

THE CRAFTSMAN

919 S WILSON TEMPE, AZ 85277

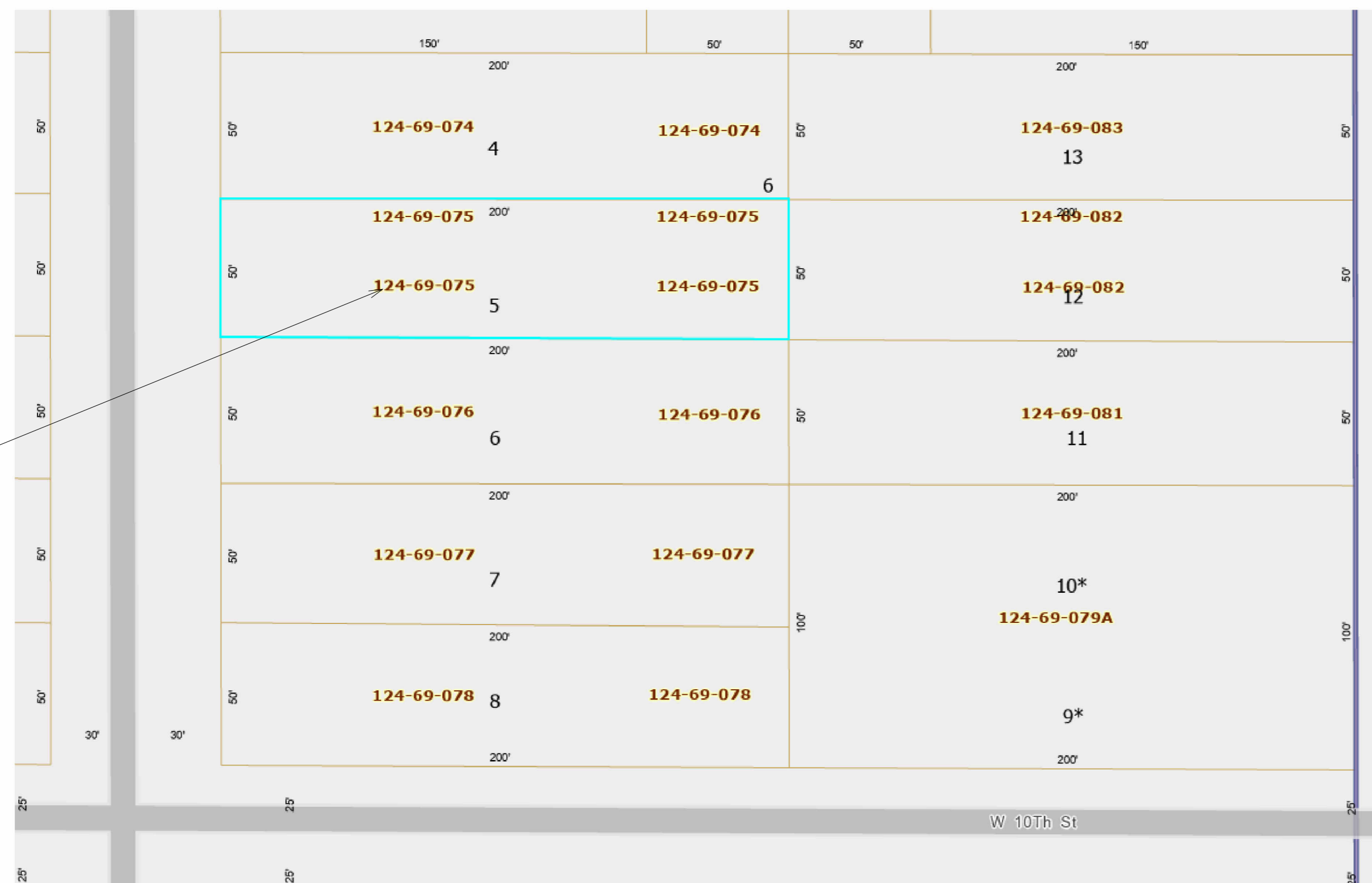
SITE LOCATION
919 S WILSON STREET



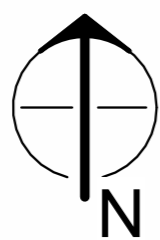
VICINITY MAP



SITE LOCATION
919 S WILSON STREET



AREA PLAN



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G002	CONTEXTUAL AERIAL
ARCHITECTURAL	
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AS105	PRELIMINARY UT. AND LIGHTING PLAN
AS151	TYPICAL SITE DETAILS

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A301	BUILDING SECTIONS
A701	SHADOW STUDY

PROJECT INFORMATION:

OWNER: BRADLAND ENTERPRISES LLC
4450 S RURAL RD
TEMPE, AZ 85282

ARCHITECT: TIM BOYLE DESIGN/
ATMOSPHERE ARCHITECTS
450 N EMERSON
MESA, AZ
917-526-0323
TIM@ATMOSARCH.COM

ENGINEER: T.B.D.

MPE ENGINEERS: T.B.D.

PROJECT DESCRIPTION

PROJECT SCOPE CONSISTS OF (1) NEW THREE-STORY APARTMENT BUILDING. 2 UNITS ARE 2 BEDROOM 2 BATHROOM, 2 UNITS ARE 3 BEDROOM 3 BATHROOM. CARPORT STYLE OPEN PARKING IS PROVIDED AT GROUND LEVEL.



no.	date	description

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919 S WILSON
TEMPE, AZ 85277

PROJECT NO: 23053
DATE: 11/18/2024

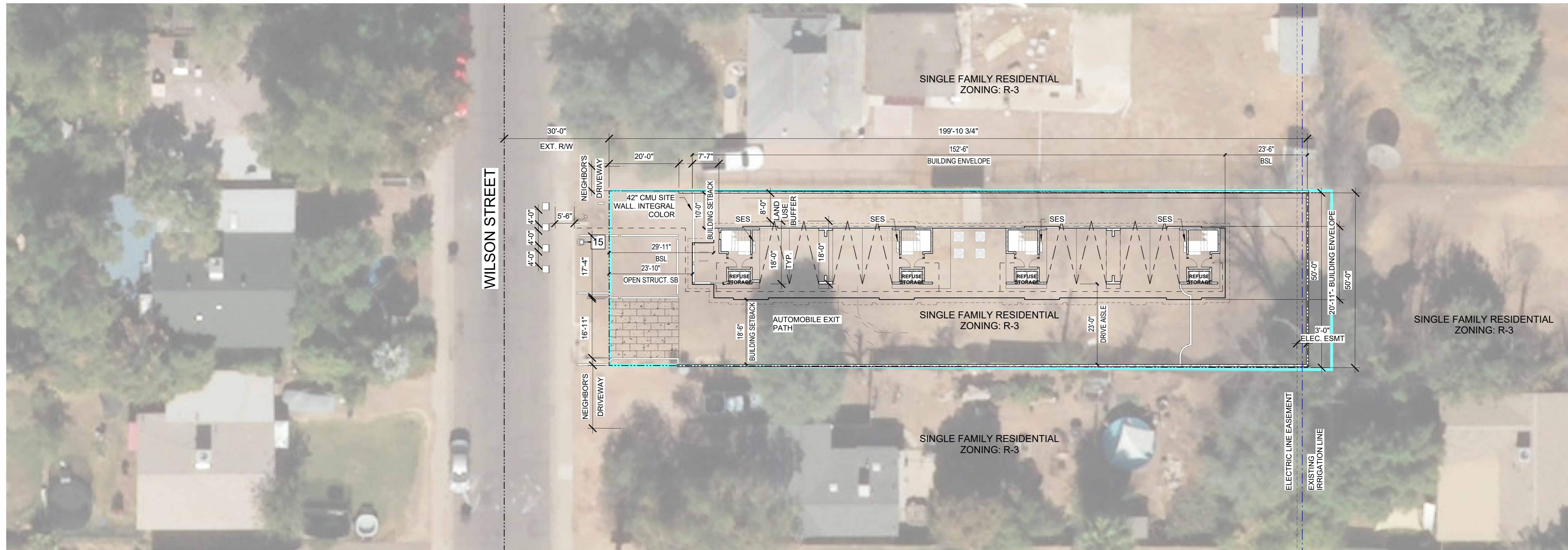


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114 W Main St
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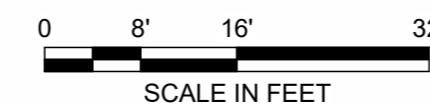
contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

PL230406

COVER SHEET G001



① CONTEXTUAL AERIAL
1/16" = 1'-0"



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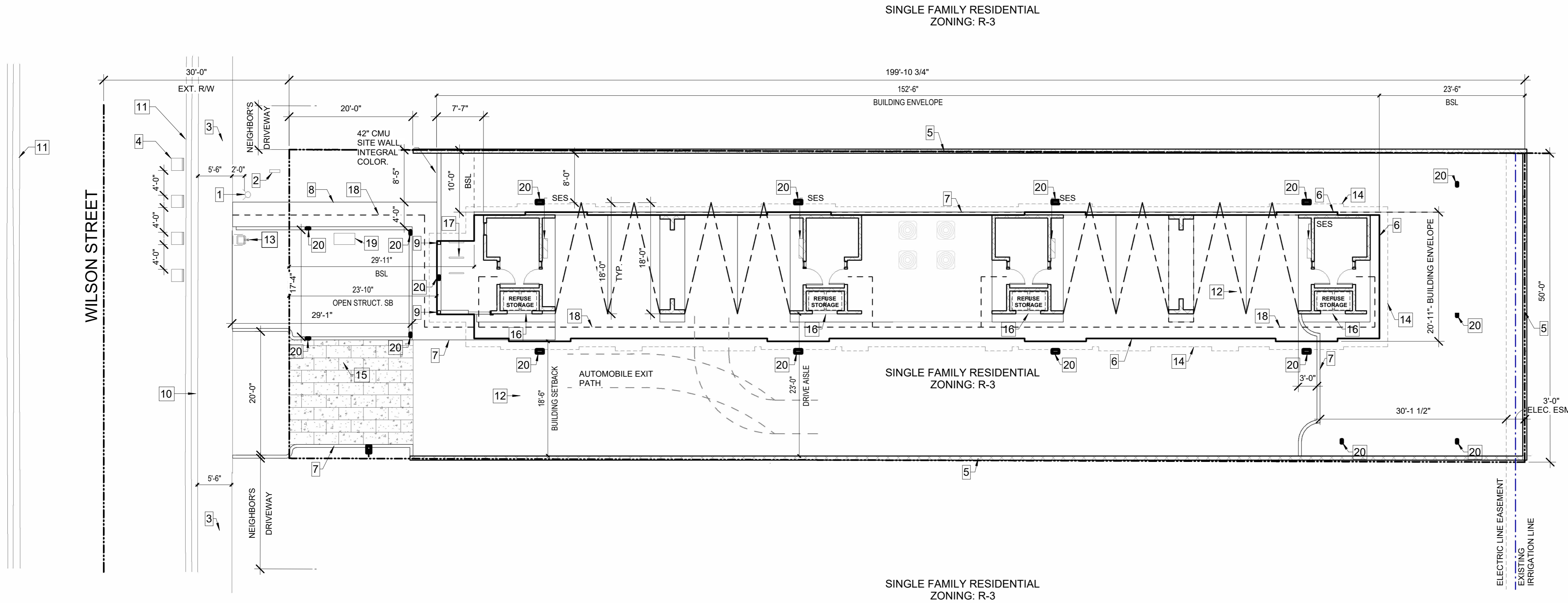
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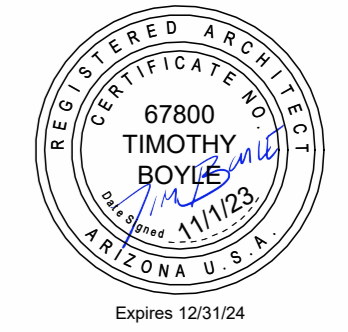
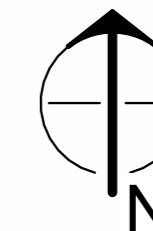
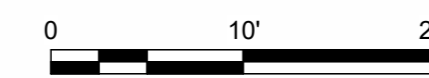
**CONTEXTUAL
AERIAL
G002**

XX SITE PLAN KEYNOTES

1. NEW HYDRANT
2. NEW WATER METER
3. EXISTING SIDEWALK
4. 4 REFUSE CANS ON STREET DURING SERVICE DAYS - TO BE REMOVED ON NON SERVICE DAYS AND STORED IN REFUSE STORAGE
5. 8' HIGH CMU WALL @ PROPERTY LINE, SEE SITE DETAILS
6. LINE OF BUILDING ABOVE
7. RAISED CONCRETE CURB AT EDGE OF PAVING
8. PEDESTRIAN PATHWAY
9. BUILDING SUPPORT POST
10. ROLL CURBS WITH 9" THICK DRIVE AISLE AND SIDEWALK IN LEIU OF T-320
11. EXISTING ROLL CURB
12. ASPHALT SURFACE
13. NEW LED STREETLIGHT PER COT STANDARD T651 - ELECTRICAL ENGINEER TO VERIFY EXACT LOCATION AND PHOTOMETRIC
14. LINE OF OVERHANG ABOVE
15. 4'x2' INTEGRAL COLORED CONCRETE DRIVEWAY PAVERS
16. REFUSE STORAGE W/ ROLL UP DOOR
17. T-578 COMPLIANT BICYCLE PARKING
18. LINE REPRESENTING EGRESS PLAN
19. MAIL DELIVERY BOX
20. LIGHT FIXTURE



1 SITE PLAN.
1" = 10'-0"



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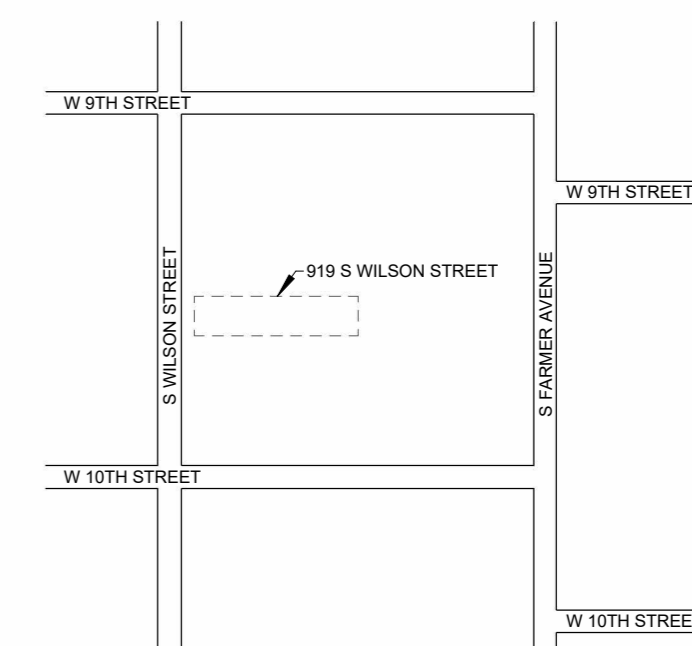
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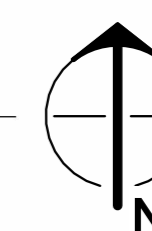
PL230406

SITE PLAN

AS101



VICINITY MAP



PROJECT INFORMATION:

OWNER: LYFE GROUP LLC
4450 S RURAL RD
TEMPE, AZ 85282

ARCHITECT: ATMOSPHERE ARCHITECTS
114 W MAIN ST
MESA, AZ
917-526-0323
TIM@ATMOSARCH.COM

ENGINEER: T.B.D.

MPE ENGINEERS: T.B.D.

SITE INFORMATION:

APN: 124-69-075

ADDRESS: 919 S WILSON
TEMPE, AZ 85277

ZONING: R-3
CONST TYPE: V-A
OCCUPANCY: R-2_SINGLE FAMILY ATTACHED

LOT AREA: 10,000 SQ FT = 0.23 AC NET
UNIT TYPES: 2 - THREE BEDROOM UNITS
2 - TWO BEDROOM UNIT

TOTAL # OF UNITS: 4

TOTAL # OF BD: 10

SPRINKLERS: PROVIDED

STORIES: 3

USE: SEPARATED

BUILDING AREA:	GROSS	NET
1ST LEVEL	538 SQ FT	340 SQ FT
2ND LEVEL	2,908 SQ FT	1,920 SQ FT
3RD LEVEL	2,717 SQ FT	2,128 SQ FT
TOTAL AREA:	6,163 SQ FT	4,388 SQ FT

NET SF UNIT BREAKDOWN:		
UNIT 101:	GROUND FLOOR	134 SQ FT
	MAIN FLOOR	712 SQ FT
	UPPER FLOOR	280 SQ FT
	TOTAL	1,126 SQ FT

UNIT 102:	GROUND FLOOR	139 SQ FT
	MAIN FLOOR	812 SQ FT
	UPPER FLOOR	812 SQ FT
	TOTAL	1,758 SQ FT

UNIT 103:	GROUND FLOOR	139 SQ FT
	MAIN FLOOR	812 SQ FT
	UPPER FLOOR	812 SQ FT
	TOTAL	1,758 SQ FT

UNIT 104:	GROUND FLOOR	139 SQ FT
	MAIN FLOOR	812 SQ FT
	UPPER FLOOR	812 SQ FT
	TOTAL	1,758 SQ FT

DEVELOPMENT STANDARDS:

STANDARD	REQUIRED/PERMITTED	PROVIDED
DENSITY (DU/ACRE)	20	17
MIN LOT AREA/DU (SQ.FT)	2180	2500
BUILDING HEIGHT	30'-0"	30'-0"
MAX LOT COVERAGE	50%	3%
MIN. LANDSCAPE AREA	25%	25%
MIN. LANDSCAPE SF	2,500 SF	2,519 SF

SETBACKS

FRONT - WEST	REAR - EAST	SIDE - NORTH	SIDE - SOUTH
BUILDING	BUILDING, PORCH, BALCONY	BUILDING WALLS	BUILDING
20 FT	15 FT	10 FT	10 FT
29' - 11"	23' - 6"	10'	18' - 6"
15 FT			

*NOTE PROPERTY LINES ARE SKEWED. BUILDING SETBACKS ARE TAKEN FROM CLOSEST POINT OF BUILDING TO PROPERTY LINE

VEHICLE PARKING:

REQUIRED:	2 SPACES/ <5 BD UNIT
	4 SF-A UNITS * 2
	8 SPACES
TOTAL REQD =	8 SPACES
PROVIDED:	8 TOTAL SPACES

BICYCLE PARKING:

REQUIRED:	N/A
PROVIDED:	6 SPACES

SITE PLAN KEYNOTES

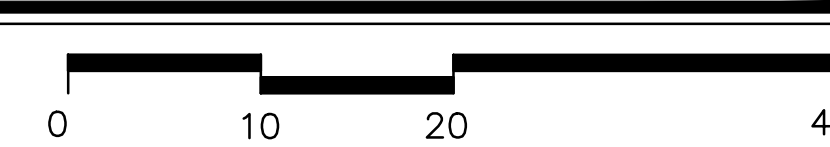
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18. LINE REPRESENTING EGRESS PLAN
19. MAIL DELIVERY BOX
20. LIGHT FIXTURE

PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/Common NAME	SIZE (Height, Canopy, & Caliper)
TREES			
1		<i>Eucalyptus papuana</i> Ghost Gum	24" Box 10' 4' 1.5" 2 Double-Staked Typ.
2		<i>Quercus virginiana</i> Heritage Live Oak	24" Box 9' 4' 1.5" 3 Double-Staked Typ.
3		<i>Acacia aneura</i> Mulga	24" Box 7' 4' 1.5" 11 Double-Staked Typ.
LARGE SHRUBS			
4		<i>Dodonaea viscosa</i> 'purpurea' Hopseed Bush	5 Gallon 11
5		<i>Eremophila</i> 'Valentine' Valentine Bush	5 Gallon 3
6		<i>Ruellia peninsularis</i> Baja Ruellia	5 Gallon 14
MEDIUM AND SMALL SHRUBS			
7		<i>Callistemon</i> c. 'Little John' Little John Bottle Brush	5 Gallon 42
8		<i>Muhlenbergia capillaris</i> "Regal Mist" Regal Mist Deer Grass	5 Gallon 22
GROUNDCOVERS			
9		<i>Lantana</i> m. 'New Gold' New Gold Lantana	1 Gallon 17
ACCENTS			
10		<i>Agave parryi</i> Parry's Agave	5 Gallon 3
11		<i>Ficus pumila</i> Creeping Fig	5 Gallon 3
LANDSCAPE MATERIALS			
13		Decomposed Granite Desert Gold	1/2" size screened 2" Deep

LANDSCAPE PLAN

SCALE 1"=10'-0"



LANDSCAPE COVERAGE FOR R.O.W.

LANDSCAPE WITHIN THE R.O.W. = 279 S.F.
 COVERAGE OF LANDSCAPE
 WITHIN THE R.O.W. = (14 SHRUBS X 4' DIA)
 (14 X 12.6'S.F.) = 176.4 S.F. (63%)



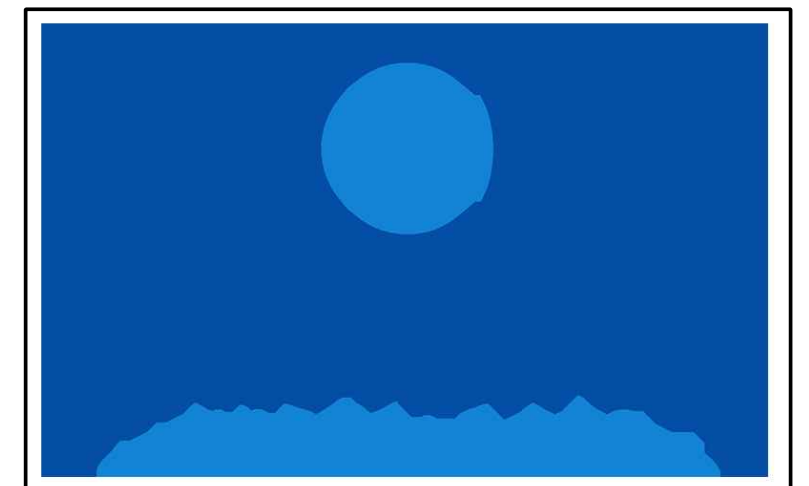
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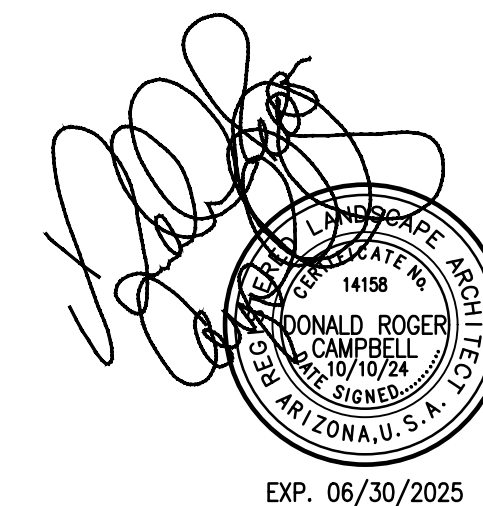
PROJECT NO: TBD-919

DATE: 10/10/2024



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 tel: 917-526-0323

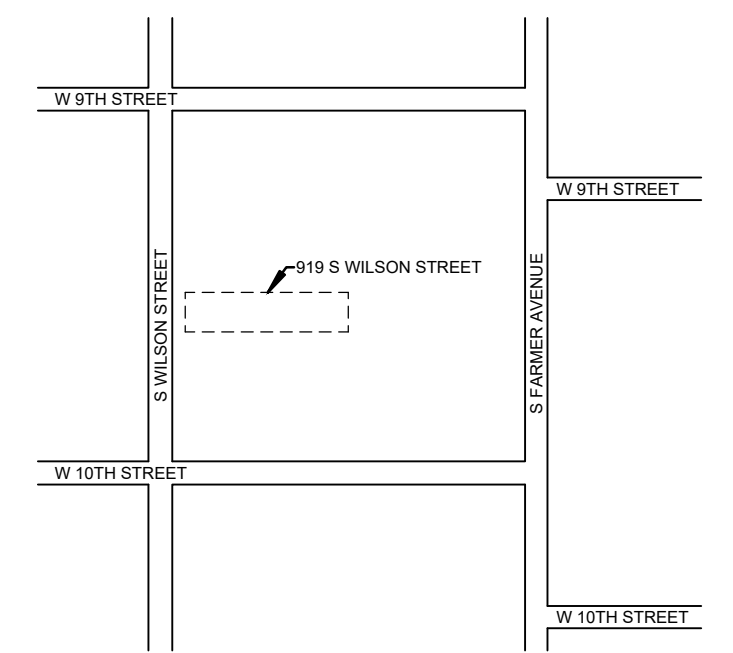


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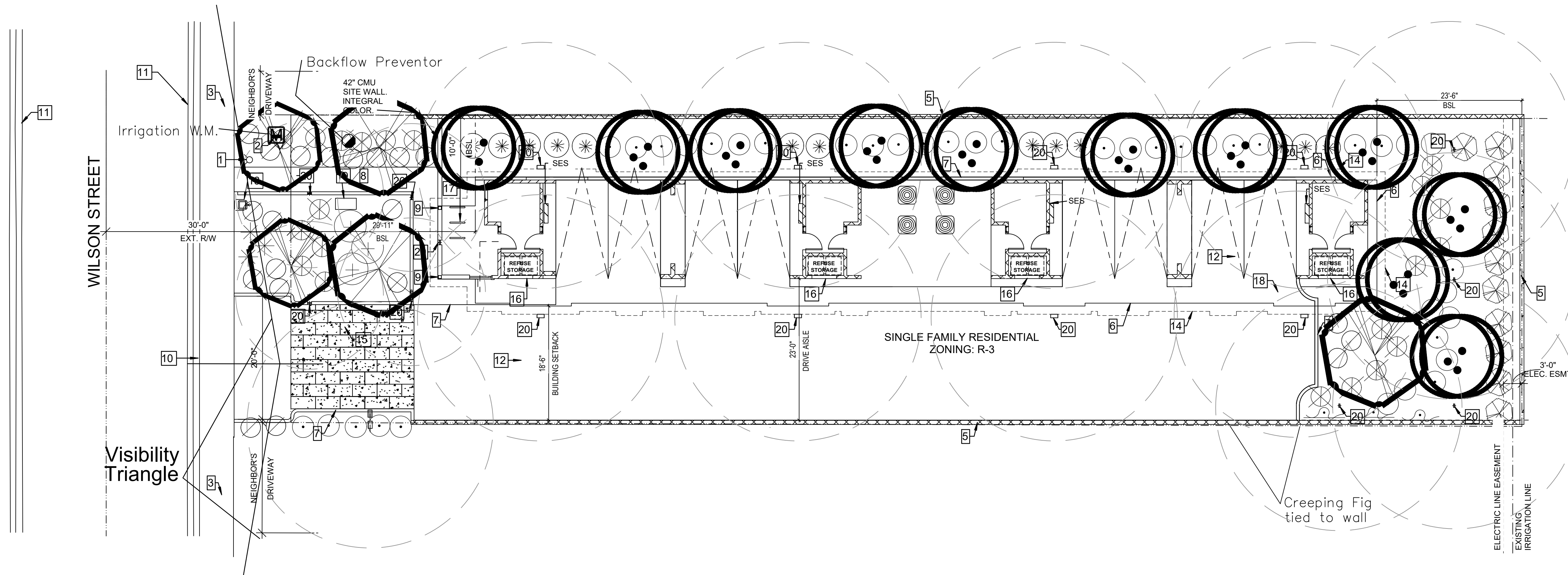


LANDSCAPE PLAN

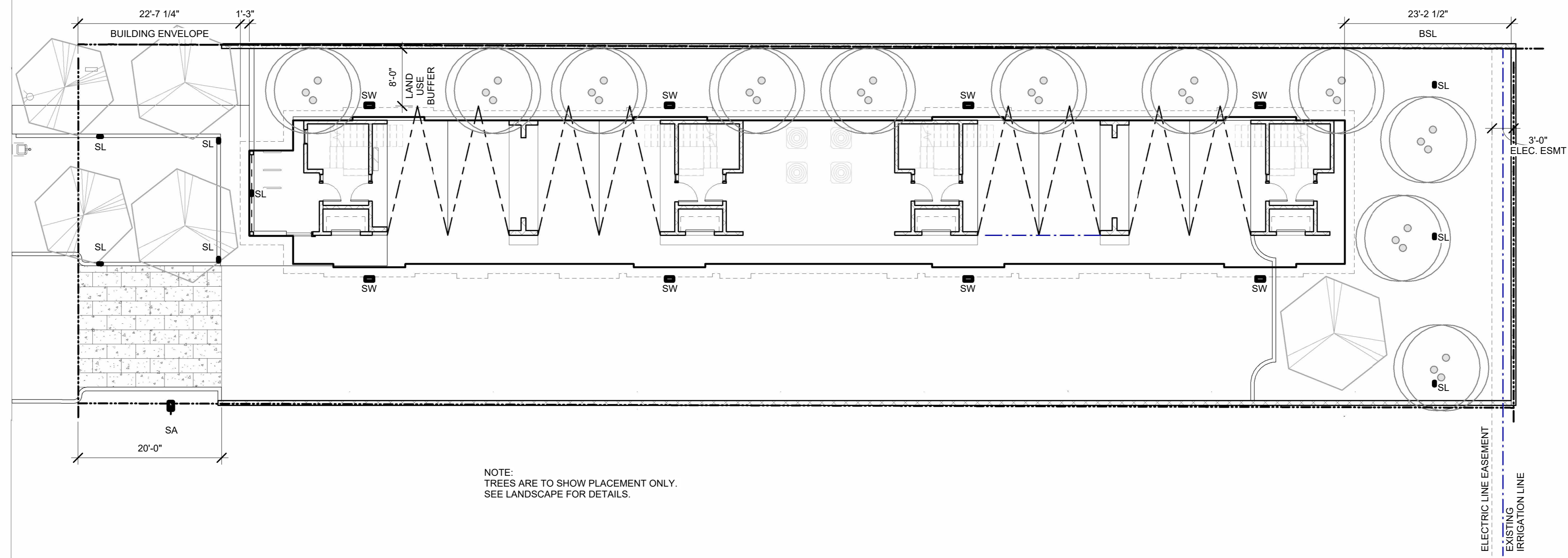
L101



VICINITY MAP



WILSON STREET



NOTE:
TREES ARE TO SHOW PLACEMENT ONLY.
SEE LANDSCAPE FOR DETAILS.

LIGHTING LEGEND

- SA - SITE AREA LIGHT - 15 FT MOUNTING HEIGHT
- SW - BUILDING WALL - 9 FT MOUNTING HEIGHT
- SL - SITE AREA LIGHT - 2 FT MOUNTING HEIGHT



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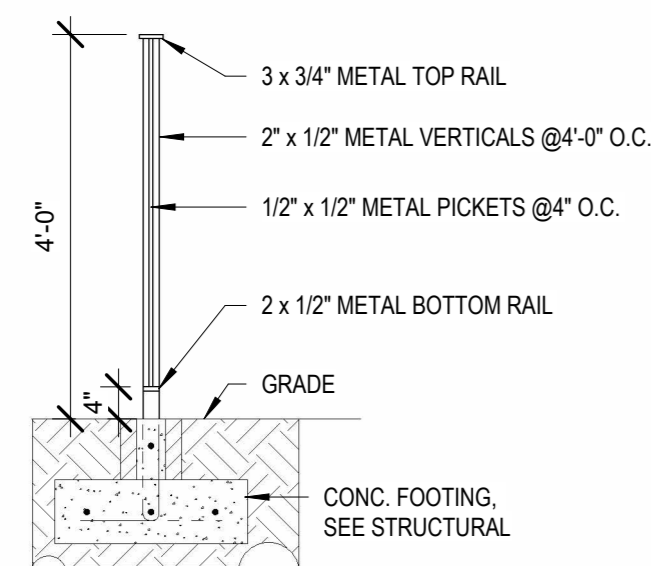
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PL230406

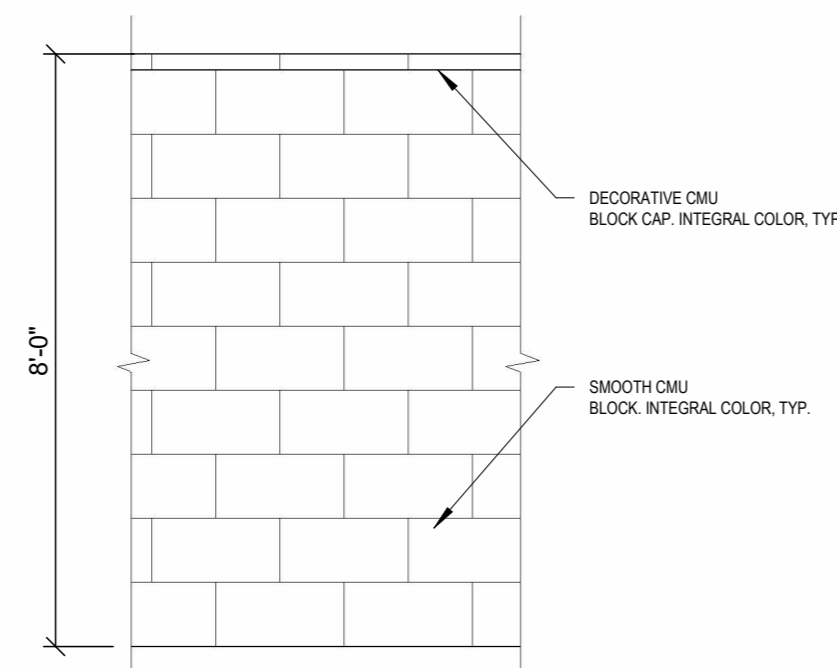
PRELIMINARY UT. AND LIGHTING PLAN

AS105

- NOTES:
 1. ALL METAL PAINTED BLACK
 2. SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND REINFORCING INFORMATION
 3. PROVIDE STEPPED FOOTINGS AT SCREEN WALLS IN RETENTION AREAS SEE CIVIL & STRUCTURAL DRAWINGS
 4. GROUT SOLID ALL CELLS BELOW GRADE, TYP.
 5. COORDINATE REQ'D OPENINGS/SWEEPS IN BOTTOM OF WALLS W/ CIVIL DRAWINGS.

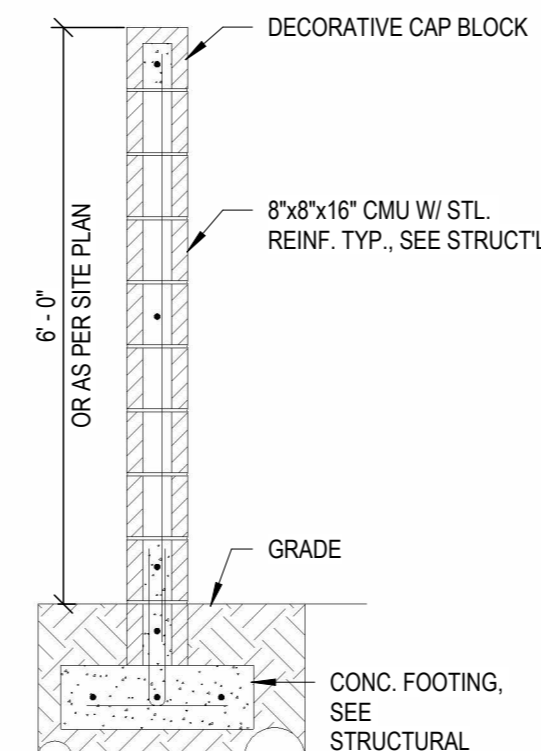


11 TYPICAL METAL FENCE
 1/2" = 1'-0"

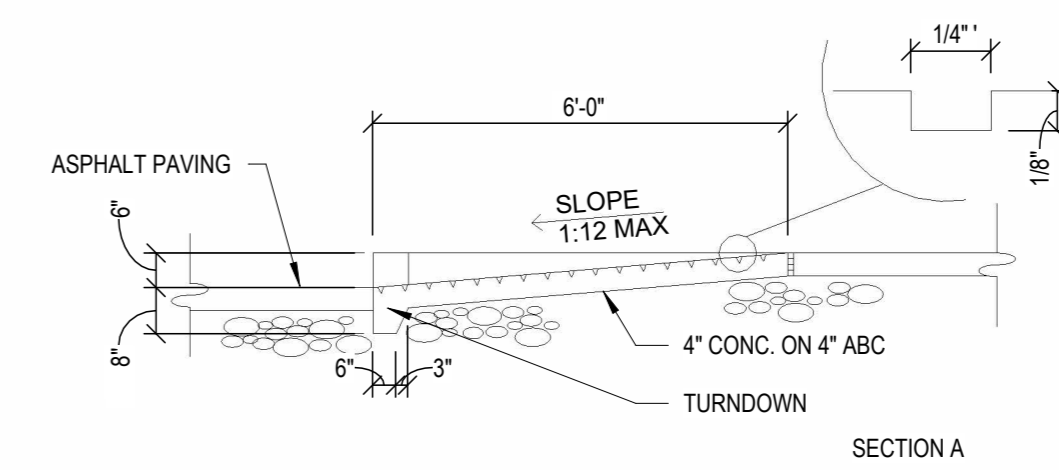


10 TYPICAL CMU WALL ELEVATION
 1/2" = 1'-0"

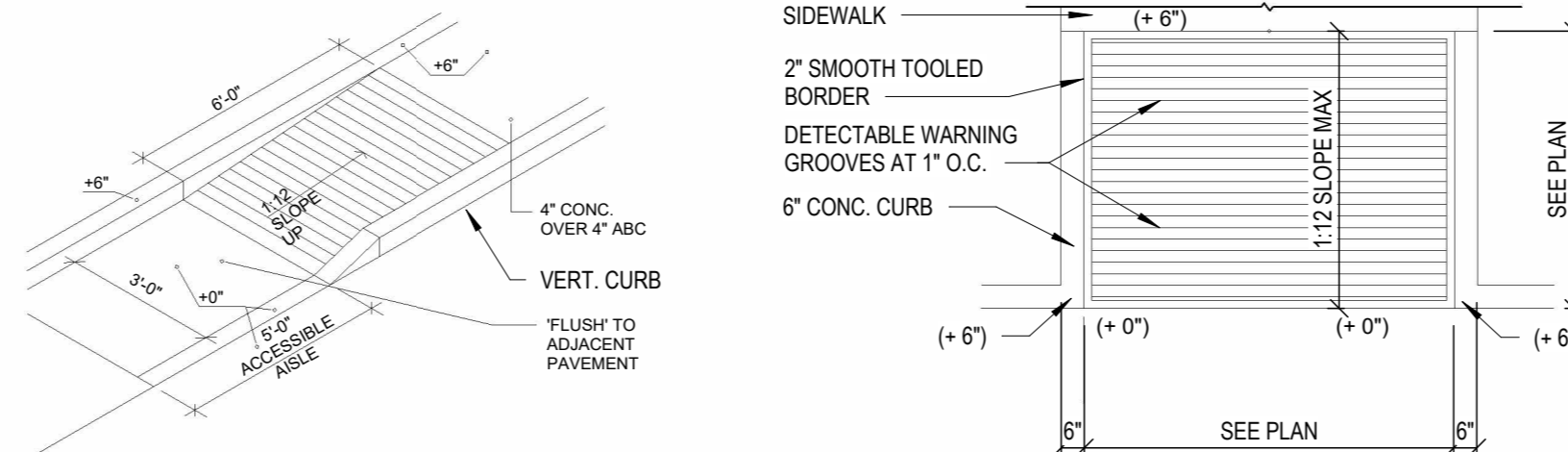
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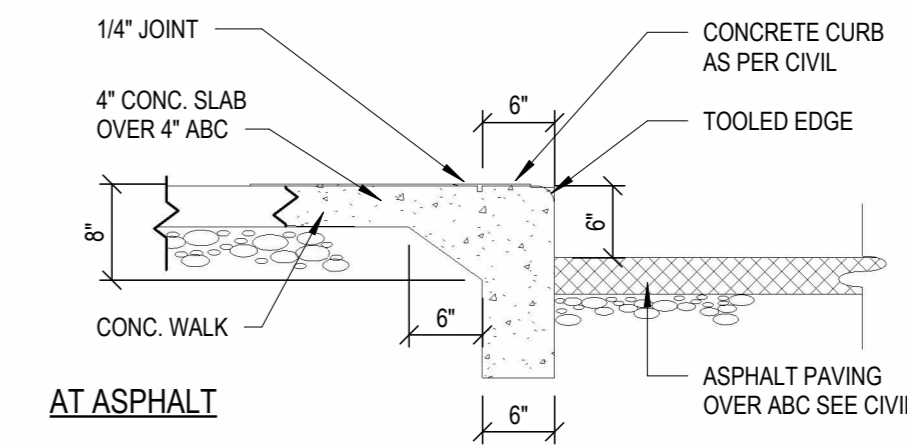
9 TYPICAL CMU WALL SECTION
 1/2" = 1'-0"



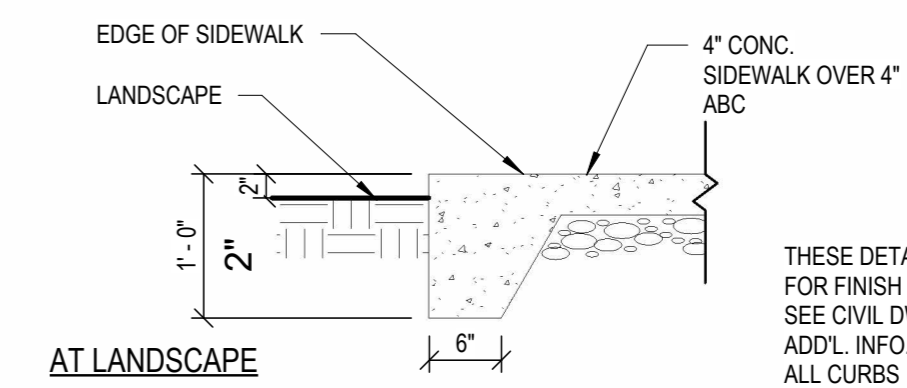
12 SITE - ADA RAMP SECTION
 1/4" = 1'-0"



13 SITE - ADA RAMP PLAN
 1/4" = 1'-0"

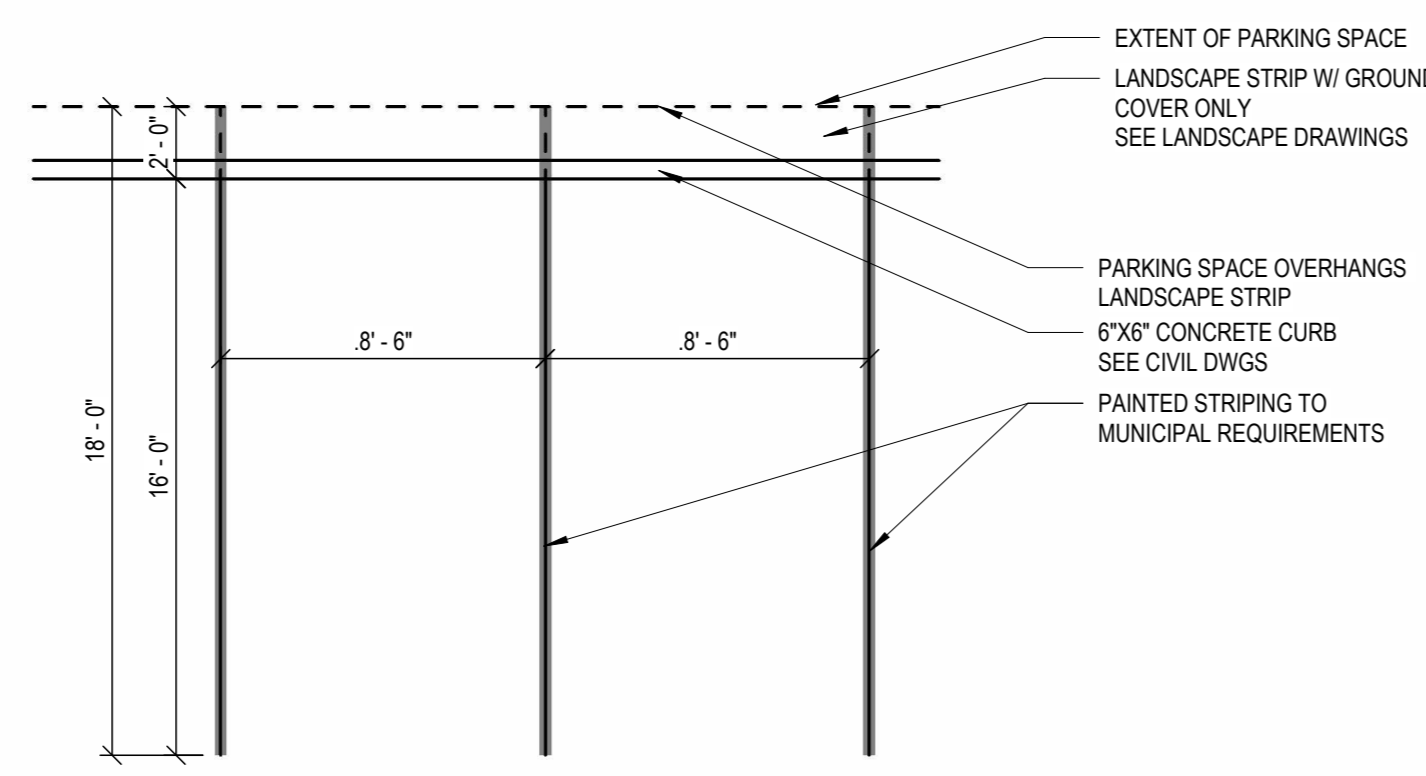


8 TYPICAL WALKWAY EDGE DETAILS
 3/4" = 1'-0"



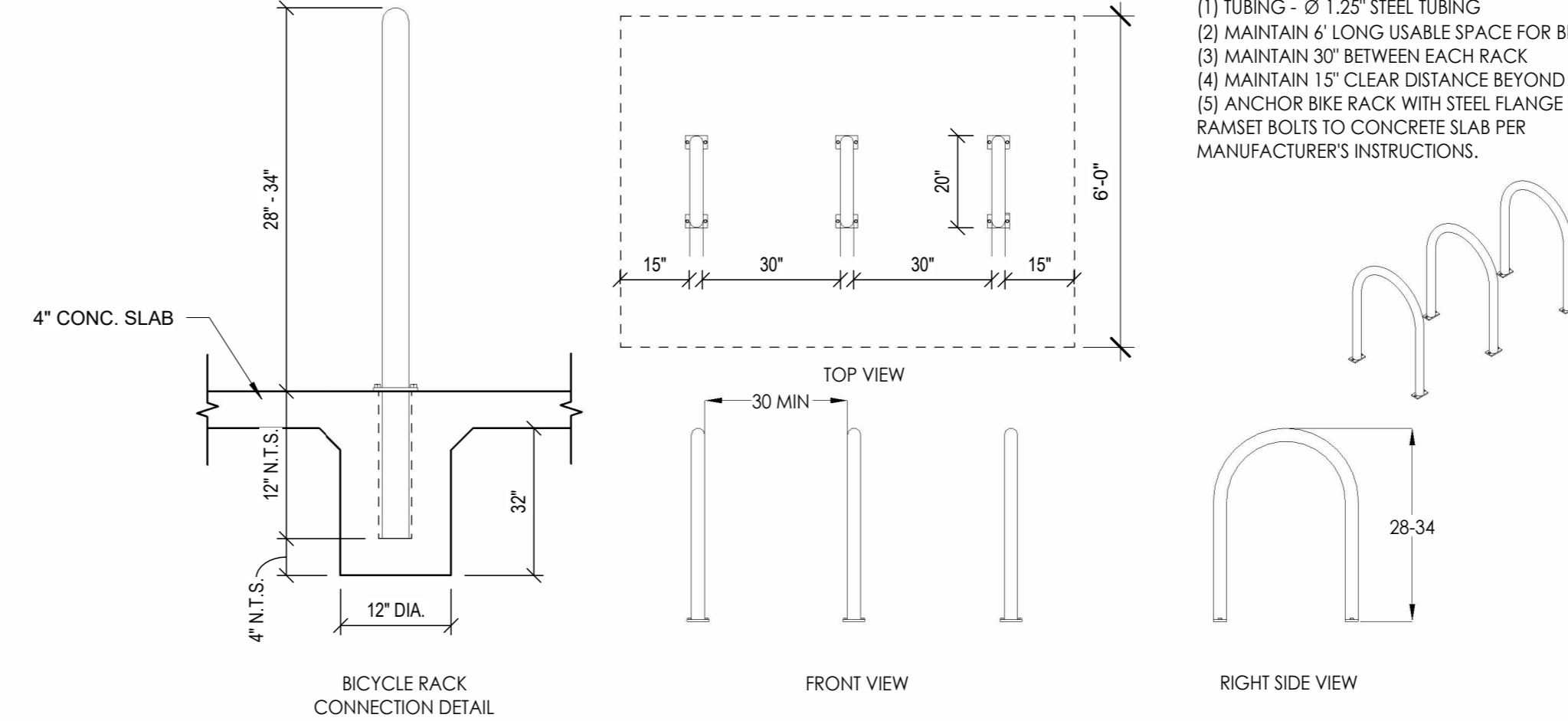
7 SITE - ADA PARKING SIGN
 1/2" = 1'-0"

NOTE: THE BOTTOM OF THE SIGN SHOULD BE NO LESS THAN 6" AND NO MORE THAN 6" ABOVE FINISH GRADE. SIGNS SHALL BE PROPERLY CENTERED WITHIN THE PARKING SPACE.
 THE SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE.
 ALL LETTERING SERIES "C", BLUE COLOR INTERNATIONAL SYMBOL OF ACCESSIBILITY SHOWN WHITE ON 8" x 8" BLUE FIELD WITH 1" RADIUS CORNERS.
 SIGNS ARE TO HAVE A WHITE REFLECTIVE BACKGROUND WITH 3/16" WIDE BLUE COLOR BAND.
 ACCESSIBLE PARKING SIGN STANDARD 2" OR IN 8'x24" CONC POSTHOLE



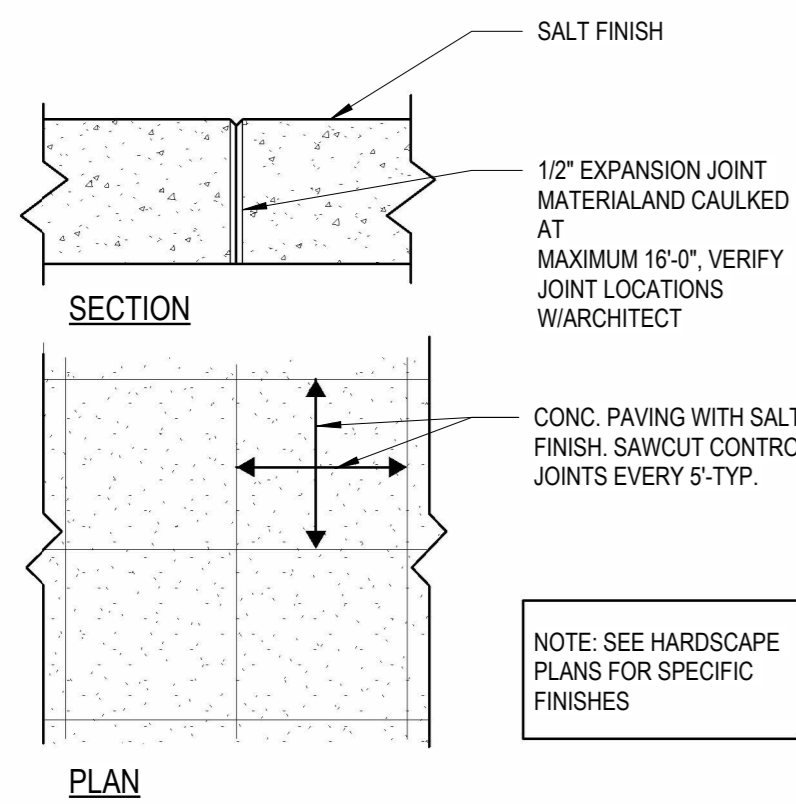
6 STANDARD PARKING STRIPING
 3/16" = 1'-0"

1. NUMBER OF REQUIRED PARKING SPACES AS PER SITE PLAN CALCULATIONS
 2. MAXIMUM SLOPE OF PARKING AND MANEUVERING AREAS IS 1:50

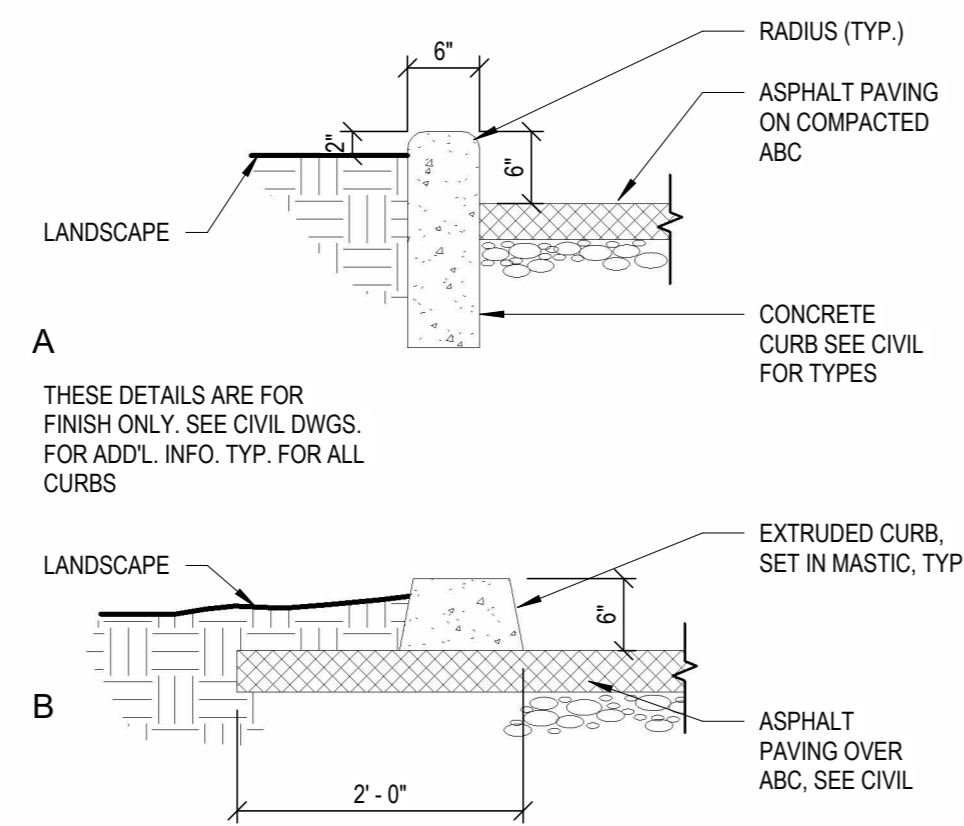


5 BICYCLE RACK DET. (TEMPE T-578 DET.)
 3/8" = 1'-0"

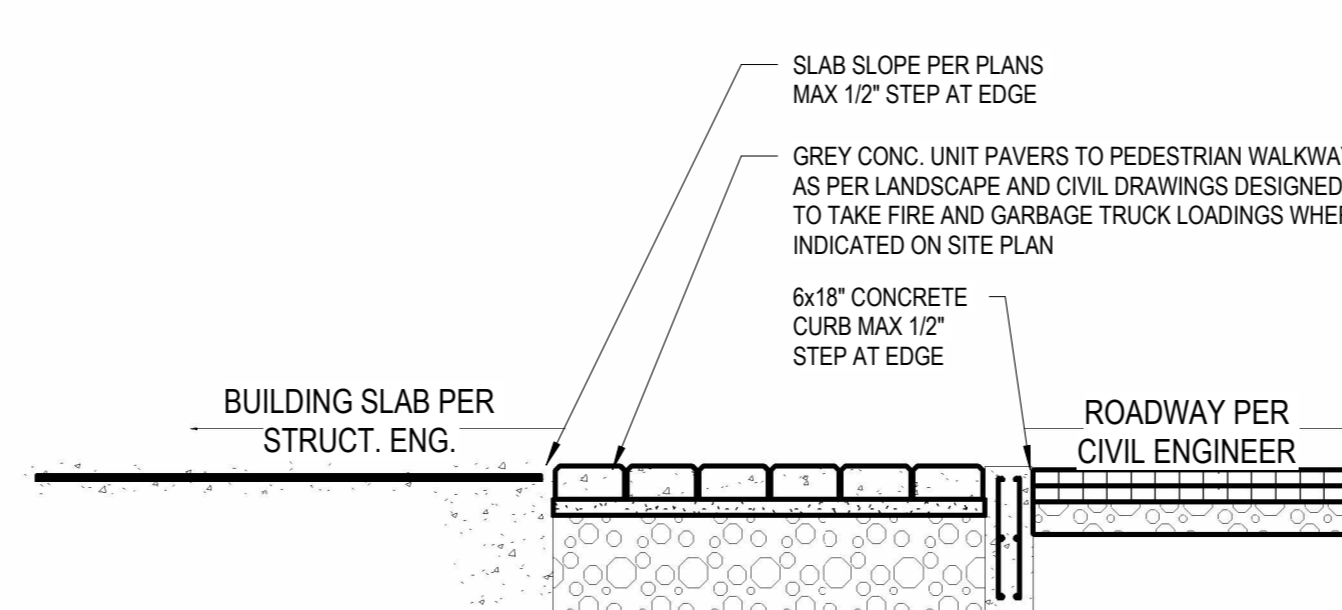
- NOTES:
 (1) TUBING - Ø 1.25" STEEL TUBING
 (2) MAINTAIN 6" LONG USABLE SPACE FOR BICYCLE
 (3) MAINTAIN 30" BETWEEN EACH RACK
 (4) MAINTAIN 15" CLEAR DISTANCE BEYOND RACK
 (5) ANCHOR BIKE RACK WITH STEEL FLANGE AND RAMSET BOLTS TO CONCRETE SLAB PER MANUFACTURER'S INSTRUCTIONS.



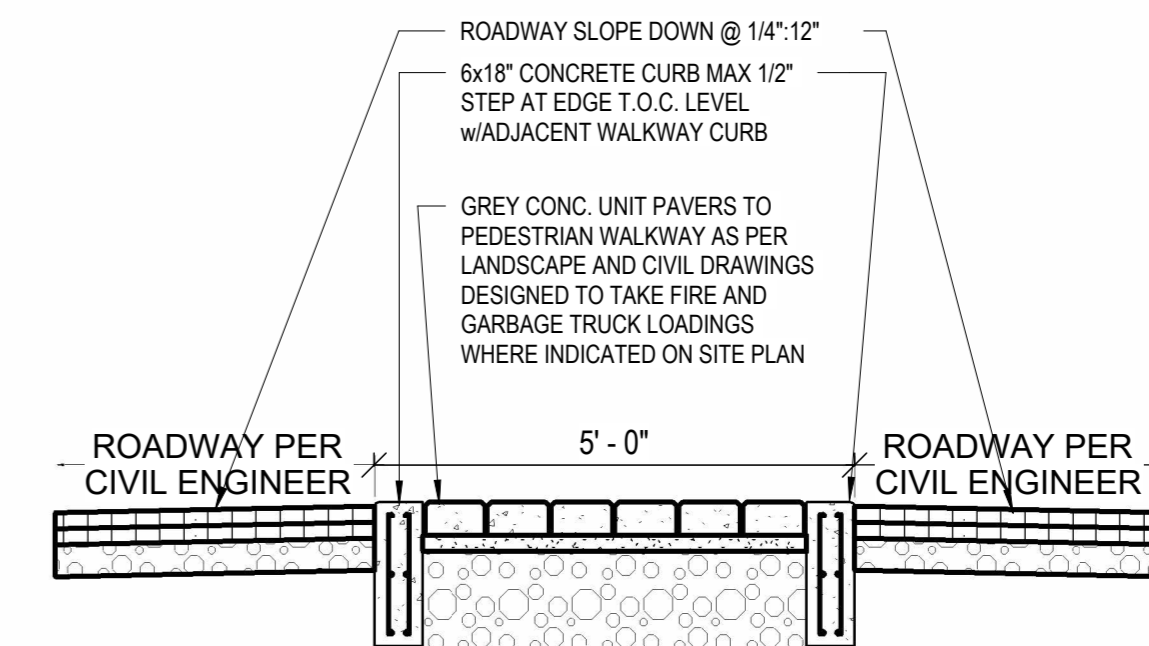
4 CONCRETE SIDEWALK FINISH
 1 1/2" = 1'-0"



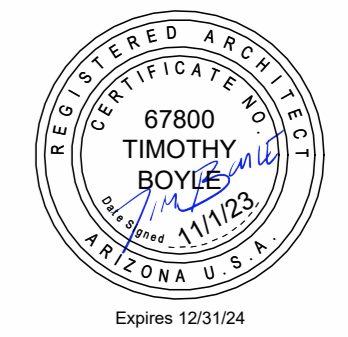
3 TYPICAL PARKING CURB DETAILS
 3/4" = 1'-0"



2 PEDESTRIAN WALKWAY AT BUILDING
 1/2" = 1'-0"



1 PEDESTRIAN WALKWAY IN ROADWAY
 1/2" = 1'-0"



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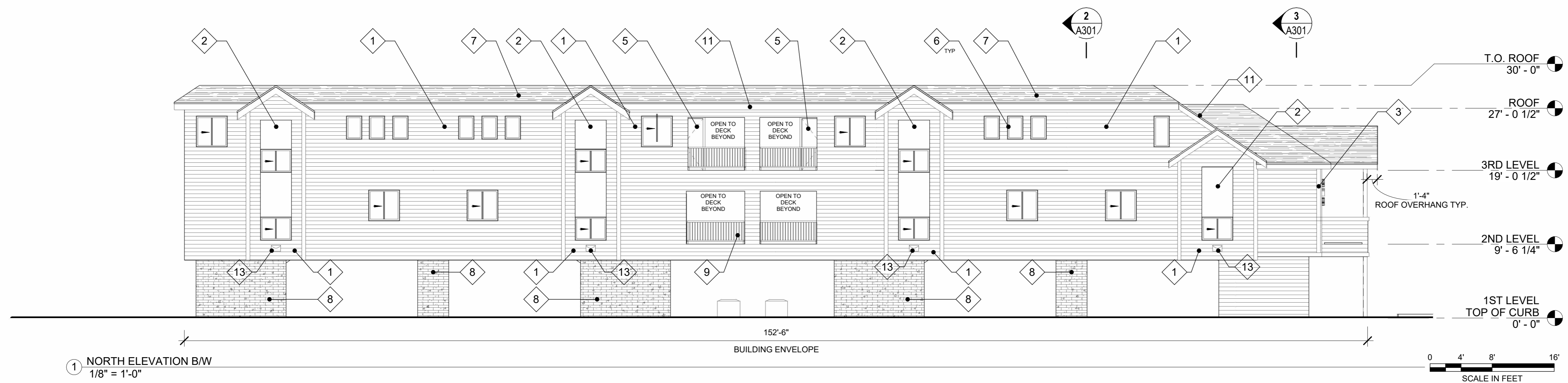
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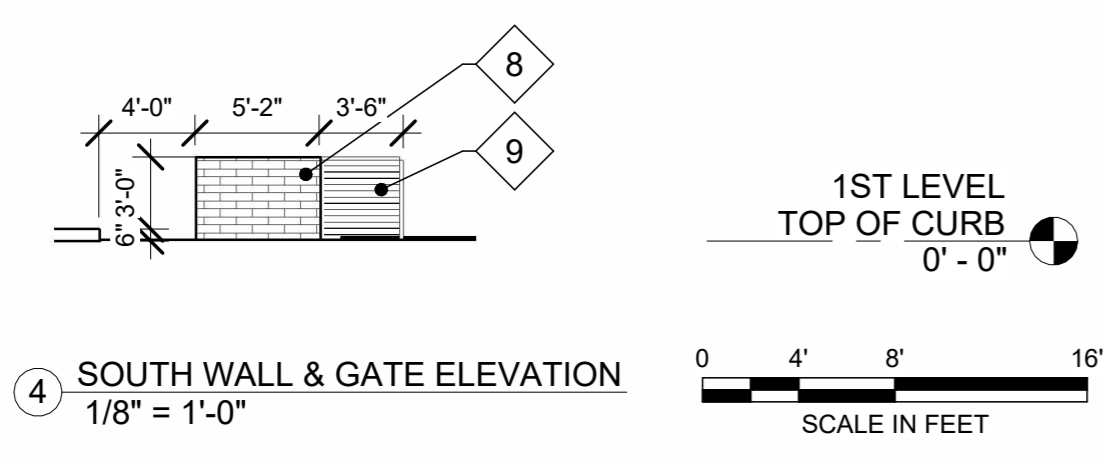
PL230406

TYPICAL SITE
 DETAILS

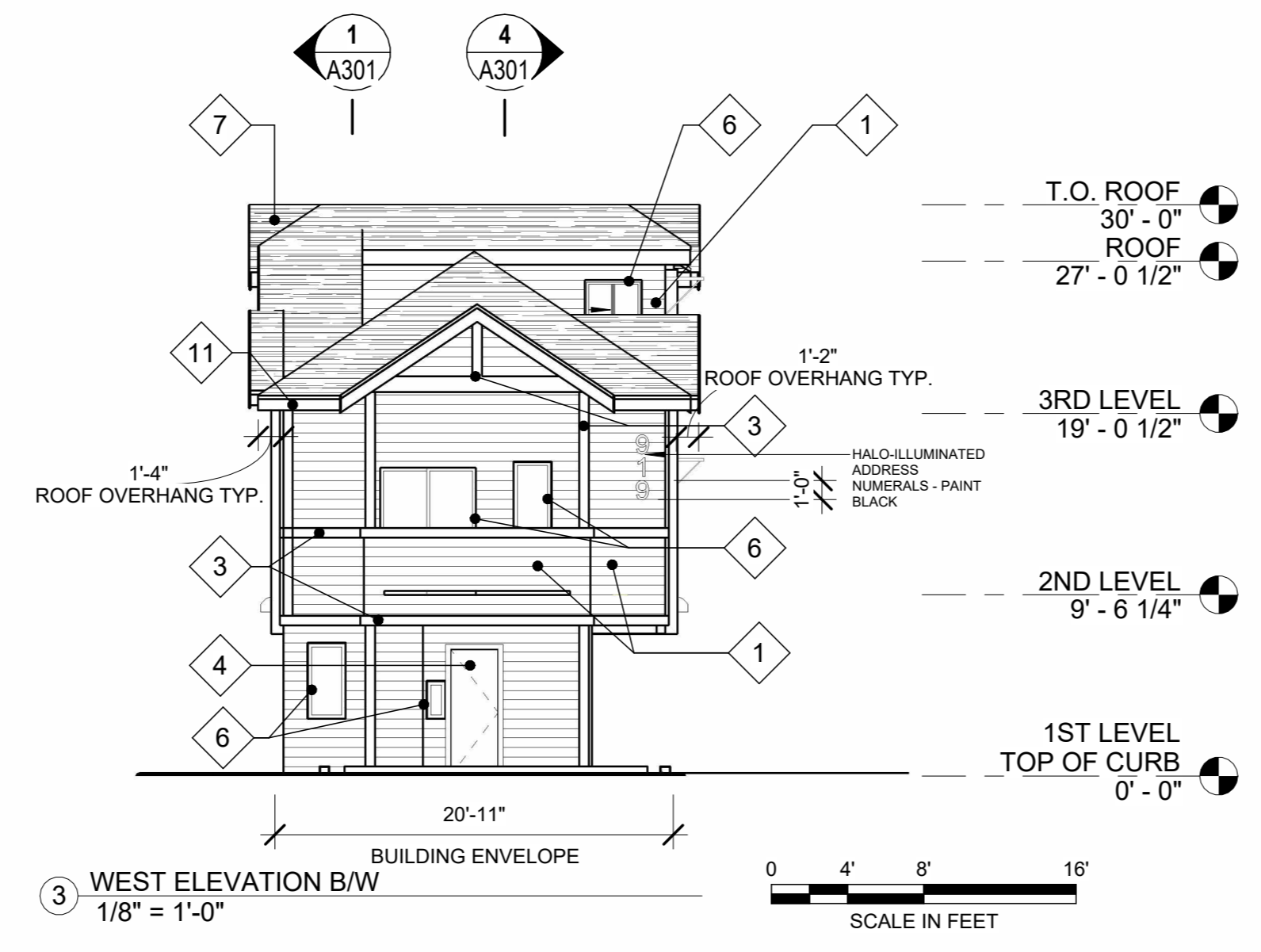
AS151



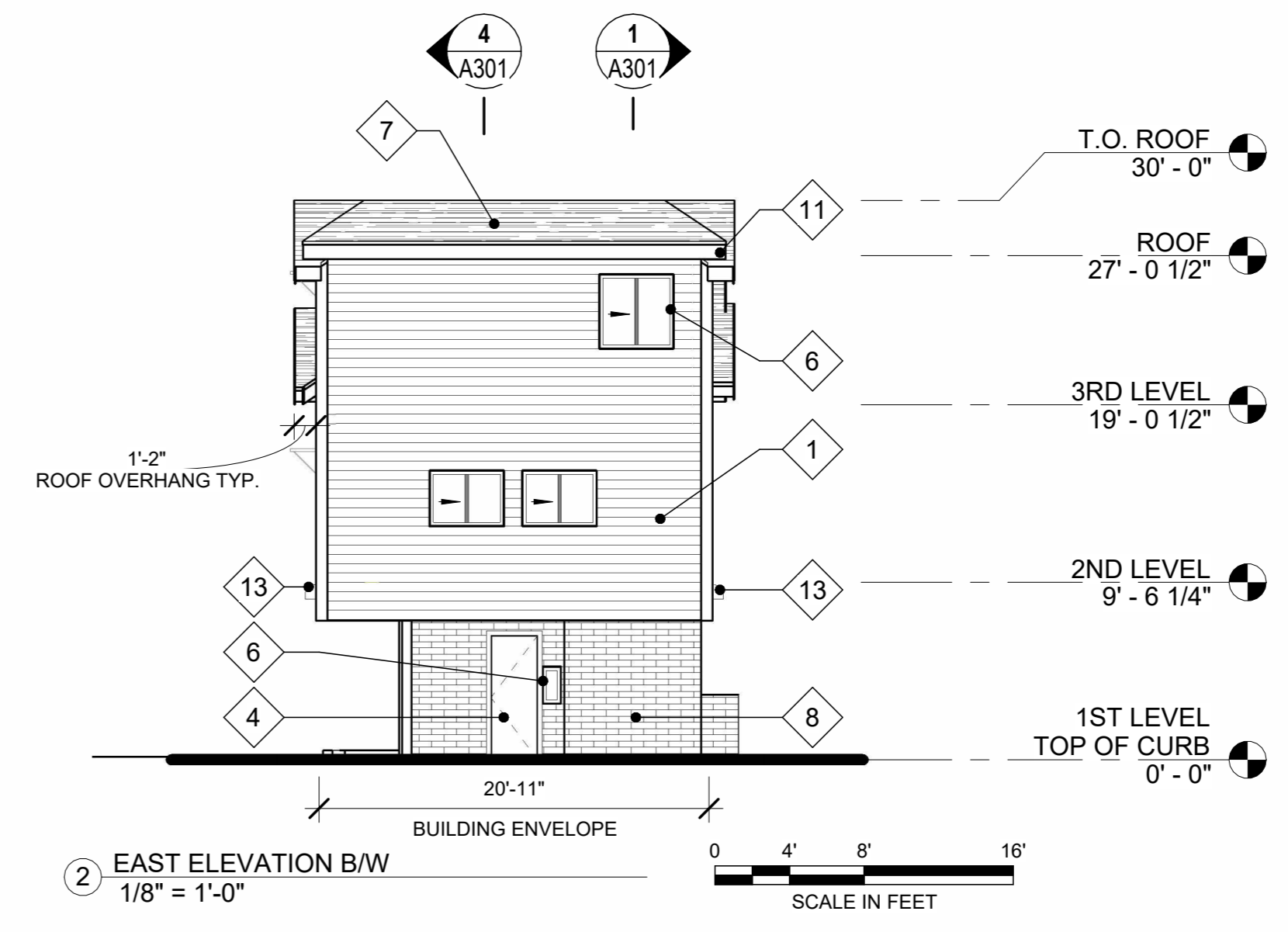
1 NORTH ELEVATION B/W
1/8" = 1'-0"



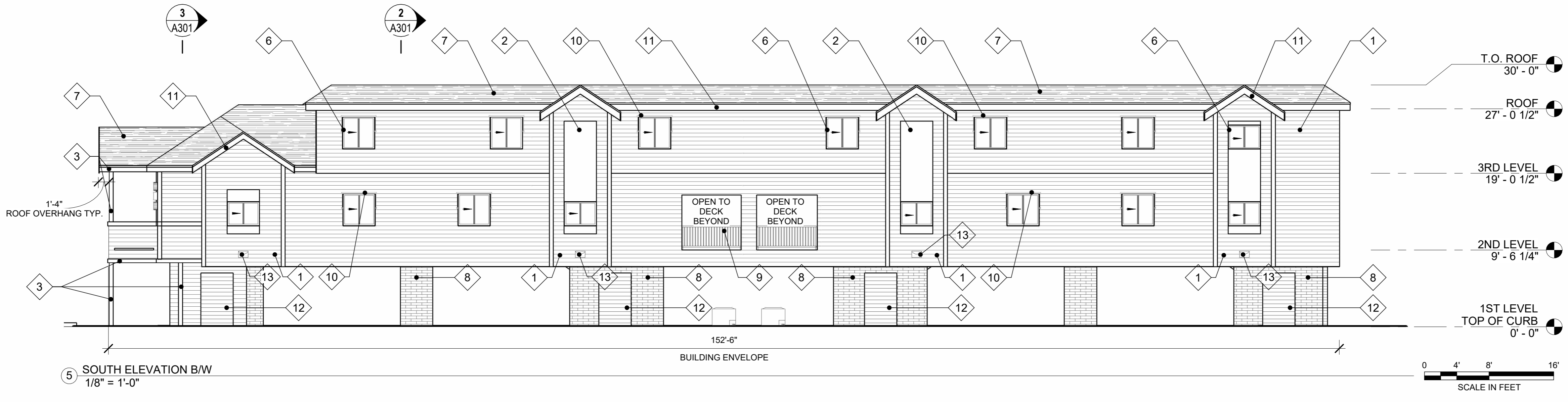
4 SOUTH WALL & GATE ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION B/W
1/8" = 1'-0"



2 EAST ELEVATION B/W
1/8" = 1'-0"

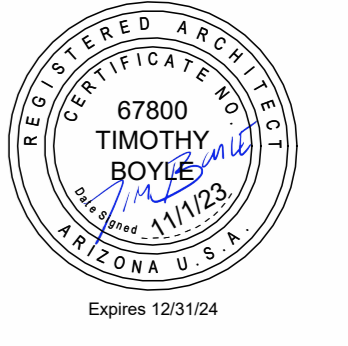


5 SOUTH ELEVATION B/W
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- 1 HORIZONTAL FIBER CEMENT SIDING
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - TYLER GRAY CW-50
-ALTERNATE STUCCO TAN DE6205 OR EXCLUSIVE IVORY DE6191
- 2 FIBER CEMENT PANEL
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GRAY CW-65
- 3 FIBER CEMENT FLAT TRIM
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - 3D
- 4 EXTERIOR METAL DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
- 5 EXTERIOR FIBERGLASS ENTRY DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
- 6 VINYL WINDOWS
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
- 7 ARCHITECTURAL ROOF SHINGLES OVER ICE & WATER SHIELD OVER 5/8" SHEATHING
GAF TIMBERLINE ROOF SHINGLES - ANTIQUE SLATE
- 8 GROUND FACE CMU
OLDCASTLE TRENWYTH - DURANGO
- 9 METAL RAILING
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - HARWOOD PUTTY CW-5
- 10 STEEL SHADE CANOPY
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - PALACE PEARL CW-650
- 11 WOOD FACIA
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - HARWOOD PUTTY CW-5
- 12 ROLL UP REFUSE STORAGE DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
- 13 LIGHT FIXTURE

NOTE: ROOF DRAINS TO BE INTERNALLY PIPED



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

PROJECT NO: 23053
DATE: 11/18/2024

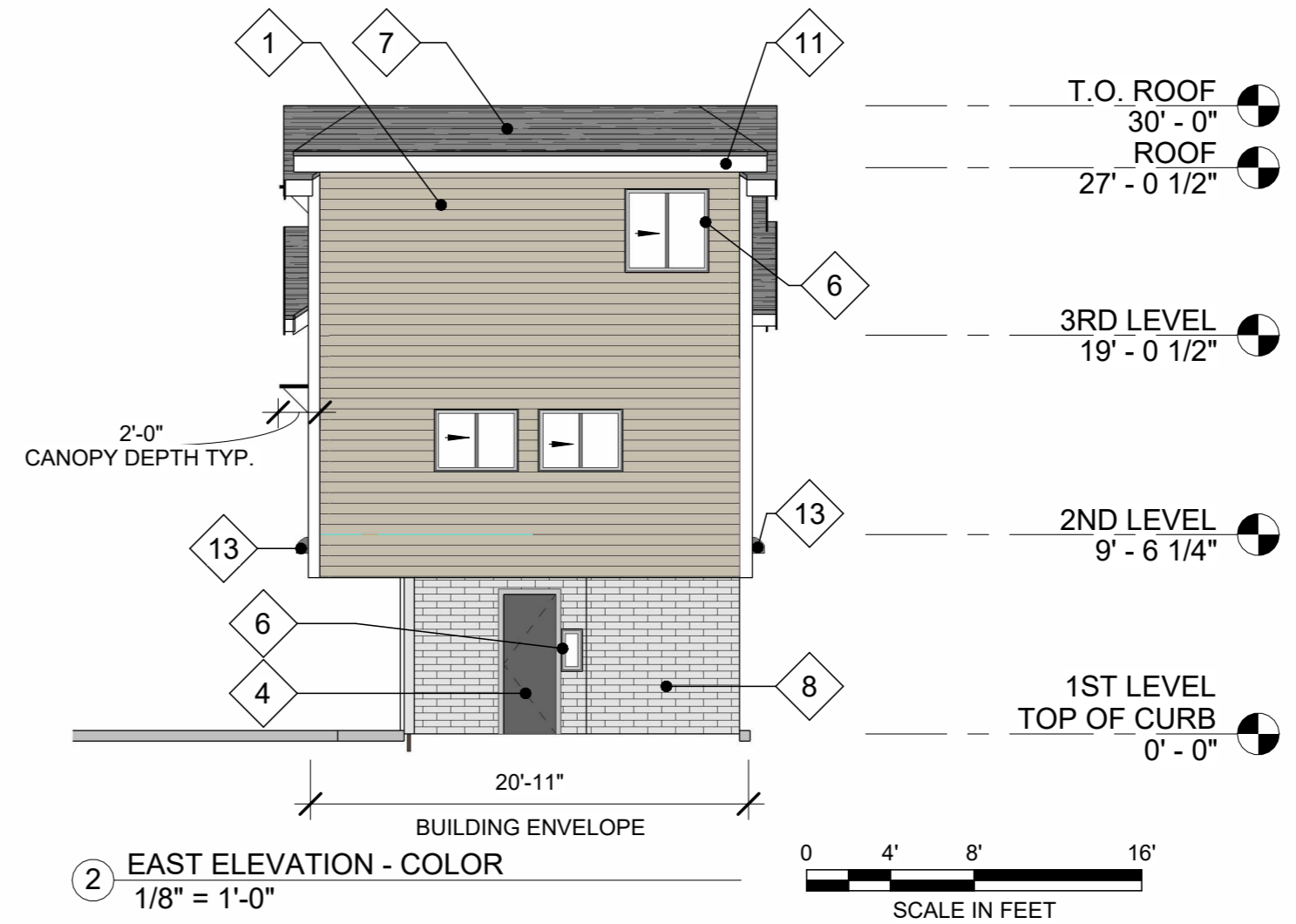
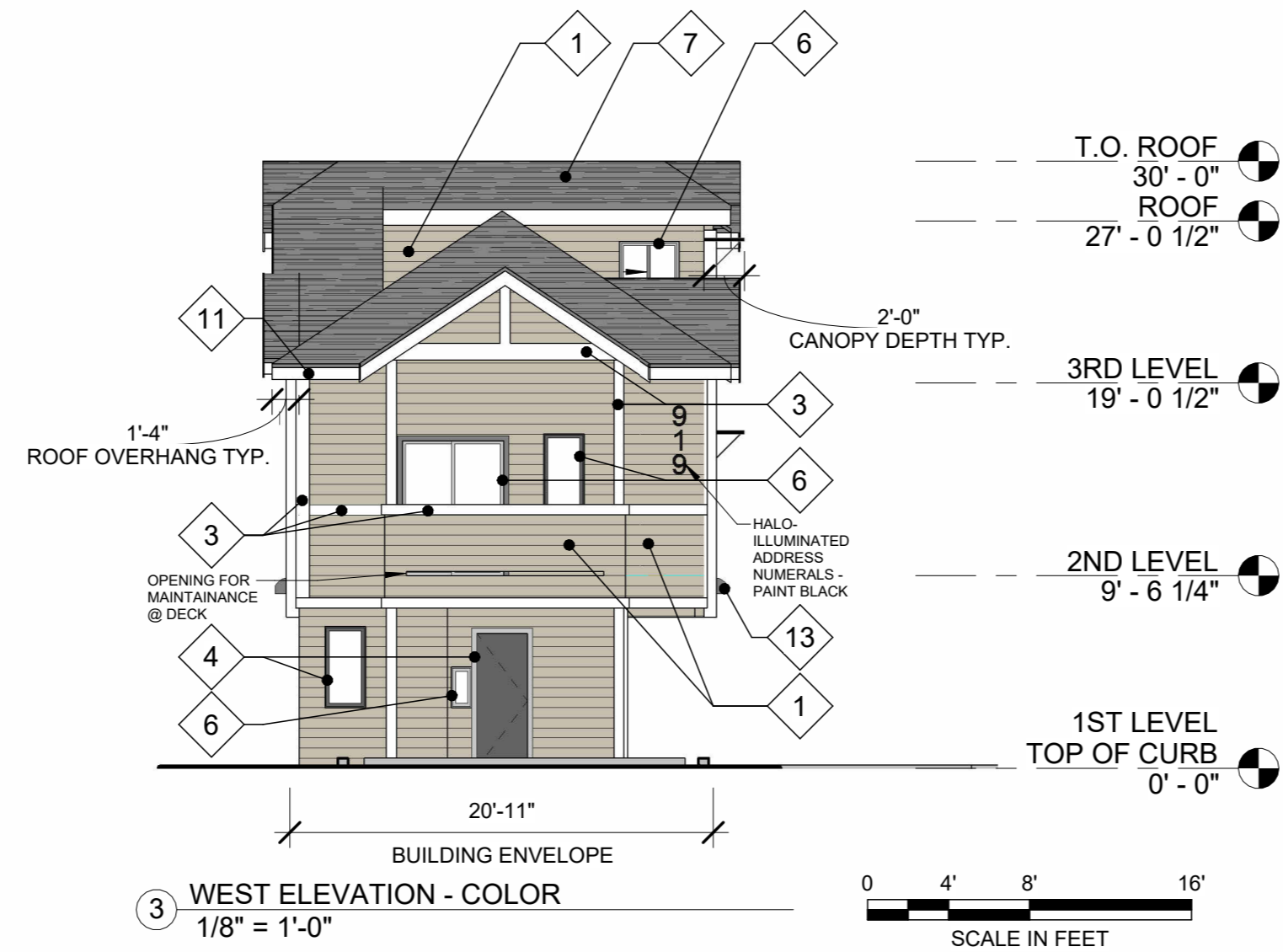
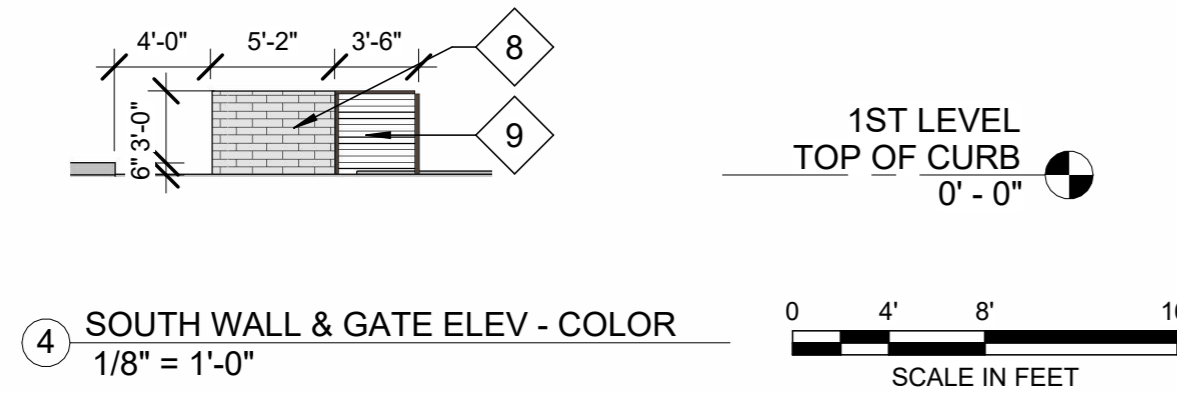
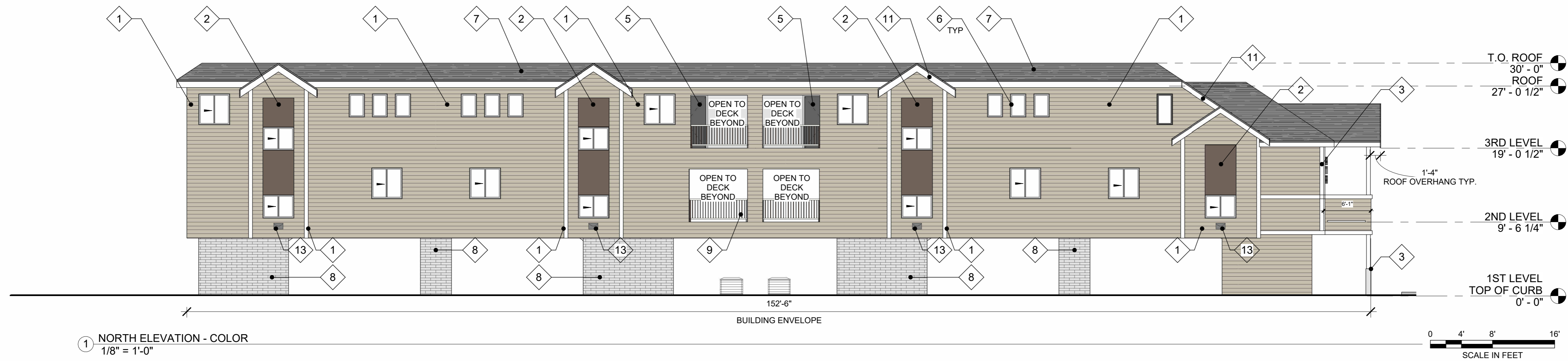


atmosphere architects
114 W Main St
Mesa, AZ 85201

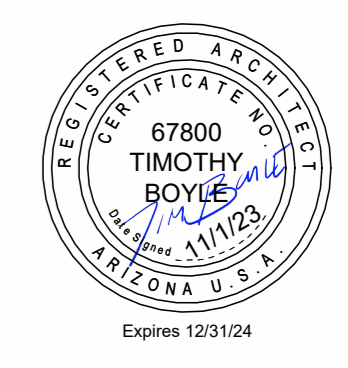
contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

PL230406

ELEVATIONS
A201



- EXTERIOR FINISH LEGEND**
- 1 HORIZONTAL FIBER CEMENT SIDING
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - TYLER GRAY CW-50
-ALTERNATE STUCCO TAN DE6205 OR EXCLUSIVE IVORY DE6191
 - 2 FIBER CEMENT PANEL
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GRAY CW-65
 - 3 FIBER CEMENT FLAT TRIM
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - HARWOOD PUTTY CW-5
 - 4 EXTERIOR METAL DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
 - 5 EXTERIOR FIBERGLASS ENTRY DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
 - 6 VINYL WINDOWS
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
 - 7 ARCHITECTURAL ROOF SHINGLES OVER ICE & WATER SHIELD OVER 5/8" SHEATHING
GAF TIMBERLINE ROOF SHINGLES - ANTIQUE SLATE
 - 8 GROUND FACE CMU
OLDCASTLE TRENWYTH - DURANGO
 - 9 METAL RAILING
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - HARWOOD PUTTY CW-5
 - 10 STEEL SHADE CANOPY
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - PALACE PEARL CW-650
 - 11 WOOD FACIA
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - HARWOOD PUTTY CW-5
 - 12 ROLL UP REFUSE STORAGE DOOR
BENJAMIN MOORE - WILLIAMSBURG COLLECTION - GUNSMITH GREY CW-65
 - 13 LIGHT FIXTURE
- NOTE: ROOF DRAINS TO BE INTERNALLY PIPED



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

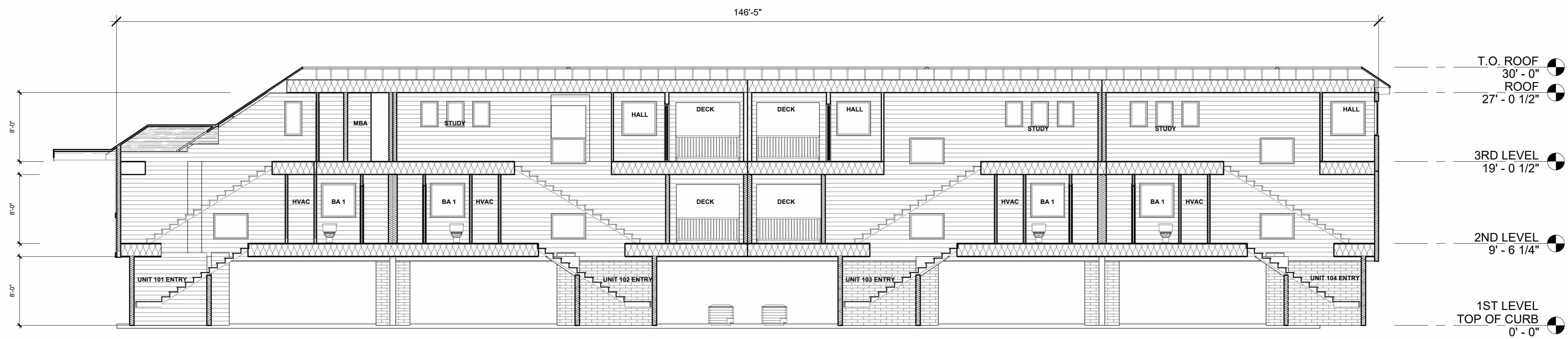
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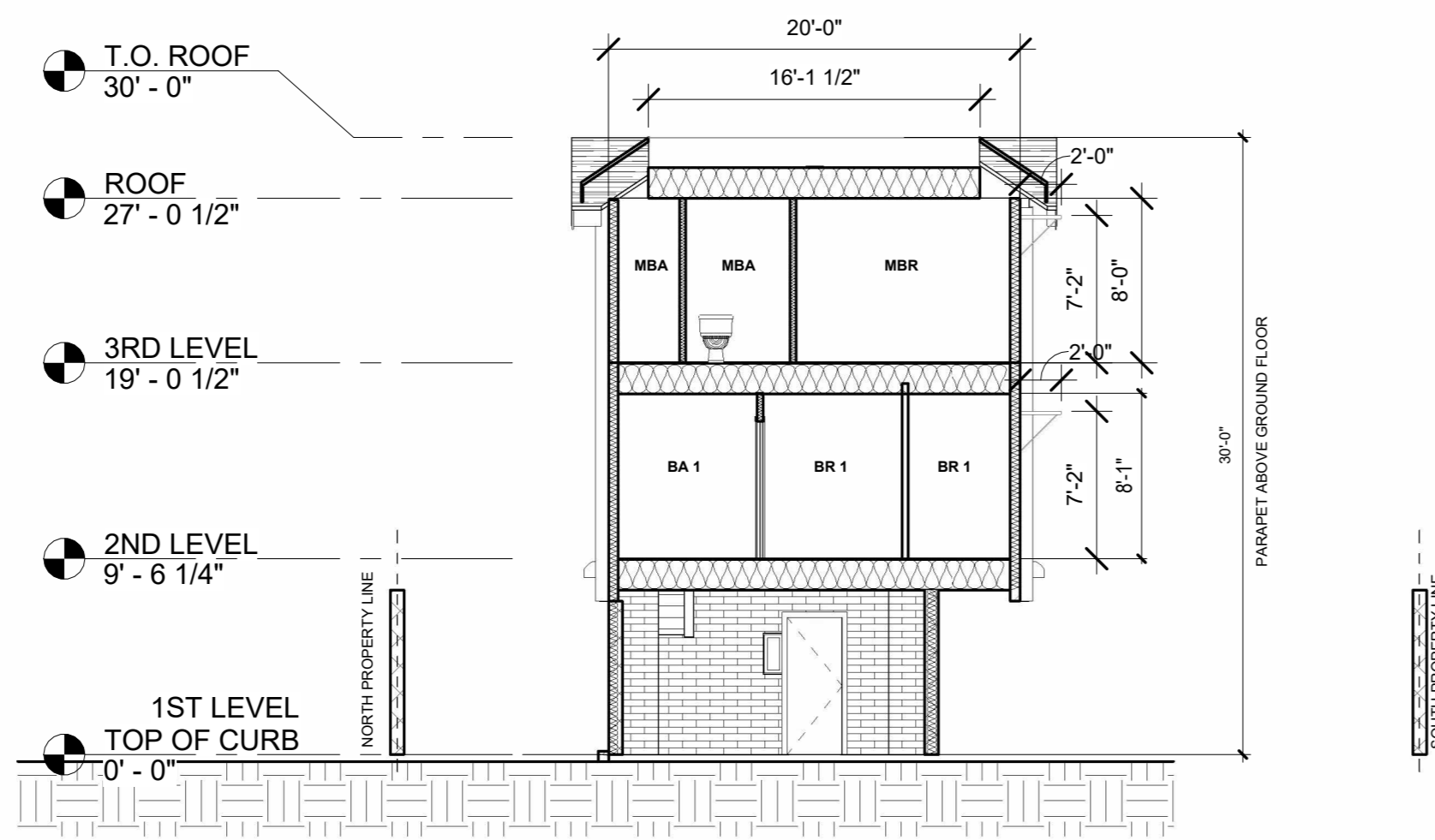
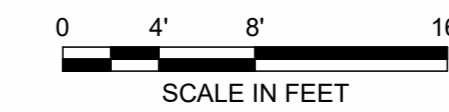
atmosphere architects
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Mesa, AZ 85201

contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

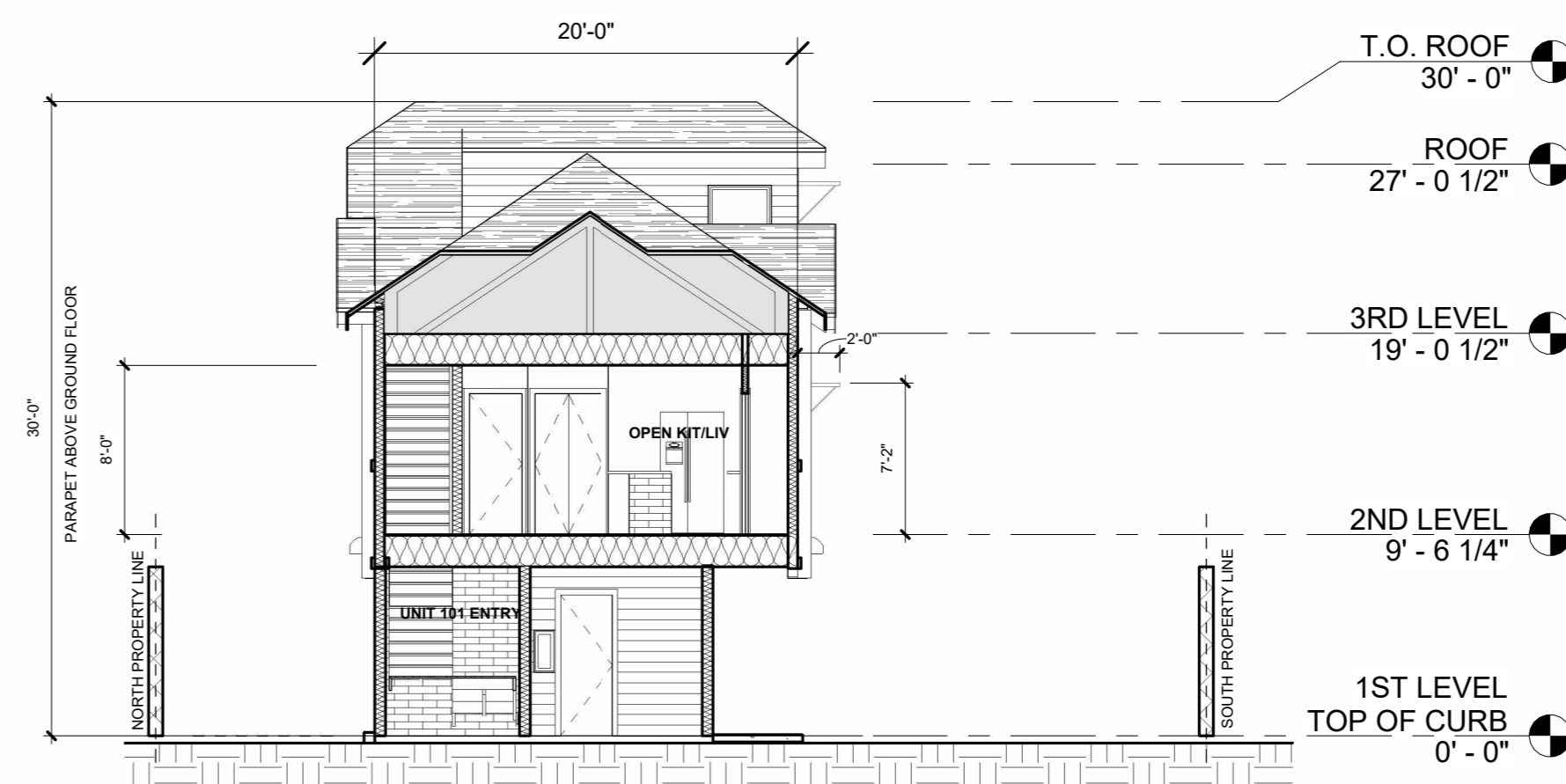
PL230406
**ELEVATIONS -
COLORED
A201c**



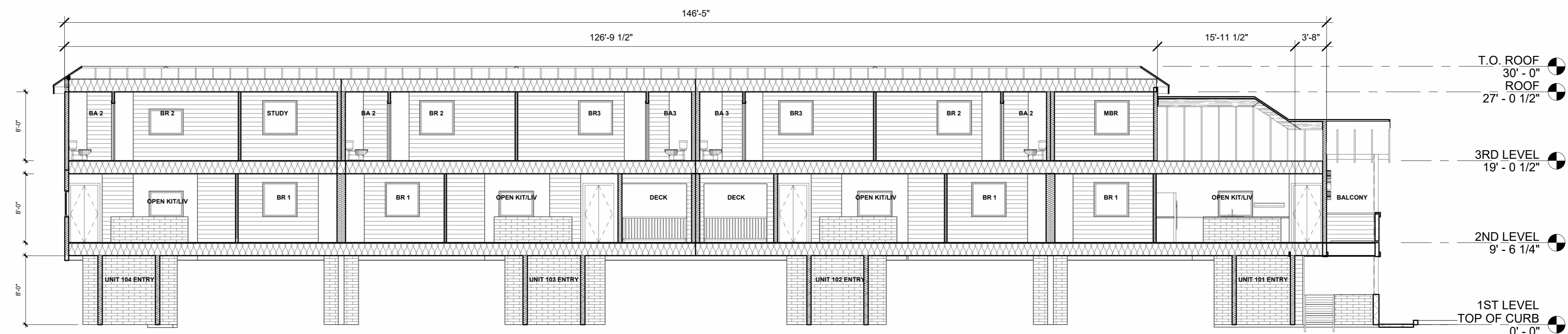
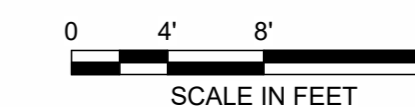
SECTION 1
1/8" = 1'-0"



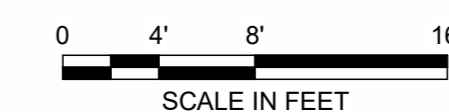
SECTION 2
1/8" = 1'-0"



SECTION 3
1/8" = 1'-0"



SECTION 4
1/8" = 1'-0"



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

PROJECT NO: 23053
DATE: 11/18/2024



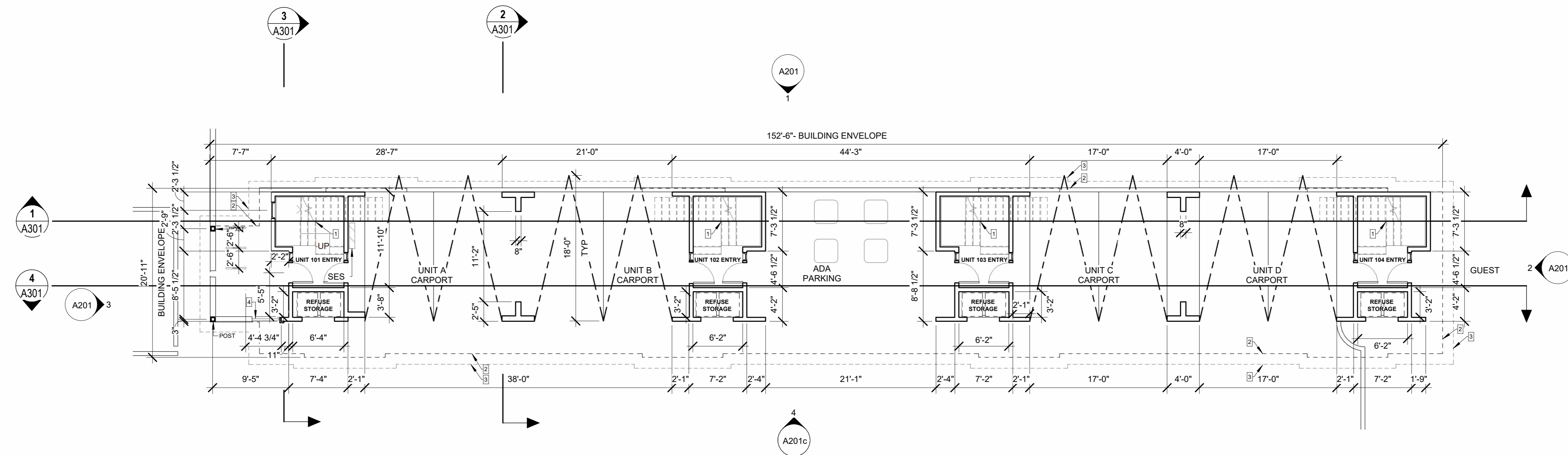
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email: tim@atmosarch.com
tel: 917-526-0323

PL230406

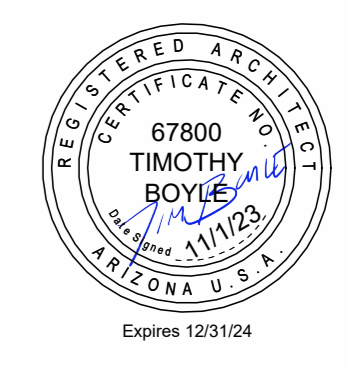
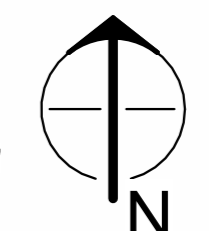
BUILDING SECTIONS

A301



1 1ST LEVEL
1/8" = 1'-0"

- KEYNOTES:
1. WOOD INTERNAL FRAMED STAIR W/ HANDRAIL @ 36" ABOVE NOSING, TYP.
 2. LINE OF BUILDING ABOVE
 3. LINE OF ROOF OVERHANG
 4. WROUGHT IRON GATE @ 36" HGT.



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

PROJECT NO: 23053
DATE: 11/18/2024

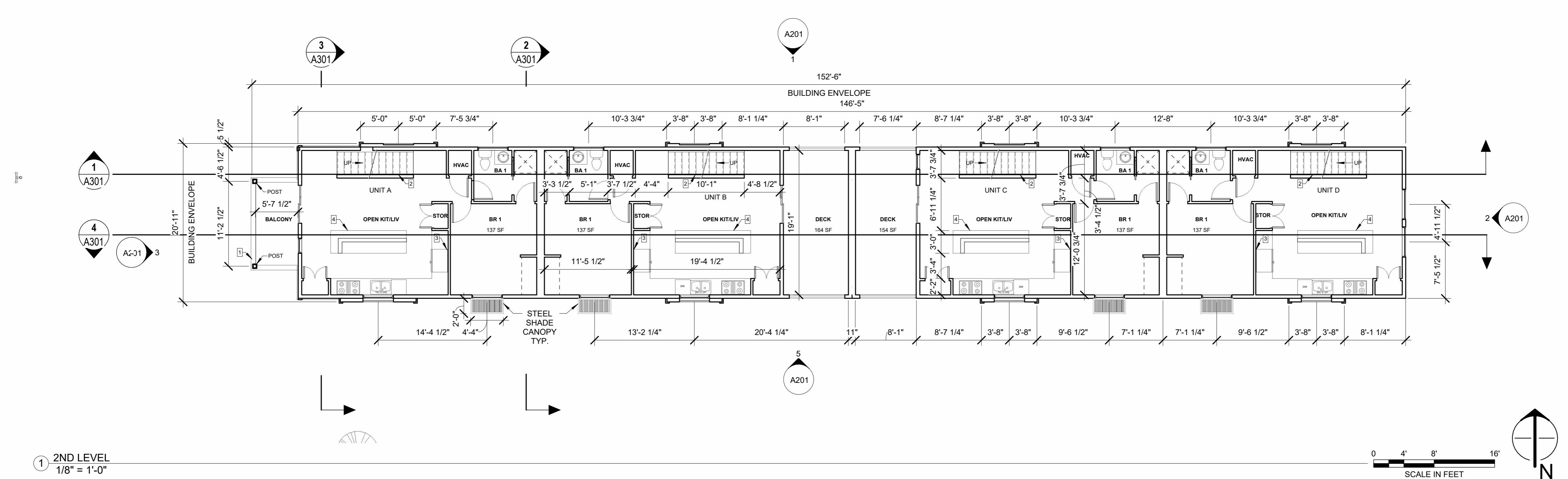


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PL230406

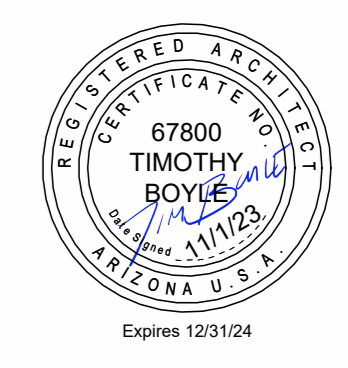
FIRST FLOOR PLAN
A101



1 2ND LEVEL
1/8" = 1'-0"

0 4' 8' 16'
SCALE IN FEET

- KEYNOTES:
1. GUARDRAIL TO 42" ABOVE FLOOR, TYP.
 2. WOOD INTERNAL FRAMED STAIR W/ HANDRAIL @ 36" ABOVE NOSING, TYP.
 3. COLD WATER SUPPLY TO FRIDGE
 4. EATING BAR AT KITCHEN ISLAND



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

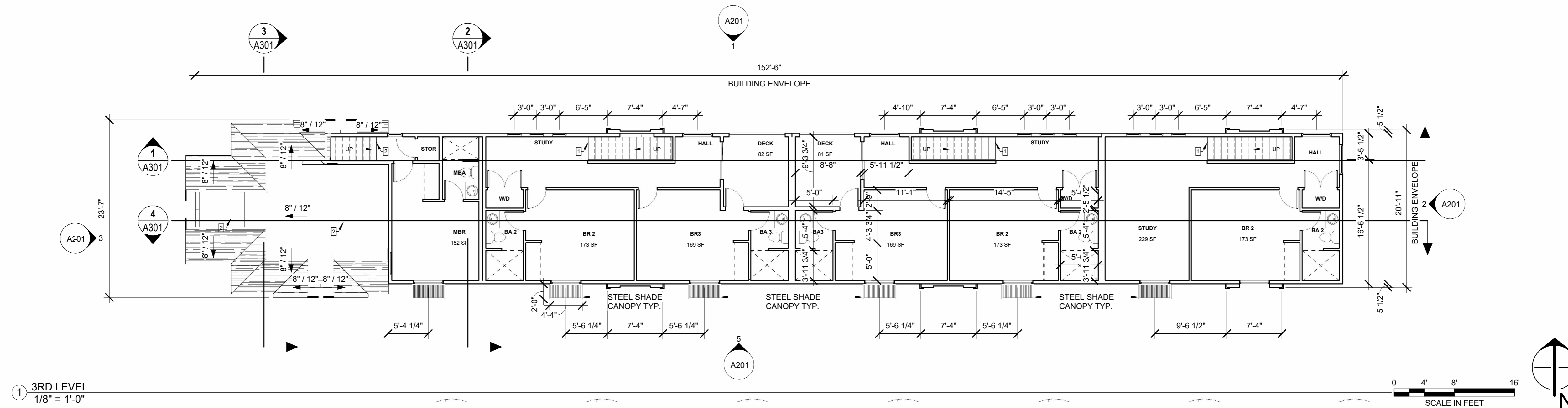
PROJECT NO: 23053
DATE: 11/18/2024



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email: tim@atmosarch.com
tel: 917-526-0323

PL230406
SECOND FLOOR PLAN
A102



no.	date	description

THE CRAFTSMAN

919 S WILSON
TEMPE, AZ 85277

PROJECT NO: 23053
DATE: 11/18/2024

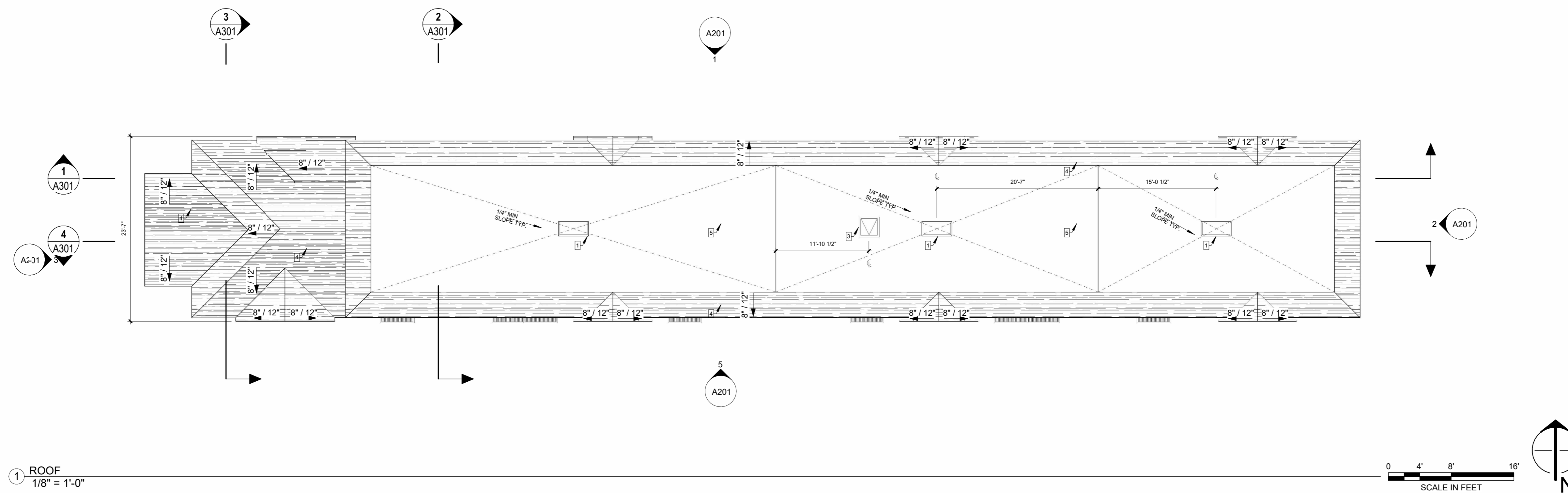


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email: tim@atmosarch.com
tel: 917-526-0323

PL230406

THIRD FLOOR PLAN
A103



- KEYNOTES:
1. ROOF DRAIN & OVERFLOW - INTERNALLY PIPED
 2. MECHANICAL UNITS
 3. ROOF ACCESS HATCH
 4. ARCHITECTURAL ROOF SHINGLES
 5. ROOF MEMBRANE

1 ROOF
1/8" = 1'-0"

0 4' 8' 16'
SCALE IN FEET



no.	date	description
1		

THE CRAFTSMAN

**919 S WILSON
TEMPE, AZ 85277**

PROJECT NO: 23053
DATE: 11/18/2024



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Mesa, AZ 85201

contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

PL230406

**ROOF PLAN
A121**



LEGAL DESCRIPTION
 LOT 5, BLOCK 6, GOODWIN HOMES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 7 OF MAPS, PAGE 14, CONTAINING 10,000 SF [0.2295 ACRES] MORE OR LESS.

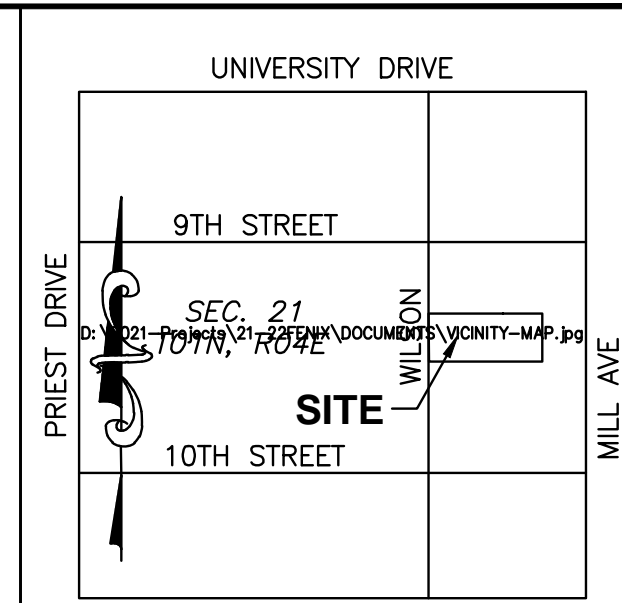
BENCHMARK
 THE BENCHMARK USED FOR THIS SURVEY IS A CITY OF TEMPE MAP POINT #108 BRASS CAP IN HART HANDHOLE FOUND AT THE INTERSECTION OF UNIVERSITY DRIVE & HARDY DRIVE, ELEVATION = 1149.69' (CIT OF TEMPE DATUM)

SITE BENCHMARK
 SITE BENCHMARK IS A SET REBAR, "AZLS 31020" AT THE SOUTHWEST CORNER OF PROJECT PARCEL, HAVING AN ELEVATION OF 1159.91 (CITY OF TEMPE DATUM).

PROJECT DESCRIPTION
 PROJECT SCOPE CONSISTS OF (1) NEW THREE-STORY APARTMENT BUILDING. 2 UNITS ARE 2 BEDROOM 2 BATHROOM, 2 UNITS ARE 3 BEDROOM 3 BATHROOM. CARPORT STYLE OPEN PARKING IS PROVIDED AT GROUND LEVEL.

GRADING & DRAINAGE PLAN FOR A 3- STORY APARTMENT BUILDING AT 919 S. WILSON ST., TEMPE, AZ 85281 A.P.N. 124-69-075

- LEGEND**
- SECTION LINE
 - MONUMENT LINE
 - PROPERTY LINE
 - OTHERS PROPERTY LINE
 - EASEMENT
 - WOODEN FENCE
 - CHAINLINK FENCE
 - WIRE FENCE
 - BRASS CAP IN HANDHOLE
 - BRASS CAP (OR AS NOTED)
 - REBAR (AS NOTED)
 - CHISELED X
 - SEWER MANHOLE
 - UTILITY POLE
 - WATER METER
 - GATE
 - SPOT ELEVATION
 - PINE TREE
 - TREE
 - FND. FOUND
 - MCR MARICOPA COUNTY RECORDER
 - PUE PUBLIC UTILITY EASEMENT
 - ROW OR R/W RIGHT OF WAY
 - (C) CALCULATED BEARINGS/DISTANCES
 - (M) MEASURED BEARINGS/DISTANCES
 - (R#) RECORDED BEARINGS/DISTANCES
 - CF CUBIC FEET
 - SF SQUARE FEET
 - ← DIRECTION OF FLOW



VICINITY MAP
(NOT TO SCALE)

OWNER
 LYFE GROUP LLC
 5586 WILD OLIVE ST
 LAS VEGAS NV 89118
 CONTACT DAMANJIT SINGH SODHI
 TEL: 802-515-2385
 EMAIL: NICKSODHI@GMAIL.COM

ARCHITECT
 ATMOSPHERE ARCHITECTS
 P.O. BOX 5267
 MESA, AZ 85211
 CONTACT: TIM BOYLE
 TEL: 917-526-0323
 Email: tim@atmosarch.com

ENGINEER
 EVEREST CONSULTING SERVICES
 7555 S. PARKCREST STREET
 GILBERT, AZ 85298
 CONTACT: PUNYA P. KHANAL
 TEL: 623-533-0334

SURVEYOR
 BARNETT LAND SURVEYING, LLC
 201 WEST STANFORD AVENUE
 GILBERT, ARIZONA 85233
 CONTACT: SHANE BARNETT
 PHONE: (602) 510-7797
 E-MAIL: SHANE@BARNETTSURVEY.COM

A.P.N.
 124-69-075

SITE ADDRESS
 919 S. WILSON STREET
 TEMPE, AZ 85281

ZONING
 R-3

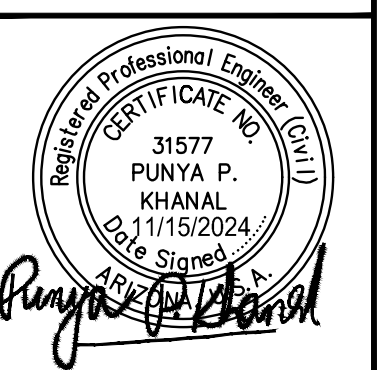
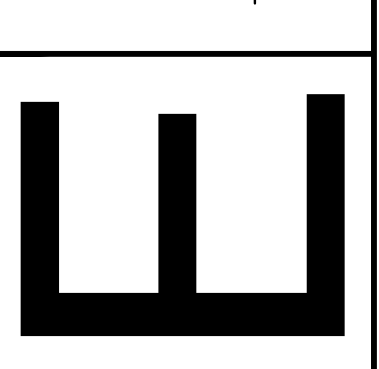
DATE
 SURVEY 06/23/2020
 G&D PLAN 10/30/2023
 CITY REDLINE 07/08/2024
 CITY REDLINE 11/15/2024

REVISIONS	BY
△	PPK
△	PPK
△	PPK
△	PPK

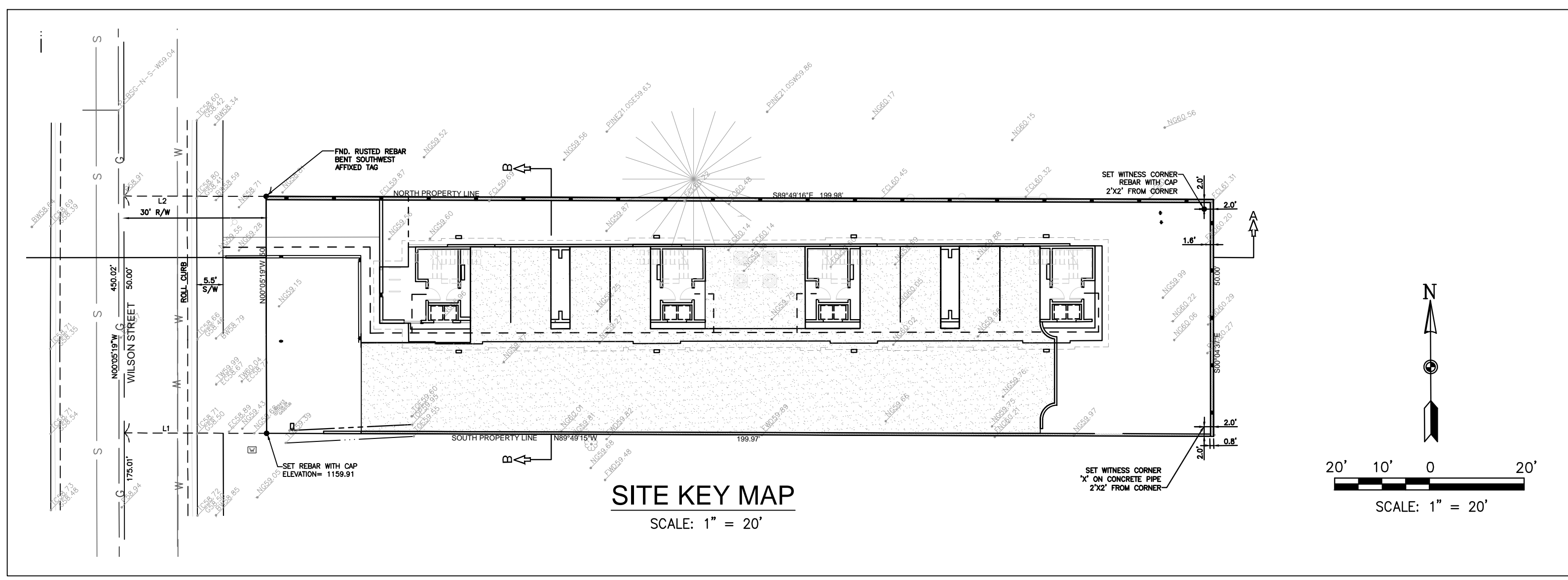


**GRADING & DRAINAGE PLAN
 FOR A 3-STORY APT. BLDG
 919 S. WILSON ST., TEMPE, AZ 85281
 A.P.N. 124-69-075**

**EVEREST CONSULTING SERVICES, PC
 CONSULTING ENGINEERS**
 7555 S. PARKCREST STREET, GILBERT, AZ 85298
 TEL: (623) 533-0334, Email: everestconsult1@gmail.com



DATE:	11/15/2024
SCALE:	1" = 10'
DRAWN:	PPK
CHECKED:	PPK
JOB #	22-19
SHEET TITLE	COVER SHEET & SITE KEY MAP
SHEET #	C1
SHEET 1 OF 6	



RETENTION VOLUME REQUIRED
 ON-SITE RETENTION IS PROVIDED FOR THE 100-YEAR 2-HOUR STORM EVENT USING METHOD 2 AS PRESCRIBED IN CITY OF TEMPE, ADMINISTRATIVE COMPLETENESS REVIEW

VOLUME = (P/12)*A*C
 WHERE,
 V = VOLUME REQUIRED TO RETAIN IN CF
 P = PRECIPITATION DEPTH IN INCHES OF STORM WATER REQUIRED TO BE RETAINED = 2.2
 A = TOTAL LOT AREA IN SF (INCLUDING 1/2 STREET)
 C = WEIGHTED COEFFICIENT OF NON ABSORPTION

AREA CONSIDERED FOR CALCULATION OF REQUIRED RETENTION VOLUME EXCLUDES THE STREET FRONTAGE BECAUSE THERE IS NO RUNOFF ENTERING FROM THE STREET TO THE PROJECT SITE.

TOTAL LOT AREA (GROSS, W/O HALF STREET) = 10,000 SF
 LANDSCAPED AREA INCLUDING BUFFER AREA ON NORTH AND EAST = 2,519 SF., C = 0.45
 COVERED AREA = 10,000-2,519 = 7,481 SF, C = 0.95

WEIGHTED COEFFICIENT OF NON-ABSORPTION = (7,491*0.95 + 2,519*0.45)/10,000 = 0.825

RETENTION VOLUME REQUIRED = 0.825*10,000*(2.2)/12 = 1512.3 CF = 1513 CF (SAY)

RETENTION VOLUME PROVIDED
 REQUIRED RETENTION IS PROVIDED BY UNDERGROUND RETENTION BASINS. USING 60" CORRUGATED STEEL PIPES AS UNDERGROUND BASIN. VOLUME PER LINEAR FT. OF PIPE = 3.14159*(5'5)/4 = 19.634 CF/FT. LENGTH OF PIPE REQUIRED FOR RETAINING 1,513 CF = 1,513/19.634 = 77.06 FT. USE 80 LF OF 60" CORRUGATED STEEL PIPE. TOTAL VOLUME PROVIDED IN UNDERGROUND BASINS = 80*19.634 = 1,571.07 CF, SAY 1,571 CF. RETENTION VOLUME PROVIDED = 1,571 CF > 1,513 CF (OK)

DRYWELL CALCULATION
 ASSUMED:
 DISCHARGE RATE OF EACH DRYWELL = 0.10 CFS
 AGING FACTOR = 1, DRAINING TIME = 36 HRS.
 # DRYWELL REQUIRED = (1,571*1)/(36*0.10*3600) = 0.121 SAY 1 DRY WELL
 ACTUAL DRAINING TIME = (1,571)/(1*3600*0.10) = 4.36 HRS < 36 HRS (OK)
 PROVIDE 1 DRY WELL

SITE DATA:

GROSS LOT AREA =	10,000 SF OR 0.23 ACRES	
NET LOT AREA =	10,000 SF OR 0.23 ACRES	
UNIT TYPES:	2-THREE BEDROOM UNITS & 2-TWO BEDROOM UNITS	
TOTAL # OF UNITS:	4	
TOTAL # OF BEDROOMS:	10	
# OF STORIES:	3	
USE:	SEPARATED	
BUILDING AREA:		
1ST LEVEL	340 SQ FT	538 SQ FT
2ND LEVEL	1,920 SQ FT	2,908 SQ FT
3RD LEVEL	2,128 SQ FT	2,717 SQ FT
TOTAL	4,388 SQ FT	6,163 SQ FT

REFER TO ARCHITECTURAL SITE PLAN FOR BUILDING AREA BREAKDOWN BY UNITS AND FLOOR LEVELS AS WELL AS PARKING CALCULATIONS.

ESTIMATED PUBLIC QUANTITIES
 9" THICK STAMPED CONCRETE PAVEMENT AT DRIVEWAY ENTRANCE - 400 SF

ESTIMATED PRIVATE QUANTITIES

9" THICK STAMPED CONCRETE DRIVEWAY	400 SF
ASPHALT CONCRETE PAVEMENT	582 SY
MAG 220 TYPE B SINGLE CURB	300 LF
8" HIGH CMU BLOCK WALL	450 LF
42" HIGH CMU BLOCK WALL	28 LF
60" DIAMETER CONTECH UNDERGROUND RETENTION PIPE	80 LF
MAXWELL PLUS DRYWELL	1 EA
8" DIA STORM DRAIN PIPE	93 LF

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

UTILITY COMPANY SUBMITTALS

- THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES AND THE WORK CONTAINED IN THESE PLANS HAS BEEN APPROVED BY THESE COMPANIES WITHIN THE AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND RESOLVED BY THEM AND THE DESIGN ENGINEER.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

SALT REIVER POWER DISTRICT	JAMIE LANDO COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
SRVWUA	SHERRY WAGNER COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
ARIZONA PUBLIC SERVICE	ROGER WATKINS COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
CENTURYLINK	ANA ANAYA COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
EL PASO NATURAL GAS CO.	STEVE WEATHERHEAD COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
SOUTHWEST GAS CO.	ZACH STEVENSON COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
COX CABLE T. V.	LINDA FACIO COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
AIR PRODUCTS	CAMERON CHASE COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
AT&T	SHAH KHALID COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
VERIZON WIRELESS	JAMISON TYLER COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE
ZAYO FIBER NETWORK	MATT BURKE COMPANY REPRESENTATIVE CONTACTED	XX/XX/2024 DATE

APPROVAL FOR
 GRADING & DRAINAGE PLAN

CITY OF TEMPE	DATE	
AS-BUILT INFORMATION IS INCLUDED IN THESE AREAS ON THIS SET OF DRAWINGS	PERMITS REQUIRED FOR THIS SET OF DRAWINGS	
<input type="checkbox"/> SEWER	<input type="checkbox"/> U.G FIRE LINE	<input type="checkbox"/> DRAINAGE
<input type="checkbox"/> WATER	<input type="checkbox"/> CITY IRRIG.	<input type="checkbox"/> PAVING
<input type="checkbox"/> WATER-RECLAIMED	<input type="checkbox"/> BIKE PATH	<input type="checkbox"/> WATER
<input type="checkbox"/> STORM DRAIN	<input type="checkbox"/> LANDSCAPE	<input type="checkbox"/> SEWER
<input type="checkbox"/> DRYWELL	<input type="checkbox"/> SPRINKLER	<input type="checkbox"/> STREET LIGHTS
<input type="checkbox"/> PAVING	<input type="checkbox"/> STREET LIGHTS	<input type="checkbox"/> FLOODPLAIN
<input type="checkbox"/> OFFSITE (C.G, SW, DW)	<input type="checkbox"/> BUILDINGS	<input checked="" type="checkbox"/> U.G FIRE LINE
<input type="checkbox"/> GRADING/DRAINAGE	<input type="checkbox"/>	<input type="checkbox"/> OTHER
AS-BUILT PLANS CHECKED FOR FIELD CHANGES	PARCEL #	
INSPECTOR	DATE	PROJECT #

GENERAL AND SITE PLAN NOTES

- ALL CONSTRUCTION UNDER THE PUBLIC WORKS PERMIT SHALL CONFORM TO THE CITY OF TEMPE SUPPLEMENT TO THE MAG SPECIFICATIONS AND DETAILS, MARICOPA ASSOCIATION OF GOVERNMENTS UNIFORM STANDARD SPECIFICATIONS AND DETAILS (MAG SPECIFICATIONS AND DETAILS), AND CITY OF TEMPE TRAFFIC BARRICADE MANUAL.
- A PERMIT ISSUED BY THE ENGINEERING DIVISION SHALL BE REQUIRED FOR ALL WORK IN THE CITY OF TEMPE RIGHTS OF WAY. AN INVESTIGATION ASSESSMENT, IN THE AMOUNT DEFINED BY SECTION 29-19 ENGINEERING FEES, APPENDIX A OF TEMPE CITY CODE, WILL BE CHARGED FOR ANY WORK WITHIN THE CITY OF TEMPE RIGHTS-OF-WAY IN WHICH A PERMIT HAS NOT BEEN ISSUED PRIOR TO COMMENCEMENT OF WORK.
- THE CITY SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION WORK. CALL THE ENGINEERING REQUEST LINE AT (480) 350-8072 AT LEAST ONE BUSINESS DAY BEFORE START OF CONSTRUCTION TO REQUEST INSPECTIONS. CONSTRUCTION WORK CONCEALED WITHOUT INSPECTION BY THE CITY SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTOR'S EXPENSE.
- RIGHT OF WAY IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL 3 MIL MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
- LOCATION OF ALL WATER VALVES, MANHOLES, AND CLEANOUTS MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER UTILITIES DIVISION.
- NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT, AND SIDEWALKS HAVE BEEN SWEEPED CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED ACCORDING TO THE PLANS.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION, UTILITY RELOCATION, CONSTRUCTION STAKING, OR AS-BUILT PLANS.
- ALL EXISTING STREET MONUMENTS MUST BE PRESERVED. PRIOR TO CONSTRUCTION, MONUMENTS WILL BE REFERENCED HORIZONTALLY AND VERTICALLY. AFTER CONSTRUCTION, MONUMENTS SHALL BE RESET AND FIELD NOTES, INCLUDING NEW ELEVATION, SHALL BE FILED WITH THE CITY.
- FIRE RISER, DETAILS AND FDC ARE FOR REFERENCE ONLY AND ARE NOT APPROVED ON THESE DRAWINGS. FIRE SPRINKLER PLANS MUST BE SUBMITTED FOR SEPARATE FIRE DEPARTMENT REVIEW AND APPROVAL.
- ALL OVERHEAD UTILITY LINES (OTHER THAN TRANSMISSION LINES 12.5KV OR GREATER) THAT ON OR ADJACENT TO THE SITE, INCLUDING STREET OR ALLEY CROSSINGS, SHALL BE PLACED UNDERGROUND PER CITY CODE SECTION 25-120 THROUGH SECTION 25-126 AND ORDINANCE NO. 88.85
- ALL ONSITE PRIVATE UTILITIES AND DETAILS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY AND ARE NOT APPROVED ON THESE DRAWINGS. SEE PLANS THAT ARE APPROVED BY BUILDING SAFETY FOR ONSITE PRIVATE UTILITIES.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. IT IS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER SEALING AND SIGNING THESE PLANS TO BE CERTAIN THAT THEY ARE IN FULL COMPLIANCE WITH TEMPE STANDARDS, DETAILS, CRITERION, LAWS AND ORDINANCES.
- THE CITY DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- THE CITY APPROVAL IS FOR GENERAL LAYOUT IN THE RIGHT-OF-WAY, ON-SITE GRADING, DRAINAGE, WATER AND SEWER. THIS PLAN CHECK APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM APPLICATION DATE. CONSTRUCTION PERMITS SHALL BE OBTAINED DURING THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND APPROVAL. ONE 6 MONTH EXTENSION MAY BE GRANTED UPON REQUEST IF THE REQUEST IS MADE PRIOR TO THE EXPIRATION OF THE ONE YEAR PERIOD AT A COST OF 25% OF THE TOTAL PLAN CHECK FEE. PERMITS MUST THEN BE ISSUED WITH 6 MONTHS AND THEY WILL BE VALID FOR ONE YEAR FROM ISSUE DATE, OTHERWISE, THE PROJECT EXPIRES AND PERMITS ARE VOIDED.
- AN APPROVED SET OF PLANS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- CONSTRUCTION ITEMS SHALL NOT BE ACCEPTED UNTIL 3 MIL MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
- THE DEVELOPER IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF ALL OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY PRIOR TO STARTING NEW CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR ARRANGING THE RELOCATION AND ASSOCIATED COSTS OF ALL UTILITIES. A UTILITY RELOCATION SCHEDULE SHALL BE SUBMITTED PRIOR TO THE START OF NEW CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING OR DEDICATING ALL REQUIRED RIGHTS-OF-WAY AND EASEMENTS TO THE CITY PRIOR TO APPROVAL OF IMPROVEMENT PLANS.
- THE CONTRACTOR SHALL CONTACT ARIZONA BLUE STAKE AT 602-263-1100 AT LEAST 2 WORKING DAYS PRIOR TO CONSTRUCTION, IN ACCORDANCE WITH A.R.S. § 40-360.21, ET SEQ.
- THE CONTRACTOR SHALL BARRICADE CONSTRUCTION SITES AT ALL TIMES PER THE CITY OF TEMPE TRAFFIC BARRICADE MANUAL, WHEN REQUIRED BY THE CITY, A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR APPROVAL IN ADVANCE OF CONSTRUCTION.
- THE CONTRACTOR MAY OBTAIN A FIRE HYDRANT METER FOR CONSTRUCTION WATER FROM CUSTOMER SERVICES. THIS METER SHOULD BE ORDERED TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE UNLAWFUL REMOVAL OF WATER FROM A FIRE HYDRANT IS A VIOLATION OF THE MUNICIPAL CODE, PUNISHABLE BY FINE AND/OR IMPRISONMENT.
- ALL BROKEN OR DISPLACED EXISTING CONCRETE CURB, GUTTER, OR SIDEWALK SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY OF TEMPE ENGINEERING DIVISION INSPECTOR.
- ALL CITY FACILITIES, ALLEYS AND ROADWAY SURFACES DAMAGED BY DEVELOPER/CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED/RESTORED TO THE SATISFACTION OF THE CITY OF TEMPE ENGINEERING DIVISION INSPECTOR PER THE RESPECTIVE CITY AND/OR MAG STANDARD DETAIL.

PAVING AND SURVEY MONUMENT NOTES

- NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY PRISM ARE COMPLETED.
- THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2% OR LESS SHALL BE 25 FEET FOR CONCRETE WORK AND 50 FEET FOR ASPHALT ROADWAY SECTION, EXCEPT ON HORIZONTAL OR VERTICAL CURVES WHERE A MAXIMUM STAKE INTERVAL OF 20 FEET FOR CONCRETE WORK SHALL BE REQUIRED. ALL CURB RETURNS SHALL BE STAKED AT THE P.C., P.T. AND THE MIDPOINT OF THE RETURN. NO GRADE STAKE INTERVAL SHALL EXCEED 50 FEET.
- GUTTERS WILL BE WATER TESTED IN THE PRESENCE OF THE CITY'S ENGINEER INSPECTOR, OR DESIGNEE, TO ENSURE PROPER DRAINAGE, PRIOR TO FINAL APPROVAL BY THE ENGINEERING DIVISION.
- EXACT POINT OF MATCHING, TERMINATION AND OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE ENGINEERING DIVISION.
- ADDRESS OVERLAY REQUIREMENTS WHERE OPEN CUTTING IS PERMITTED. FINISHED PAVEMENT SURFACE MATERIALS SUCH AS RUBBERIZED ASPHALT SHALL BE MATCHED IN FIELD.
- ANY PAVEMENT MARKINGS/STRIPING REMOVED AS PART OF THIS PROJECT SHALL BE REPLACED IN-KIND. THE COST TO REPLACE/RESTORE PAVEMENT MARKINGS SHALL BE INCIDENTAL TO THE COST OF THE ASPHALT PAVEMENT OR SURFACE TREATMENT AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
- FOR UTILITY REHABILITATION/RESTORATION PROJECTS, ALL NEIGHBORHOOD STREETS ARE TO BE FINISHED WITH A SLURRY SEAL AND MAY BE PRECEDED BY EDGE MILLING AND HOT RUBBER CRACK FILLING/SEALING PER THE PROJECT SPECIFICATIONS. NO LESS THAN 30 DAYS AFTER SLURRY SEAL HAS BEEN APPLIED, A FULL STREET SWEEPING IS REQUIRED. RESTORATION/APPLICATION OF ALL STREET STRIPING AND/OR SYMBOLS IS ALSO REQUIRED.
- ON NEIGHBORHOOD STREETS SCHEDULED FOR FINISHED SLURRY SEAL, T-TOP PAVEMENT REPLACEMENTS MAY USE A 3/4 INCH ASPHALT MIX OR A READILY AVAILABLE APPROVED EQUAL.
- FOR WATER SERVICE LINES AND FIRE HYDRANT LINES THROUGHOUT THE NEIGHBORHOOD STREETS, THE WIDTH OF T-TOP PAVEMENT REPLACEMENT MAY BE REDUCED TO THREE (3) FEET OR FOUR (4) FEET WIDE PROVIDED THE TOP OF TRENCH IS ONE (1) FEET TO TWO (2) FEET WIDE, RESPECTIVELY, IN LIEU OF THE EIGHT (8) FOOT T-TOP WIDTH AS NOTED ON COT STD DETAIL T-450.
- ASPHALT THICKNESS IS TO MATCH EXISTING BUT MUST BE A MINIMUM OF 4" ASPHALT THICKNESS ON NEIGHBORHOOD STREETS AND 6" FOR ARTERIAL/COLLECTOR STREETS FOR PAVEMENT REPLACEMENT OVER TRENCHES IF THE TRENCHES ARE SLURRY FILLED TO UNDERSIDE OF PAVEMENT; COMPACTED AB MAY ALSO BE ACCEPTABLE PER MAG SPEC SECTION 601. SEE SPECIFICATIONS FOR SLURRY SEAL MICRO SEAL AND OTHER SPECIFIC PAVEMENT REQUIREMENTS.
- FOR UTILITY REHABILITATION/RESTORATION PROJECTS, ARTERIAL AND COLLECTOR STREETS ARE TO BE FINISHED WITH A FULL-WIDTH MICROSURFACING SEAL FOR FULL LIMITS OF CONSTRUCTION, AND MAY BE PRECEDED BY EDGE MILLING AND HOT RUBBER CRACK FILLING/SEALING PER THE PROJECT SPECIFICATIONS. RESTORATION/APPLICATION OF ALL STREET STRIPING AND/OR SYMBOLS IS ALSO REQUIRED.
- ALL ASPHALT JOINTS ARE TO BE CRACK FILLED/SEALED WITH A HOT APPLIED RUBBERIZED ASPHALT SEALANT SUCH AS POLYFLEX 3 BY CRAFCO OR APPROVED EQUAL. REFER TO COT STD DET T-450 REGARDING PAVEMENT REPLACEMENT REQUIREMENTS.
- REMOVAL AND REPLACEMENT OF ANY CONCRETE SHALL BE TO THE NEAREST JOINT.
- ALL EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED IN-PLACE AND SHALL BE EXPOSED AFTER ANY PAVEMENT RESTORATION/TREATMENT. ANY DAMAGED/REMOVED/DISTURBED SURVEY MONUMENTS SHALL BE CONSTRUCTED BY THE CONTRACTOR PER MAG STD DETAIL 120, TYPE A ON ARTERIALS AND/OR AT QUARTER SECTION CORNERS. LOCAL STREET SURVEY MONUMENTS SHALL BE CONSTRUCTED PER MAG STD DETAIL 120, TYPE B. TIE DOWNS, POINT SET, STRADDLERS, AND BRASS CAP PUNCHING WILL BE PERFORMED BY CITY SURVEY CREW. THE CONTRACTOR IS TO COORDINATE THE SURVEY MONUMENT ACTIVITIES WITH THE CITY'S ENGINEERING INSPECTOR AND LEAD SURVEYOR.

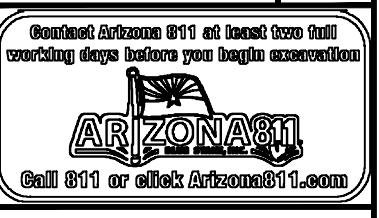
SEWER, WATER AND UTILITY PLAN NOTES

- THE CONTRACTOR SHALL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION, SIZE, MATERIAL TYPE, ETC. PRIOR TO CONSTRUCTION OF NEW LINES. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. CALL BLUE STAKE AT 602-263-1100.
 - SUMMITS IN WATER LINES SHALL BE LOCATED AT FIRE HYDRANTS.
 - BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE ENGINEERING DIVISION.
 - IF A BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE INSTALLED, THE CONTRACTOR WILL CALL THE DEVELOPMENT SERVICES DEPARTMENT AT 480-350-8341 FOR AN INSPECTION BEFORE BACKFILLING THE ASSEMBLY.
 - ALL PUBLIC WATER LINES SHALL BE PRESSURE CLASS 350 DIP, PROTECTED WITH HIGH DENSITY POLYETHYLENE CORROSION PROTECTION PER MAG SPECIFICATION 610.
 - ALL NEW WATER AND SEWER CONNECTIONS TO EXISTING LINES SHALL BE DONE ONLY BY OPEN-CUT ON MAJOR ARTERIAL STREETS, MAJOR INTERSECTIONS OR THE PRESENCE OF A MAJOR WATER OR SEWER LINE. BORED INSTALLATIONS MUST BE CLEARLY IDENTIFIED AND SPECIFICALLY APPROVED BY THE CITY ENGINEER, OR DESIGNEE.
 - ALL ON-SITE SEWER SYSTEMS ARE CONSIDERED PRIVATE UNLESS OTHERWISE NOTED ON PLANS AND MUST BE APPROVED BY THE CITY OF TEMPE BUILDING SAFETY DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT.
 - IN ACCORDANCE WITH AAC R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
 - ALL MANHOLE INSTALLATIONS SHALL BE COMPLETE IN PLACE INCLUDING ALL EXCAVATION, BACKFILL, SWEEPS, AND CONDUITS NECESSARY TO COMPLETE THE INSTALLATION OF THE MANHOLE AND CONNECTIONS TO THE MAINLINE CONDUITS.
 - FOR THE EXISTING SEWER STUB CONNECTIONS ONLY. (TO BE SIGNED ON "AS-BUILT" MYLAR.) "THIS IS TO CERTIFY THAT AN ACTUAL FIELD FLOW TEST ON THE EXISTING SEWER STUB WAS PERFORMED AND WAS FOUND TO BE ACCEPTABLE AND FREE OF ANY OBSTRUCTIONS PRIOR TO FINAL BUILDING CONNECTION"
- | ENGINEER | DATE | ARIZONA P.E. NUMBER |
|----------|------|---------------------|
| | | |
- ALL VALVES SHALL BE FLANGED TO FITTINGS, PREFERABLY TEES.
 - THRUST & ANCHOR BLOCKS PER MAG STANDARD DETAIL 301, 380 & 381.
 - ONLY THE CITY OF TEMPE WATER UTILITIES DIVISION PERSONNEL SHALL OPERATE ANY EXISTING VALVES OR ANY VALVE CONNECTING NEW WORK TO THE EXISTING CITY WATER SYSTEM.
 - SEWER, WATER AND UTILITY IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL 3 MIL MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
 - WATER, STORM DRAIN & SANITARY SEWER SEPARATION/PROTECTION SHALL BE PER MAG STANDARD DETAIL 404 WITH CITY APPROVAL. THE CITY CONSIDERS STORM DRAINS TO BE "SEWER" WHEN CROSSING WATER LINES. THE CITY CONSIDERS STORM DRAINS TO BE "POTABLE WATER" WHEN CROSSING SANITARY SEWER LINES.
 - THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT FOREIGN MATERIAL FROM ENTERING THE PIPE WHILE IT IS BEING STORED.
 - DURING INSTALLATION AND AT ALL TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE IN THE TRENCH SHALL BE CLOSED BY A WATER-TIGHT PLUG OR OTHER MEANS APPROVED BY THE CITY OF TEMPE ENGINEERING INSPECTOR. IF IN THE OPINION OF THE CITY OF TEMPE ENGINEERING INSPECTOR THE PIPE CONTAINS DIRT THAT WILL NOT BE REMOVED DURING THE FLUSHING OPERATION, THE INTERIOR OF THE PIPE SHALL BE CLEANED AND SWABBED, AS NECESSARY, WITH A .005 TO .010 PERCENT CHLORINE SOLUTION.
 - AFTER PRESSURE TESTING AND BEFORE PLACING IN SERVICE, ALL WATER LINES SHALL BE DISINFECTED AND TESTED FOR WATER QUALITY IN ACCORDANCE WITH MAG STANDARD SPECIFICATIONS SECTION 611. IF THE WATERLINE FAILS THE CHLORINE RESIDUAL TEST OR FAILS TO MEET THE WATER QUALITY TEST MORE THAN THREE (3) TIMES, THE CITY OF TEMPE ENGINEERING INSPECTOR RESERVES THE RIGHT TO REQUIRE THE INSTALLED WATERLINE TO BE CLEANED BY PIGGING THE LINE, IN ACCORDANCE WITH STANDARD PROCEDURES, AT NO COST TO THE CITY.

ON SITE DRAINAGE PLAN NOTES

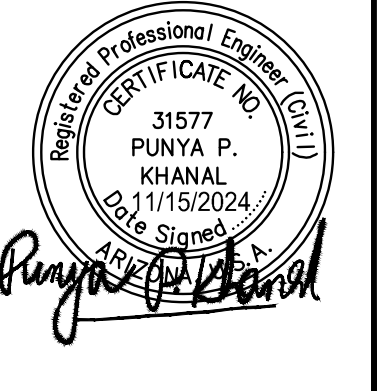
- A CONTRACTOR / PERMIT ISSUED BY THE ENGINEERING DIVISION SHALL BE REQUIRED FOR THE ONSITE DRAINAGE OF THE PROJECT.
 - DRYWELLS MUST BE REGISTERED WITH THE ARIZONA STATE DEPARTMENT OF ENVIRONMENTAL QUALITY. AN AQUIFER PROTECTION PERMIT (APP) MAY ALSO BE REQUIRED.
 - PRIOR TO ACCEPTANCE THE OWNER/DEVELOPER SHALL FURNISH THE FOLLOWING:
 - DRILLING LOG AND CERTIFICATION OF COMPLIANCE FOR ALL DRY WELLS.
 - A 3 MIL MINIMUM DOUBLE MATTE, BLACK AND WHITE REPRODUCIBLE MYLAR COPY OF THE APPROVED PLANS WITH THIS CERTIFICATION SIGNED BY A REGISTERED PROFESSIONAL ENGINEER:
 - "THIS IS TO CERTIFY THAT AN ACTUAL FIELD SURVEY WAS MADE UNDER MY SUPERVISION OF THE SUBJECT SITE AND THAT FINISH FLOOR AND RETENTION ELEVATIONS ARE THE TRUE "AS BUILT" CONDITIONS, AND THEY MEET OR EXCEED THE ORIGINAL RETENTION REQUIREMENTS AS SHOWN ON THIS APPROVED PLAN."
- | ENGINEER | DATE | ARIZONA P.E. NUMBER |
|----------|------|---------------------|
| | | |
- UNDERGROUND STORM WATER STORAGE SYSTEMS WHEN USED AND SPECIFICALLY APPROVED BY THE CITY ENGINEER, OR DESIGNEE, SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER, INCLUDING THE DESIGN, CONSTRUCTION, INSPECTION, MONITORING AND MAINTENANCE. THE OWNER SHALL BE LIABLE FOR ANY AND ALL CLAIMS RESULTING THERE FROM. THE CITY OF TEMPE, BY ALLOWING THIS SYSTEM ASSUMES NO LIABILITY OR RESPONSIBILITY FOR THE DESIGN, CONSTRUCTION, INSPECTION, MONITORING, AND/OR MAINTENANCE OF THE SYSTEM. A DEED RESTRICTION DESCRIBING THE SYSTEM SHALL BE RECORDED. THIS DOCUMENT SHALL STATE THAT THE DEED RESTRICTION CANNOT BE RELINQUISHED OR ABANDONED WITHOUT THE WRITTEN APPROVAL OF THE CITY OF TEMPE.
 - ALL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS OF VOLUME III, EROSION CONTROL, OF THE DRAINAGE DESIGN MANUAL ISSUED BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY (2012). THE PERIMETER OF THE PROJECT SITE SHALL HAVE BMPs IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). DESIGNATED WASHDOWN AREAS SHALL BE ONSITE AND FOLLOW THE SPECIFICATIONS OF THE GENERAL HOUSEKEEPING BEST MANAGEMENT PRACTICE GH-4. ONSITE STOCK PILES SHALL HAVE PERIMETER CONTROL BMPs INSTALLED AROUND THE STOCK PILE. ONSITE STORM DRAIN INLETS SHALL BE PROTECTED BY BMP SPC-7 IF UPSTREAM CONSTRUCTION ACTIVITIES MAY RESULT IN STORMWATER DISCHARGES.

REVISIONS	BY
△	PPK
△	PPK
△	PPK
△	PPK



GRADING & DRAINAGE PLAN
FOR A 3-STORY APT. BLDG
919 S. WILSON ST., TEMPE, AZ 85281
A.P.N. 124-69-075

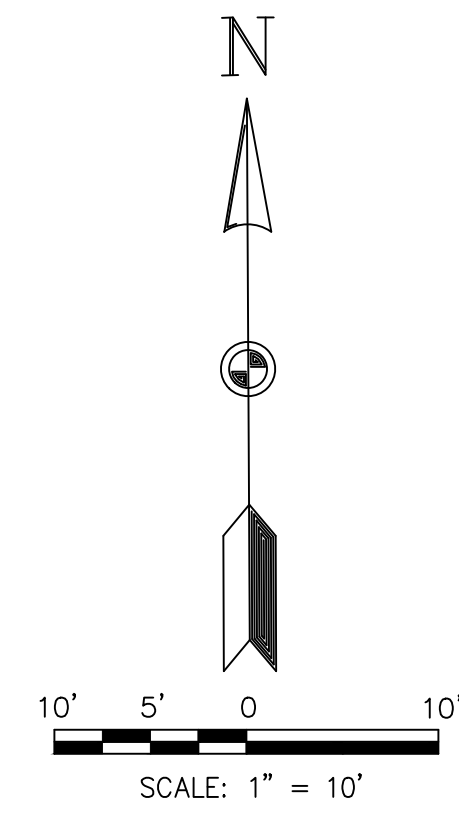
EVEREST CONSULTING SERVICES, PC
CONSULTING ENGINEERS
 7555 S. PARKCREST STREET, GILBERT, AZ 85298
 TEL: (602) 533-0334, Email: everestconsult1@gmail.com



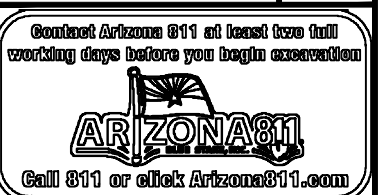
DATE:	11/15/2024
SCALE:	1" = 10'
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JOB #	22-19
SHEET TITLE	CITY OF TEMPE NOTES
SHEET #	Q2
SHEET 2 OF 6	

PRELIMINARY
NOT FOR
CONSTRUCTION

GRADING & DRAINAGE PLAN FOR A 3- STORY APARTMENT BUILDING AT 919 S. WILSON ST., TEMPE, AZ 85281 PARCEL NO. 124-69-075

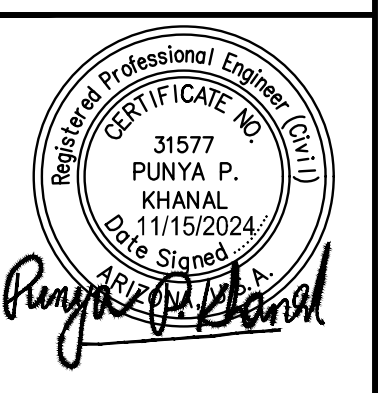


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**GRADING & DRAINAGE PLAN
FOR A 3-STORY APT. BLDG
919 S. WILSON ST., TEMPE, AZ 85281
A.P.N. 124-69-075**

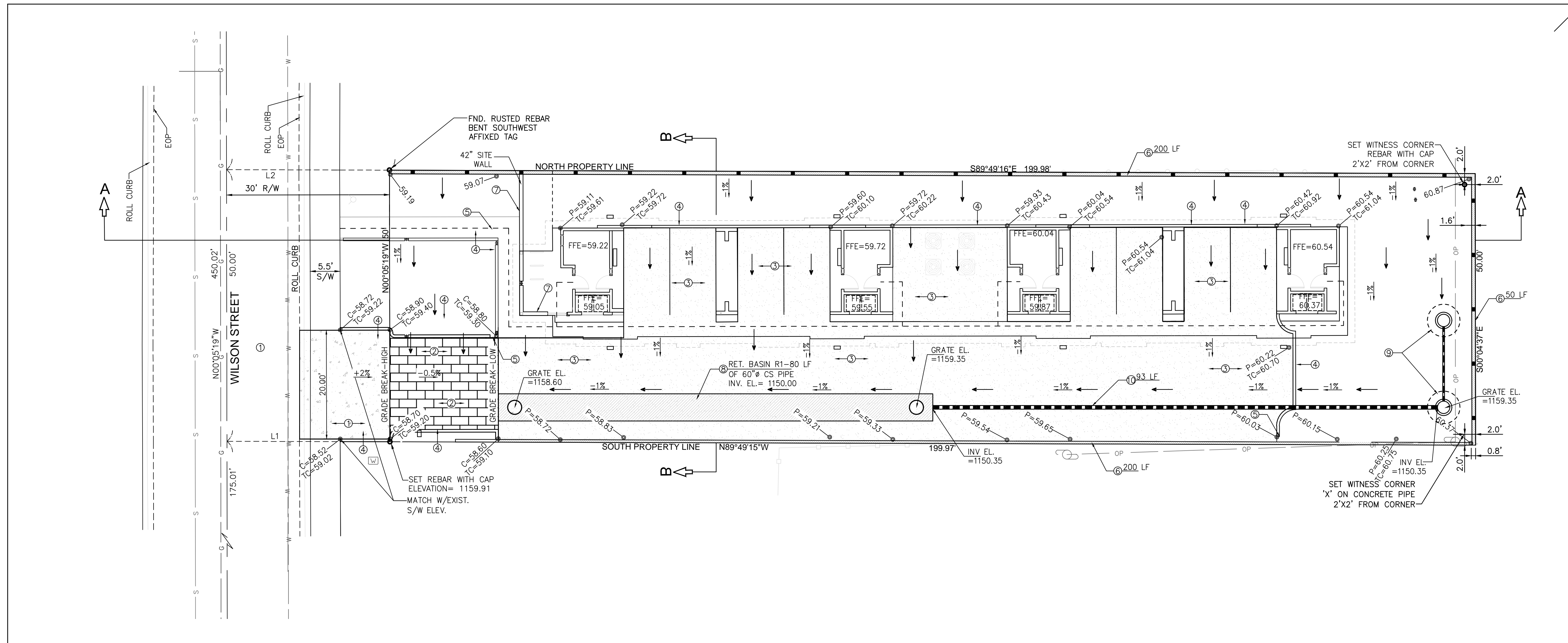
**EVEREST CONSULTING SERVICES, PC
CONSULTING ENGINEERS**
7555 S. PARKCREST STREET, GILBERT, AZ 85298
TEL: (623) 533-0334, Email: everestconsult1@gmail.com



DATE: 11/15/2024
SCALE: 1" = 10'
DRAWN: PPK
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JOB #: 22-19

SHEET TITLE
**GRADING &
DRAINAGE PLAN**
SHEET # C3
SHEET 3 OF 6

**PRELIMINARY
NOT FOR
CONSTRUCTION**



GRADING & DRAINAGE CONSTRUCTION NOTES				
KEY	DESCRIPTION	UNIT	EST. QTY	
			ON-SITE	OFF-SITE
	CONSTRUCT 20' WIDE, 9" THICK CONCRETE DRIVEWAY ENTRANCE FROM BACK OF EXIST. SIDEWALK TO PROP. LINE. MATCH FINISHED ELEVATION AT THE WEST EDGE OF CONCRETE DRIVE WITH EXISTING ELEVATIONS AT THE EAST EDGE OF EXISTING CONCRETE SIDEWALK.		0	212
②	CONSTRUCT 20' WIDE X 20' LONG, 9" THICK CONCRETE DRIVE ISLE PAVED WITH 4'X2' INTEGRAL COLORED CONCRETE PAVERS. MATCH FINISHED ELEVATION AT THE WEST EDGE OF PAVEMENT DRIVE WITH FINISHED ELEVATIONS OF THE NEW CONC. DRIVEWAY ENTRANCE AT THE PROP. LINE.	SF	400	0
③	CONSTRUCT ASPHALT CONCRETE PAVEMENT IN THE DRIVE ISLE AND PARKING AREAS WITH 3" ASPHALT CONCRETE ON 4" ABC. AC LAYER TO BE 2" OF A-19 MIX & 1" OF A 12.5 MIX	SY	520	
④	CONSTRUCT TYPE "B" SINGLE CURB PER MAG STD. DTL. 222	LF	272	21
⑤	CONSTRUCT 1 FOOT WIDE CURB CUT PER DETAIL 1 SHOWN ON THIS SHEET	NO	3	
⑥	CONSTRUCT 8" HIGH, 8" THICK CMU BLOCK WALL WITH 4" TALL X 8" DEEP X 8" LONG AT GRADE DRAINAGE OPENINGS @ 10' O.C. WALL DETAILS AS SHOWN IN ARCHITECTURAL SITE PLAN. SEGMENT LENGTH AS CALLED OUT IN THE PLAN.	LF	450	
⑦	CONSTRUCT 42" HIGH, BLOCK WALL PER DETAIL SHOWN IN ARCHITECTURAL SITE PLAN & DETAIL SHEETS.	LF	28	
⑧	CONSTRUCT UNDERGROUND RETENTION BASIN R1 WITH 60" Ø CORRUGATED STEEL PIPE, ELEVATION AT THE INLET GRATE AND BOTTOM OF PIPE AS CALLED OUT IN THE PLAN. LENGTH OF BASIN ALSO AS CALLED OUT IN THE PLAN. PROVIDE CONCRETE COLLARS AROUND INLET PER CITY OF TEMPE DTL. T-446. SEE SHEET C6 FOR DETAILS OF UNDERGROUND RETENTION BASIN AS PROVIDED BY PRODUCT MANUFACTURER CONTECH ENGINEERING.	CF	1571	
⑨	CONSTRUCT MAXWELL PLUS DRYWELL PER DETAILS SHOWN ON SHEET C3.	EA	1	
⑩	CONSTRUCT 8" Ø HDPE STORM DRAIN PIPE TO DRAIN RETENTION BASIN TO THE DRYWELL. INVERT ELEVATIONS AS CALLED OUT IN THE PLAN.	LF	93	

ENGINEER'S STATEMENT ON DRAINAGE REPORT AND FINISHED FLOOR ELEVATIONS

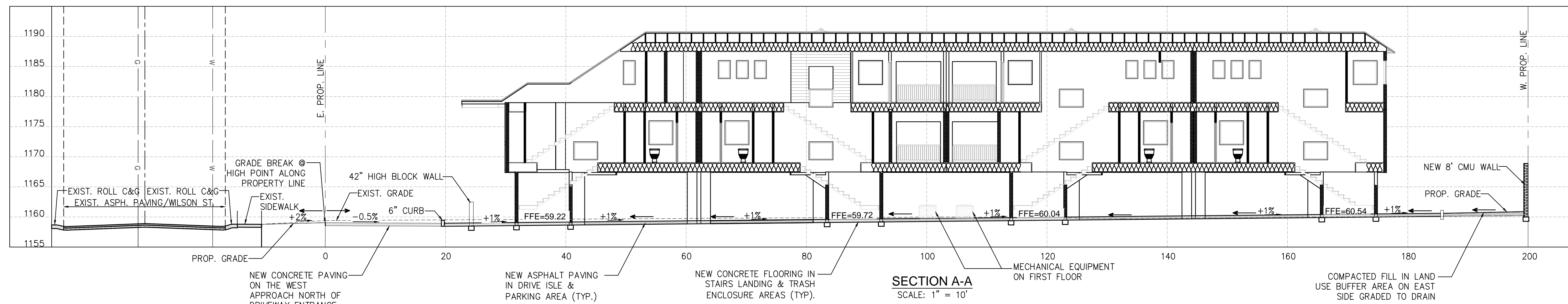
- GENERAL TREND OF HISTORIC FLOW ON THE SITE IS FROM THE EAST TO THE WEST.
- PROJECT SITE DOES NOT CURRENTLY RECEIVE ANY OFFSITE FLOW FROM THE ADJACENT PARCELS. ANY OFFSITE FLOWS FROM THE ADJACENT PARCELS EVENTUALLY FLOW TO WILSON ST. TO THE WEST.
- IN THE PROPOSED DESIGN, WE ARE PROVIDING DRAINAGE OPENINGS IN ALL THE BOUNDARY WALLS ON EAST, NORTH & SOUTH TO ALLOW RESIDUAL DRAINAGE AND FLOW OUT TO THE WEST WHEN THE ON-SITE RETENTION BASIN PROVIDED IN THE DESIGN IS FILLED.
- THE FIRST/GROUND FLOOR CONTAINS ONLY ASPHALT PAVED ACCESS DRIVE AND OPEN PARKING SPACES INCLUDING STAIRWELL ACCESS AREAS AND TRASH ENCLOSURE AREAS WHICH ARE THE ONLY CLOSED SPACES ON THE FIRST FLOOR AND HAVE CONCRETE FLOORS.
- THEREFORE, LIVABLE AREAS ON THE SECOND AND THIRD FLOORS WILL BE SAFE FROM INUNDATION DURING A 100-YEAR STORM EVENT.
- HENCE A SEPARATE FULL DRAINAGE REPORT IS NOT CONSIDERED ESSENTIAL FOR THIS PROJECT.

UNDERGROUND RETENTION BASIN NOTE:

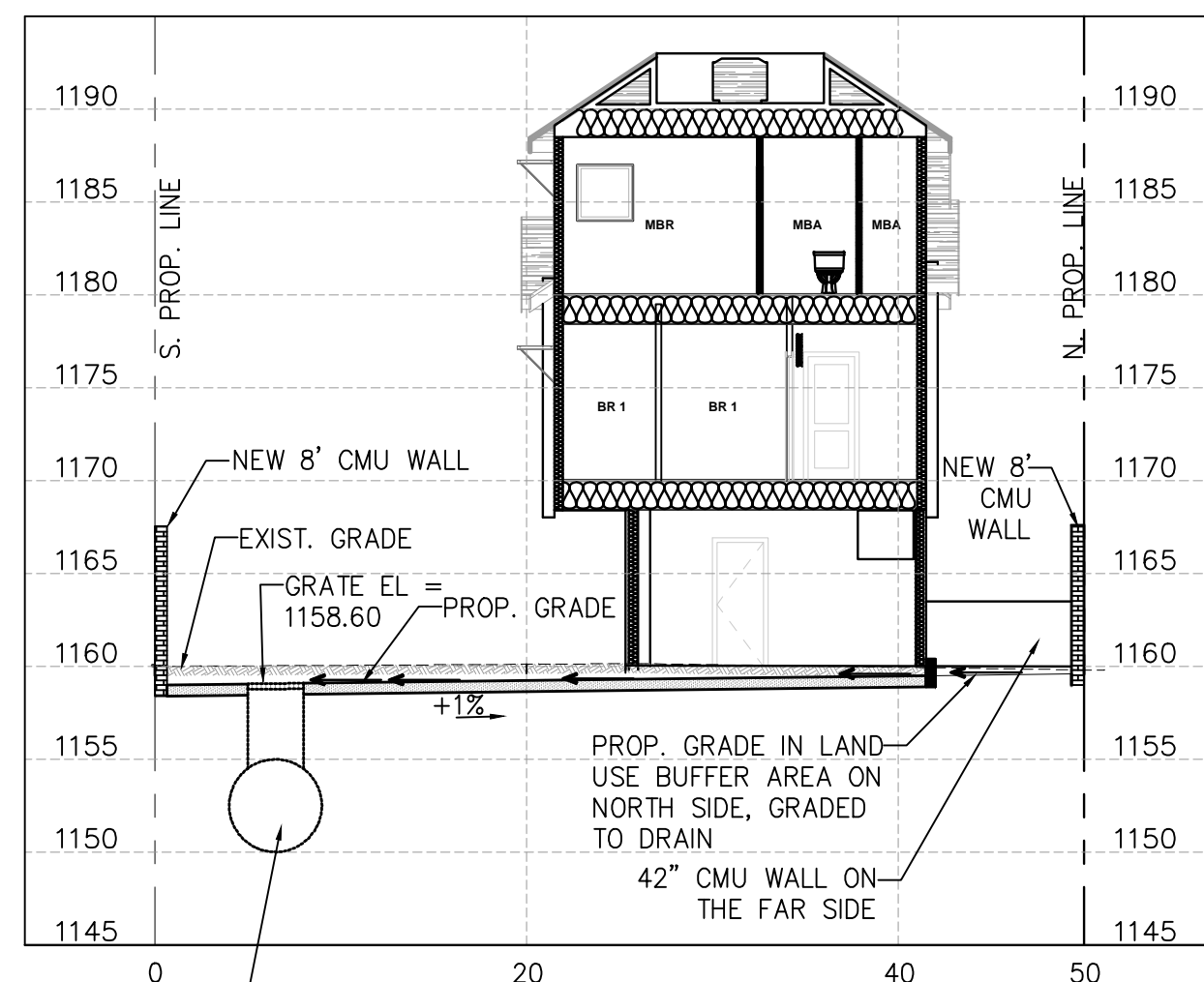
ALL JOINTS IN THE UNDERGROUND RETENTION TANK SYSTEM(S) WILL BE WATER TIGHT MANUFACTURED JOINTS.

ROOF DRAINAGE NOTE:

ROOF DRAINAGE FROM ALL UNITS IS ON THE NORTH AND SOUTH. ALL ROOF DRAINAGE COLLECTED ON THE GROUND LEVEL WILL BE DIRECTED/GRADED TO DRAIN TO THE UNDERGROUND RETENTION BASIN.



SECTION A-A
SCALE: 1" = 10'

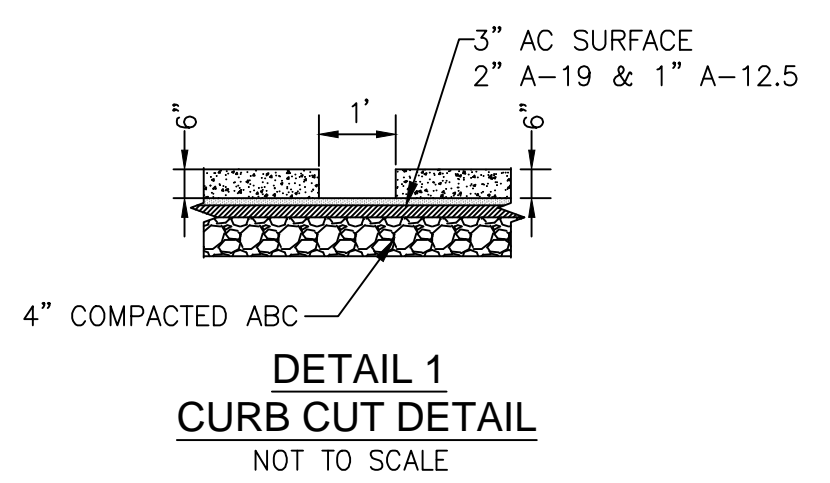


SECTION B-B
SCALE: 1" = 10'

60" DIA. CONTECH
CORRUGATED STEEL PIPE FOR
UNDERGROUND RETENTION,
INVERT=1150.00

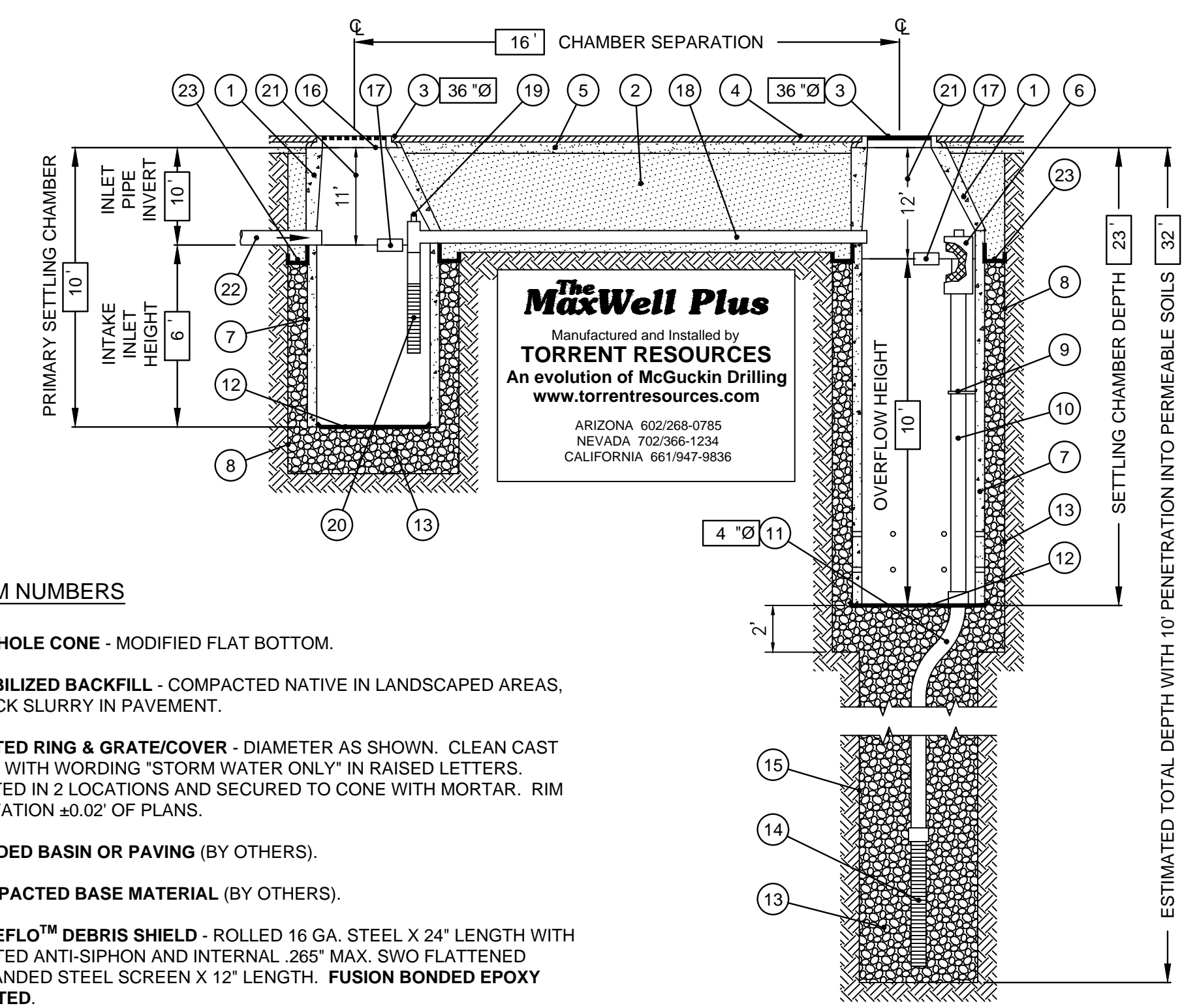
ENGINEER'S NOTE ON SECTIONS:

SECTIONS A-A & B-B SHOWN HERE ARE MAINLY FOR ILLUSTRATING THE DRAINAGE THROUGH THE PROJECT SITE. REFER TO ARCHITECTURAL SECTIONS FOR DETAILS ABOUT THE ACCESS STRUCTURES ON THE GROUND FLOOR AND DWELLING STRUCTURES ON THE SECOND AND THIRD FLOOR.



DETAIL 1
CURB CUT DETAIL
NOT TO SCALE

The MaxWell™ Plus Drainage System Detail And Specifications



ITEM NUMBERS

1. **MANHOLE CONE** - MODIFIED FLAT BOTTOM.
2. **STABILIZED BACKFILL** - COMPACTED NATIVE IN LANDSCAPED AREAS, 1 SACK SLURRY IN PAVEMENT.
3. **BOLTED RING & GRATE/COVER** - DIAMETER AS SHOWN. CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS. BOLTED IN 2 LOCATIONS AND SECURED TO CONE WITH MORTAR. RIM ELEVATION ±0.02' OF PLANS.
4. **GRADED BASIN OR PAVING** (BY OTHERS).
5. **COMPACTED BASE MATERIAL** (BY OTHERS).
6. **PUREFLO™ DEBRIS SHIELD** - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL .265" MAX. S.W.O FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. **FUSION BONDED EPOXY COATED.**
7. **PRE-CAST LINER** - 4000 PSI CONCRETE 48" ID. X 54" OD. **CENTER IN HOLE AND ALIGN SECTIONS TO MAXIMIZE BEARING SURFACE.**
8. **MIN. 6" Ø DRILLED SHAFT.**
9. **SUPPORT BRACKET** - FORMED 12 GA. STEEL. **FUSION BONDED EPOXY COATED.**
10. **OVERFLOW PIPE** - SCH. 40 PVC MATED TO DRAINAGE PIPE AT BASE SEAL.
11. **DRAINAGE PIPE** - ADS HIGHWAY GRADE WITH TRI-A COUPLER. **SUSPEND PIPE DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE. DIAMETER AS NOTED.**
12. **BASE SEAL** - GEOTEXTILE, POLY LINER OR CONCRETE SLURRY.
13. **ROCK** - CLEAN AND WASHED, SIZED BETWEEN 3/8" AND 1-1/2" TO **BEST COMPLEMENT SOIL CONDITIONS.**
14. **FLOFAST™ DRAINAGE SCREEN** - SCH. 40 PVC 0.120" SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. DIAMETER VARIES 96" OVERALL LENGTH WITH TRI-B COUPLER.
15. **MIN. 4" Ø SHAFT** - DRILLED TO MAINTAIN PERMEABILITY OF DRAINAGE SOILS.
16. **FABRIC SEAL** - U.V. RESISTANT GEOTEXTILE - **TO BE REMOVED BY CUSTOMER AT PROJECT COMPLETION.**
17. **ABSORBENT** - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 128 OZ. CAPACITY.
18. **CONNECTOR PIPE** - 4" Ø SCH. 40 PVC.
19. **VENTED ANTI-SIPHON** INTAKE WITH FLOW REGULATOR.
20. **INTAKE SCREEN** - SCH. 40 PVC 0.120" MODIFIED SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. 48" OVERALL LENGTH WITH TRI-C END CAP.
21. **FREEBOARD DEPTH VARIES** WITH INLET PIPE ELEVATION. INCREASE PRIMARY/SECONDARY SETTLING CHAMBER DEPTHS AS NEEDED TO MAINTAIN ALL INLET PIPE ELEVATIONS ABOVE CONNECTOR PIPE OVERFLOW.
22. **OPTIONAL INLET PIPE** (BY OTHERS).
23. **MOISTURE MEMBRANE** - 6 MIL. PLASTIC. PLACE SECURELY AGAINST ECCENTRIC CONE AND HOLE SIDEWALL. USED IN LIEU OF SLURRY IN LANDSCAPED AREAS.

DETAIL 2

ENGINEER'S NOTE:

1. DEPTH OF INLET PIPE BELOW FINISHED GRADE, INTAKE INLET HEIGHT, OVERFLOW HEIGHT AND DIAMETER OF DRAINAGE PIPE ARE ONLY ESTIMATES. ACTUAL DEPTH & INVERT ELEVATIONS WILL BE DETERMINED BY THE DRYWELL CONTRACTOR BASED ON FIELD CONDITIONS.
2. DEPTH OF SETTLING CHAMBER & TOTAL DEPTH ARE ALSO ONLY ESTIMATES. ACTUAL DEPTHS SHALL BE DETERMINED BY THE DRY WELL CONTRACTOR BASED ON FIELD CONDITIONS.

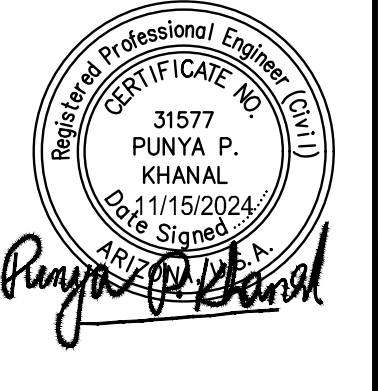
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REVISIONS	BY
△	PPK
△	PPK
△	PPK
△	PPK



**GRADING & DRAINAGE PLAN
FOR A 3-STORY APT. BLDG
919 S. WILSON ST., TEMPE, AZ 85281
A.P.N. 124-69-075**

**EVEREST CONSULTING SERVICES, PC
CONSULTING ENGINEERS**
7555 S. PARKCREST STREET, GILBERT, AZ 85298
TEL: (623) 533-0334, Email: everestconsult1@gmail.com

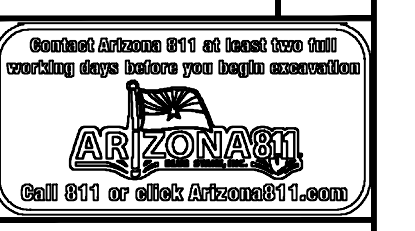


DATE:	11/15/2024
SCALE:	1" = 10'
DRAWN:	PPK
CHECKED:	PPK
JOB #	22-19

SHEET TITLE	SECTIONS & DRY WELL DETAILS
SHEET #	C5
SHEET 5 OF 6	

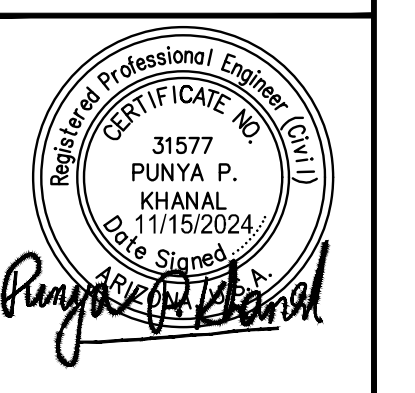
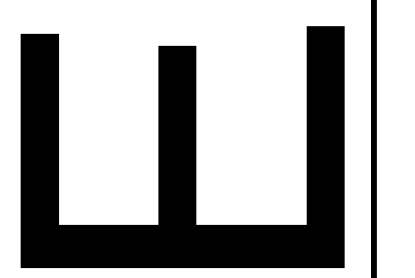
REMOVAL PLAN FOR A 3-STORY APARTMENT BUILDING AT 919 S. WILSON ST., TEMPE, AZ 85281 A.P.N. 124-69-075

REVISIONS	BY
△	PPK
△	PPK
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△	PPK



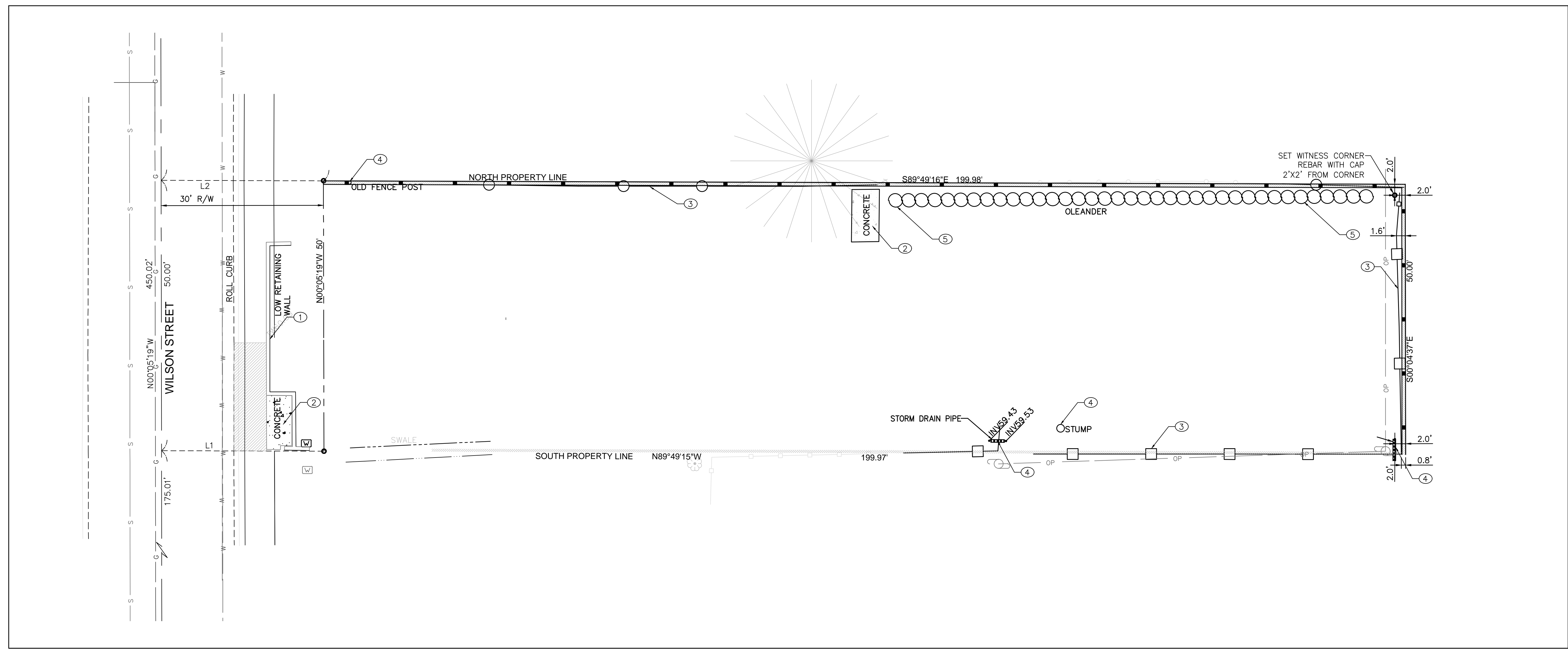
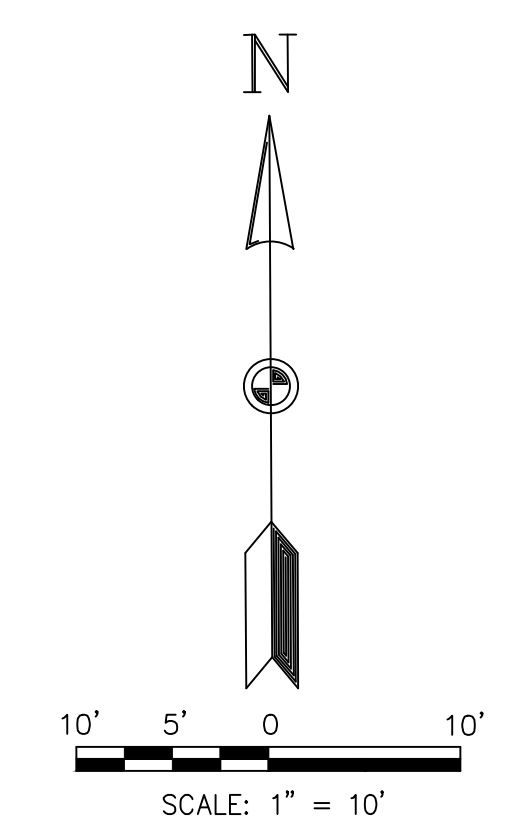
GRADING & DRAINAGE PLAN
FOR A 3-STORY APT. BLDG
919 S. WILSON ST., TEMPE, AZ 85281
A.P.N. 124-69-075

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DATE: 11/15/2024
 SCALE: 1" = 10'
 DRAWN: PPK
 CHECKED: PPK
 JOB #: 22-19

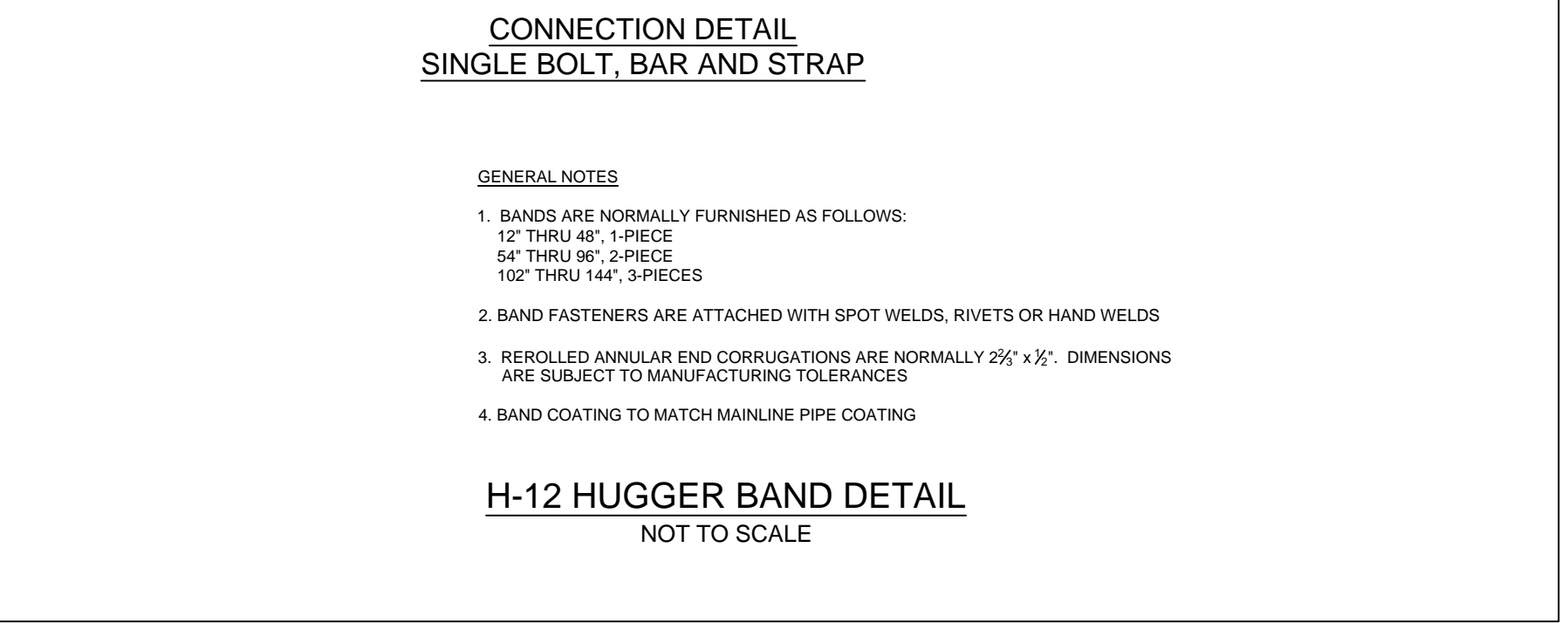
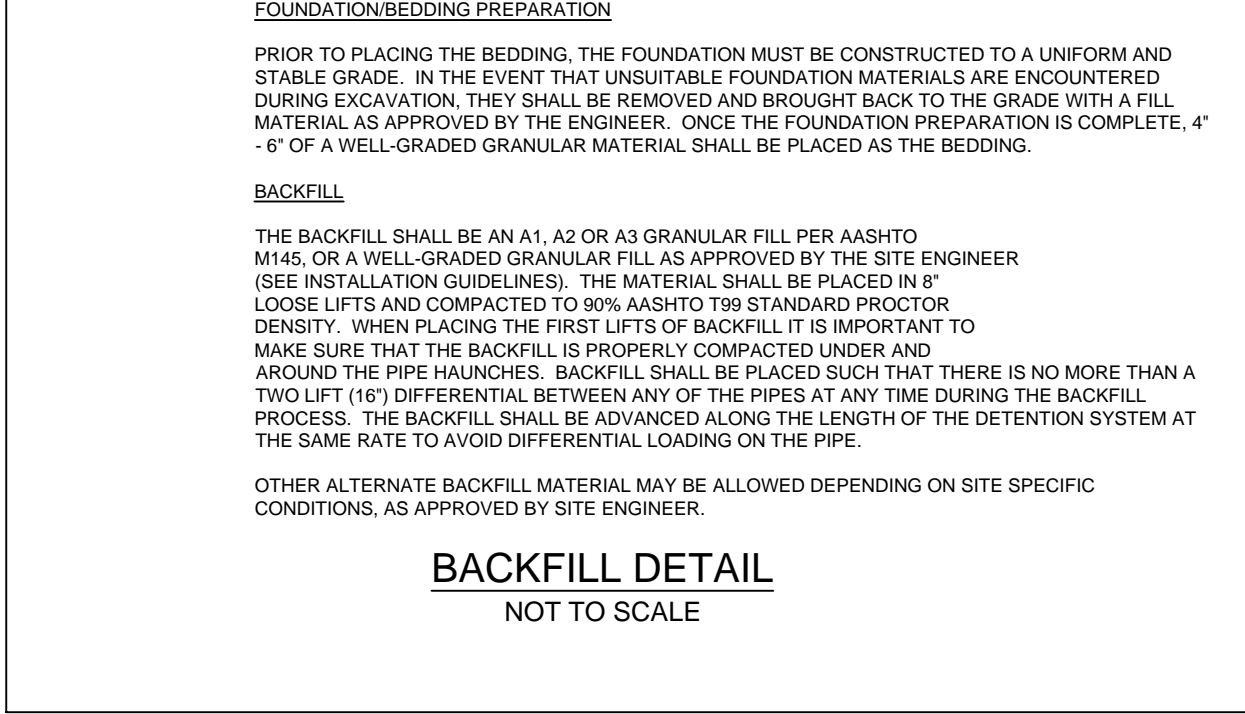
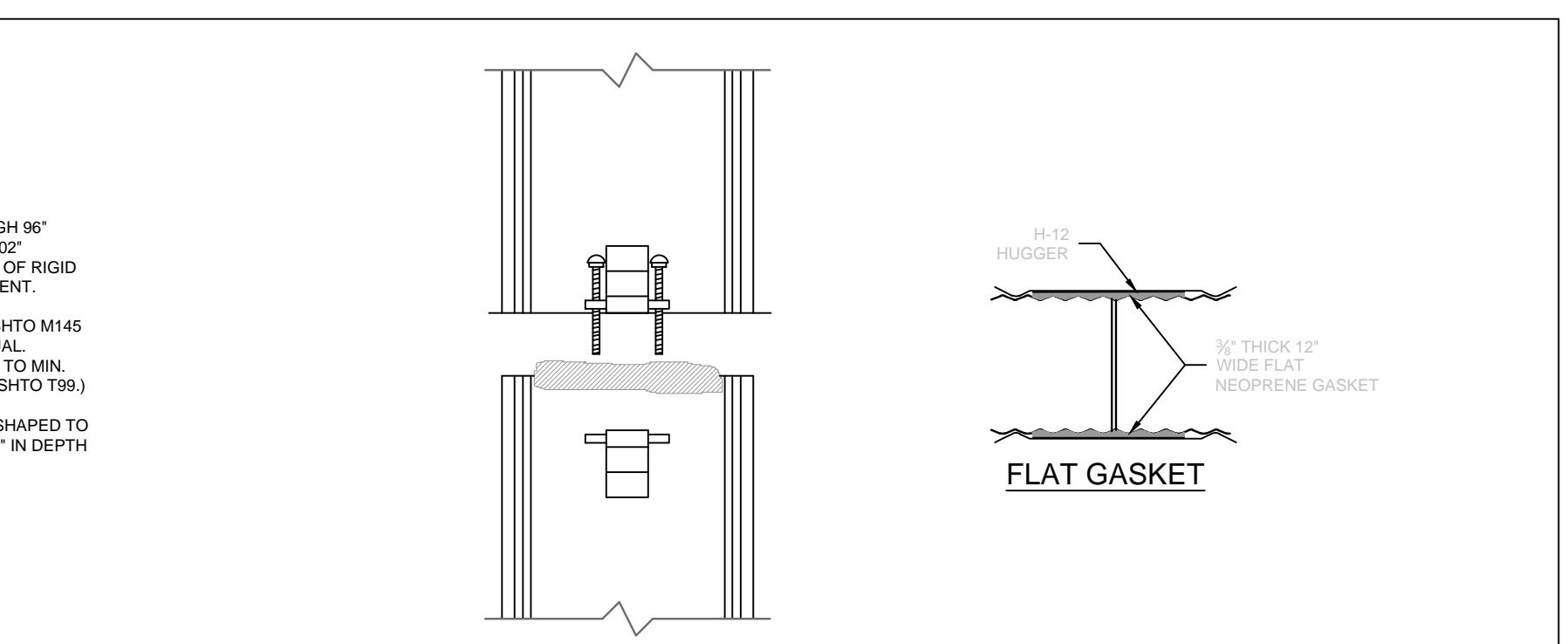
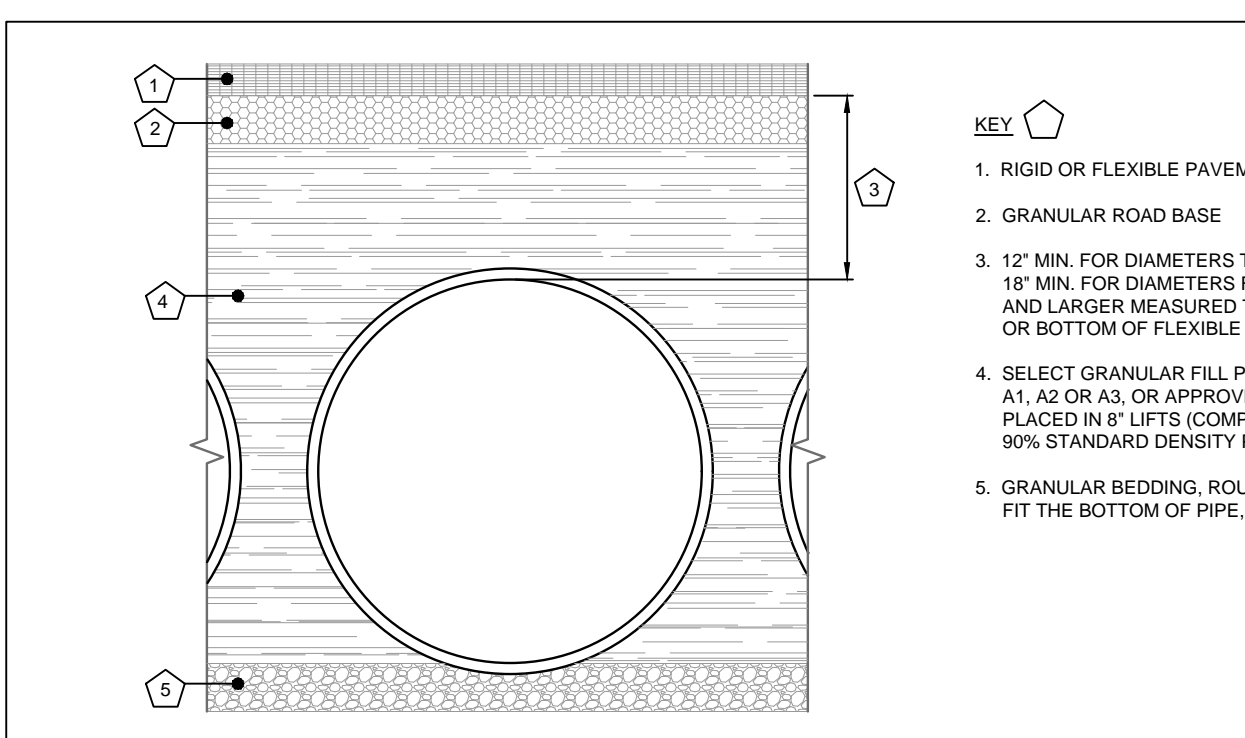
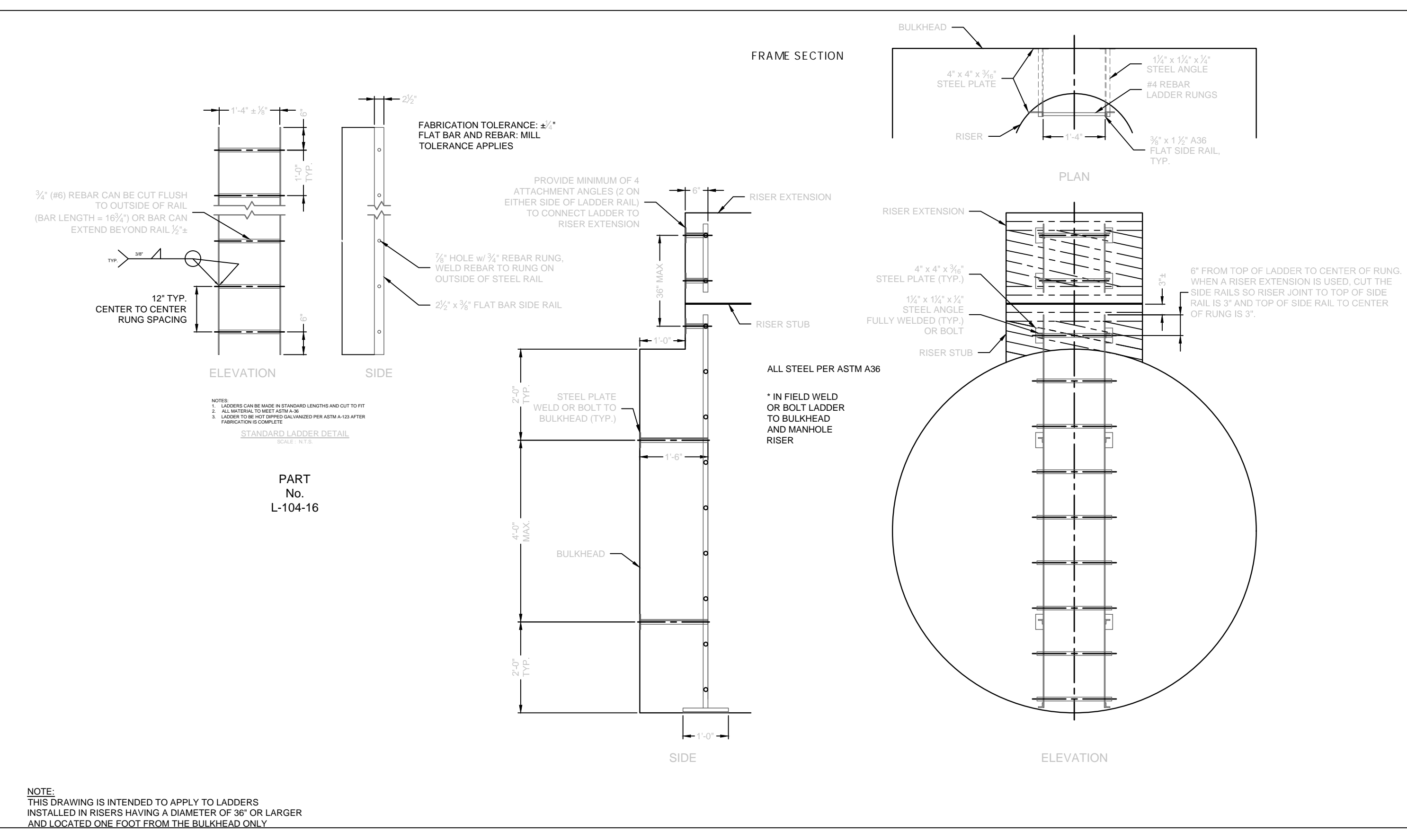
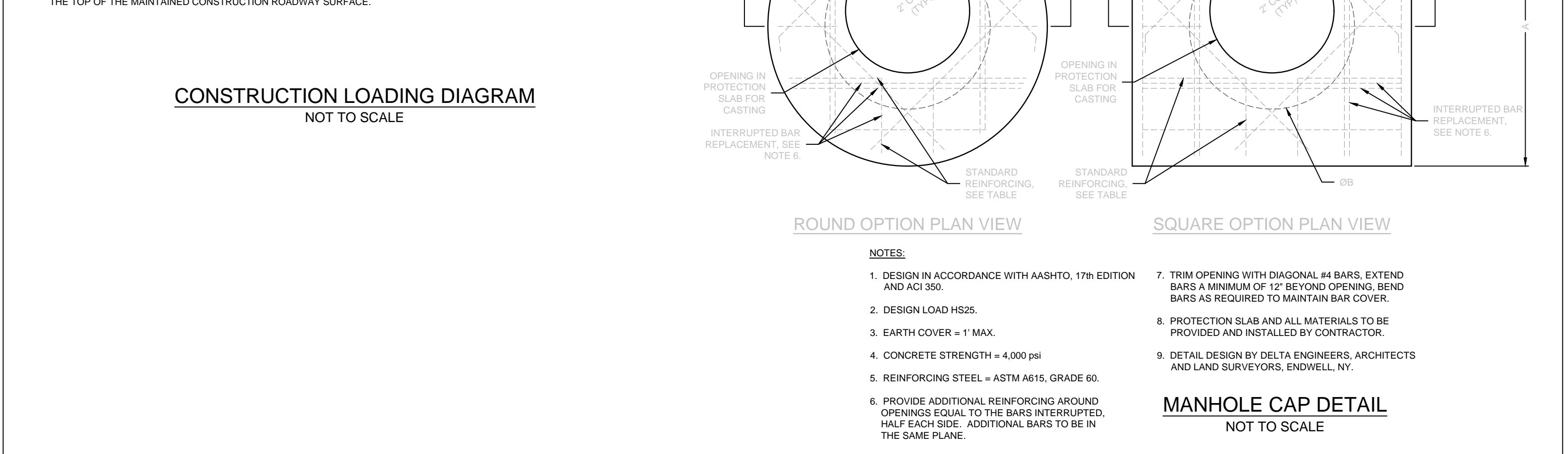
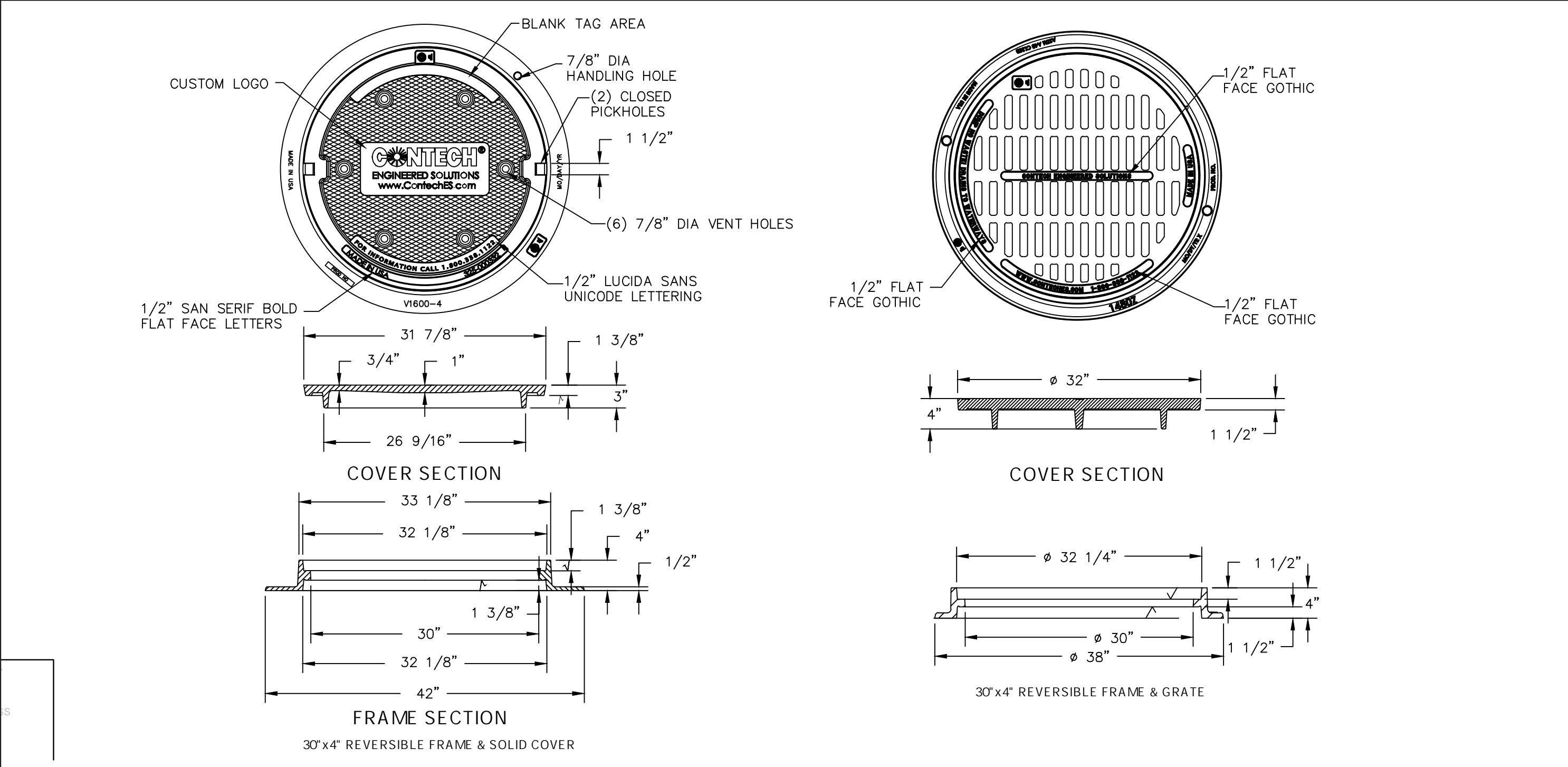
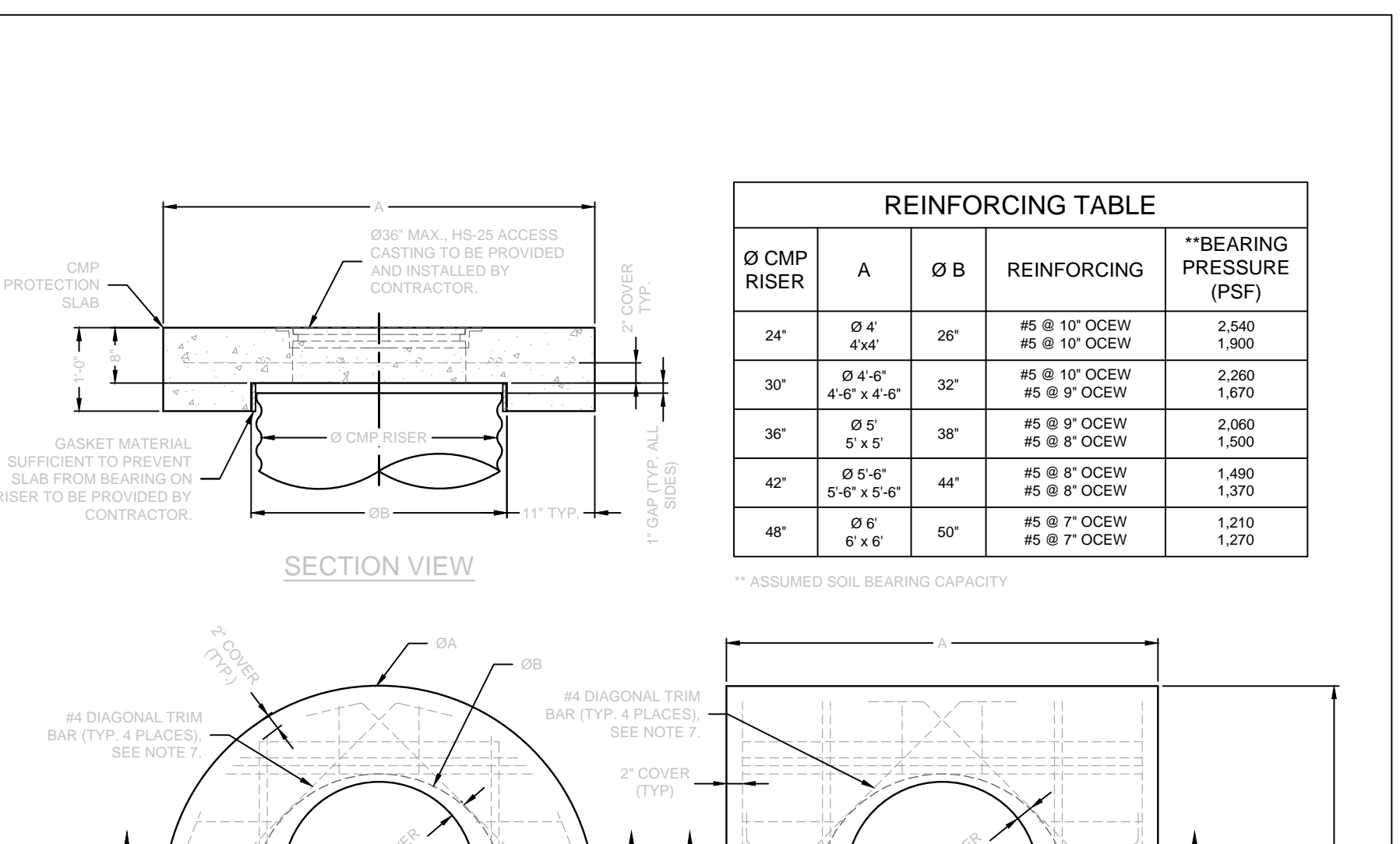
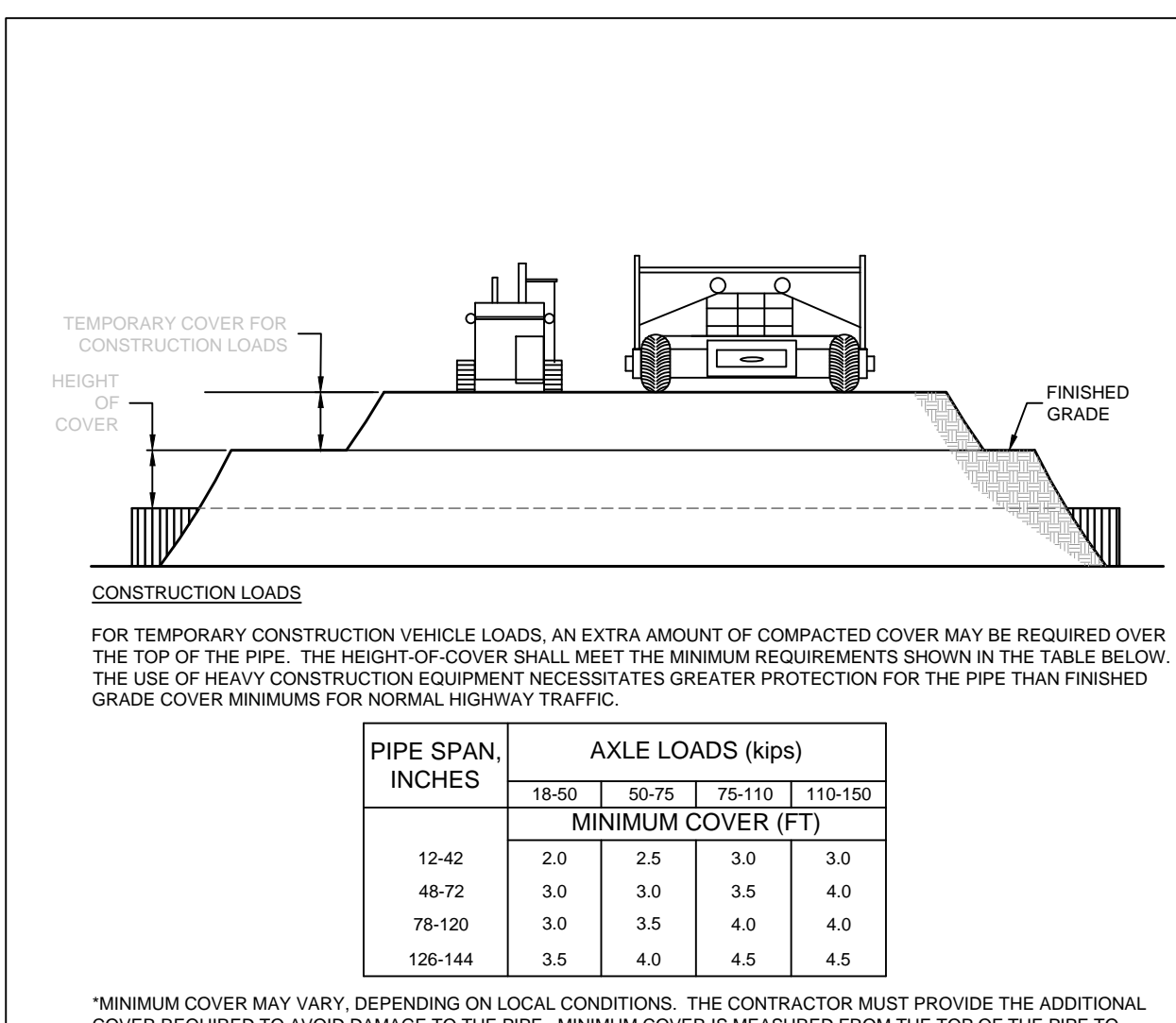
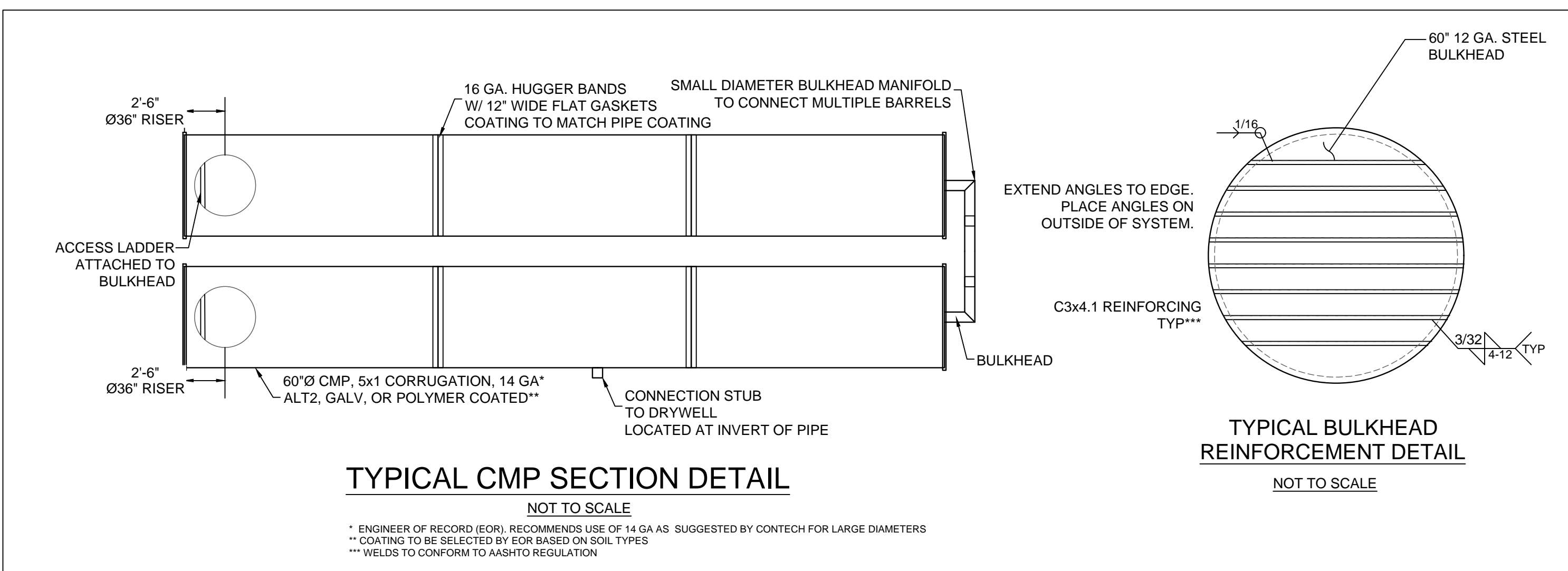
SHEET TITLE: REMOVAL PLAN
 SHEET #: R1
 SHEET 6 OF 6



REMOVAL NOTES & ESTIMATE OF QUANTITIES

KEY	DESCRIPTION	UNIT	EST. QTY	
			ON-SITE	OFF-SITE
①	REMOVE EXISTING LOW CONCRETE BLOCK WALL INCLUDING ITS FOUNDATION AND DISPOSE AT AN APPROVED LOCATION	LF	49	51
②	REMOVE EXISTING CONCRETE SLAB AND DISPOSE THE REMOVAL AT AN APPROVED LOCATION	SF	49	45
③	REMOVE EXISTING FENCES (ALL TYPES) AND GATES WITHIN PROJECT SITE AND DISPOSE THE REMOVAL AT A DESIGNATED LOCATION	LS	1	
④	REMOVE OLD FENCE POSTS, TREE STUMPS, BURIED DRAINAGE PIPES ETC. AND DISPOSE THE REMOVAL AT A DESIGNATED LOCATION.	LS	1	
⑤	REMOVE OLEANDER TREES ALONG NORTH PROP. LINE AND DISPOSE THE REMOVAL AT A DESIGNATED LOCATION.	LS	1	

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ENGINEER'S NOTES ON CMP DETAILS

- THESE CMP DETAILS FOR UNDERGROUND RETENTION SYSTEM ARE TYPICAL DETAILS PROVIDED BY PRODUCT MANUFACTURER CONTECH ENGINEERED SOLUTIONS LLC AND REPRESENTS THE MOST COMMONLY USED STRUCTURES AND CONFIGURATIONS IN ARIZONA.
- ENGINEER'S DESIGN MEETS AND EXCEEDS THE MINIMUM COVER RECOMMENDED IN THESE DETAILS. BEDDING AND BACKFILL SHALL BE AS SPECIFIED IN THESE DETAILS OR AS RECOMMENDED IN THE SOILS REPORT WHICHEVER IS MORE CONSERVATIVE. MATERIALS SHALL BE AS SHOWN IN THE DETAIL OR AS PROVIDED IN THE GEOTECHNICAL/SOILS REPORT.
- THESE DETAILS ARE PROVIDED HERE FOR PERMITTING PURPOSE AND ENGINEER RECOMMENDS BUT DOES NOT REQUIRE THAT THE OWNER/CONTRACTOR USE PRODUCTS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS, LLC.
- CONTACT INFORMATION FOR CONTECH ENGINEERED SOLUTIONS LLC IS PROVIDED ON THIS SHEET FOR THE CONVENIENCE OF THE OWNER/CONTRACTOR.

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CONTECH ENGINEERED SOLUTIONS LLC
www.ContechES.com
11815 NE Glenn Widing Drive, Portland, OR 97220
800-548-4667 503-240-3393 800-561-1271 FAX

REVISIONS BY

▲	PPK
▲	PPK
▲	PPK
▲	PPK

CONTECH DETAILS
UNDERGROUND RETENTION
FOR APT. BLDG AT 919 S WILSON ST
TEMPE, AZ 85281
APN 124-69-075

EVEREST CONSULTING SERVICES, PC
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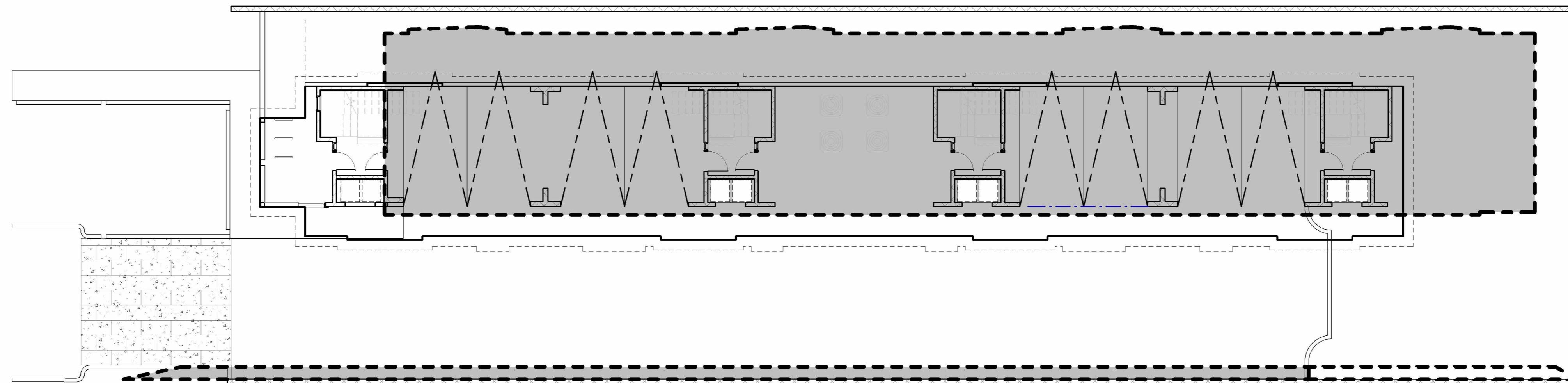
W

Professional Engineer
CERTIFICATE NO. 31577
KHANAL P. KHANAL
11/15/2024
AZ, U.S.A.

DATE: 11/15/2024
SCALE: N. T. S.
DRAWN: PPK
CHECKED: PPK
JOB # 22-19
SHEET TITLE CONTECH DETAILS FOR UNDERGROUND RETENTION
SHEET # C4
SHEET 4 OF 6

NOTE: PARKING SPACES ARE 100% SHADED AT 3:00PM ON THE DATE OF THE SUMMER SOLSTICE - JUNE 21

THIS PROJECT IS COMPLYING WITH ZDC SEC. 4-704(A)(2) PERFORMANCE STANDARD BASED ON TREE CANOPY



① SUMMER SOLSTICE 3PM
 1" = 10'-0"

TOTAL PARKING SF	= 4,260 SF
MIN 20%	= 852 SF
TOTAL UNSHADED SF	= 3,287 SF
TOTAL SHADED %	= 23 %

no.	date	description

THE CRAFTSMAN

919 S WILSON
 TEMPE, AZ 85277

PROJECT NO: 23053
 DATE: 11/18/2024



atmosphere architects
 114 W Main St
 Mesa, AZ 85201

contact: Tim Boyle
 email: tim@atmosarch.com
 tel: 917-526-0323

PL230406

**SHADOW STUDY
 A701**