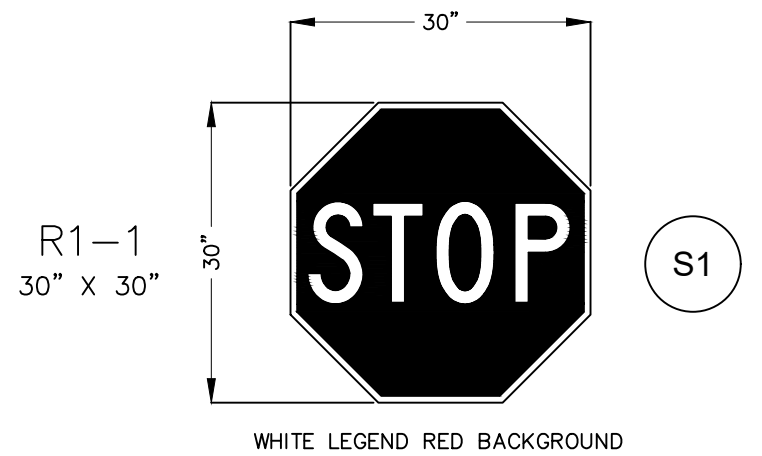
**TYPE C**



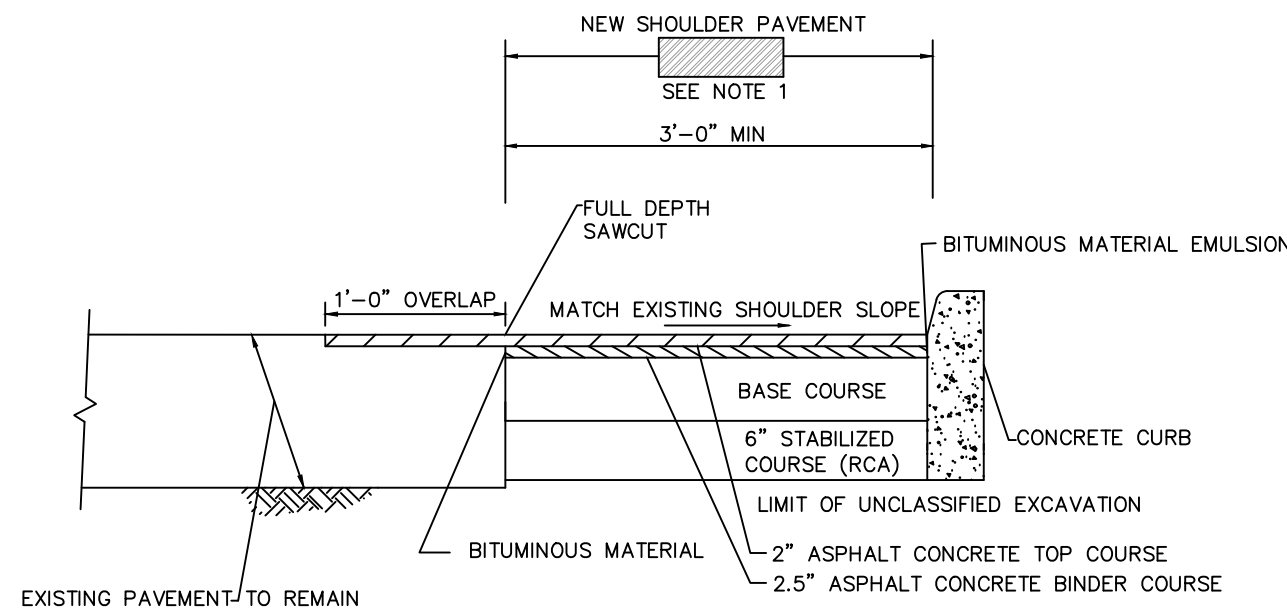
**CONCRETE WALK DETAIL**  
N.T.S.



**STRIPING DETAIL**  
N.T.S.

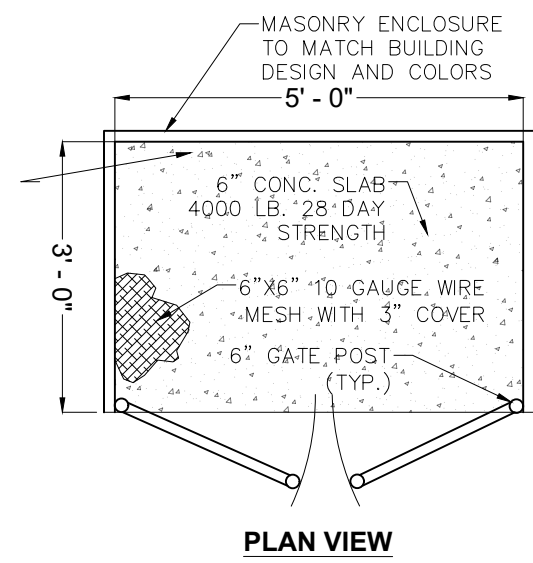


**STOP SIGN**  
N.T.S.

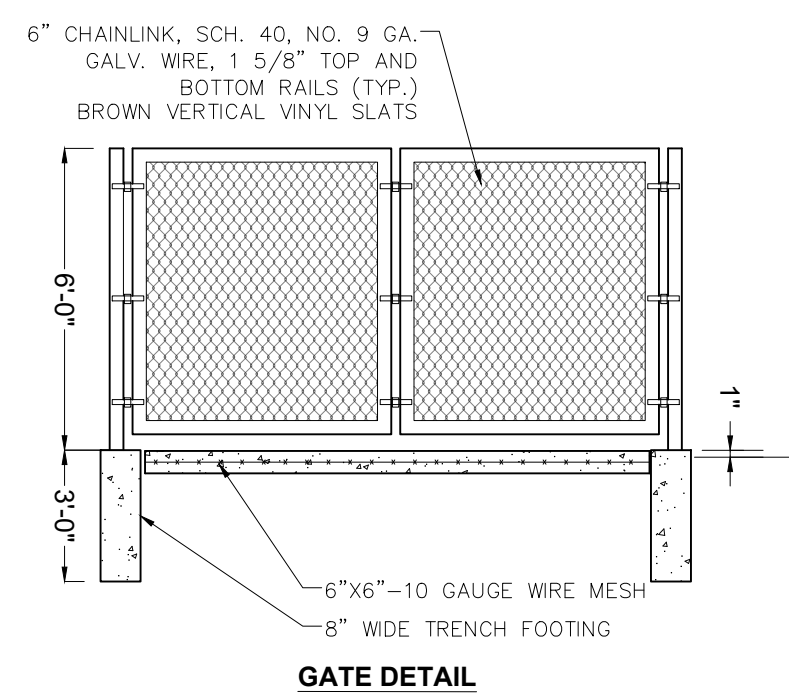


**OFF SITE ASPHALT RESTORATION DETAIL**  
N.T.S.

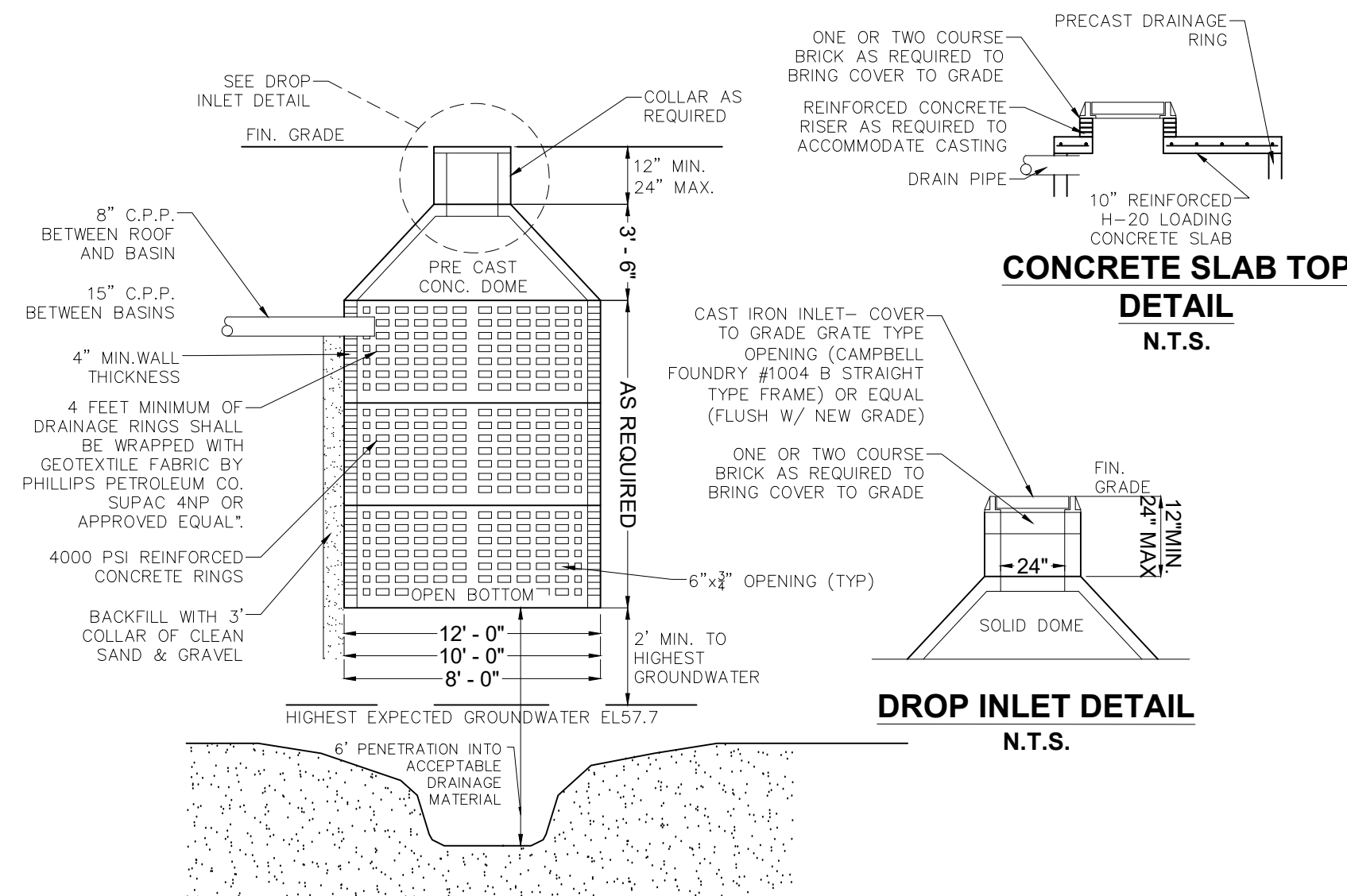
- NOTES:
1. SEE PLAN FOR LIMITS OF PAVEMENT CONSTRUCTION.
  2. SEE PLAN FOR LIMITS OF NEW CONCRETE CURB. A FULL DEPTH TACK COAT SHALL BE PLACED ALONG THE FACE OF NEW CURB ADJACENT TO NEW ASPHALT PAVEMENT.
  3. TACK COAT REQUIRED BETWEEN ALL LIFTS REGARDLESS WHEN PLACED.



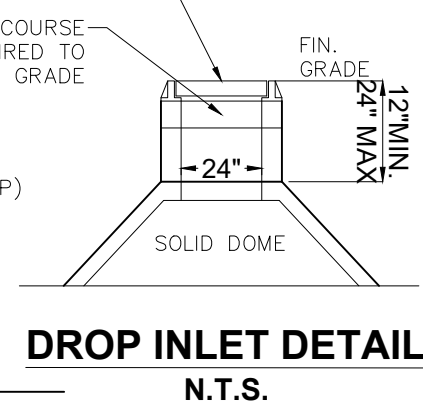
**DUMPSTER ENCLOSURE DETAIL**  
N.T.S.



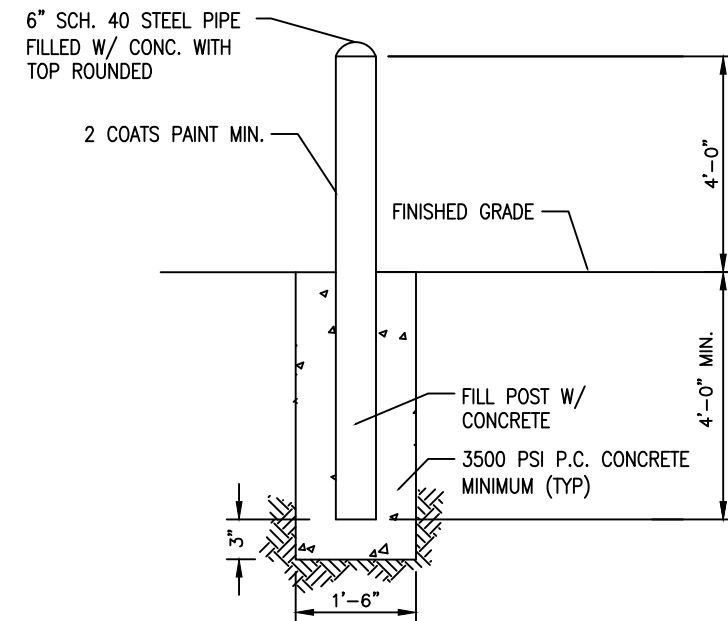
**GATE DETAIL**



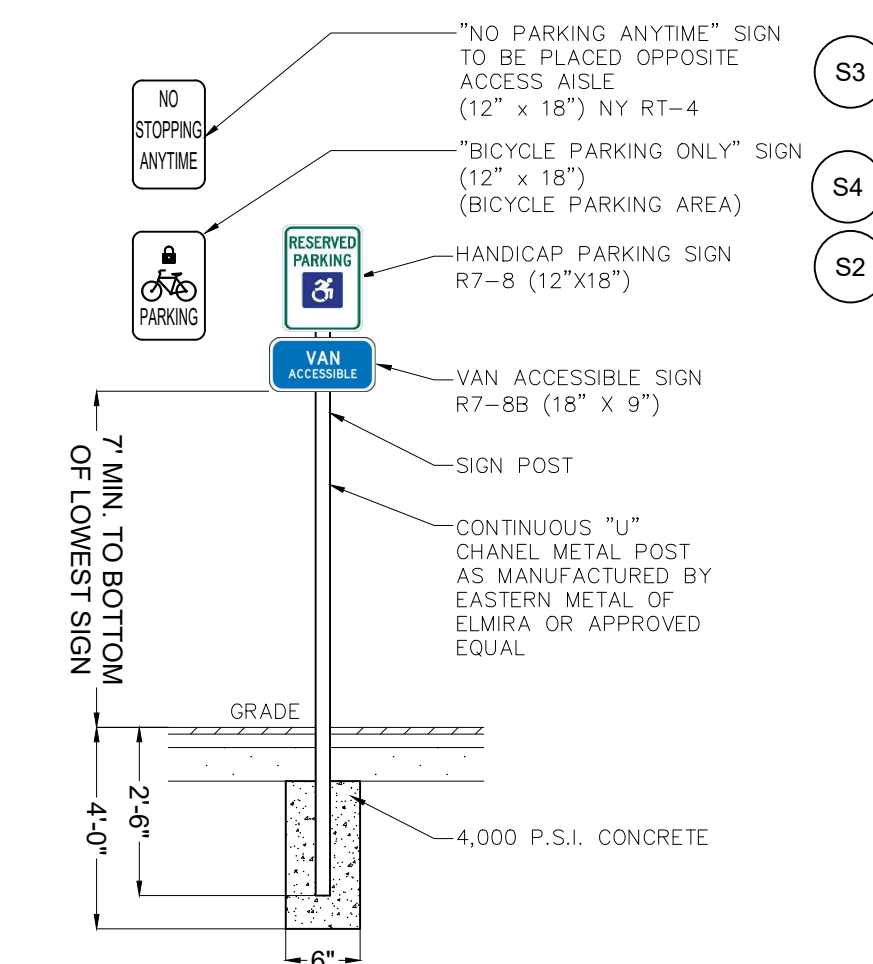
**CONCRETE SLAB TOP DETAIL**  
N.T.S.



**DROP INLET DETAIL**  
N.T.S.



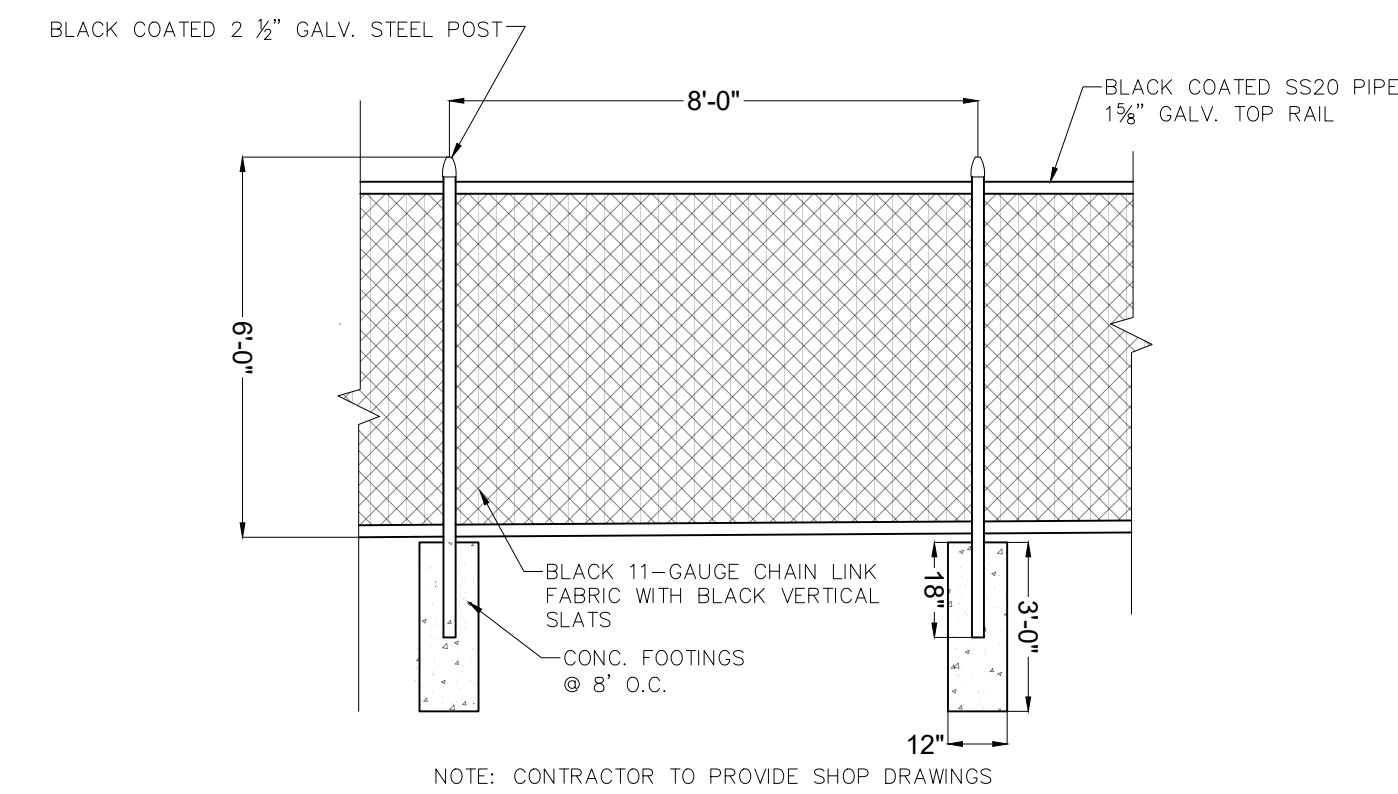
**BOLLARD DETAIL**  
N.T.S.



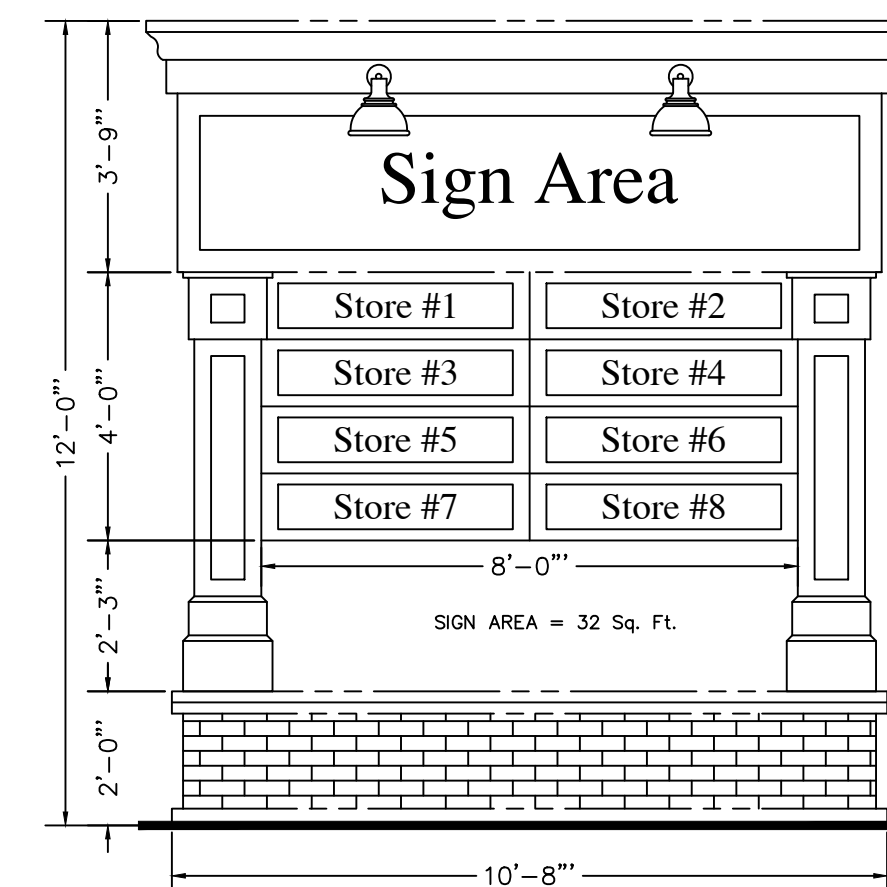
**SIGNAGE DETAIL**  
N.T.S.

LABEL	SIGN TYPE	WORDAGE
S1	R1-1	STOP SIGN
S2	R7-8, R7-8B	HANDICAP PARKING, VAN ACCESSIBLE
S3	R7-1	NO PARKING ANYTIME

SEE SHEET AL-1 FOR LOCATIONS

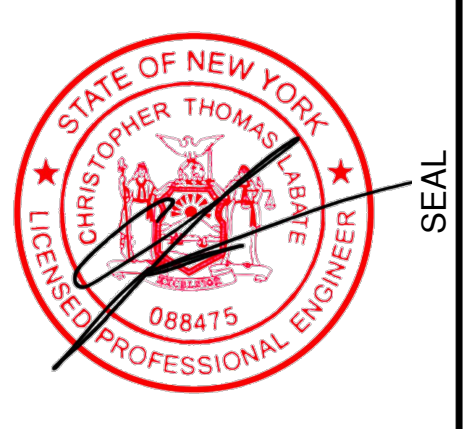


**FENCE DETAIL**  
N.T.S.



**GROUND SIGN**  
N.T.S.

SEE SHEET AL-1 FOR LOCATION

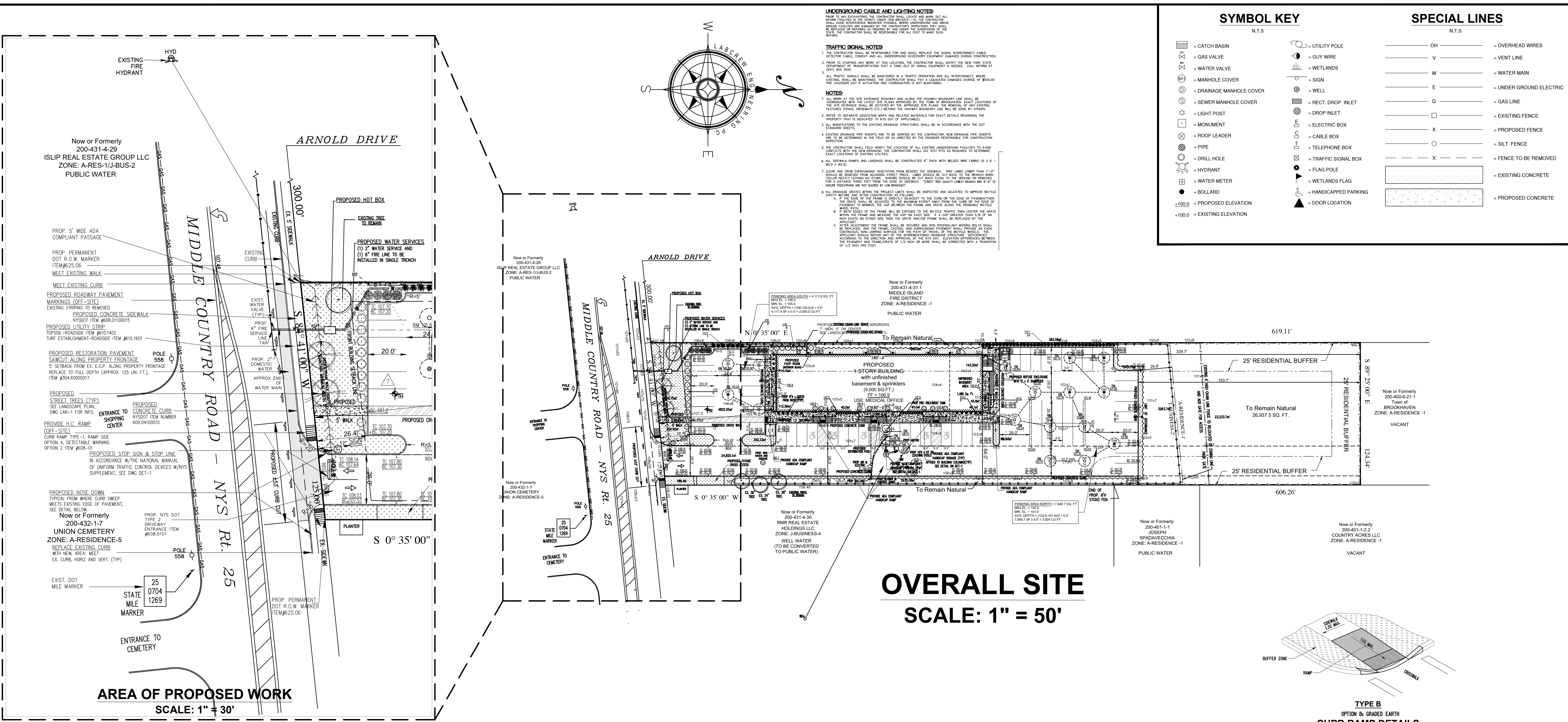


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**4K PROPERTY MANAGEMENT LLC**  
217 MIDDLE COUNTRY ROAD  
MIDDLE ISLAND, NY 11953  
**SITE DETAILS**  
SCTM#: 0200 - 400.00 - 06.00 - 021.001

NO.	DATE	REVISION
1	1/14/22	REVISE LAYOUT PER OWNER
2	5/9/23	TOWN COMMENTS
3	7/21/23	COMMENTS
4	8/31/23	REV SIGN LOG, DUMPSTER
5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

PROJECT No. 21-113  
DRAWN BY: CTN  
CHECKED: CL  
DATE: January, 2022  
SCALE: 1"= 30'



**UNDERGROUND CABLE AND LIGHTING NOTES**

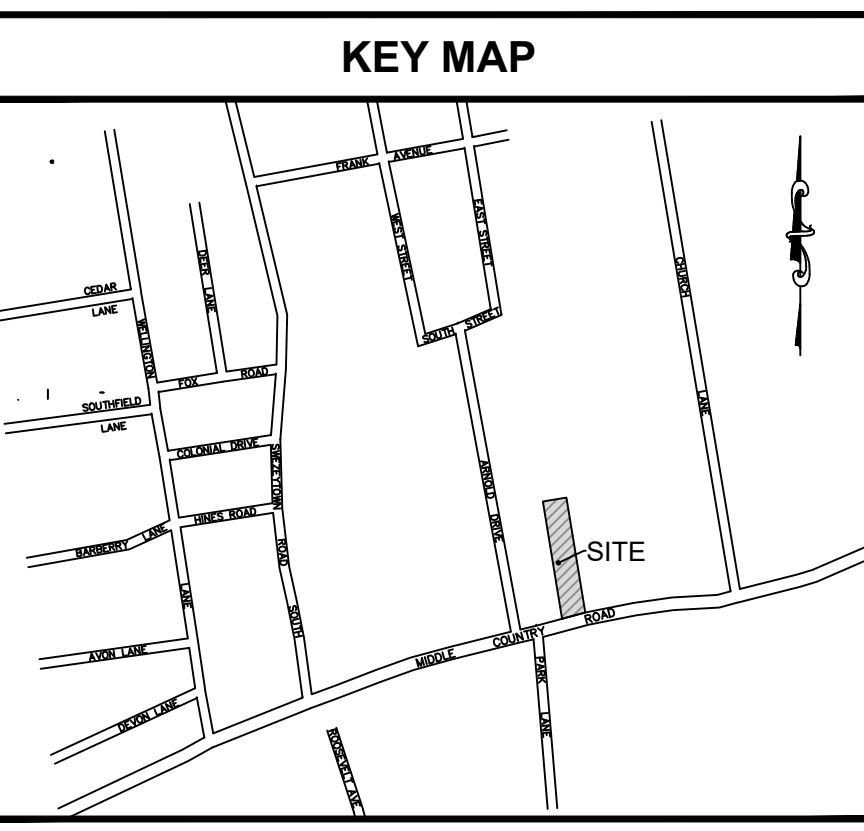
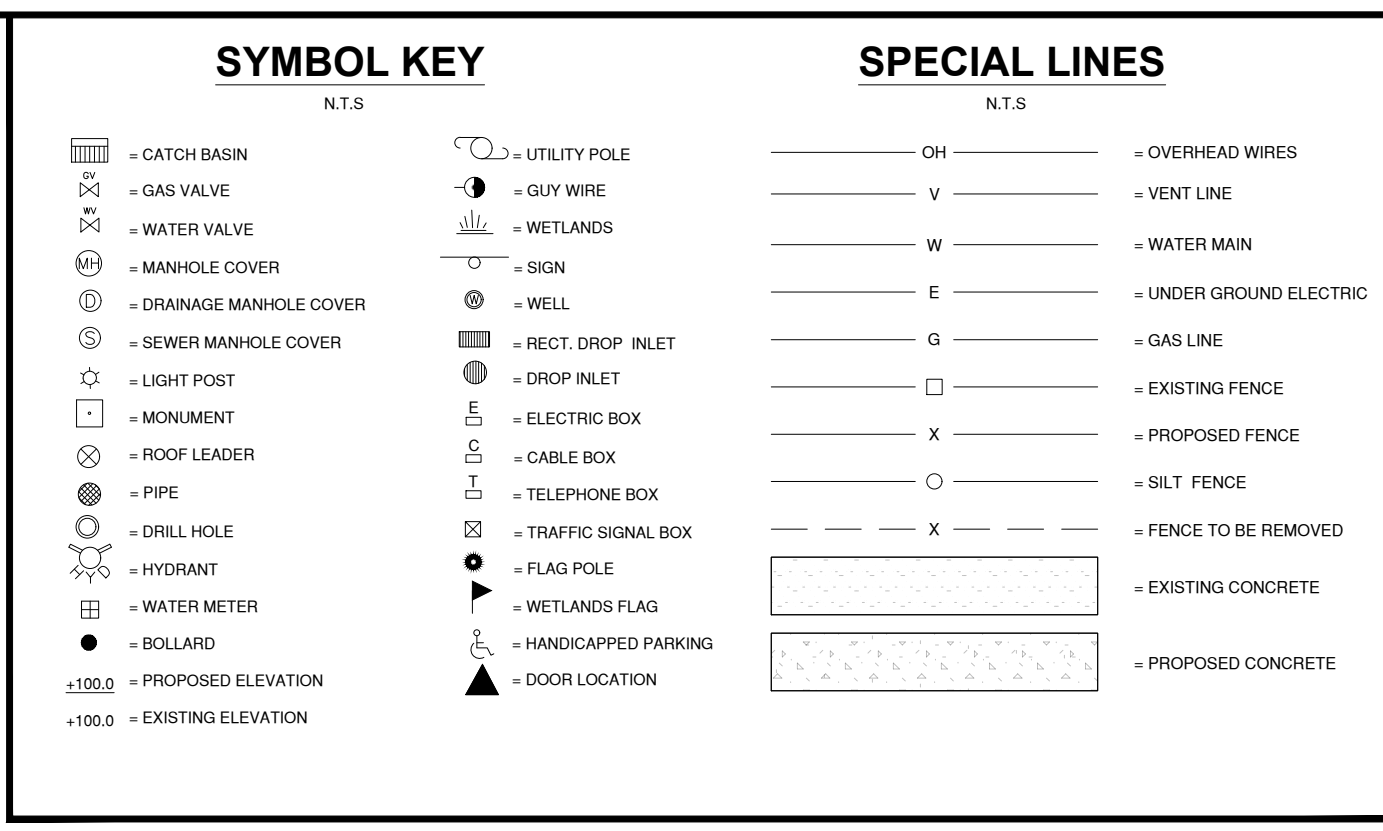
1. ALL UNDERGROUND CABLES AND LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE BY SURFACE TRAFFIC AND OTHER OBSTACLES.
3. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE BY FUTURE CONSTRUCTION WORK.
4. ALL UNDERGROUND CABLES SHALL BE INSTALLED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE BY FUTURE CONSTRUCTION WORK.

**TRAFFIC SIGNAL NOTES**

1. ALL TRAFFIC SIGNALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL TRAFFIC SIGNALS SHALL BE INSTALLED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE BY SURFACE TRAFFIC AND OTHER OBSTACLES.
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4. ALL TRAFFIC SIGNALS SHALL BE INSTALLED IN A MANNER THAT WILL PROTECT THEM FROM DAMAGE BY FUTURE CONSTRUCTION WORK.

**NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



**SITE DATA:**

SITE AREA	1.748 ACRES	76,181.2	SQ.FT.
EXISTING BUILDING AREA		0	SQ.FT.
PROPOSED BUILDING AREA		9,000	SQ.FT.
TOTAL BUILDING G.F.A.		9,000	SQ.FT.
EXISTING F.A.R.		0	%
PROP. F.A.R.		11.8	%
PROP. G.F.A.R.		11.8	%
PARKING REQUIRED		60	STALLS
PARKING PROVIDED		63	STALLS
ZONE		JBUS-2/A-RS-1	
USE		MEDICAL OFFICES	

**LABCREW ENGINEERING, P.C.**

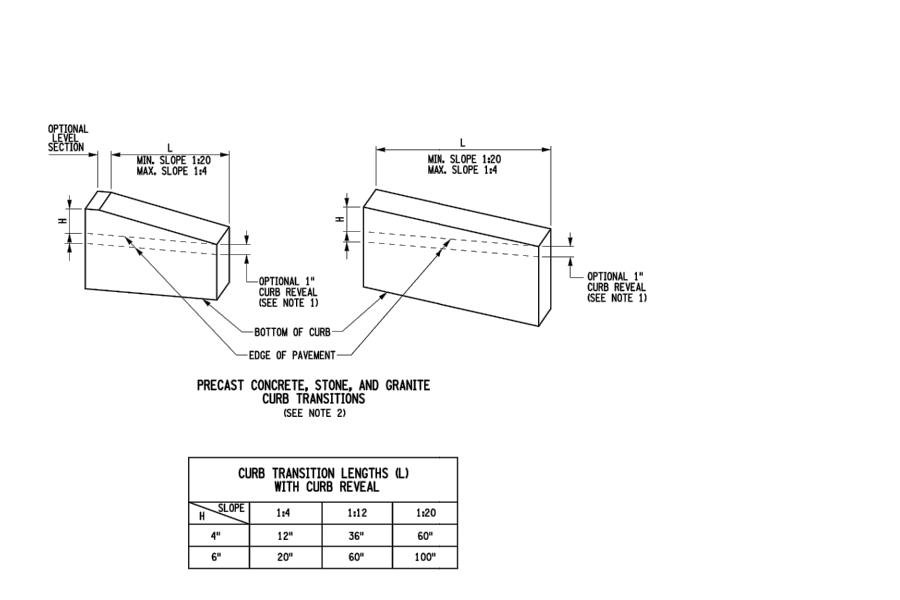
SITE DESIGN/PLANNING/CIVIL ENGINEERING

460 HAWKINS AVENUE  
ROCKY HILL, CONNECTICUT 06067  
TELEPHONE: (860) 676-4881  
LABCREW@OPTONLINE.NET



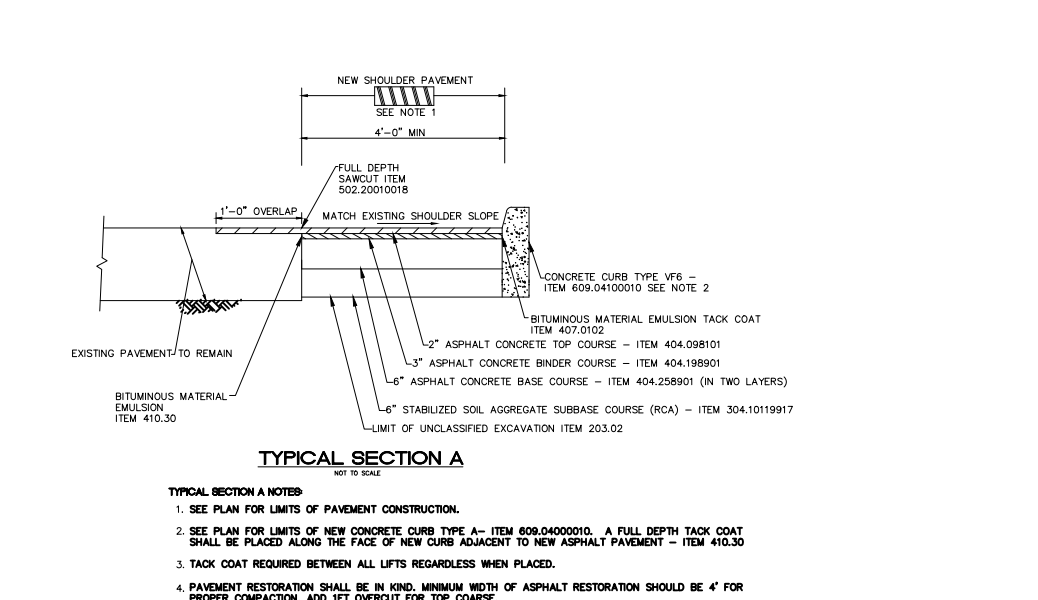
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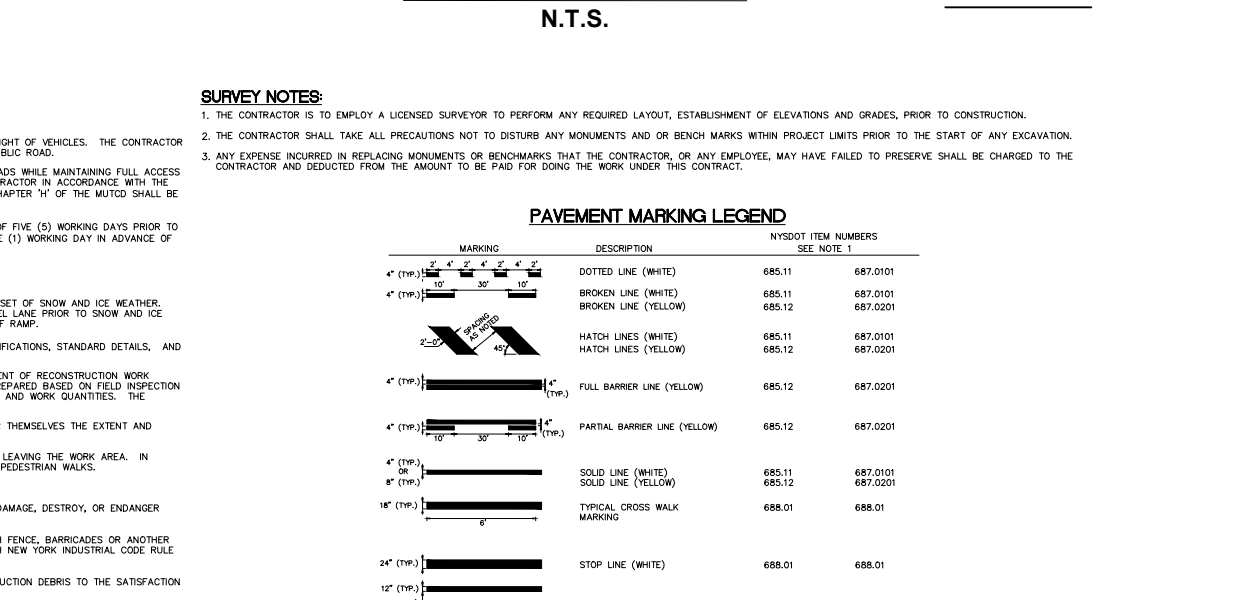
**SHOULDER CLOSURE NOTES**

1. WHEN THE MINIMUM LANE WIDTH OF 10' CANNOT BE MAINTAINED DUE TO A SHOULDER CLOSURE, USE THE DETAIL FOR SHORT OR INTERMEDIATE TERM STATIONARY FLAGGING OPERATION.
2. NO WORK ACTIVITY OR STORAGE OF EQUIPMENT, VEHICLES, OR MATERIAL SHOULD OCCUR WITHIN A BUFFER SPACE. WHEN THE DISTANCE BETWEEN THE ADVANCE WARNING SIGNS AND WORK IS 2 MILES TO 3 MILES, A SUPPLEMENTAL DISTANCE PLAQUE (W-3A) SHOULD BE USED WITH THE SHOULDER WORK SIGN (W-50). IF WORK LOCATIONS OCCUR OVER A DISTANCE OF MORE THAN 2 MILES.
3. FOR BARRED VEHICLE USE REQUIREMENTS SEE TABLES NEM-A AND NEM-A ON THE STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL SIGNS AND NOTICES". IN THOSE SITUATIONS WHERE MULTIPLE WORK LOCATIONS EXIST WITHIN A LIMITED DISTANCE MAKE IT PRACTICAL TO PLACE STATIONARY SIGNS, THE DISTANCE BETWEEN THE ADVANCE WARNING SIGN AND WORK SHALL NOT EXCEED 5 MILES.
4. CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 40' IN THE ACTIVE WORKSPACE.
5. TRANSVERSE DEVICES SHALL BE REQUIRED (AS PER 819 STANDARD SPECIFICATIONS) WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 1500'.



**CONTRACTOR NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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**SPECIAL NOTES**

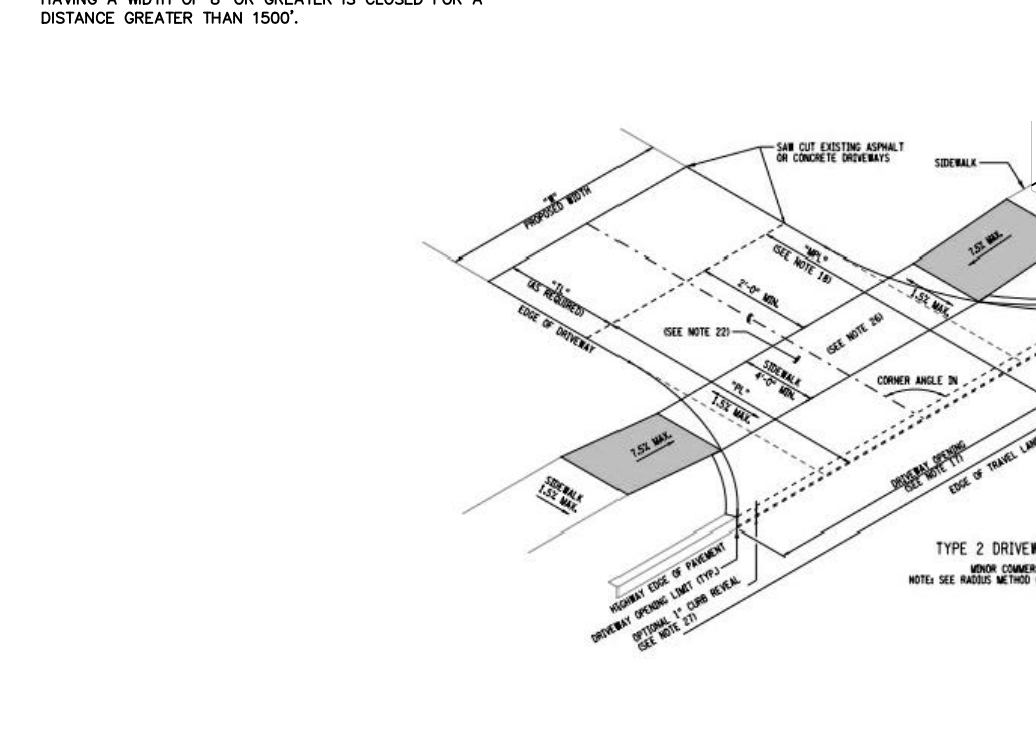
REQUIREMENTS OF THIS NOTE APPLY TO ALL SECTIONS 402 AND SECTION 404 ASPHALT (DMA AND WMA) ITEMS IN THIS CONTRACT.

**PG BINDER**

USE A PG 58-22 (HIGH) MEETING THE REQUIREMENTS OF ASTM D 6374. STANDARD SPECIFICATION FOR PERFORMANCE GRADED ASPHALT BINDER USING MULTIPLE STRESS GRADATION (MSGR) FOR THE PRODUCTION OF HOT MIX ASPHALT MIXTURES FOR THE PROJECT. TERMINAL BLEND CHARGES RUBBER MODIFIER MAY BE USED FOR THIS PG BINDER. WHEN THE TERMINAL BLEND ON PG BINDER IS USED, THE FOLLOWING SHALL APPLY:

- CRUMB RUBBER PARTICLES SHALL BE FINER THAN #20 SIEVE.
- THE CRUMB RUBBER SHALL BE STORAGE-STABLE AND NON-CLUMPING.
- THE DYNAMIC SHEAR RHEOMETER (DSR) SHALL BE SET AT 100°C.
- THE CRUMB RUBBER SHALL BE 50% FREE OF PARTICLES RETAINED ON THE #20 SIEVE AS TESTED IN ACCORDANCE WITH SECTION 5.4 OF M 332.

**USE OF POLYMER MODIFIED ASPHALT (PMA) FOR HOT MIX ASPHALT MIXTURES IS PROHIBITED FOR MATERIALS CONTAINING POLYMER MODIFIER. POLYMER MODIFIED ASPHALT MIXTURES SHALL BE USED AS A PREVENTIVE OR FINISH COURSE. POLYMER MODIFIED ASPHALT MIXTURES SHALL NOT BE USED FOR A FINISH COURSE. POLYMER MODIFIED ASPHALT MIXTURES SHALL NOT BE USED FOR A FINISH COURSE.**

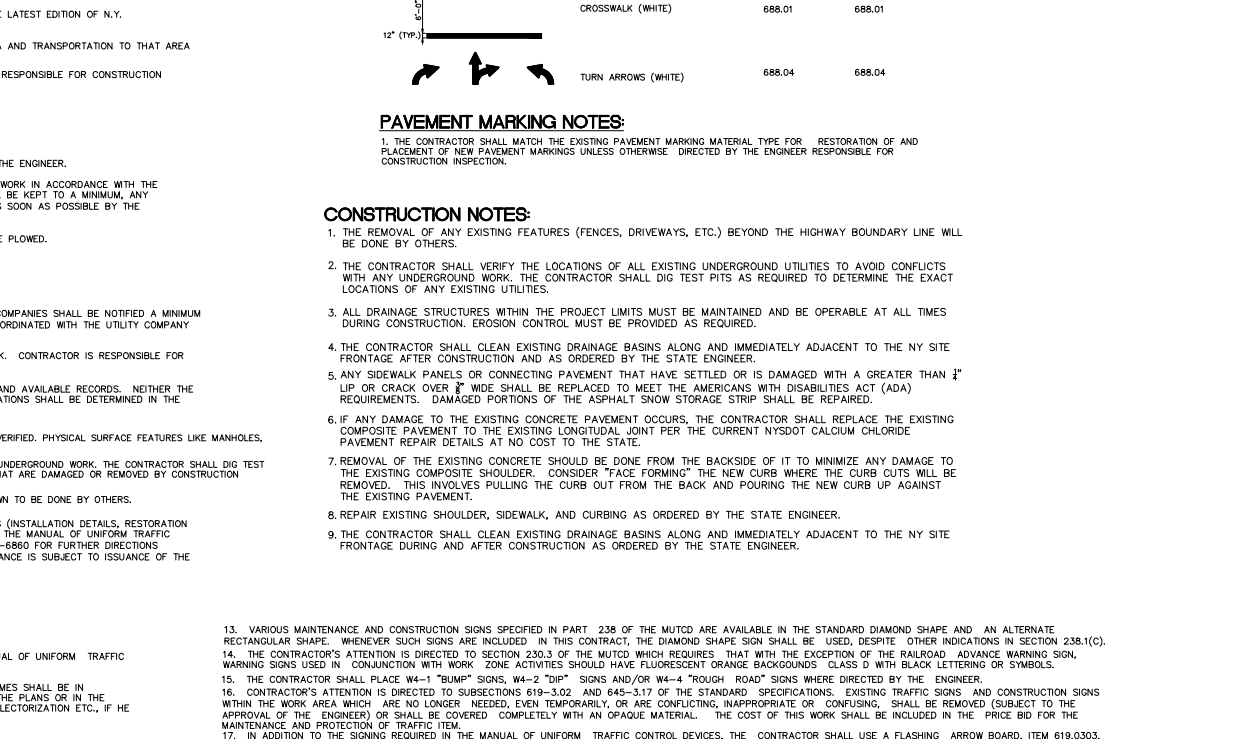


**TRAFFIC MAINTENANCE AND PROTECTION NOTES**

1. MAINTENANCE AND PROTECTION OF TRAFFIC SHOULD BE PROVIDED FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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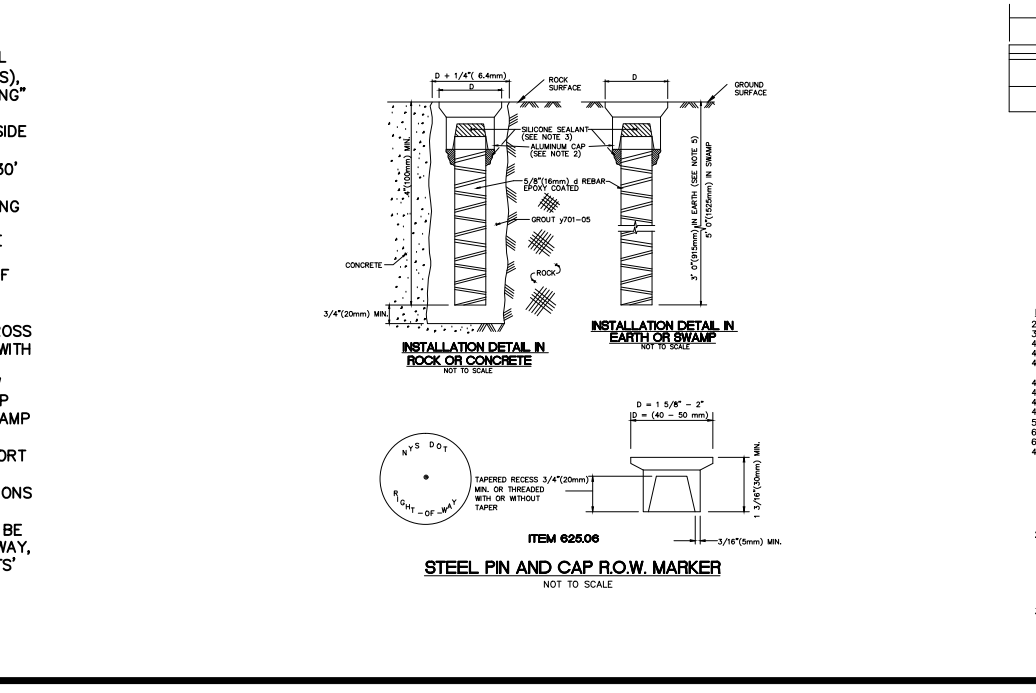
**CONSTRUCTION NOTES**

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4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



**TYPE 2 DRIVEWAY ENTRANCE NOTES**

1. WHERE THERE ARE CONSTRAINTS THAT PREVENT THE CONSTRUCTION OF THE DRIVEWAY OPENING EITHER OF THE LAYOUT METHODS, THE ENGINEER MAY SPECIFY A SMALL CORNER CURB RADIUS OF 2' (OR A "BULL NOSE" CURB ALONG LOW SPEED HIGHWAYS). PROVIDED THE DRIVEWAY OPENING MEETS THE REQUIREMENTS OF THE "DRIVEWAY TABLES" STANDARD SHEET 608-03 SHEET 1.
2. FOR RESIDENTIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 10' FROM THE OUTSIDE EDGE OF THE TRAVEL LANE. FOR MAJOR COMMERCIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 30' FROM THE OUTSIDE EDGE OF THE TRAVEL LANE. IF BEING THE SIDEWALK, THE PAVING LIMIT MAY EXTEND TO THE RIGHT-OF-WAY LINE, WHICHEVER IS GREATER. THE PAVING LIMIT SHALL BE NOTED IN THE DRIVEWAY TABLES OF THE CONTRACT PLANS.
3. ANY PCC SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM THICKNESS OF 4" AND BE REINFORCED WITH #4 BARS AT 18" ON CENTER.
4. TO PREVENT DRIVEWAY GRASSES FROM EXCEEDING THE VALUES IN TABLE 2 - MAXIMUM DRIVEWAY SLOPE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. WHERE DRAINAGE IS CARRIED ABOVE THE CURB, CONSTRUCT THE DRIVEWAY WITH A SHORT SLOPE TO PREVENT RUNOFF FROM POONING AT THE DRIVEWAY ENTRANCE (FLAT DRIVEWAY) OR RUNNING DOWN THE DRIVEWAY (DOWNHILL DRIVEWAY SLOPE). IF CONDITIONS MAKE THE ADDITION OF A SHORT SLOPE IMPRACTICAL, USE 1" CURB REVEAL AND CONTINUE CURB ABOVE THE DRIVEWAY OPENING. TYPICALLY, CURB REVEAL WILL NOT BE CONSTRUCTED IN SLOPE. A CURB REVEAL IS SPECIFIED FOR A SPECIFIC DRIVEWAY. IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS IN THE 'COMMENTS' COLUMN.



**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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**CONSTRUCTION NOTES**

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**PROJECT TITLE**

NO.	DATE	REVISION
1	1/14/22	REVISE LAYOUT PER OWNER
2	5/9/23	TOWN COMMENTS
3	7/21/23	COMMENTS
4	8/31/23	REV SIGN LOG, DUMPSITE
5	1/17/24	SCDHS COMMENTS
6	4/4/24	TOWN COMMENTS

**PROJECT TITLE**

4K PROPERTY MANAGEMENT LLC  
217 MIDDLE COUNTRY ROAD  
MIDDLE ISLAND, NY 11953

**PROJECT TITLE**

NYS DEPARTMENT OF TRANSPORTATION PLAN

SC/TM#: 0200 - 400.00 - 06.00 - 021.001

**PROJECT No.** 21-113

**DRAWN BY** CTN

**CHECKED** CL

**DATE** January, 2022

**SCALE** 1" = 30'

**PROJECT PREPARED BY:**  
THOMAS MATARAZZO LAND SURVEYOR  
235 SPRINGMEADOW DRIVE, HOLBROOK, NY 11741  
PHONE: (631) 472-0968 DATE: FEBRUARY 18, 2019

**SHEET No. 9 OF 9**

**DOT-1**