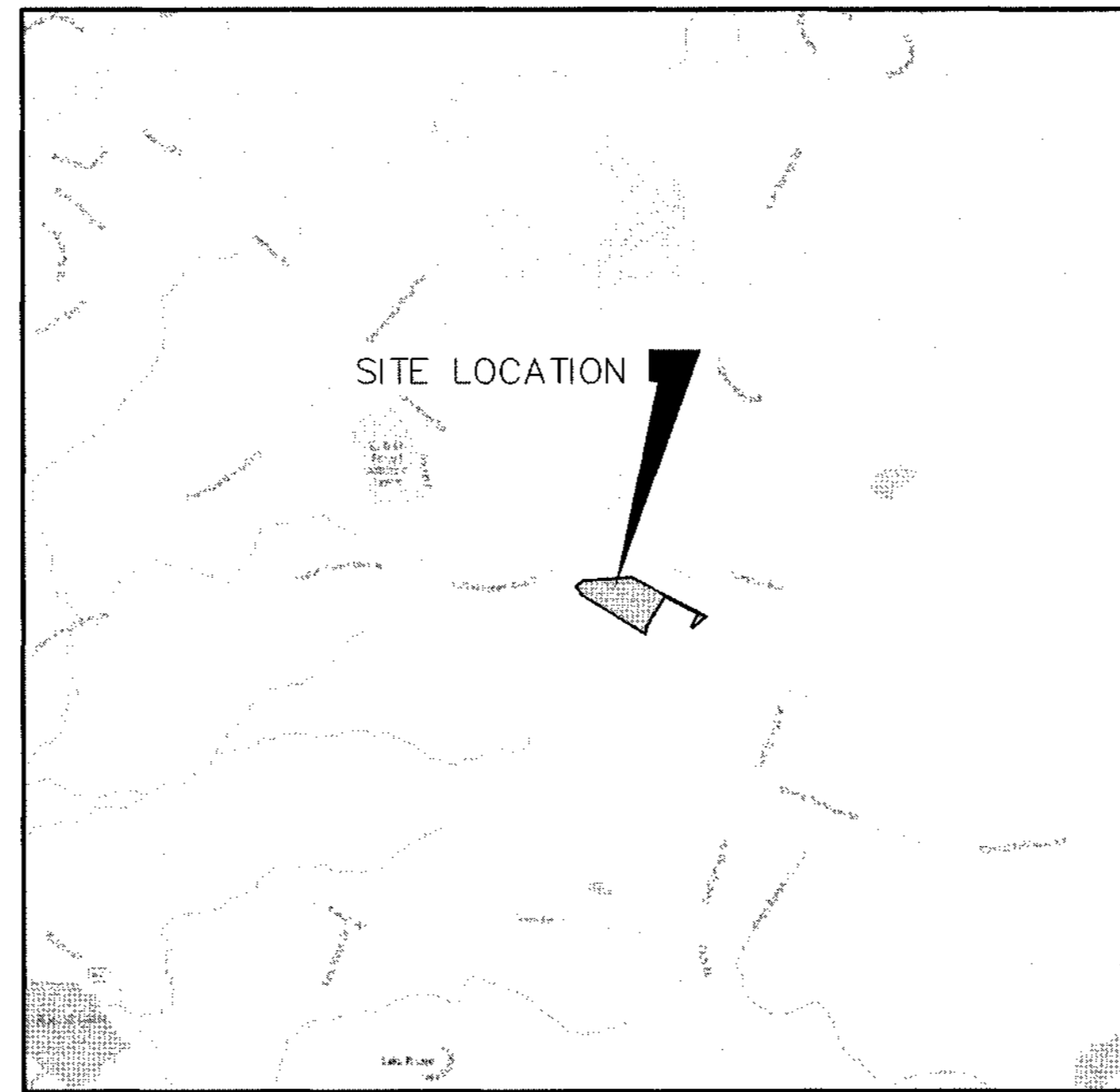


10 SHENANDOAH DRIVE SITE PLAN

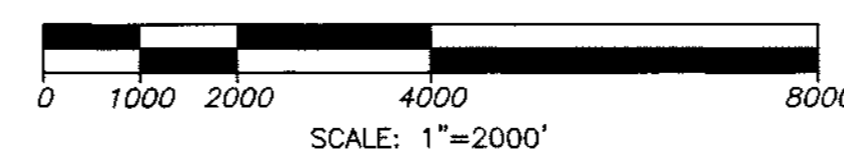
TOWN OF STILLWATER * SARATOGA COUNTY * NEW YORK

GENERAL NOTES:

- ENGINEERING DRAWINGS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY GILBERT VANGUILDER LAND SURVEYOR, PLLC. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY A PORTION OF LANDS OF THE LUTHER FOREST CORPORATION SB#242-1-196.11" DATED NOVEMBER 24, 2015 AND SUBDIVISION MAP PREPARED BY GILBERT VANGUILDER LAND SURVEYOR, PLLC. ENTITLED "SUBDIVISION OF LOT A & B FOREST RIDGE WOOD-USE DEVELOPMENT DATED JUNE 15, 2022.
- ALL TRAFFIC SIGNAGE FOR THE PROPOSED DEVELOPMENT SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NYS SUPPLEMENT.
- ALL RIP-RAP STRUCTURES SHOWN SHALL BE CONSTRUCTED OF 6" D-50 STONE FILLING (UNLESS NOTED OTHERWISE).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND IMPLEMENTED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN.
- ALL DISTURBED AREAS TO RECEIVE TOPSOIL, SEED, FERTILIZER AND MULCH TO ESTABLISH A PERMANENT STAND OF GRASS.
- SIZE AND LOCATION OF UNDERGROUND UTILITIES ARE SUBJECT TO VERIFICATION BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIG SAFE N.Y. (811) FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION.
- ALL KNOWN UTILITIES THAT EXIST ON OR ADJACENT TO THE PROJECT SITE HAVE BEEN SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND PRESERVE EXISTING UTILITIES.
- ALL UTILITIES DAMAGED OR DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPLACED IN KIND BY THE CONTRACTOR.
- CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK WITHIN PUBLIC RIGHTS-OF-WAY AS REQUIRED BY THE MUNICIPALITY AND ALL PERMITS REQUIRED FOR UTILITY WORK ON-SITE FROM THE TOWN.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK ON-SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THERE SHALL BE NO CHANGES ON THESE PLANS IN ADVANCE OF, OR CONSTRUCTION WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER, THE OWNER, AND THE MUNICIPALITY.
- ALL CONSTRUCTION SHALL CONFORM TO GENERALLY ACCEPTED CONSTRUCTION STANDARDS OR A.O.B.E.
- THE CONTRACTOR SHALL COMPLY WITH CONSTRUCTION INSPECTION REQUIREMENTS OF ALL AGENCIES, AND PHASE WORK ACCORDINGLY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- FIELD ADJUSTMENT MUST BE REVIEWED BY A REPRESENTATIVE OF LANSING ENGINEERING PRIOR TO INSTALLATION.
- PROTECT NEWLY GRADED WORK AREAS FROM TRAFFIC AND EROSION, AND KEEP THEM FREE FROM TRASH AND DEBRIS UNTIL PHYSICAL COMPLETION OF WORK.
- CONTRACTORS OPERATIONS ON SITE WHICH SHALL INCLUDE BUT NOT BE LIMITED TO DUST CONTROL, MATERIAL HAULING, FIRE PROTECTION, EROSION CONTROL, ETC. SHALL BE CONDUCTED IN ACCORDANCE WITH TOWN OF STILLWATER REQUIREMENTS.
- LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK; IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING EARTHWORK OPERATIONS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF STILLWATER SUBDIVISION REGULATIONS AND CONSTRUCTION STANDARDS.
- THE TOWN OF STILLWATER SHALL HAVE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF THE PROPOSED STORM SEWER SYSTEM AND STORMWATER MANAGEMENT AREA LOCATED ON SHENANDOAH DRIVE. ALL OTHER STORMWATER INFRASTRUCTURE SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THE CONTRACTOR SHALL COORDINATE MAINTENANCE AND PROTECTION OF TRAFFIC WITH THE TOWN OF STILLWATER. ALL MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NECESSARY SIGNAGE SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL UTILITY FRAMES SHALL BE SET AT THE BINDER COURSE ELEVATION AND RAISED TO THE TOP COURSE ELEVATION AT THE TIME OF TOP COURSE PLACEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY WORK EASEMENTS THAT MAY BE REQUIRED FOR EXCAVATION AND ASSOCIATED DISTURBANCE OUTSIDE OF THE RIGHT-OF-WAY ON ADJACENT PRIVATE LANDS.
- ALL WATERMAIN MATERIALS SHALL CONFORM TO THE TOWN OF STILLWATER WATER DEPARTMENT STANDARDS AND APPLICABLE AWWA STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND COORDINATE ANY REQUIRED BRACING OR RELOCATION OF ANY UTILITY POLE OR STRUCTURE WITH THE APPROPRIATE UTILITY COMPANY.
- ALL FILL TO ACHIEVE THE PROPOSED ELEVATIONS SHALL BE COMPACTED TO 95% PROCTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND COORDINATION OF THE TESTING AND DOCUMENTATION OF THE FILL MATERIAL AND THE COMPLETION OF THE FILL MATERIAL.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE SURFACE OF ALL EXISTING ROADWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE RESTORATION AND REPAIR RESULTING FROM THE CONTRACTOR'S ACTIVITIES. TREE TRIMMING SHALL BE PERFORMED BY THE CONTRACTOR AS NECESSARY WITHIN THE RIGHT-OF-WAY OR UTILITY EASEMENTS. ALL DISTURBED UTILITIES, DRIVEWAY CURBSETS, LAWNS, MAILBOXES, FENCES, SIGNS, DRIVEWAYS, DITCHES, ETC. SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION, LINES, GRADES AND POSITIONS.
- ALL DISTURBANCE LIMITS AND SETBACKS SHALL BE STAKED OR FLAGGED IN THE FIELD PRIOR TO BEGINNING GRADING AND CLEARING ACTIVITIES.
- THIS PROPERTY MAY BORDER A FARM, AS DEFINED BY TOWN LAW. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE A RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, COOK, SMOKE, NOISE AND VIBRATION.
- WATER SERVICES AND SEWER LATERALS SHALL BE SEPARATED BY 10 FEET MINIMUM HORIZONTALLY.
- CURB STOPS SHALL NOT BE LOCATED WITHIN DRIVEWAYS.
- CROSS LOT GRADING AND DRAINAGE EASEMENTS SHALL BE FILED FOR LOTS 1, 2, 3, 4, & 5 PRIOR TO CONSTRUCTION.



SITE LOCATION MAP



SITE STATISTICS:

TAX MAP IDENTIFICATION SBL # - 241-1-6.11
 EXISTING PARCEL SIZE - 11.34± AC
 PROPOSED PARCEL SIZE FOR PROJECT - 4.48± AC
 ZONING - BP (BUSINESS PARK DISTRICT)
 WATERSHED OVERLAY PROTECTION DISTRICT
 SANITARY SEWER DISPOSAL - SARATOGA COUNTY SEWER DISTRICT #1
 WATER - TOWN OF STILLWATER
 STORMWATER - ON-SITE MITIGATION
 UNDERLYING AREA REQUIREMENTS:
 MULTI-FAMILY DWELLING UNITS
 MINIMUM LOT AREA - 5 AC
 MINIMUM LOT WIDTH - 200'
 MAXIMUM LOT COVERAGE - 60%
 MAXIMUM BUILDING HEIGHT - 50'
 FRONT YARD SETBACK - 50' MINIMUM
 SIDE YARD SETBACK - 35' MINIMUM
 REAR YARD SETBACK - 35' MINIMUM
 PROPOSED DEVELOPMENT
 (1) 44,800 SF BUSINESS SUITE MODULE BUILDING (20 MODULES)
 13,440 SF OFFICE
 31,360 SF LIGHT INDUSTRIAL, RESEARCH & DEVELOPMENT AND WAREHOUSE SPACE
 PARKING STATISTICS
 REQUIRED:
 1 STALL PER 300 SF OFFICE
 = 13,440 SF = 45 SPACES
 1 STALL PER 2 EMPLOYEES + 1 STALL PER COMPANY VEHICLE
 = 32 EMPLOYEES = 16 STALLS
 + 4 COMPANY VEHICLES = 4 STALLS
 TOTAL REQUIRED = 65 STALLS
 PROPOSED
 PROVIDED PARKING = 64 STALLS (4 ACCESSIBLE)
 BANKED PARKING = 16 STALLS
 TOTAL PARKING = 70 STALLS (4 ACCESSIBLE)
 PROPOSED LOT COVERAGE
 57% (2.57± AC)

SURVEY NOTES:

- DEED REFERENCES:
 1. CONVEYANCE TO THE LUTHER FOREST CORPORATION BY DEED DATED JANUARY 3, 1978 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 978 OF DEEDS AT PAGE 1063.
 2. CONVEYANCE TO THE TOWN OF STILLWATER BY DEED DATED MAY 15, 2009 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE AS INSTRUMENT NUMBER 2009018427.
 MAP REFERENCES:
 1. MAP ENTITLED, "SUBDIVISION OF PORTION OF LANDS NOW OR FORMERLY OF LUTHER FOREST TECHNOLOGY CAMPUS PREPARED FOR LUTHER FOREST TECHNOLOGY CAMPUS ECONOMIC DEVELOPMENT CORPORATION" DATED MARCH 15, 2007 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L-723.
 2. MAP ENTITLED, "MAP OF 9.559± ACRE PARCEL PREPARED FOR RICHARD J. HOPECK" DATED MAY 10, 1985 PREPARED BY DAVID A. FLANDERS ASSOCIATES AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP H-105.
 3. MAP ENTITLED, "PROPOSED SUBDIVISION PLAT THE LUTHER FOREST CORPORATION MINOR SUBDIVISION OF 2014" DATED APRIL 30, 2014 PREPARED BY JAMES M. VARRAL, P.L.L.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP M0314105.
 4. MAP ENTITLED, "SUBDIVISION MAP LANDS NOW OR FORMERLY OF THE LUTHER FOREST CORPORATION THE LUTHER FOREST TECHNOLOGY CAMPUS" DATED FEBRUARY 25, 2005 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L686C.
 5. MAP ENTITLED, "SUBDIVISION OF PORTION OF LANDS NOW OR FORMERLY OF LUTHER FOREST TECHNOLOGY CAMPUS PREPARED FOR LUTHER FOREST TECHNOLOGY CAMPUS ECONOMIC DEVELOPMENT CORPORATION" DATED OCTOBER 16, 2008 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L-706.
 NOTES:
 1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE.
 2. NO UNDERGROUND UTILITIES ARE SHOWN.

ACCESSIBILITY NOTES:

GENERAL NOTES:

- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH THE WITH THE FAIR HOUSING ACCESSIBILITY GUIDELINES, THE BUILDING CODE OF NEW YORK STATE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. LANSING ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, LANSING ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH FAIR HOUSING ACCESSIBILITY GUIDELINES, THE BUILDING CODE OF NEW YORK STATE AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY LANSING ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY LANSING ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
- THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY THEY SERVE.
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- WALKING SURFACES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- ANY WALKING SURFACE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/8 INCH MAXIMUM VERTICAL CHANGE IN LEVEL).
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- THE MINIMUM CLEAR WIDTH OF EXTERIOR ROUTES SHALL BE THIRTY SIX (36) INCHES MINIMUM.
- WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM.
- AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE FAIR HOUSING ACCESSIBILITY GUIDELINES, THE NEW YORK STATE BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE FAIR HOUSING ACCESSIBILITY GUIDELINES, THE BUILDING CODE OF NEW YORK STATE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

Sheet List Table		
SHEET NUMBER	SHEET DESIGNATION	SHEET DESCRIPTION
1	COV-1	COVER
2	SUB-1	SUBDIVISION PLAN
3	ECD-1	EXISTING CONDITIONS & DEMOLITION PLAN
4	LM-1	LAYOUT & MATERIALS PLAN
5	UG-1	UTILITIES & GRADING PLAN
6	SG-1	SPOT GRADING PLAN
7	EA-1	EMERGENCY ACCESS PLAN
8	ESC-1	EROSION & SEDIMENT CONTROL PLAN
9	LP-1	LANDSCAPE PLAN
10	LT-1	LIGHTING PLAN
11	DT-1	EROSION & STORM DETAILS
12	DT-2	SANITARY SEWER DETAILS
13	DT-3	WATER DETAILS
14	DT-4	MISCELLANEOUS DETAILS

RAMP NOTES:

- ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
- THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES. WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
- THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES OR A HORIZONTAL PROJECTION GREATER THAN SEVENTY-TWO (72) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH FAIR HOUSING ACCESSIBILITY GUIDELINES, THE BUILDING CODE OF NEW YORK STATE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- EDGE PROTECTION COMPLYING WITH FAIR HOUSING ACCESSIBILITY GUIDELINES, THE BUILDING CODE OF NEW YORK STATE, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
- WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE BUILDING CODE OF NEW YORK STATE SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOOKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

- THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- THE CLEAR WIDTH OF A CURB RAMP SHALL BE SIXTY (60) INCHES MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
- LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
- IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES. PARKING SPACES OR PARKING ACCESS AISLES, CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- CURB RAMPS SHALL HAVE A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1-2003, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES.
- FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/2 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
- WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
- WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
- CURB RAMP TYPE AND LOCATION ARE PER PLAN.

PARKING SPACE NOTES:

- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
- TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
- ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
- ACCESS AISLES SHALL BE MARKED TO DISCOURAGE PARKING IN THEM.
- ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
- FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
- PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
- EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
- ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT.
- WHERE PARKING IS PROVIDED WITHIN OR BENEATH A BUILDING, ACCESSIBLE PARKING SHALL ALSO BE PROVIDED WITHIN OR BENEATH THE BUILDING.

TOWN OF STILLWATER STANDARD NOTES:

- THIS PROPERTY MAY BORDER A FARM, AS DEFINED IN THE TOWN OF STILLWATER LOCAL LAW #1 OF THE YEAR 1997. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE THE RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, COOK, SMOKE, NOISE & VIBRATION.
- THIS PROPOSAL INCLUDES A TOTAL OF 11,344 ACRES AND LIES WITHIN THE TOWN OF STILLWATER BP- BUSINESS PARK DISTRICT.
- PARCEL IS IDENTIFIED AS TAX PARCEL 241-1-6.1. TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK.
- THE AVERAGE LOT SIZE IS 11.34± ACRES.

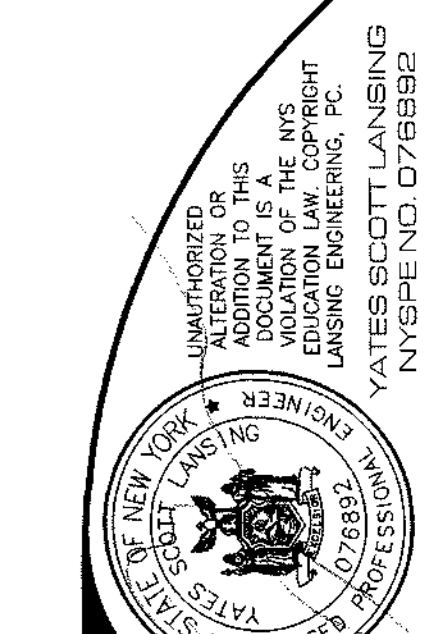
PB# 2025-03

TOWN OF STILLWATER PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF STILLWATER, NEW YORK, ON THE 17 DAY OF May, 2025 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGES, ERRORS, MODIFICATIONS OR REVISIONS OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THE 8 DAY OF October, 2025 BY

Frank Obermiller
 PLANNING BOARD CHAIRMAN



10 SHENANDOAH DRIVE SITE PLAN
 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

DATE: 7/10/2025
 REVISIONS RECORD/DESCRIPTION: REVISED PER TOWN REVIEW COMMENTS
 DATE: 9/23/2025
 FINAL PLANS

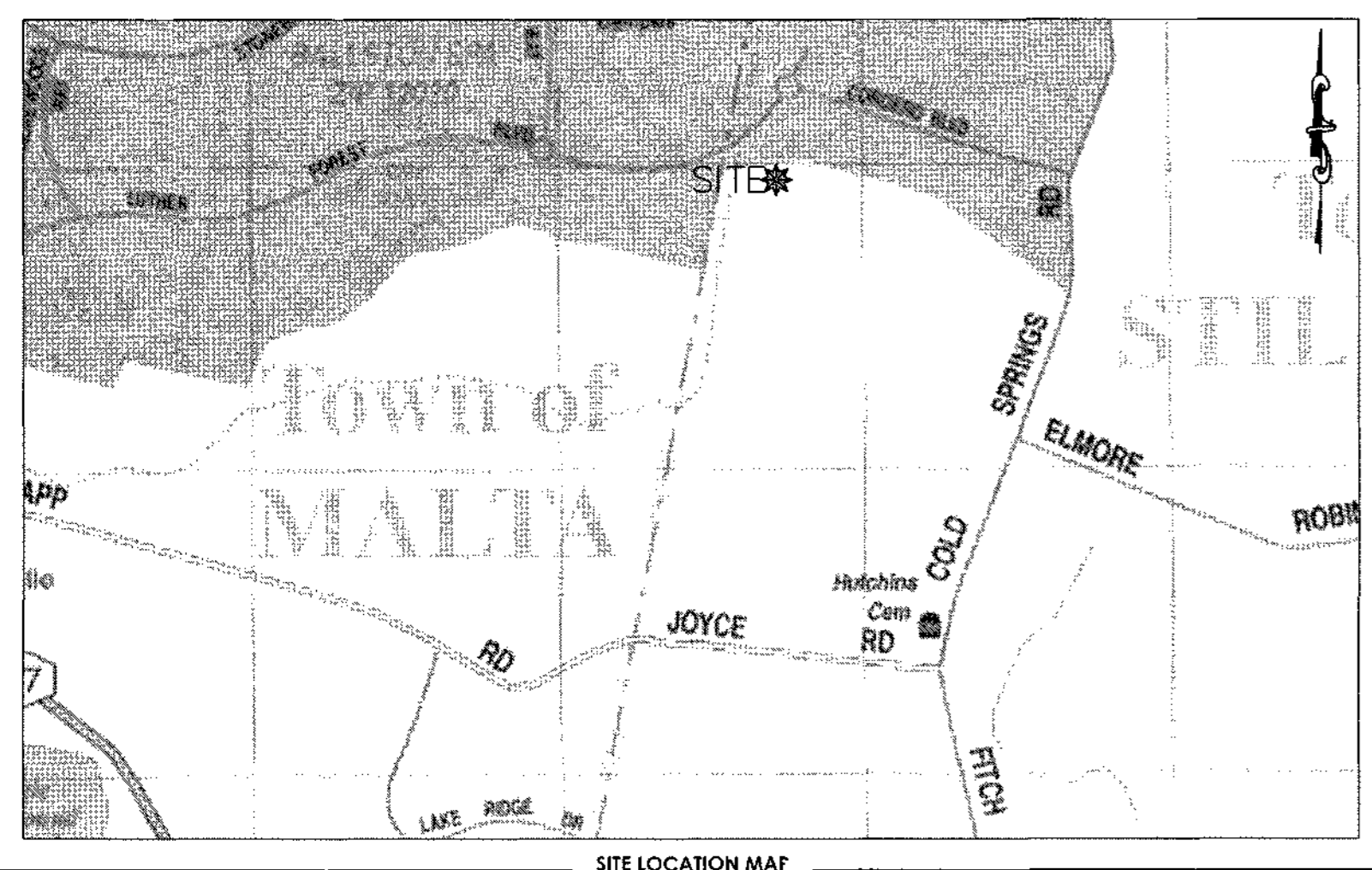
DATE: 9/23/2025
 REVISIONS RECORD/DESCRIPTION: REVISED PER TOWN REVIEW COMMENTS
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 FINAL PLANS

DATE: 9/23/2025
 REVISIONS RECORD/DESCRIPTION: REVISED PER TOWN REVIEW COMMENTS
 DATE: 9/23/2025
 FINAL PLANS

COVER



DEED REFERENCES:

1. FOREST RIDGE DEVELOPMENT LLC DEED INSTRUMENT NO. 2023002058 TAX ID. NO. 241-1-6.11
2. CONVEYANCE TO THE LUTHER FOREST CORPORATION BY DEED DATED JANUARY 3, 1978 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 978 OF DEEDS AT PAGE 1053.
3. CONVEYANCE TO THE TOWN OF STILLWATER BY DEED DATED MAY 15, 2009 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE AS INSTRUMENT NUMBER 2009015427.

NOTES:

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE.
2. NO UNDERGROUND UTILITIES ARE SHOWN.
3. NORTH ORIENTATION IS PER MAP REFERENCE NO. 6
4. UTILITIES HAVE NOT BEEN DEPICTED.

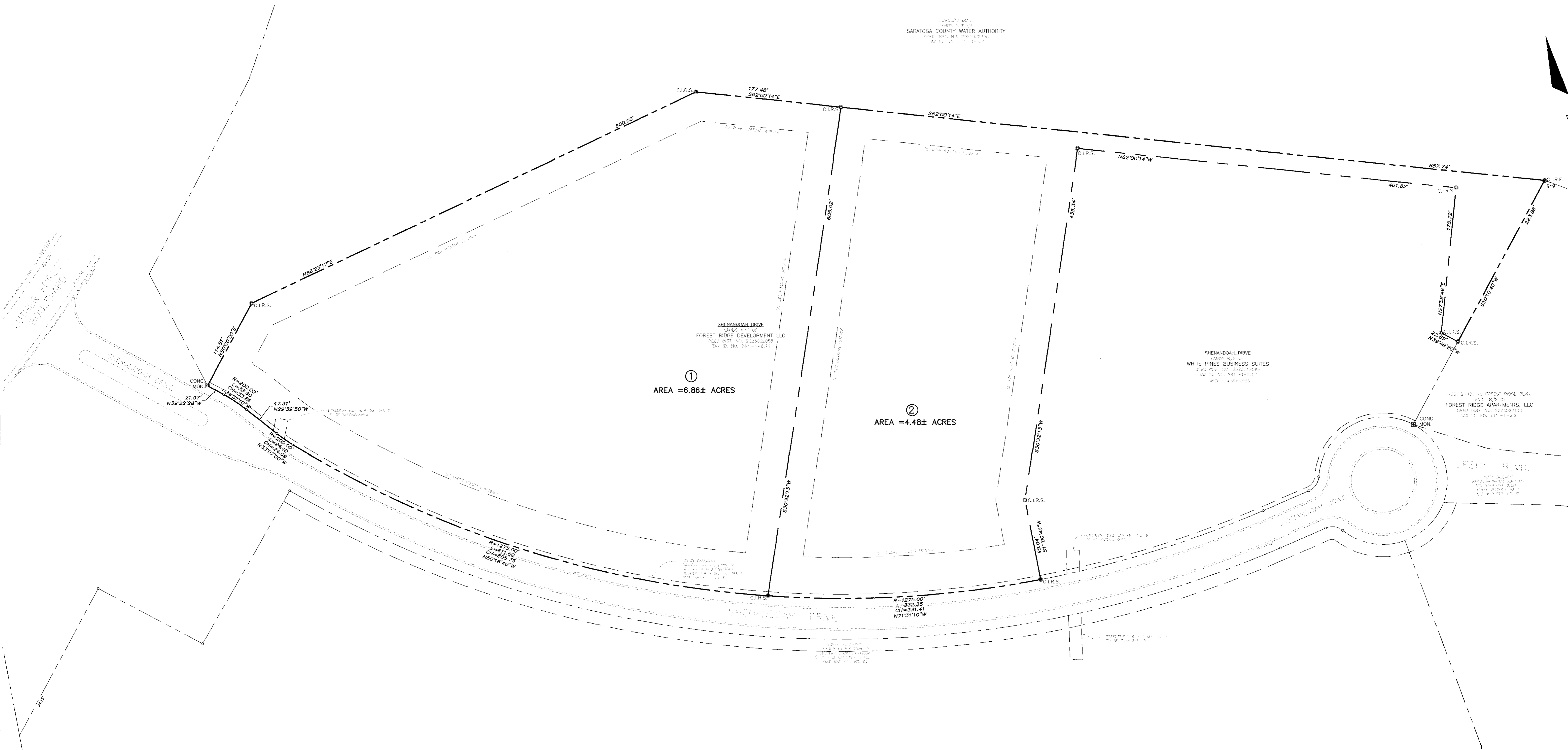
MAP REFERENCES:

1. MAP ENTITLED, "SUBDIVISION OF PORTION OF LANDS NOW OR FORMERLY OF LUTHER FOREST TECHNOLOGY CAMPUS PREPARED FOR LUTHER FOREST TECHNOLOGY CAMPUS ECONOMIC DEVELOPMENT CORPORATION" DATED MARCH 15, 2007 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L-723.
2. MAP ENTITLED, "MAP OF 9.559± ACRE PARCEL PREPARED FOR RICHARD J. HOPECK" DATED MAY 10, 1985 PREPARED BY DAVID A. FLANDERS ASSOCIATES AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP H-105.
3. MAP ENTITLED, "PROPOSED SUBDIVISION PLAT THE LUTHER FOREST CORPORATION MINOR SUBDIVISION OF 2014" DATED APRIL 30, 2014 PREPARED BY JAMES M. VANNA, P.L.S. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP M2014138.
4. MAP ENTITLED, "SUBDIVISION MAP LANDS NOW OR FORMERLY OF THE LUTHER FOREST CORPORATION THE LUTHER FOREST TECHNOLOGY CAMPUS" DATED FEBRUARY 25, 2005 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L668C.
5. MAP ENTITLED, "SUBDIVISION OF PORTION OF LANDS NOW OR FORMERLY OF LUTHER FOREST TECHNOLOGY CAMPUS PREPARED FOR LUTHER FOREST TECHNOLOGY CAMPUS ECONOMIC DEVELOPMENT CORPORATION" DATED OCTOBER 16, 2009 PREPARED BY C.T. MALE ASSOCIATES, P.C. AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE AS MAP L-706.
6. MAP ENTITLED, "SUBDIVISION OF LOT A & LOT B FOREST RIDGE MIXED-USE DEVELOPMENT" DATED JUNE 15, 2022 PREPARED BY GILBERT VANGLIDER, PLLC AND BEARING MAP NUMBER 22-30-378 OF SAID CORPORATION AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE ON FEBRUARY 1, 2023 AS MAP M2023007.

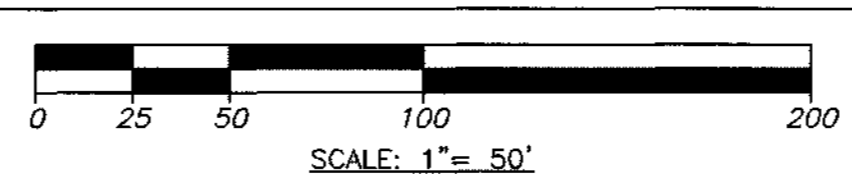
TOWN OF STILLWATER STANDARD SUBDIVISION NOTES:

1. THIS PROPERTY MAY BORDER A FARM, AS DEFINED IN THE TOWN OF STILLWATER LOCAL LAW #1 OF THE YEAR 1997. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE THE RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
2. PROPOSED AREA TO BE DEVELOPED CONTAINS 11.348 ACRES AND LIES WITHIN THE TOWN OF STILLWATER BP BUSINESS PARK ZONING DISTRICT.
3. PARCEL IS IDENTIFIED AS TAX PARCEL 241-1-6.11, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK.
4. THE SUBDIVISION IS TO BE DIVIDED INTO LIGHT INDUSTRIAL, RESEARCH & DEVELOPMENT AND WAREHOUSE SPACE.
5. UNLESS OTHERWISE NOTED ALL EASEMENTS SHOWN SHALL BE GRANTED TO THE TOWN OF STILLWATER. ALL PROPOSED HIGHWAY RIGHTS-OF-WAY (R.O.W.) ARE TO BE CONVEYED TO THE TOWN OF STILLWATER.
6. THE SUBDIVISION LIES IN THE ARVIN HART FIRE DISTRICT.
7. THE SUBDIVISION LIES IN THE STILLWATER CENTRAL SCHOOL DISTRICT.
8. THIS SUBDIVISION SHALL BE SERVICED BY THE SARATOGA COUNTY SEWER DISTRICT #1.

MIN. LOT SIZE: 3.0 AC
 MIN. LOT WIDTH @ BLDG LINE: 200'
 SETBACKS:
 FRONT: 50'
 SIDE: 35'
 REAR: 35'



SUBDIVISION PLAN



LEGEND

BCI	DEED CALL
W/W	WIDE WAYS
C.I.R.S.	CAPRIED IRON ROD SET
I.P.F.	IRON PIPE FOUND
C.I.F.	CAPRIED IRON ROD FOUND
I.R.F.	IRON ROD FOUND
116/93.39	TAX MAP SECTION-BLOCK-LOT
8/24 P.58	DEED BOOK & PAGE
H.F.	HOW OF FORMERLY
H.F.S.	DEED INFORMATION
H.F.S.	OVERHEAD UTILITY LINES
- - - - -	FENCE

I HEREBY CERTIFY THAT THIS SUBDIVISION WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY PERFORMED IN APRIL 2025

LICENSE NUMBER - 050583

TOWN OF STILLWATER PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF STILLWATER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGES, ERASURES, MODIFICATIONS OR REVISIONS OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THE _____ DAY OF _____, 20____ BY _____

Town of Stillwater, Refer To First Page For Approval and Signature

PLANNING BOARD CHAIRMAN

PB # 2025-04

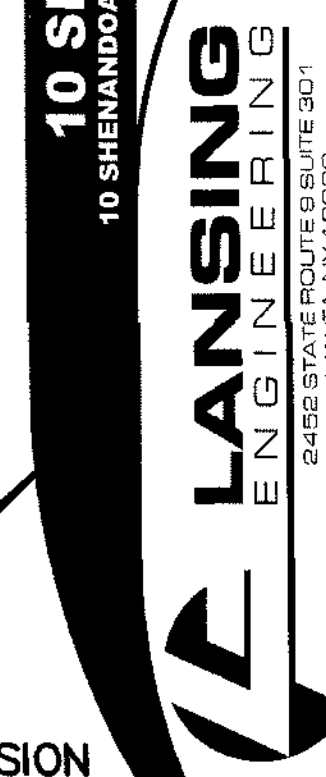
SUBDIVISION

TAX ID. NO. 241-1-6.11
 DEED INST. 2023002058

PROJ. NO: 747.13
 SCALE: AS SHOWN
 DATE: 04/08/2025

SUB-1
 SHEET 2 OF 14

10 SHENANDOAH DRIVE SITE PLAN
 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK
 PRELIMINARY / NOT FOR CONSTRUCTION
 DATE: _____
 REVISIONS: _____
 DESCRIPTION: _____
 DATE: _____





STORM INFRASTRUCTURE FROM PREVIOUSLY APPROVED, LUTHER FOREST BUSINESS PARK LOT 1 SITE PLAN, NOT INSTALLED (TYP.)

EXISTING TREELINE (TYP.)

PROPOSED TREELINE (TYP.)

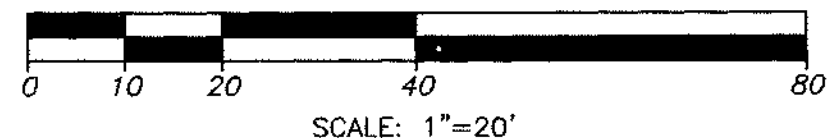
EXISTING TREES TO BE CLEARED AND GRUBBED

EXISTING TREES TO BE CLEARED AND GRUBBED

EXISTING TREELINE (TYP.)

SHENANDOAH DRIVE

EXISTING CONDITIONS & DEMOLITION PLAN

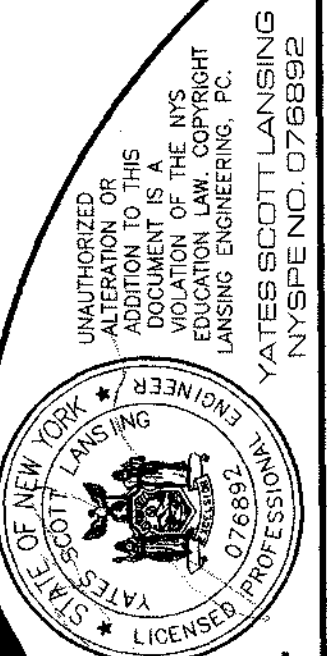


Town of Stillwater, Refer To First Page For Approval and Signature

EXISTING CONDITIONS & DEMOLITION PLAN

PROJ. NO: 747.13
SCALE: AS SHOWN
DATE: 03/04/2025

ECD-1
SHEET 3 OF 14



10 SHENANDOAH DRIVE SITE PLAN
10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

DATE: 03/04/2025
DESIGNED BY: JAMES SCOTT LANSING
DRAWN BY: JAMES SCOTT LANSING
CHECKED BY: JAMES SCOTT LANSING
DATE: 03/04/2025

LANSING
ENGINEERING
8488 STATE ROUTE 188
STILLWATER, NY 12154

Civil, Transportation, Environmental, Land Surveying

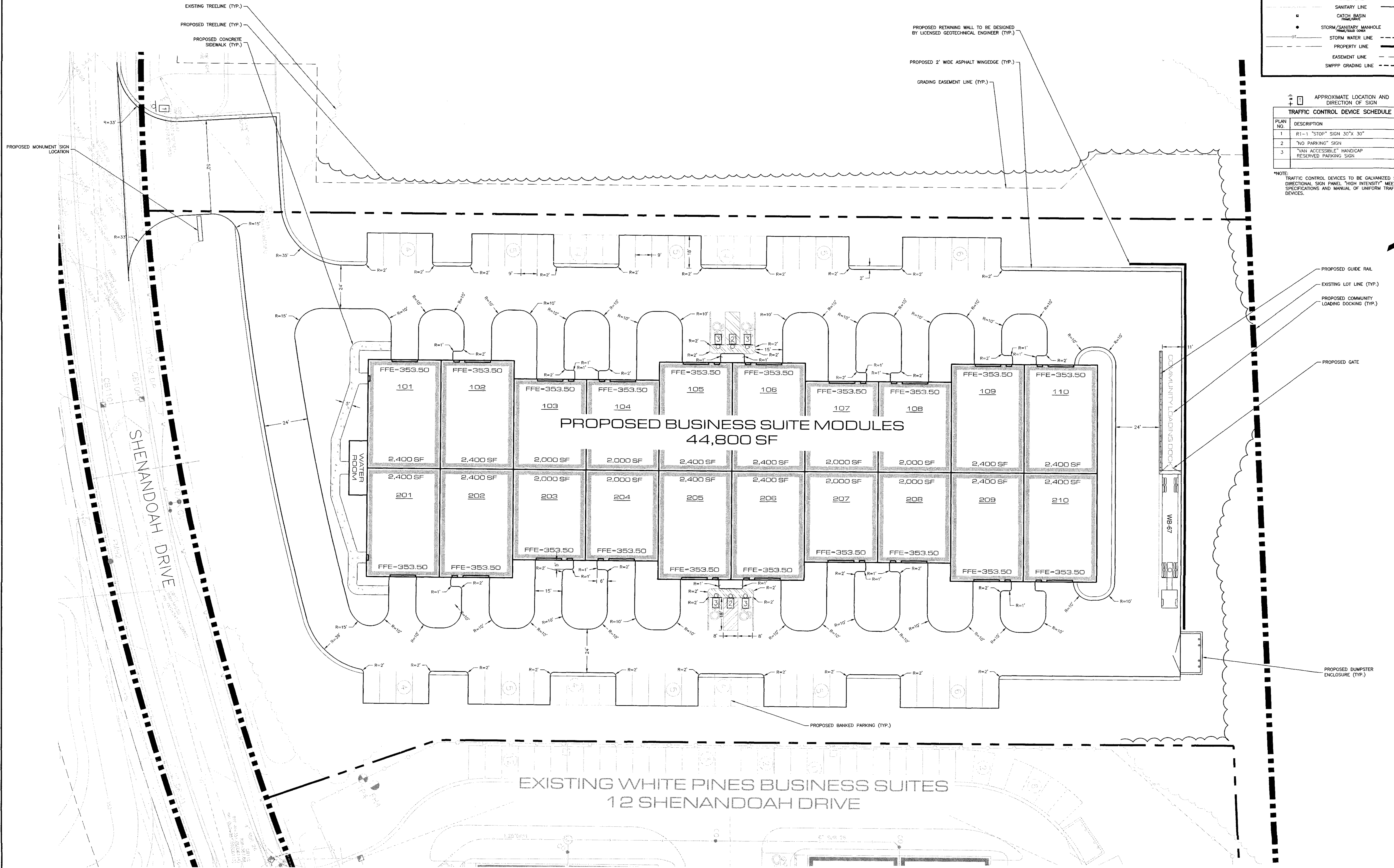
LEGEND

EXISTING FEATURES	PROPOSED FEATURES
	FIRE HYDRANT
	GATE VALVE
	WATER LINE
	SANITARY LINE
	CATCH BASIN
	STORM/SANITARY MANHOLE
	PROPERTY LINE
	EASEMENT LINE
	SWPPP GRADING LINE

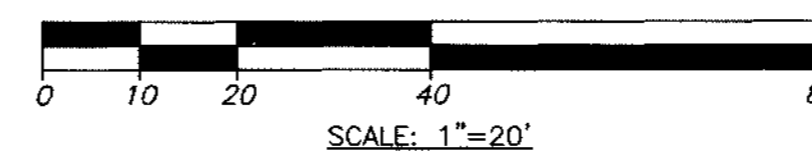
APPROXIMATE LOCATION AND DIRECTION OF SIGN

PLAN NO.	DESCRIPTION	QTY.
1	R1-1 "STOP" SIGN 30"X 30"	1
2	"NO PARKING" SIGN	2
3	"VAN ACCESSIBLE" HANDICAP RESERVED PARKING SIGN	4

NOTE: TRAFFIC CONTROL DEVICES TO BE GALVANIZED STEEL REFLECTIVE DIRECTIONAL SIGN PANEL "HIGH INTENSITY" MEETING NYS DOT SPECIFICATIONS AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



LAYOUT & MATERIALS PLAN



NOTE:
 1. 911 ADDRESS IS AS FOLLOWS: 10 SHENANDOAH DRIVE, SUITE XXX
 2. SUITE NUMBERS HAVE BEEN SHOWN ON THIS PLAN FOR REFERENCE.

LAYOUT & MATERIALS PLAN

PROJ. NO: 747.13
 SCALE: AS SHOWN
 DATE: 03/04/2025
 SHEET 4 OF 14

10 SHENANDOAH DRIVE SITE PLAN
 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

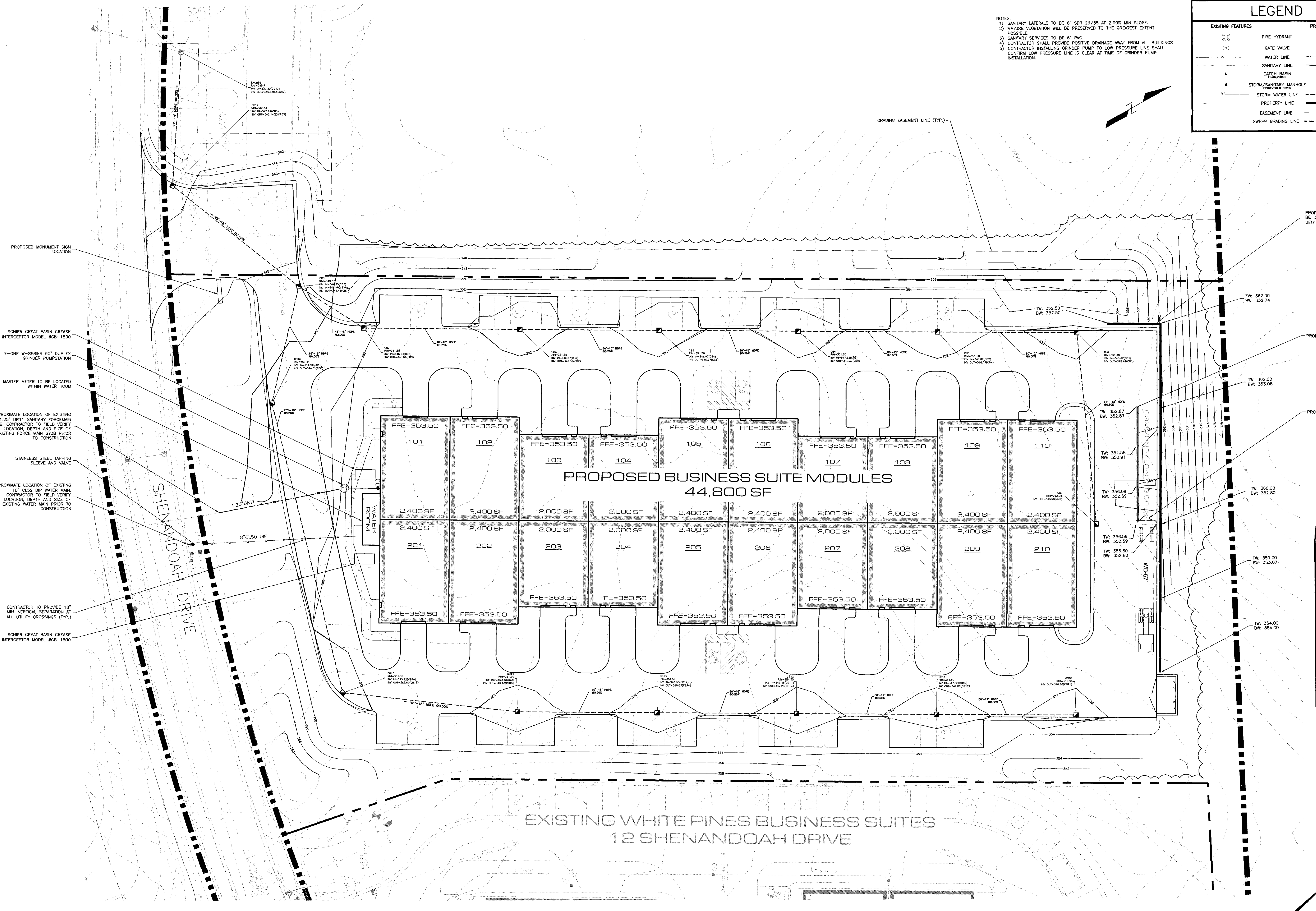
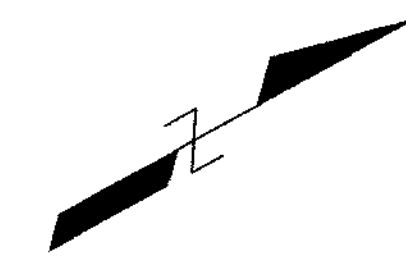
CLANSING ENGINEERING
 ENGINEERS ARCHITECTS INTERIORS
 1000 WEST 14TH STREET
 SUITE 200
 ALBANY, NY 12206
 (518) 865-1111
 LICENSE NO. 078853
 LICENSEE NO. 078852

DATE: 9/23/2024
 REVISIONS: RECORD/DESCRIPTION
 4/10/2024 REVISION FOR TOWN REVIEW COMMENTS
 FINAL PLANS

Town of Stillwater, Refer To First Page For Approval and Signature

LEGEND	
EXISTING FEATURES	PROPOSED FEATURES
	FIRE HYDRANT
	GATE VALVE
	WATER LINE
	SANITARY LINE
	CATCH BASIN
	STORM/SANITARY MANHOLE
	STORM WATER LINE
	PROPERTY LINE
	EASEMENT LINE
	SWPPP GRADING LINE

- NOTES:
- 1) SANITARY LATERALS TO BE 6" SDR 26/35 AT 2.00% MIN SLOPE.
 - 2) MATURE VEGETATION WILL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE.
 - 3) SANITARY SERVICES TO BE 6" PVC.
 - 4) CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
 - 5) CONTRACTOR INSTALLING GRINDER PUMP TO LOW PRESSURE LINE SHALL CONFIRM LOW PRESSURE LINE IS CLEAR AT TIME OF GRINDER PUMP INSTALLATION.



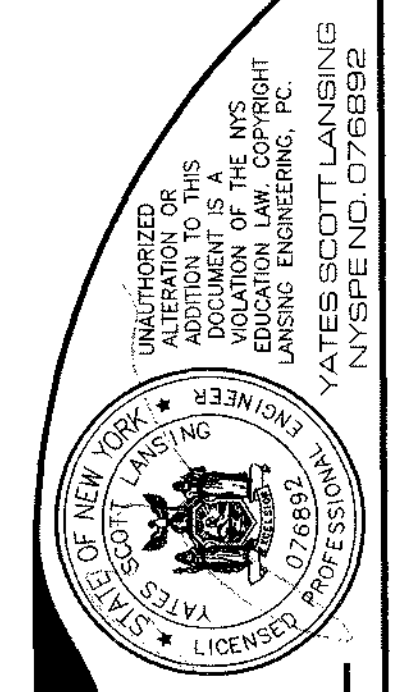
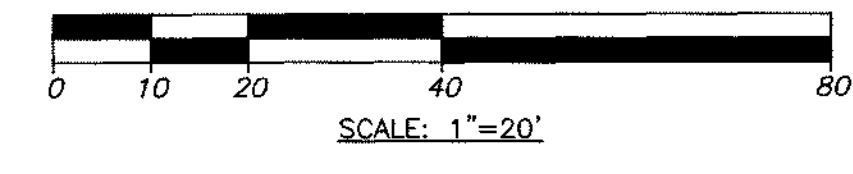
- PROPOSED MONUMENT SIGN LOCATION
- SCHIER GREAT BASIN GREASE INTERCEPTOR MODEL #GB-1500
- E-ONE W-SERIES 60" DUPLEX GRINDER PUMPSTATION
- MASTER METER TO BE LOCATED WITHIN WATER ROOM
- APPROXIMATE LOCATION OF EXISTING 1.25" DR11 SANITARY FORCE MAIN STUB. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EXISTING FORCE MAIN STUB PRIOR TO CONSTRUCTION
- STAINLESS STEEL TAPPING SLEEVE AND VALVE
- APPROXIMATE LOCATION OF EXISTING 10" CL52 DIP WATER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION
- CONTRACTOR TO PROVIDE 18" MIN. VERTICAL SEPARATION AT ALL UTILITY CROSSINGS (TYP.)
- SCHIER GREAT BASIN GREASE INTERCEPTOR MODEL #GB-1500

- PROPOSED RETAINING WALL TO BE DESIGNED BY LICENSED GEOTECHNICAL ENGINEER (TYP.)
- PROPOSED GUIDE RAIL
- PROPOSED GATE

PROPOSED BUSINESS SUITE MODULES
44,800 SF

EXISTING WHITE PINES BUSINESS SUITES
12 SHENANDOAH DRIVE

UTILITIES & GRADING PLAN



LANSING ENGINEERING
8408 HALL AVENUE, SUITE 301
BETHESDA, MD 20814
(301) 888-8888

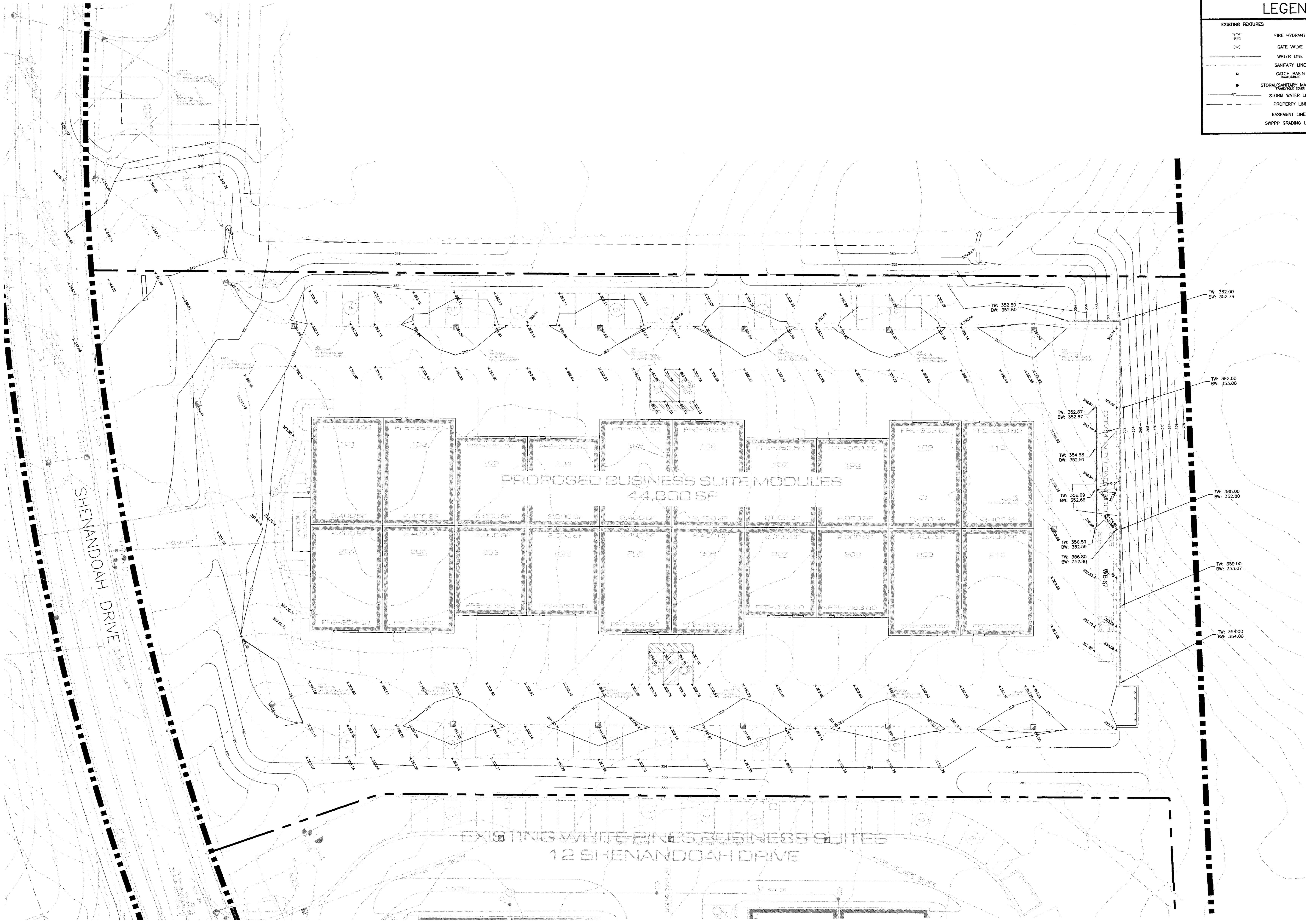
PROJECT: 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK
DATE: 9/23/2025
REVISION RECORD/DESCRIPTION: FINAL PLANS
REVISED FOR TOWN REVIEW COMMENTS: 9/23/2025

UTILITIES & GRADING PLAN

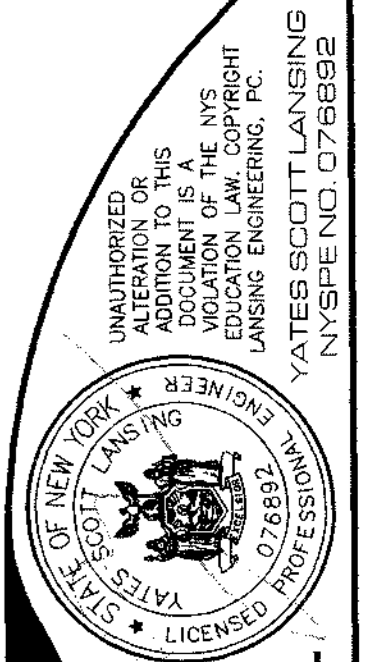
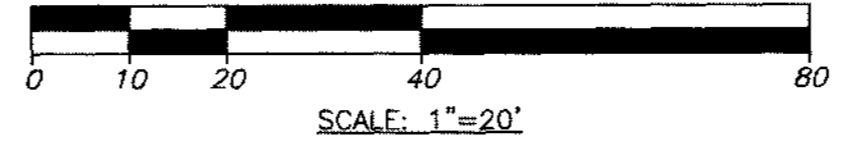
Town of Stillwater, Refer To First Page For Approval and Signature

PROJECTS\74713-McKoy-White Pines Business Center\CADD\CURRENT\UTILITIES & GRADING PLAN.dwg Sep 23, 2025 09:40AM

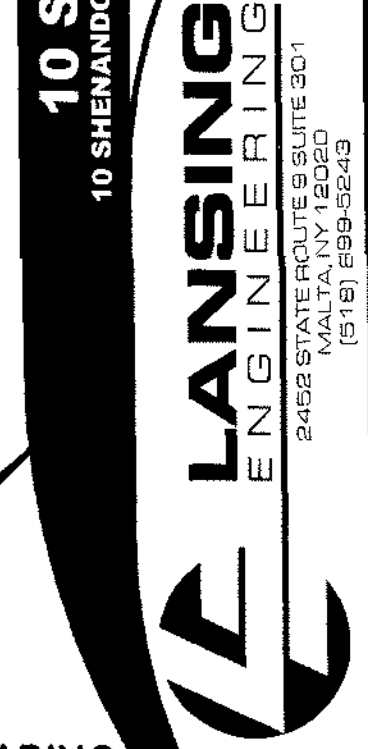
LEGEND	
EXISTING FEATURES	PROPOSED FEATURES
	FIRE HYDRANT
	GATE VALVE
	WATER LINE
	SANITARY LINE
	CATCH BASIN
	STORM/SANITARY MANHOLE
	STORM WATER LINE
	EASEMENT LINE
	SWPPP GRADING LINE



SPOT GRADING PLAN



10 SHENANDOAH DRIVE SITE PLAN
 10 SHENANDOAH DRIVE, TOWN OF STILLMATER, SARATOGA COUNTY, NEW YORK
 DATE: 07/05/23
 REVISION: 03/04/2025
 DRAWN BY: JAMES SCOTT LANSING
 CHECKED BY: JAMES SCOTT LANSING
 PROJECT NO: 747.13



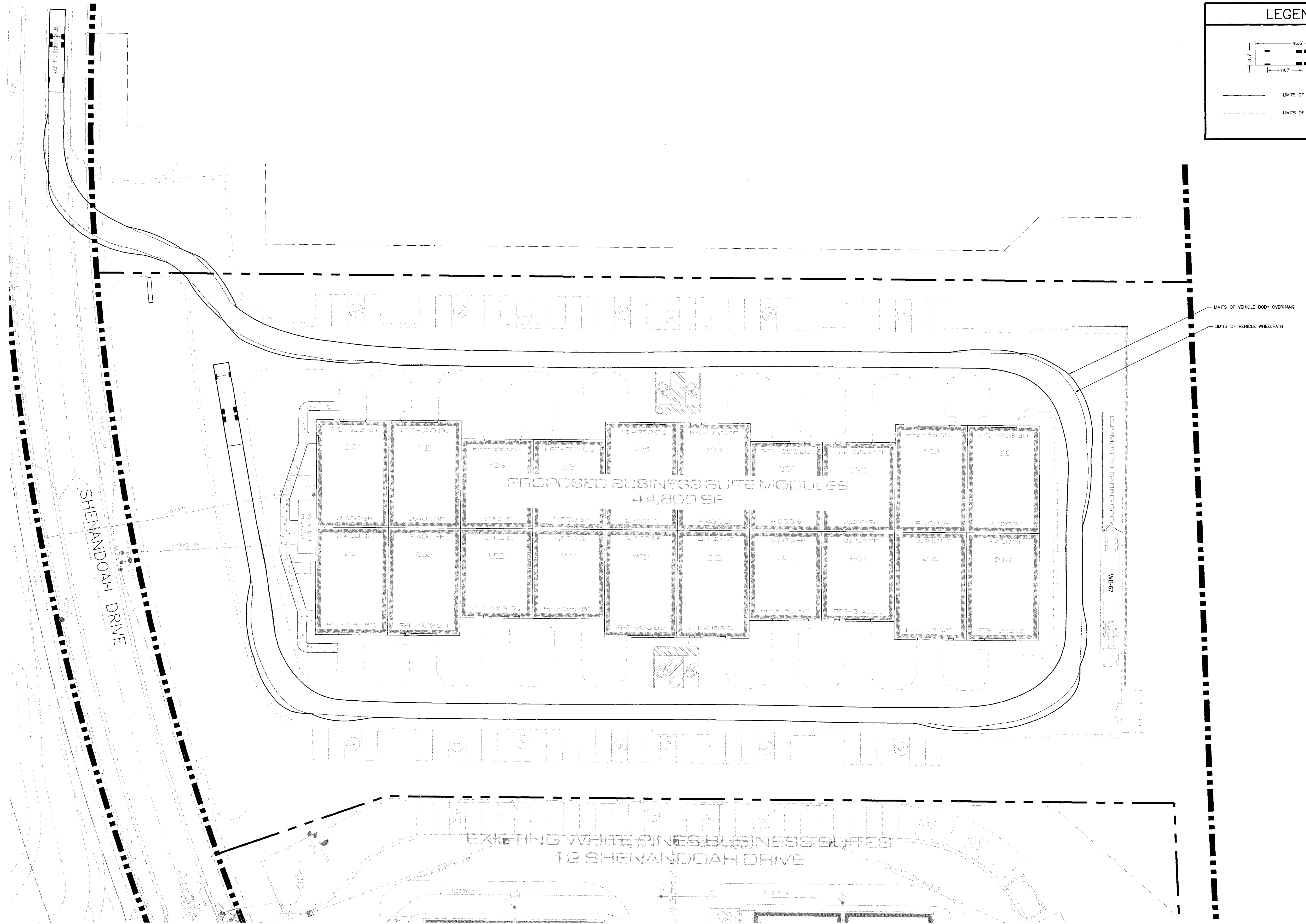
SPOT GRADING PLAN

Town of Stillmater, Refer to First Page For Approval and Signature

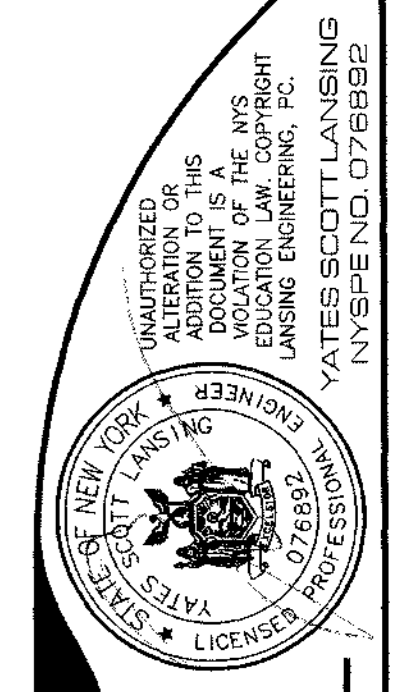
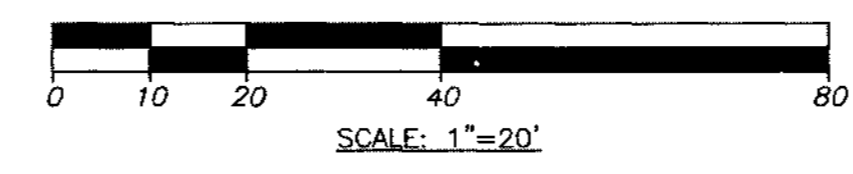
P:\PROJECTS\74713 Hickory-White Pines Business Center\CADD\CURRENT\6 SPOT GRADING PLAN.dwg Sep 23, 2025 09:46AM

LEGEND

— LIMITS OF VEHICLE BODY OVERHANG
 - - - LIMITS OF VEHICLE WHEELPATH



EMERGENCY ACCESS PLAN



VATES SCOTT LANSING
 PROFESSIONAL ENGINEER
 STATE OF NEW YORK
 LICENSE NO. 12585

LANSING
 ENGINEERING

EMERGENCY ACCESS PLAN

PROJ. NO: 747.13
 SCALE: AS SHOWN
 DATE: 03/04/2025

EA-1
 SHEET 7 OF 14

Town of Stillwater, Refer To
 First Page For Approval and Signature

PARTICULAR MEASURES:

1. IMMEDIATELY FOLLOWING COMPLETION OF ANY AND ALL OF THE PROPOSED STORM DRAIN INLETS, STORM DRAIN INLET PROTECTION SHALL BE CONSTRUCTED.
2. DRAINAGE DITCH SEDIMENT FILTERS: UNTIL SUCH TIME AS FINAL SITE STABILIZATION IS COMPLETED, DITCHES SHALL RECEIVE TREATMENT WITH STONE CHECK DAMS SO AS TO EFFECTIVELY TRAP SEDIMENT AND MINIMIZE ITS RELEASE OFF-SITE. STONE CHECK DAMS SHALL BE CONSTRUCTED WITHIN EACH DITCH BEGINNING AT ITS DOWNSTREAM TERMINUS AND SHOULD NOT BE PLACED AT INTERVALS EXCEEDING 20 FEET.
3. TOPSOIL AND FILL THAT IS TO REMAIN STOCKPILED ON-SITE FOR PERIODS GREATER THAN 14-DAYS SHALL BE STABILIZED BY SEEDING AND MULCHING. PROVIDE SILT FENCE EROSION CONTROL DOWNGRADIENT OF SOIL STOCKPILE AREA.
4. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
5. PERMANENT VEGETATIVE COVER: IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
6. ALL HEALTHY TREES OF DESIRABLE SPECIES ARE TO BE PROTECTED FROM DAMAGE. ALL UNNECESSARY REMOVAL OF HEALTHY TREES SHALL BE AVOIDED.
7. THE CONTRACTOR IS TO ADHERE TO ALL REQUIREMENTS SET FORTH IN THE SWPPP.
8. WETLAND PROTECTION FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF WETLANDS PRIOR TO THE START OF CONSTRUCTION.

MAINTENANCE OF EROSION CONTROL MEASURES

THE DEVELOPER/CONTRACTOR OR THEIR BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED OR REPLACED AS NECESSARY. WASHOUTS SHALL BE IMMEDIATELY REPAIRED, RE-SEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDING AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED. TO EFFECTIVELY CONTROL WIND EROSION, WATER SHALL BE APPLIED TO ALL EXPOSED SOILS AS NECESSARY UNTIL GROUND COVER IS PERMANENTLY ESTABLISHED.

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/ EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT PERMITTED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A&B APPLY 6" OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	HSG A&B AERATE AND APPLY 6" OF TOPSOIL	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5' PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DE-COMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES. CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA	

* TAKEN FROM PAGE 5-19 OF NEW YORK STATE STORMWATER DESIGN MANUAL (JANUARY, 2015)
 ** AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRODS WHICH FUNCTION LIKE A MINI-SUBSOILER.
 *** PER "DEEP RIPPING AND DE-COMPACTION, DEC 2008". A COPY IS INCLUDED WITHIN THE APPROVED SWPPP

RECOMMENDED SOIL EROSION AND SEDIMENT CONTROL MEASURES

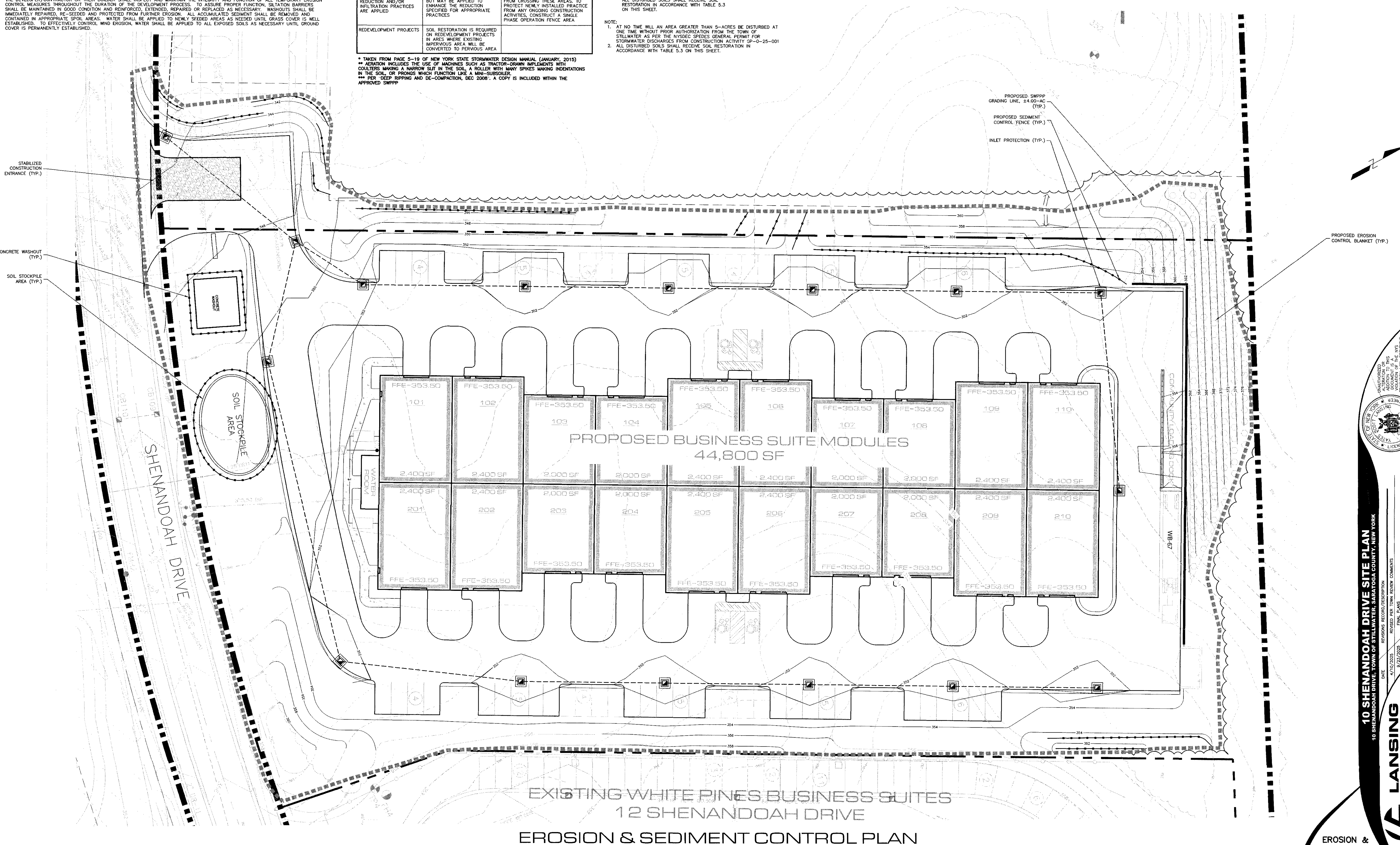
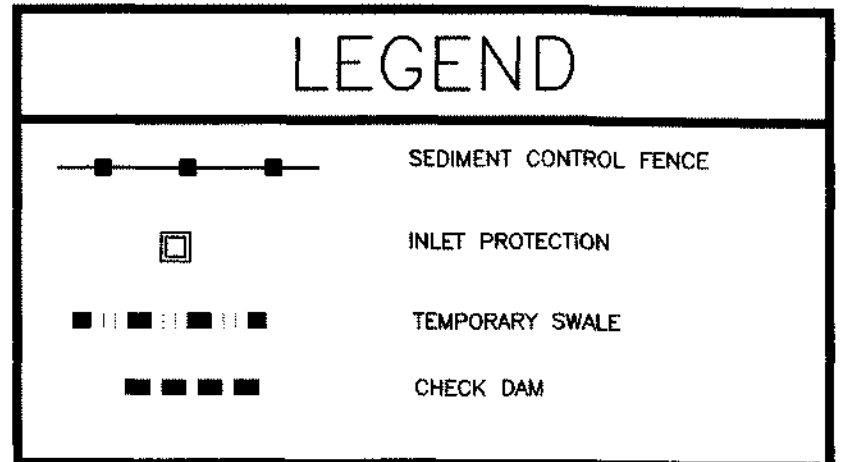
MEASURES SHOWN ARE TO DEFINE INTENT. ACTUAL MEASURES WILL BE IMPLEMENTED AS SITE CONDITIONS WARRANT BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL NEEDED CONTROL MEASURES TO PREVENT SOIL EROSION.

GENERAL MEASURES:

1. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE.
2. INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.

NOTE:

- ALL DISTURBED SOILS SHALL RECEIVE SOIL RESTORATION IN ACCORDANCE WITH TABLE 5.3 ON THIS SHEET.
1. AT NO TIME WILL AN AREA GREATER THAN 5-ACRES BE DISTURBED AT ONE TIME WITHOUT PRIOR AUTHORIZATION FROM THE TOWN OF STILLWATER AS PER THE NYSDEC SPEEDS GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY 02-0-25-001
 2. ALL DISTURBED SOILS SHALL RECEIVE SOIL RESTORATION IN ACCORDANCE WITH TABLE 5.3 ON THIS SHEET.



10 SHENANDOAH DRIVE SITE PLAN
 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

LANSING ENGINEERING
 8485 STATE ROUTE 9 SUITE 301
 (518) 885-2840

EROSION & SEDIMENT CONTROL PLAN

PROJ. NO: 747.13
 SCALE: AS SHOWN
 DATE: 03/04/2025

ESC-1
 SHEET 8 OF 14

Town of Stillwater, Refer To First Page For Approval and Signature

SEEDING NOTES:

1. NATIVE WILDFLOWER & GRASS SEED: FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES. PROVIDE SEED MIXTURE COMPOSED OF SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS FOLLOWS:

TYPE 1 SEED MIX
 BASIS OF DESIGN: ERNST SEEDS - SHOWY NORTHEAST NATIVE WILDFLOWER & GRASS MIX (ERNM-153)
 SEEDING RATE: 20LBS/AC WITH 30 LBS/AC COVER CROP
 COVER CROP: EITHER GRAM GRASS (AUGUST 1 TO DECEMBER 31)
 OR, GRAM RYE (AUGUST 1 TO DECEMBER 31)

- MIX COMPOSITION:**
- 34.0% Bouteloua curtipendula, Butte (Sideoats Grama, Butte)
 - 20.8% Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
 - 16.0% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
 - 8.0% Echinochloa purpurea, PA Ecotype (Cottontail)
 - 3.0% Chamaecrista fasciculata, PA Ecotype (Partridge Pea, PA Ecotype)
 - 3.0% Coreopsis lanceolata (Lanceleaf Coreopsis)
 - 3.0% Rudbeckia hirta (Black-eyed Susan)
 - 2.0% Helopsis scabra (Owey Sunflower, PA Ecotype)
 - 1.4% Liatris spicata, PA Ecotype (Marsh Blazing Star, PA Ecotype)
 - 1.2% Asclepias tuberosa, PA Ecotype (Butterfly Milkweed, PA Ecotype)
 - 1.1% Tradescantia ohiensis, PA Ecotype (Ohio Spiderwort, PA Ecotype)
 - 1.0% Penstemon digitalis, PA Ecotype (Tall White Beardtongue, PA Ecotype)
 - 1.0% Zizia aurea, PA Ecotype (Golden Alexanders, PA Ecotype)
 - 0.9% Pycnanthemum tenuifolium (Narrowleaf Mountainmint)
 - 0.7% Senecio hesperis, VA & WV Ecotype (Wild Senna, VA & WV Ecotype)
 - 0.5% Baptisia australis, Southern WV Ecotype (Blue False Indigo, Southern WV Ecotype)
 - 0.4% Monarda fistulosa, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
 - 0.3% Aster oblongifolius, PA Ecotype (Aromatic Aster, PA Ecotype)
 - 0.3% Oenothera fruticosa var. fruticosa (Sundrop)
 - 0.2% Aster laevis, NY Ecotype (Smooth Blue Aster, NY Ecotype)
 - 0.2% Aster novae-angliae, PA Ecotype (New England Aster, PA Ecotype)
 - 0.2% Aster pilosus, PA Ecotype (Heath Aster, PA Ecotype)
 - 0.2% Solidago nemoralis, PA Ecotype (Gray Goldenrod, PA Ecotype)
 - 0.1% Aster prenanthoides, PA Ecotype (Digger Aster, PA Ecotype)
 - 0.1% Penstemon hirsutus (Hairy Beardtongue)
 - 0.1% Senecio marilandica (Maryland Senna)
 - 0.1% Solidago bicolor, PA Ecotype (White Goldenrod, PA Ecotype)
 - 0.1% Solidago juncea, PA Ecotype (Early Goldenrod, PA Ecotype)
 - 0.1% Solidago odora, PA Ecotype (Lycoris Scented Goldenrod, PA Ecotype)

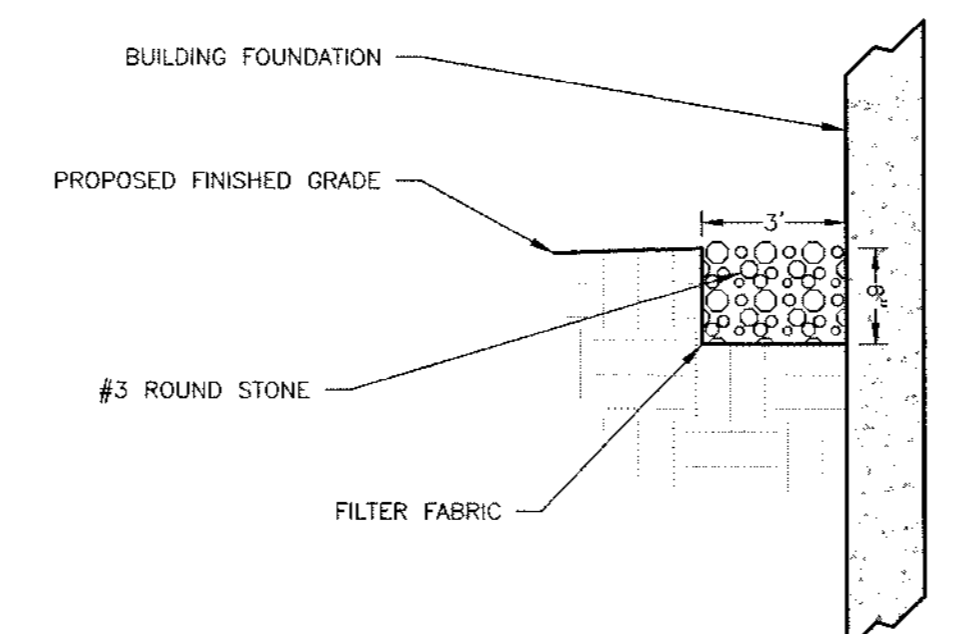
PLANTING NOTES:

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARDS INSTITUTE (ANSI) AND PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC. PROVIDE QUALITY, SIZE, GENUS, SPECIES, VARIETY, TREES AND SHRUBS INDICATED, AND ROOT BALL SIZE COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHOULD BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- PLANT SIZES: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 WITH BRANCHES AND TRUNKS OR CANES IN THEIR NORMAL POSITION. TAKE CALIPER MEASUREMENTS 4 INCHES ABOVE GROUND FOR TREES UP TO 4-INCH CALIPER SIZE. MEASURE MAIN BODY OF TREE OR SHRUB FOR HEIGHT AND SPREAD; DO NOT MEASURE BRANCHES OR ROOTS TIP-TO-TIP.
- ALL CONTAINER GROWN PLANTS SHALL BE SIZED ACCORDING TO ANSI Z60.1 FOR TYPE AND SIZE OF PLANT REQUIRED. PLANTS SHALL BE PREMIUM QUALITY, APPEAR "FULL" OR "HEAVY" WITHIN THEIR CONTAINER, AND BE REPRESENTATIVE OF THE SPECIES. PLANTS THAT ARE DEEMED TO BE SUBSTANDARD IN SIZE BY THE LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON PLANT LIST.
- TREES SHOULD BE FREELY DUG DURING THE SEASON OF PLANTING, MARCH 1ST TO MAY 1ST FOR SPRING PLANTING AND OCTOBER 15TH TO DECEMBER 15TH FOR FALL PLANTING. PLANTS KNOWN AS FALL DUG HAZARDOUS SHALL BE DUG IN THE SPRING ONLY.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- IN GENERAL, PLANT SPECIES SUBSTITUTIONS WILL NOT BE ACCEPTED, IF SPECIFIED MATERIAL IS NOT OBTAINABLE, CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT FOR REVIEW AND PROPOSED SUBSTITUTION. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, SIZE, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROCESS OF WORK. CONTRACTOR SHALL REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND PLANT BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- INSTALLED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO PROPOSED GRADE AS THEY BORE TO PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- CONTRACTOR SHALL PROVIDE LONG LASTING, SLOW RELEASE STARTER FERTILIZER AND WATER IN EACH PLANTING PIT FOR TREES, SHRUBS AND PERENNIALS.
- ALL PLANT BEDS SHALL RECEIVE THREE INCHES (3") OF SHREDDED BARK MULCH. MULCH SHALL BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF DOUBLE HANDED SHREDDED BARK MULCH COMPOSED OF FINE, HARDWOOD OR SOFTWOOD SHREDDED BARK. SHREDDED BARK MULCH SHALL NOT EXCEED 3" IN GREATEST DIMENSION, AND SHALL BE DARK BROWN IN COLOR.
- PLANTS SHALL BE DELIVERED ONLY AS THEY CAN BE INSTALLED IN REASONABLE TIME. ALL PLANTS ARE SUBJECT TO INSPECTION AT DELIVERY BY THE LANDSCAPE ARCHITECT / OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- MAINTENANCE SHALL BEGAIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR A MINIMUM 30-DAY MONITORING PERIOD AFTER NOTIFICATION OF SUBSTANTIAL COMPLETION, AND UNTIL FINAL ACCEPTANCE, WHICHEVER IS GREATER. MAINTENANCE INCLUDES PRUNING, WEEDING, WATERING, FERTILIZING, AND RE-SEEDING AS NECESSARY.
- PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTING.
- UPON COMPLETION OF ALL PLANTING WORK, THE CONTRACTOR SHALL REQUEST IN WRITING THAT THE LANDSCAPE ARCHITECT FORMALLY INSPECT THE PLANTING WORK. IF PLANT MATERIALS AND WORKMANSHIP ARE ACCEPTABLE, THE LANDSCAPE ARCHITECT WILL ISSUE A WRITTEN CERTIFICATE OF SUBSTANTIAL COMPLETION.
- FOLLOWING THE ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION TO THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN THE PLANTS FOR THE MAINTENANCE PERIOD SPECIFIED IN THIS SECTION.
- ACCEPTANCE STANDARDS AT END OF THE MAINTENANCE PERIOD:
 - PLANTS SHALL BE FREE OF FROST CRACKS, SUN SCALD, DAMAGE DUE TO INSECTS, PESTS, AND DISEASE, STRUCTURAL DEFECTS, AND DAMAGE RESULTING FROM MACHINERY OR TOOLS. ALL PLANTS REGARDLESS OF THE SEASON OF REVIEW SHALL HAVE A MINIMUM OF 75 PERCENT HEALTHY, BALANCED BRANCHING STRUCTURE WITH A HEALTHY TERMINAL LEADER(S) WITH VISIBLE TERMINAL BUD(S). TREES SHALL BE PLUMB AND SHOW NO SIGNS OF UNEVEN SETTLING OR LEANING.
 - LAWN AREAS SHALL HAVE A HEALTHY, UNIFORM STAND OF GRASS FREE OF WEEDS, SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5%.
- GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL TO REMAIN ALIVE AND BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF PLANTING WORK, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY WORK.
- CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MORE THAN 25% DEAD OR, AS DETERMINED BY THE LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION. CONTRACTOR SHALL BEAR THE COST OF COMPLETE REPLACEMENT(S). REPLACEMENTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED ON THE PLANTING LIST.
- GRASS SEED: FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES. PROVIDE SEED MIXTURE COMPOSED OF SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS FOLLOWS:

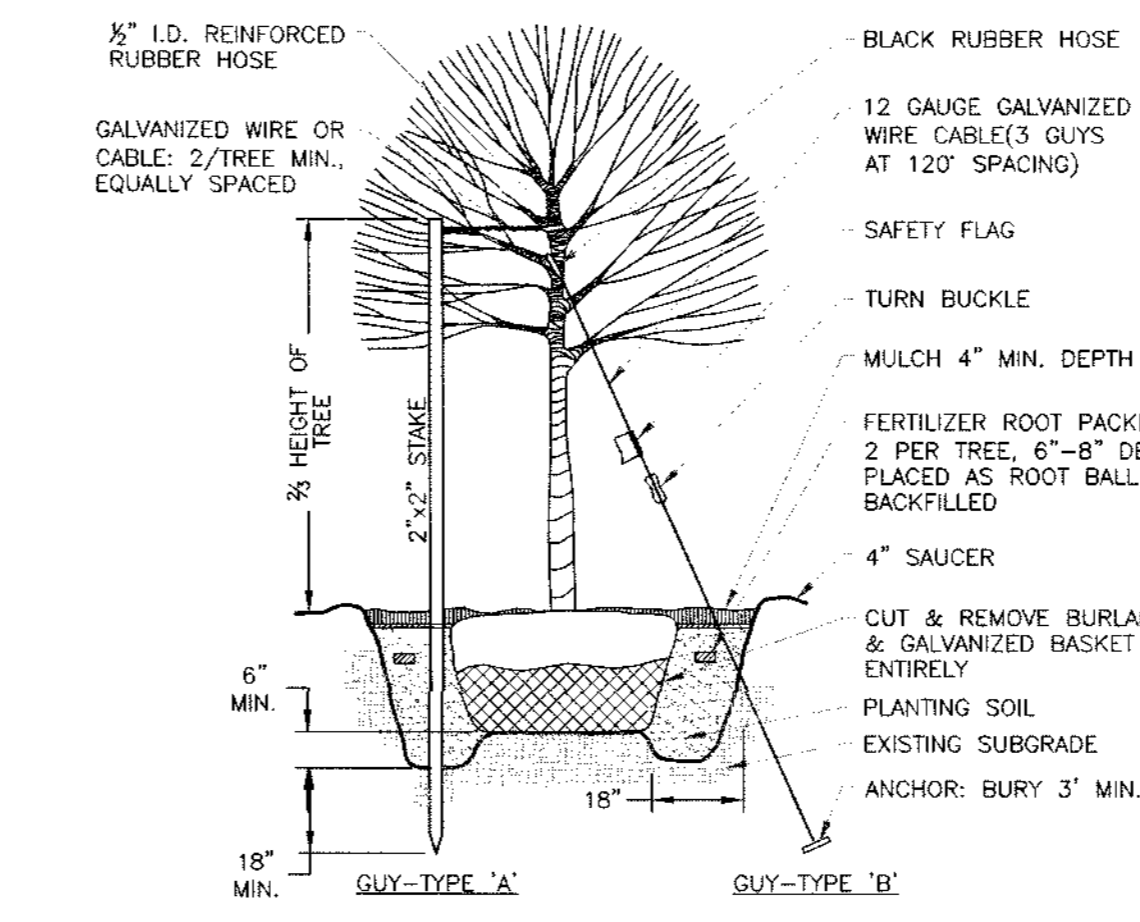
PLANTING SCHEDULE

QTY	CODE	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	CONT.	SPACING/REMARKS
TREES						
8	AR	Acer rubrum 'Frankford' RED SUNSET	RED MAPLE	3" CAL.	B&B	AS SHOWN
10	AS	Acer saccharum 'Green Mountain'	SUGAR MAPLE	3" CAL.	B&B	AS SHOWN
7	CO	Cornus occidentalis	HAWKBERRY	3" CAL.	B&B	AS SHOWN
12	QT	Ostrya tricanthos inermis 'Skycole'	COLORADO SPRUCE	3" CAL.	B&B	WATCHED
7	NS	Nyssa sylvatica	BLACK TUPELO	3" CAL.	B&B	AS SHOWN

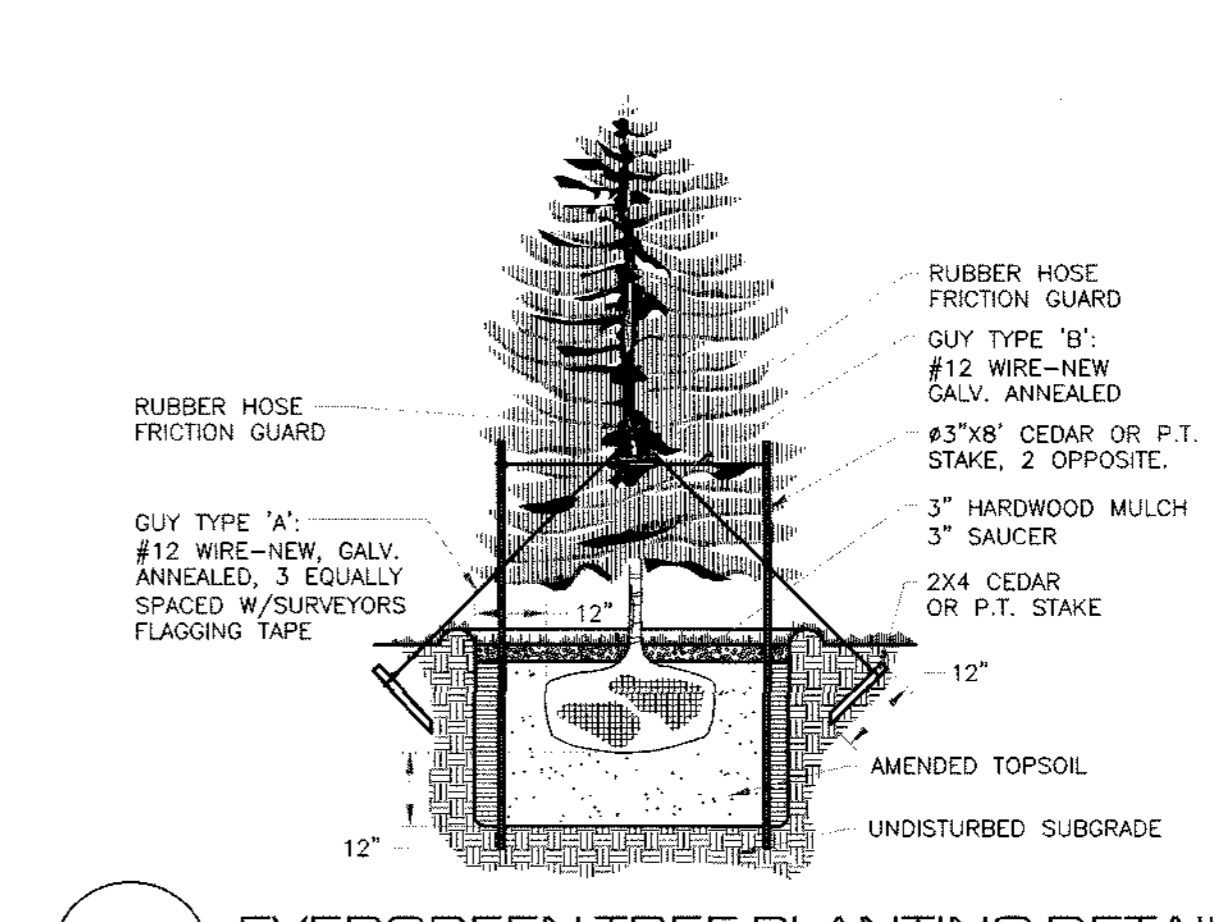
* NOTE: SEE SEEDING AND PLANTING NOTES ON SHEET LP-1



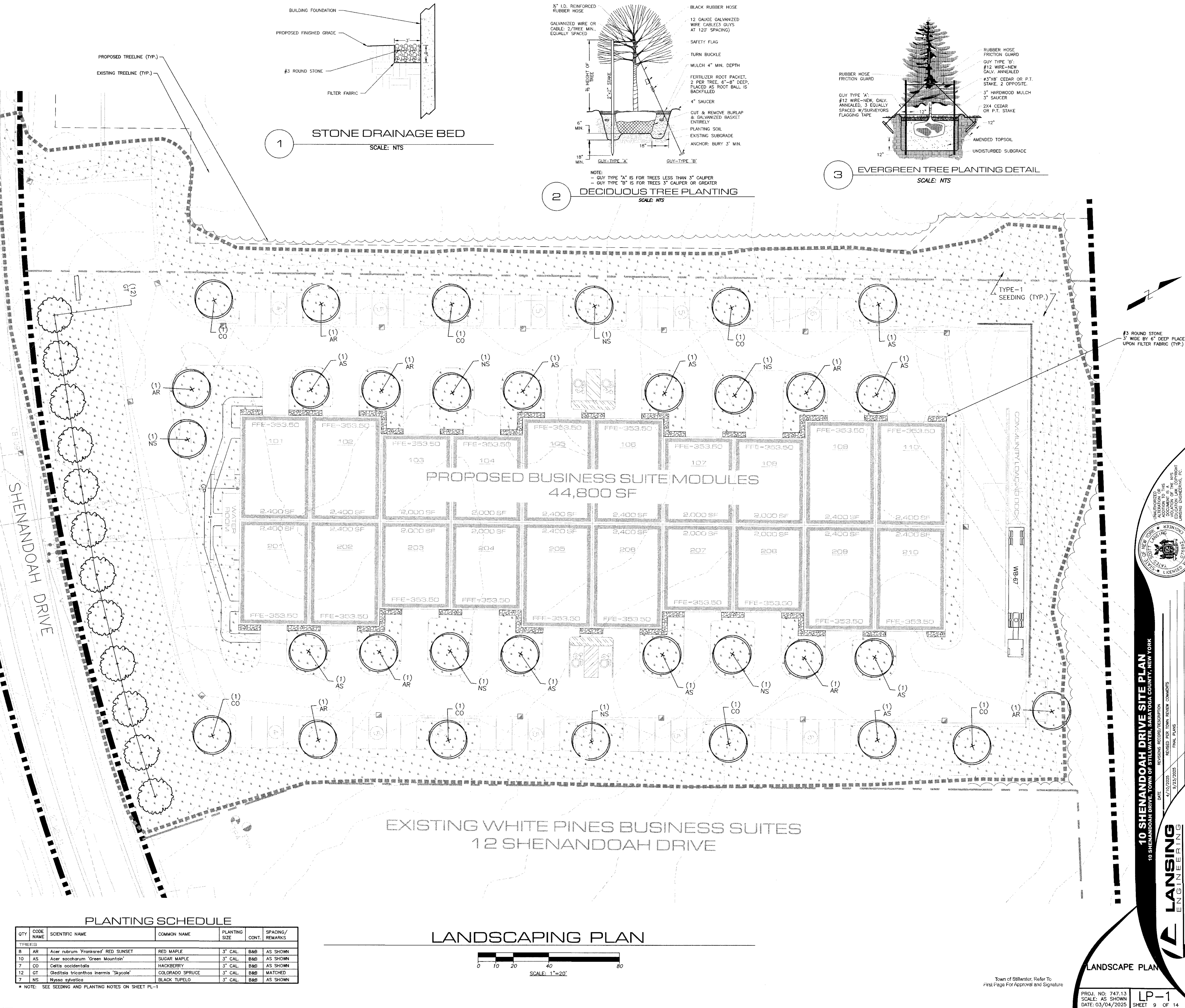
1 STONE DRAINAGE BED
SCALE: NTS



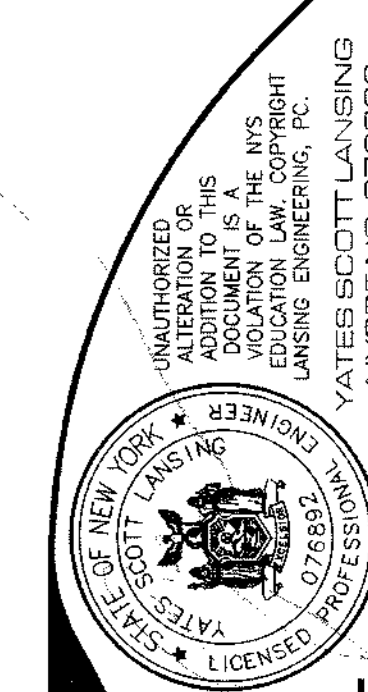
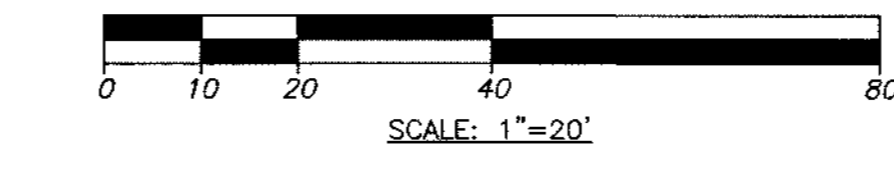
2 DECIDUOUS TREE PLANTING
SCALE: NTS



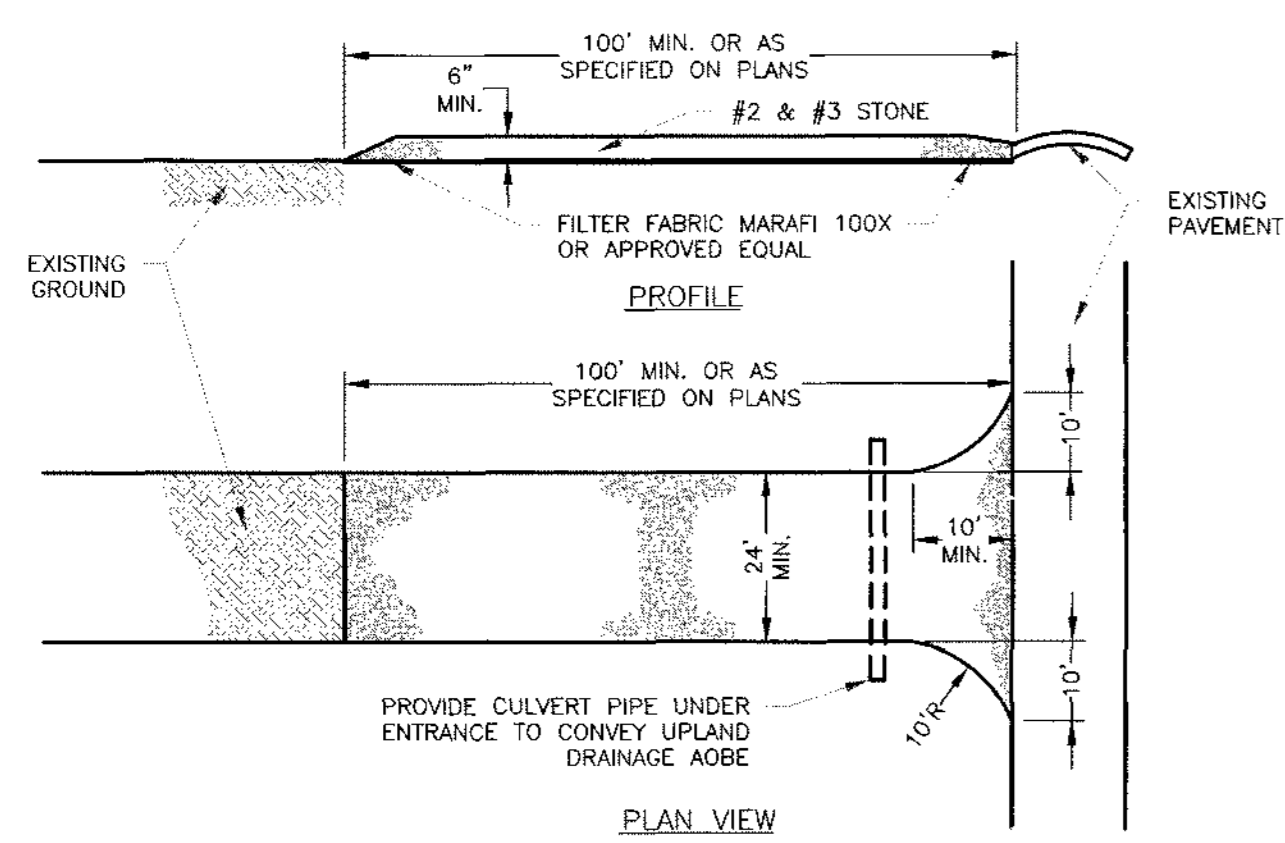
3 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



LANDSCAPING PLAN

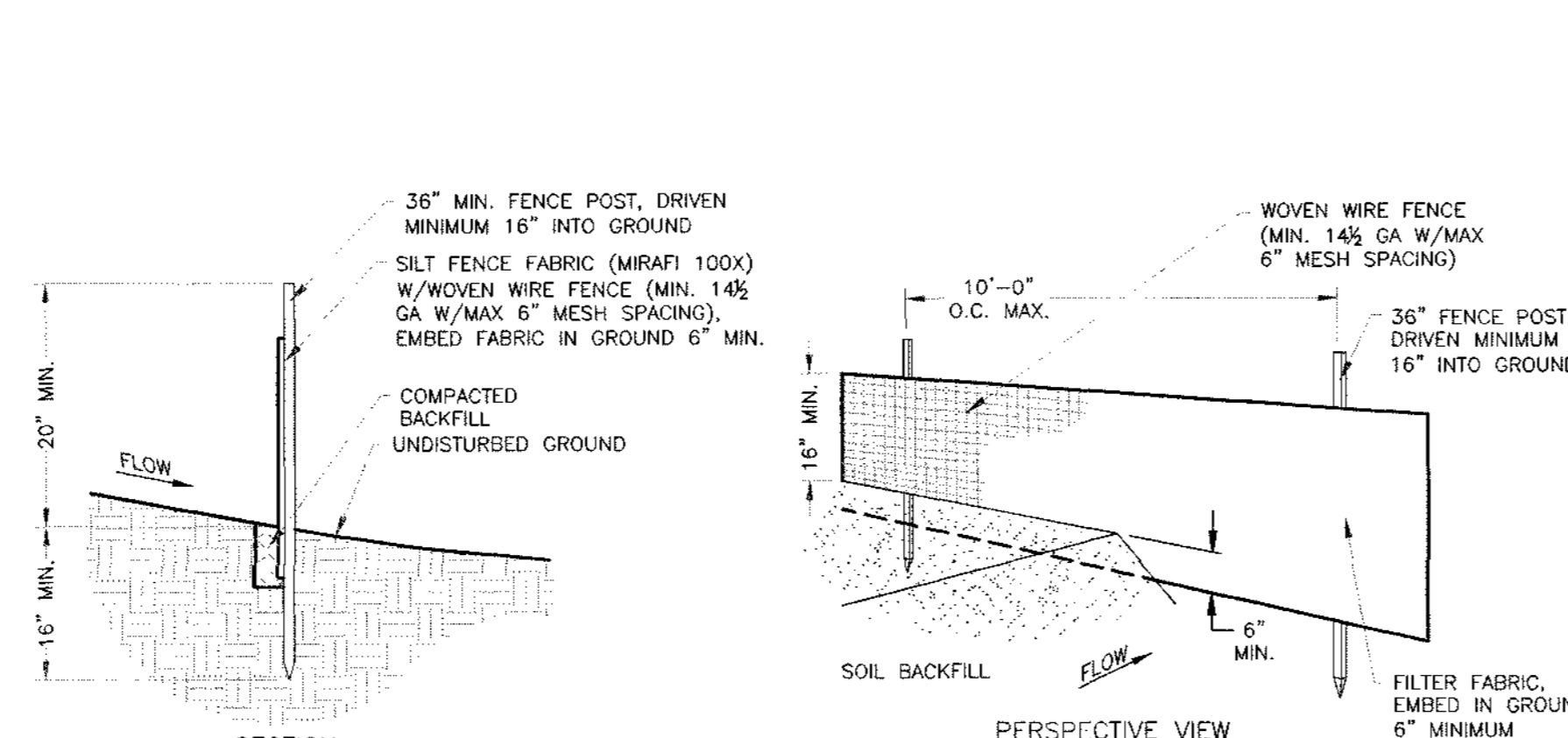


YATES SCOTT LANSING
 ENGINEERING
 10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK
 PROJECT: 747.13
 SCALE: AS SHOWN
 DATE: 03/04/2025
 SHEET 9 OF 14



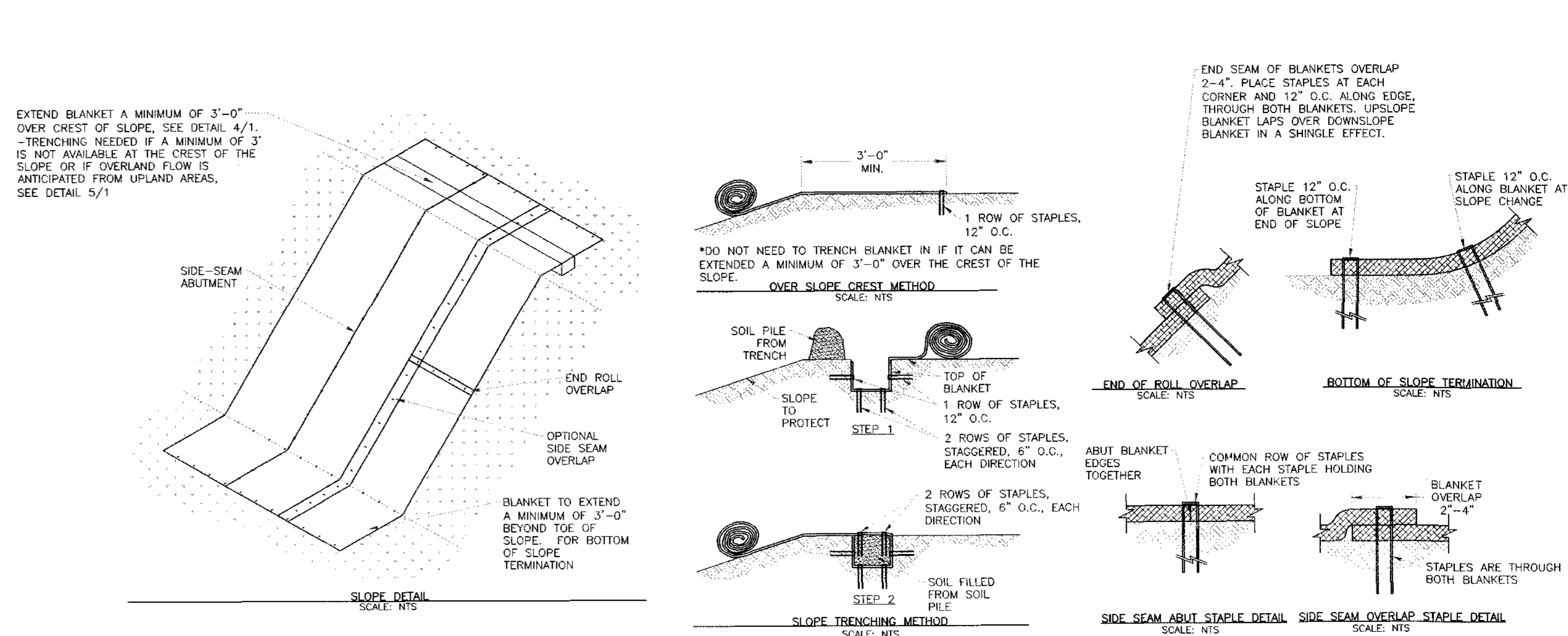
- NOTE:**
- STONE SIZE - USE MIXTURE OF #2 & #3 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A THIRTY (30) FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR INVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.



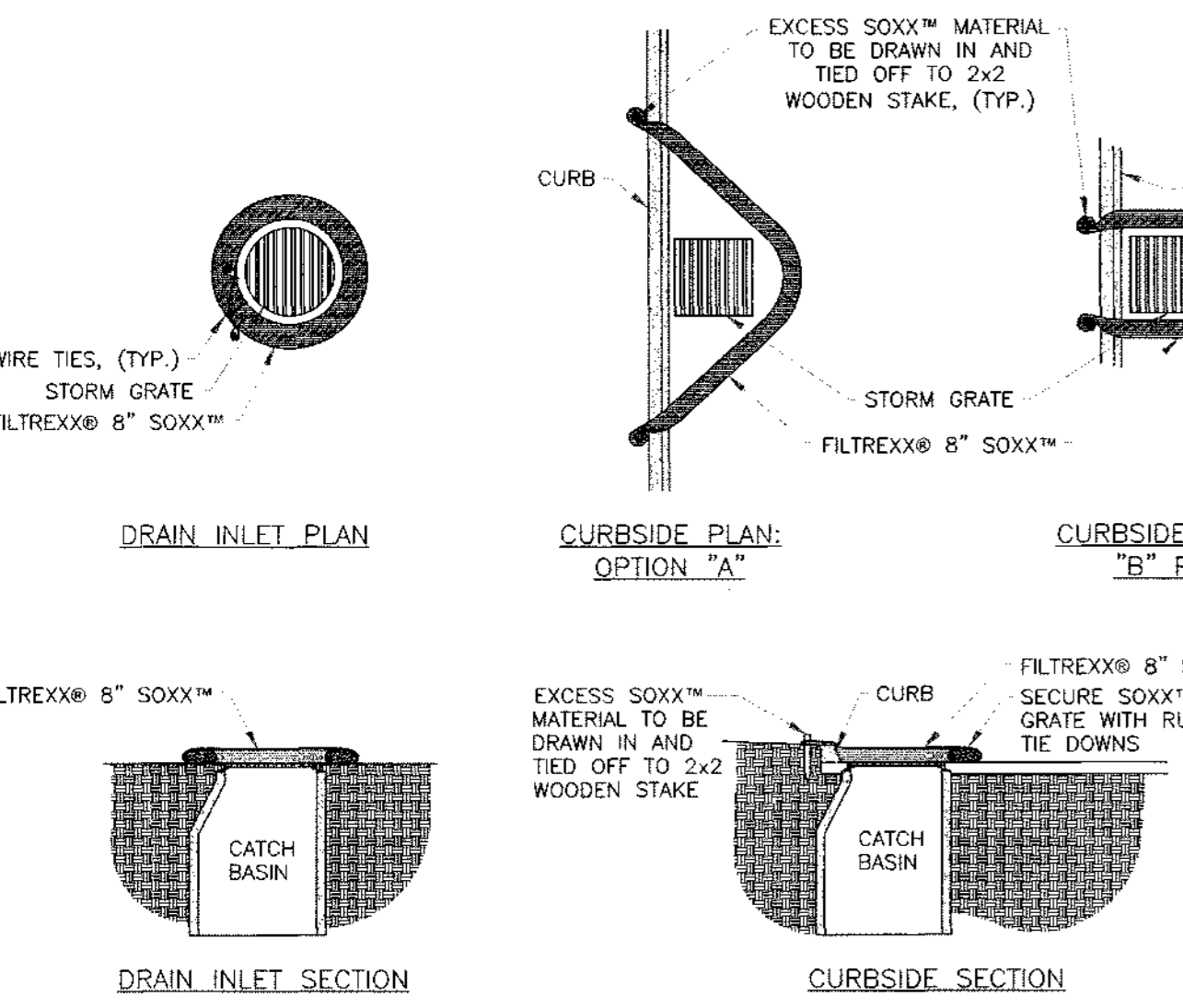
- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 125 GA. 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND TIED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
 - PRE-FABRICATED UNITS SHALL BE GEOTAF, ENVIOFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- | SLOPE | STEEPNESS | SLOPE LENGTH/FENCE LENGTH (F) |
|--------|--------------|-------------------------------|
| <2% | <50:1 | N/A |
| 2-10% | 50:1 TO 10:1 | 250/2500 |
| 10-20% | 10:1 TO 5:1 | 150/1050 |
| 20-33% | 5:1 TO 3:1 | 80/750 |
| 33-50% | 3:1 TO 2:1 | 70/350 |
| >50% | >2:1 | 30/175 |
- REINFORCED SILT FENCE (RSF)** IS FABRIC PLACED AGAINST WELDED WIRE FABRIC WITH ANCHORED STEEL POSTS DRIVEN 16" IN THE GROUND.

2 SEDIMENT CONTROL FENCE
SCALE: N.T.S.



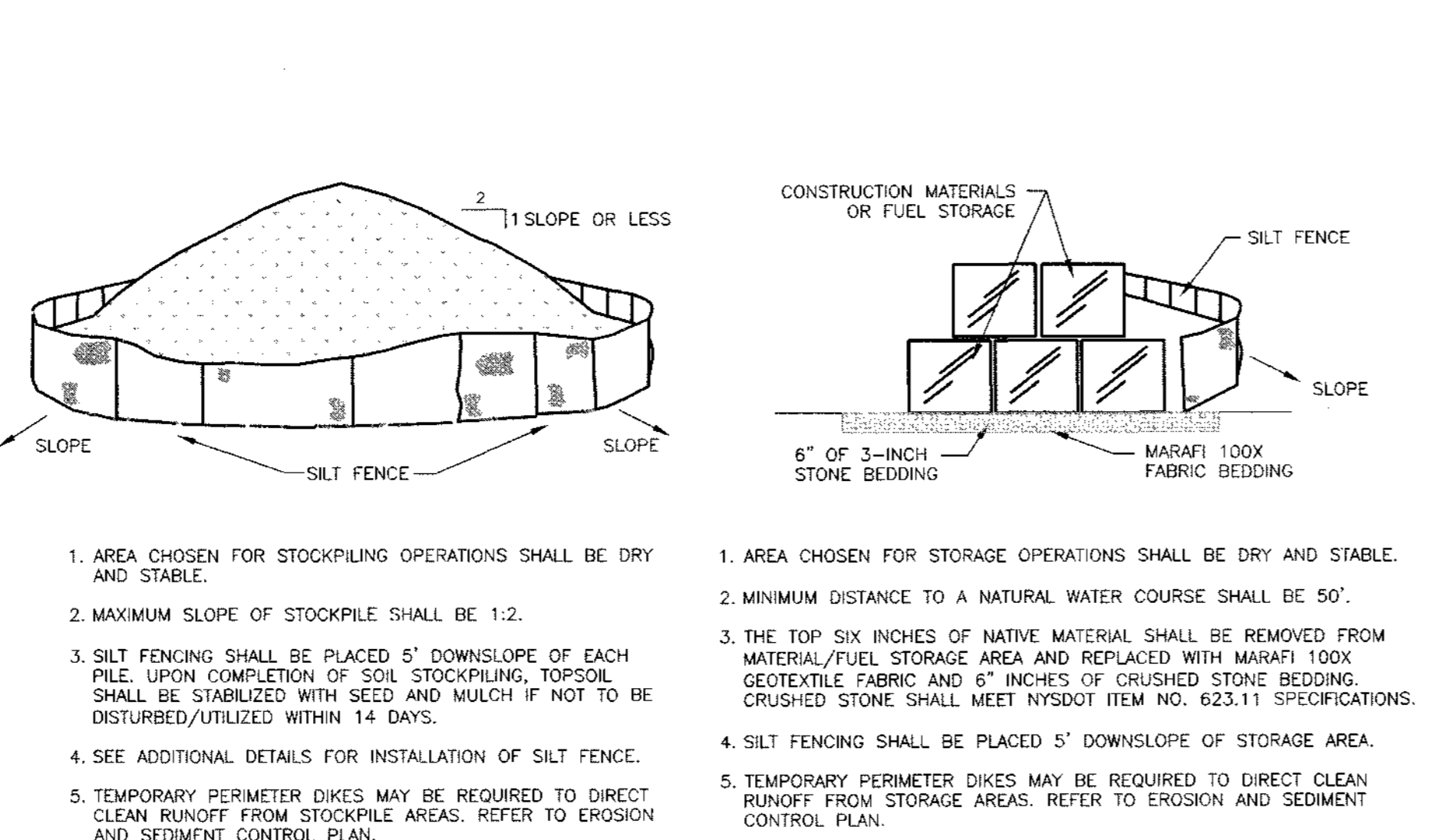
- NOTE:** TOPSOIL AND SEED SHALL BE PLACED ON SLOPE PRIOR TO PLACEMENT OF EROSION CONTROL MATTING.

3 EROSION CONTROL BLANKET
SCALE: N.T.S.



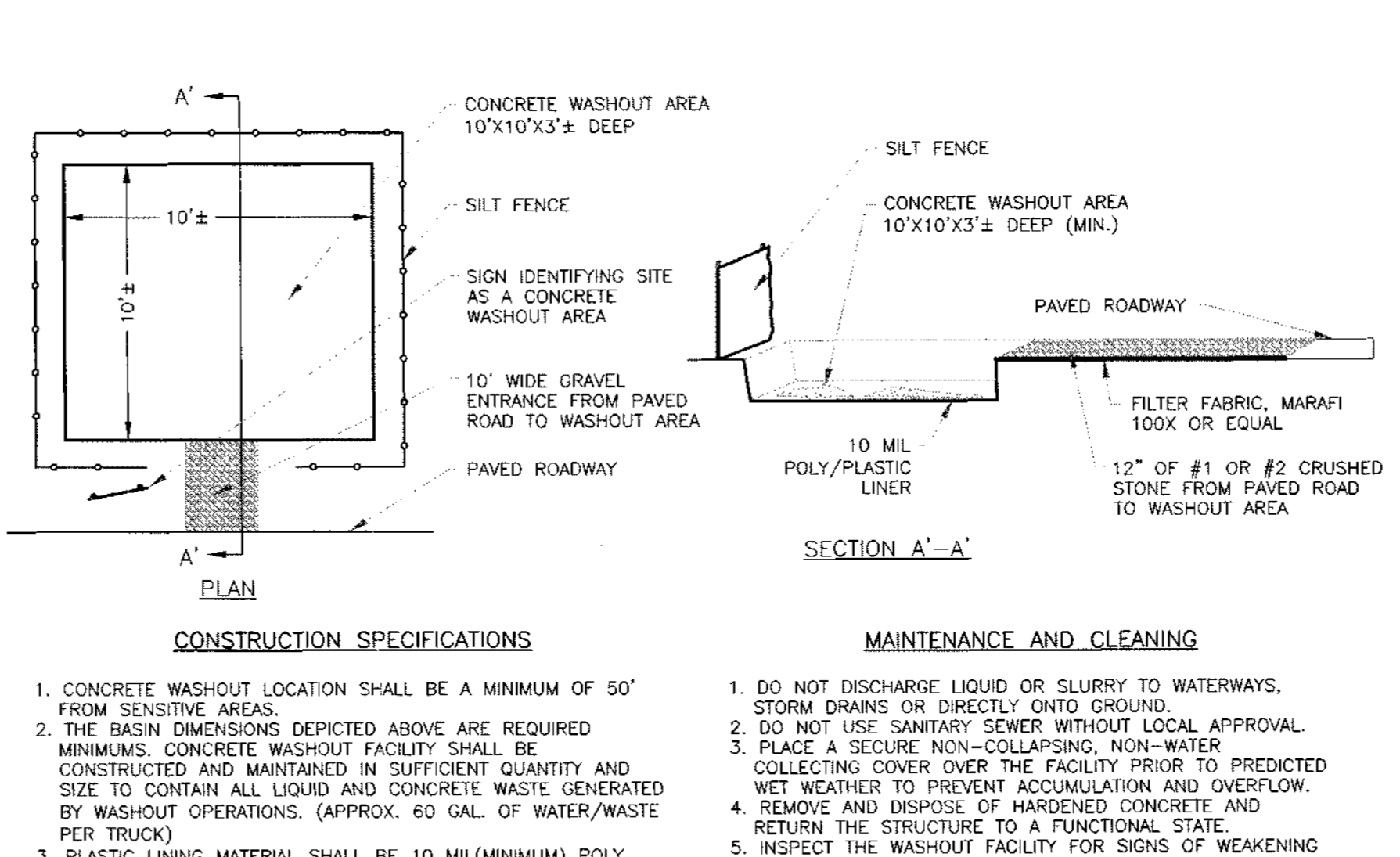
- NOTES:**
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 - FILTREXX MATERIAL FULL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

4 FILTREXX® INLET PROTECTION
SCALE: N.T.S.



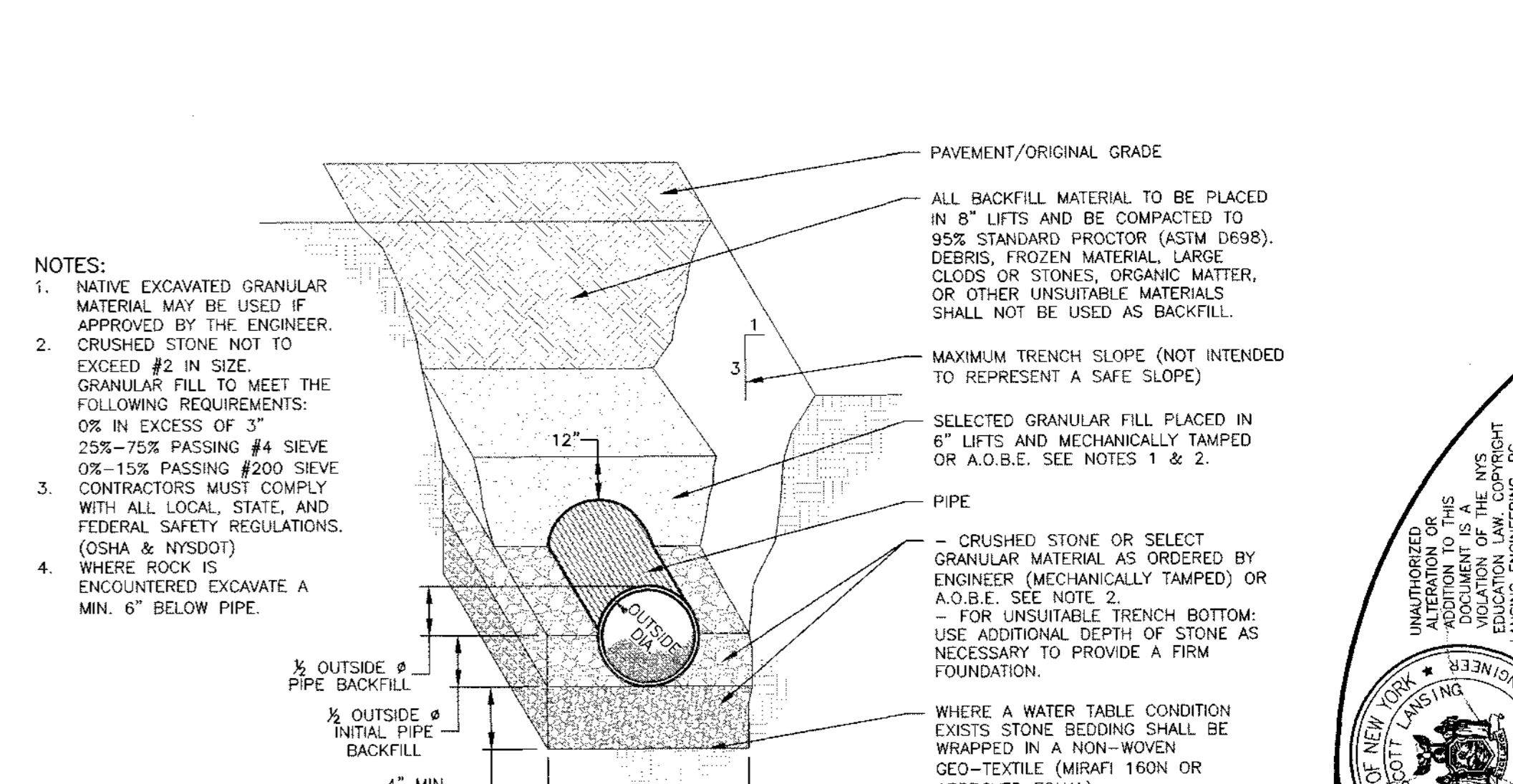
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL CRUSHED STONE SHALL MEET MYSDOT ITEM NO. 923.11 SPECIFICATIONS.
 - SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
 - TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.
- AREA CHOSEN FOR STORAGE OPERATIONS SHALL BE DRY AND STABLE.
 - MINIMUM DISTANCE TO A NATURAL WATER COURSE SHALL BE 50'.
 - THE TOP SIX INCHES OF NATIVE MATERIAL SHALL BE REMOVED FROM MATERIAL/FUEL STORAGE AREA AND REPLACED WITH MARAFI 100X GEOTEXTILE FABRIC AND 6" INCHES OF CRUSHED STONE BEDDING.
 - SILT FENCING SHALL BE PLACED 5' DOWNSLOPE OF STORAGE AREA.
 - TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STORAGE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

5 MATERIAL STORAGE & SOIL STOCKPILE STABILIZATION DETAIL
SCALE: N.T.S.



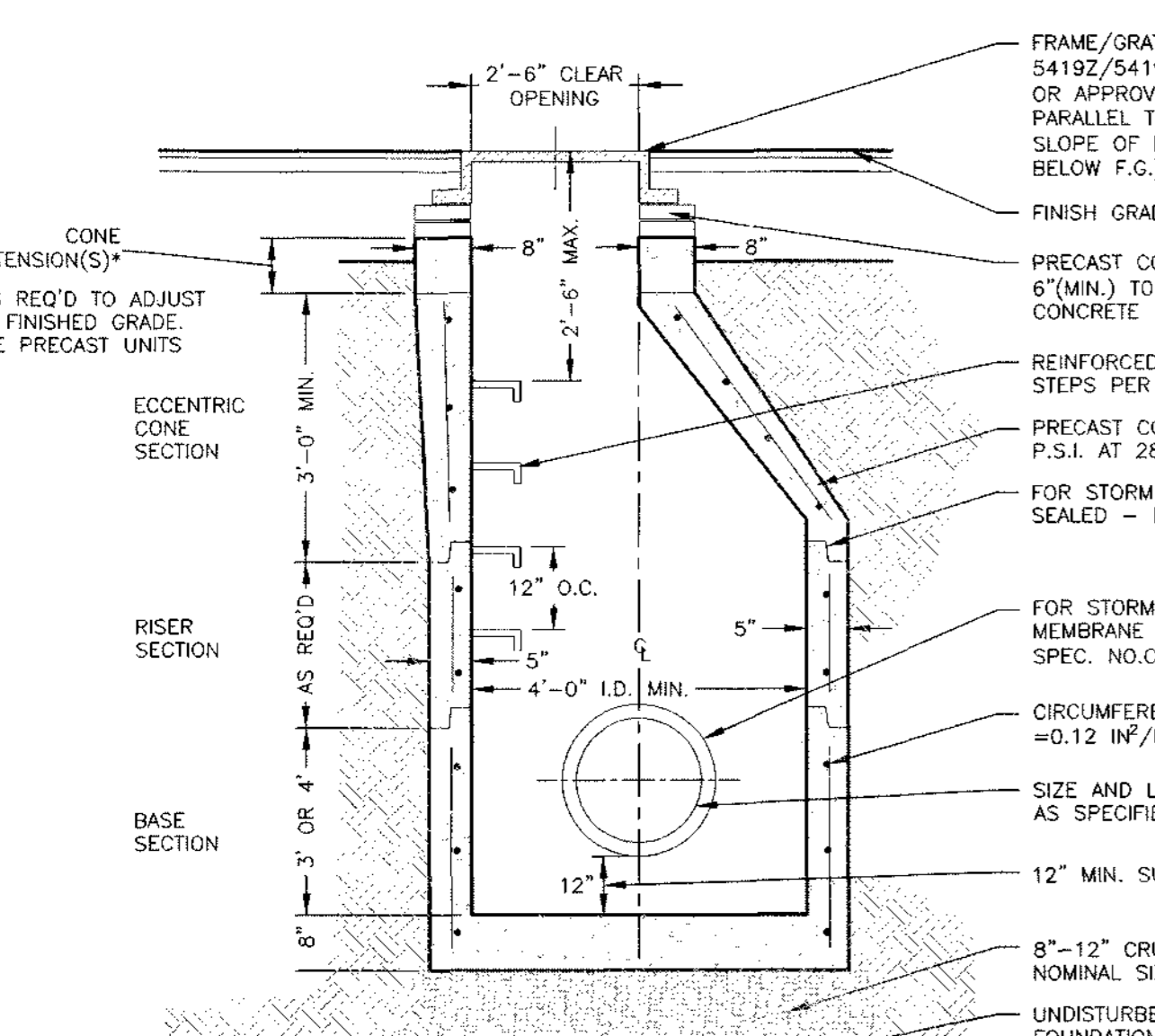
- CONSTRUCTION SPECIFICATIONS**
- CONCRETE WASHOUT LOCATION SHALL BE A MINIMUM OF 50' FROM SENSITIVE AREAS.
 - THE BASIN DIMENSIONS DEPICTED ABOVE ARE REQUIRED. MINIMUM CONCRETE WASHOUT FACILITY SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. (APPROX. 60 GAL. OF WATER/WASTE PER TRUCK)
 - PLASTIC LINING MATERIAL SHALL BE TO MIL/MINIMUM POLY SHEETING AND BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
 - WASHOUT FACILITY MUST BE CLEANED OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- MAINTENANCE AND CLEANING**
- DO NOT DISCHARGE LIQUID OR SLURRY TO WATERWAYS, STORM DRAINS OR DIRECTLY ONTO GROUND.
 - DO NOT USE SANITARY SEWER WITHOUT LOCAL APPROVAL.
 - PLACE A SECURE NON-COLLAPSING, NON-WATER COLLECTING COVER OVER THE FACILITY PRIOR TO PREDICTED WET WEATHER TO PREVENT ACCUMULATION AND OVERFLOW.
 - REMOVE AND DISPOSE OF HARDENED CONCRETE AND RETURN THE STRUCTURE TO A FUNCTIONAL STATE.
 - INSPECT THE WASHOUT FACILITY FOR SIGNS OF WEAKENING OR DAMAGE AND REPAIR AS NECESSARY (RE-LINE THE STRUCTURE WITH NEW POLY SHEETING AFTER EACH CLEANING).

6 CONCRETE WASHOUT AREA
SCALE: N.T.S.



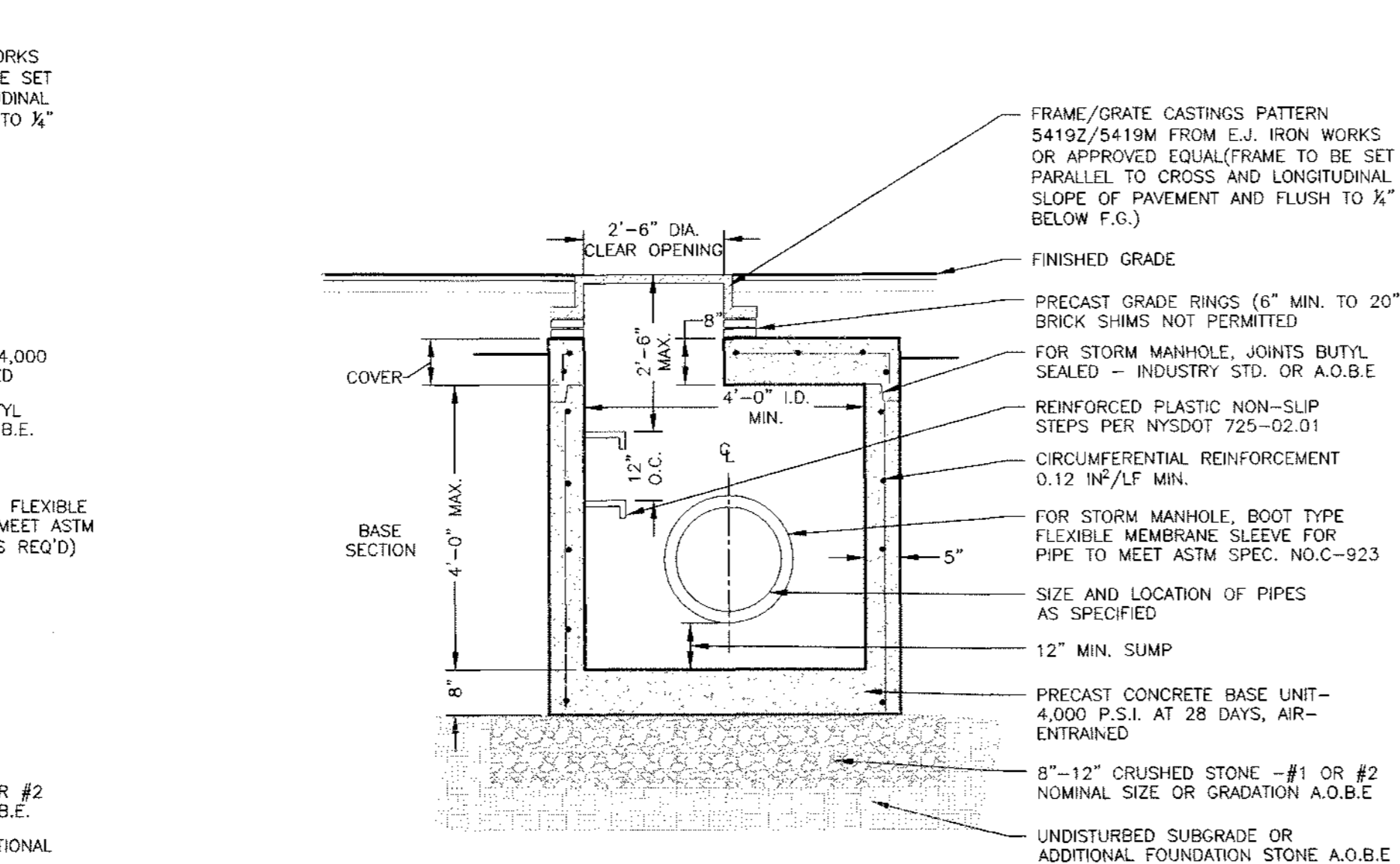
- NOTES:**
- NATIVE EXCAVATED GRANULAR MATERIAL MAY BE USED IF APPROVED BY THE ENGINEER. CRUSHED STONE NOT TO EXCEED #2 IN SIZE. GRANULAR FILL TO MEET THE FOLLOWING REQUIREMENTS: 0% IN EXCESS OF 3" 25%-75% PASSING #4 SIEVE 0%-15% PASSING #200 SIEVE
 - CONTRACTORS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS. (OSHA & MYSDOT) WHERE ROCK IS ENCOUNTERED EXCAVATE A MIN. 6" BELOW PIPE.
 - CRUSHED STONE OR SELECT GRANULAR MATERIAL AS ORDERED BY ENGINEER (MECHANICALLY TAMPED) OR A.O.B.E. SEE NOTE 2.
 - FOR UNSUITABLE TRENCH BOTTOM: USE ADDITIONAL DEPTH OF STONE AS NECESSARY TO PROVIDE A FIRM FOUNDATION.
 - WHERE A WATER TABLE CONDITION EXISTS STONE BEDDING SHALL BE WRAPPED IN A NON-WOVEN GEO-TEXTILE (MIRAFI 160N OR APPROVED EQUIV.)

7 TYPICAL TRENCH DETAIL FOR CORRUGATED HDPE PIPE
SCALE: N.T.S.



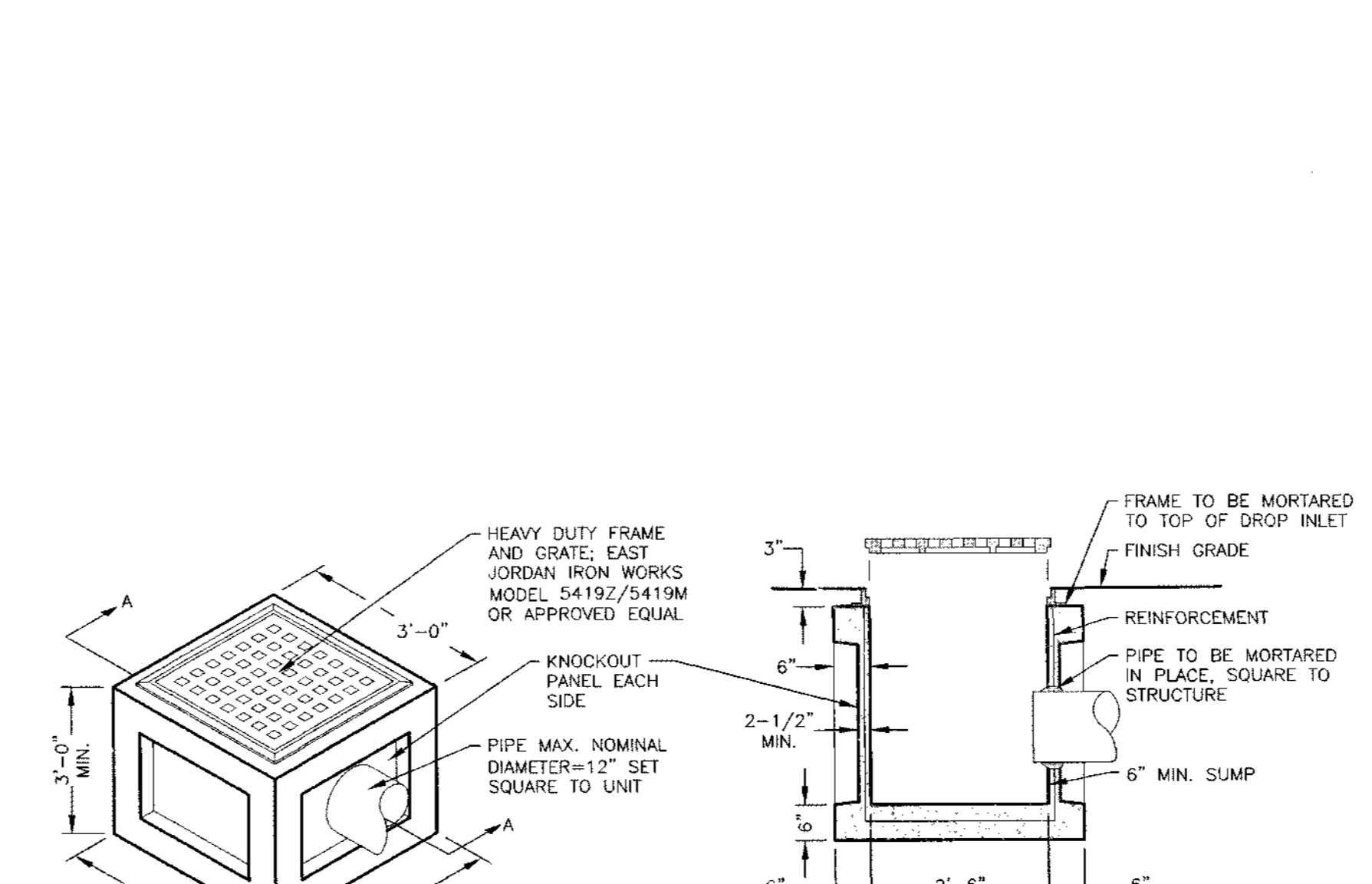
- NOTE:**
- SHOP DRAWINGS REQUIRED TO BE REVIEWED BY THE ENGINEER.
 - MANHOLE COVERS TO BE RECESSED 1" BELOW BINDER COURSE PAVEMENT. CONTRACTOR TO RAISE RIM TO FINAL GRADE ELEVATION PRIOR TO INSTALLATION OF TOP COAT ASPHALT.
 - ALL MANHOLES TO BE PLACED IN ANY TRAFFIC AREAS SHALL MEET AASHTO HS20-44 WHEEL LOADING REQUIREMENTS.
 - FOUNDATION DRAIN LATERALS:** TO BE 4" PVC SDR 35 AT A MIN. SLOPE OF 1.00%. THE CROWN OF THE FOUNDATION DRAINS SHALL MATCH THE CROWN OF THE HIGHEST PIPE WITHIN THE CATCH BASIN STRUCTURE. FOUNDATION DRAINS TO EXTEND 5' MIN. PAST PROPERTY LINE OF LOT SERVICED.
 - ROADWAY UNDERDRAINS:** TO BE 4" HDPE AT SLOPE EQUAL TO ROADWAY GRADE. THE INVERT OF THE UNDERDRAIN SHALL BE LOCATED 2' BELOW THE RIM ELEVATION OF THE CATCH BASIN.

8 PRECAST CONCRETE MANHOLE - 5' DEEP AND OVER
SCALE: N.T.S.



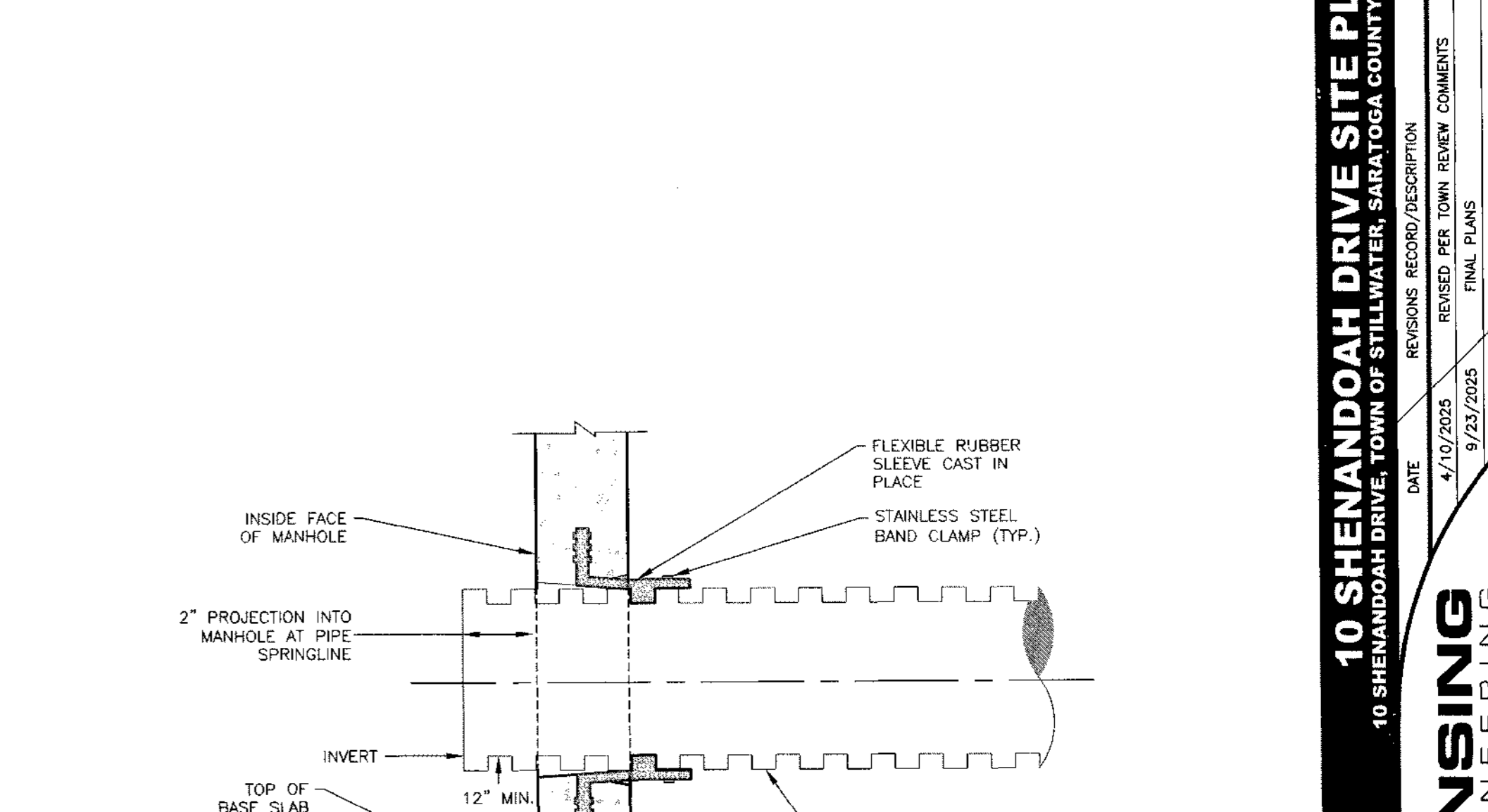
- NOTE:**
- SHOP DRAWINGS REQUIRED TO BE REVIEWED BY THE ENGINEER.
 - 2.2 MANHOLE COVERS TO BE RECESSED 1" BELOW BINDER COURSE PAVEMENT. CONTRACTOR TO RAISE RIM TO FINAL GRADE ELEVATION PRIOR TO INSTALLATION OF TOP COAT ASPHALT.
 - ALL MANHOLES TO BE PLACED IN ANY TRAFFIC AREAS SHALL MEET AASHTO HS20-44 WHEEL LOADING REQUIREMENTS.
 - FOUNDATION DRAIN LATERALS:** TO BE 4" PVC SDR 35 AT A MIN. SLOPE OF 1.00%. THE CROWN OF THE FOUNDATION DRAINS SHALL MATCH THE CROWN OF THE HIGHEST PIPE WITHIN THE CATCH BASIN STRUCTURE. FOUNDATION DRAINS TO EXTEND 5' MIN. PAST PROPERTY LINE OF LOT SERVICED.
 - ROADWAY UNDERDRAINS:** TO BE 4" HDPE AT SLOPE EQUAL TO ROADWAY GRADE. THE INVERT OF THE UNDERDRAIN SHALL BE LOCATED 2' BELOW THE RIM ELEVATION OF THE CATCH BASIN.

9 PRECAST CONCRETE MANHOLE - UNDER 5' DEEP
SCALE: N.T.S.



- NOTE:**
- ALL DROP INLETS TO BE PLACED IN ANY TRAFFIC AREAS SHALL MEET AASHTO HS20-44 WHEEL LOADING REQUIREMENTS. CONCRETE - 4000 PSI @ 28 DAYS.
 - MANHOLE COVERS TO BE RECESSED 1" BELOW BINDER COURSE PAVEMENT. CONTRACTOR TO RAISE RIM TO FINAL GRADE ELEVATION PRIOR TO INSTALLATION OF TOP COAT ASPHALT.
 - MINIMUM REINFORCEMENT - 6x6 - 10/10 W/M ALL FOUR SIDES AND BOTTOM.
- *FOR USE AS APPROVED BY ENGINEER

10 TYPE 1 DROP INLET - SHALLOW (AT PAVEMENT)
SCALE: N.T.S.



- NOTE:**
- ALL DROP INLETS TO BE PLACED IN ANY TRAFFIC AREAS SHALL MEET AASHTO HS20-44 WHEEL LOADING REQUIREMENTS. CONCRETE - 4000 PSI @ 28 DAYS.
 - MANHOLE COVERS TO BE RECESSED 1" BELOW BINDER COURSE PAVEMENT. CONTRACTOR TO RAISE RIM TO FINAL GRADE ELEVATION PRIOR TO INSTALLATION OF TOP COAT ASPHALT.
 - MINIMUM REINFORCEMENT - 6x6 - 10/10 W/M ALL FOUR SIDES AND BOTTOM.
- *FOR USE AS APPROVED BY ENGINEER

11 HDPE PIPE TO STRUCTURE: BOOTED JOINT
SCALE: N.T.S.

10 SHENANDOAH DRIVE SITE PLAN
10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

ELANSING ENGINEERS
100 WEST 10TH STREET, SUITE 200, ALBANY, NY 12206
TEL: 518-869-1111 FAX: 518-869-1112
WWW.ELANSINGENGINEERS.COM

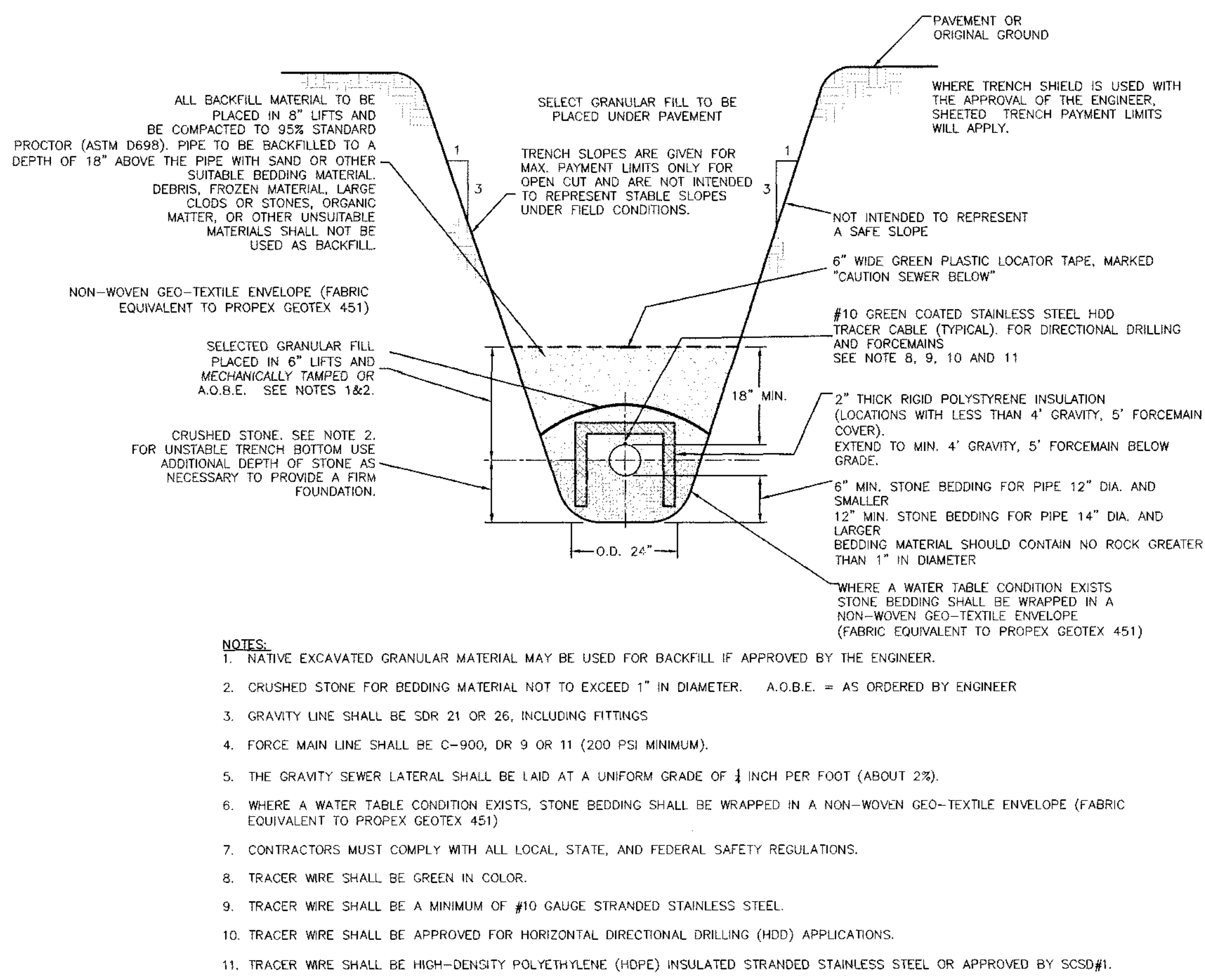
DATE: 4/17/2025
REVISED PER TOWN REVIEW COMMENTS: 4/17/2025
TIME PLANS: 4/17/2025

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DRAWN BY: [Signature]
SCALE: AS SHOWN
SHEET 11 OF 14

PROJ. NO: 747.13
DATE: 03/04/2025
DT-1

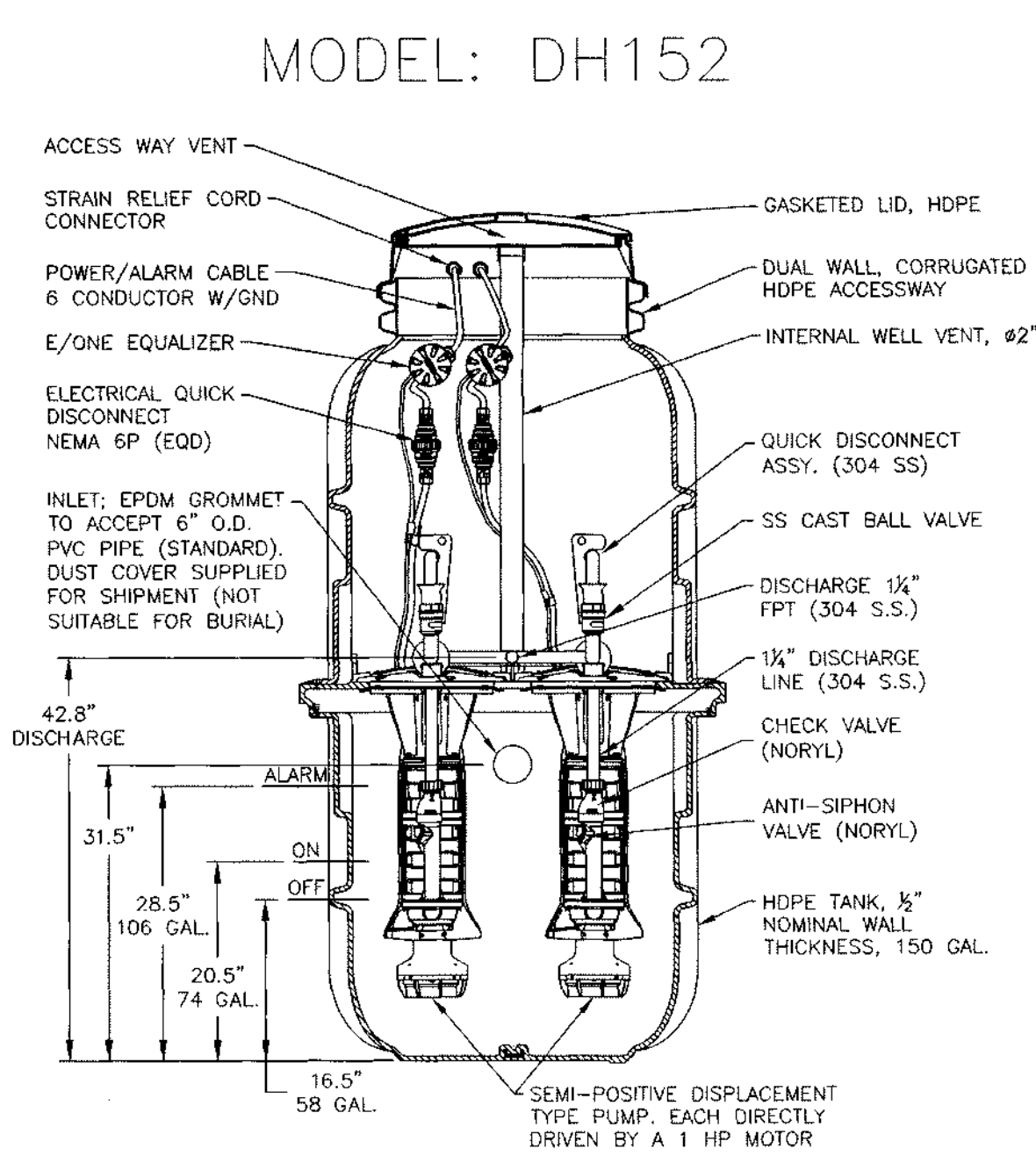
EROSION & STORM DETAILS

Town of Stillwater, Refer To first Page For Approval and Signature



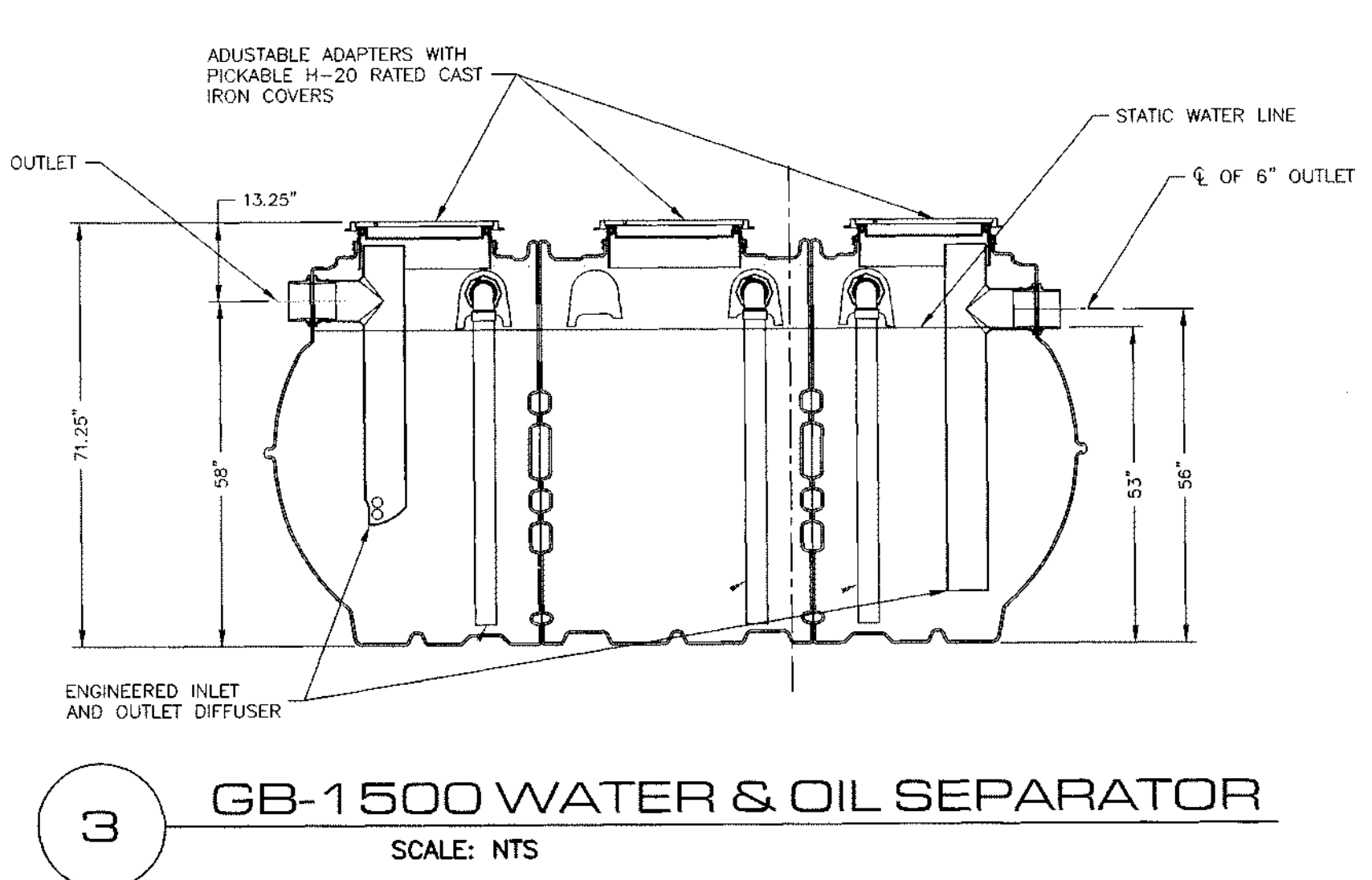
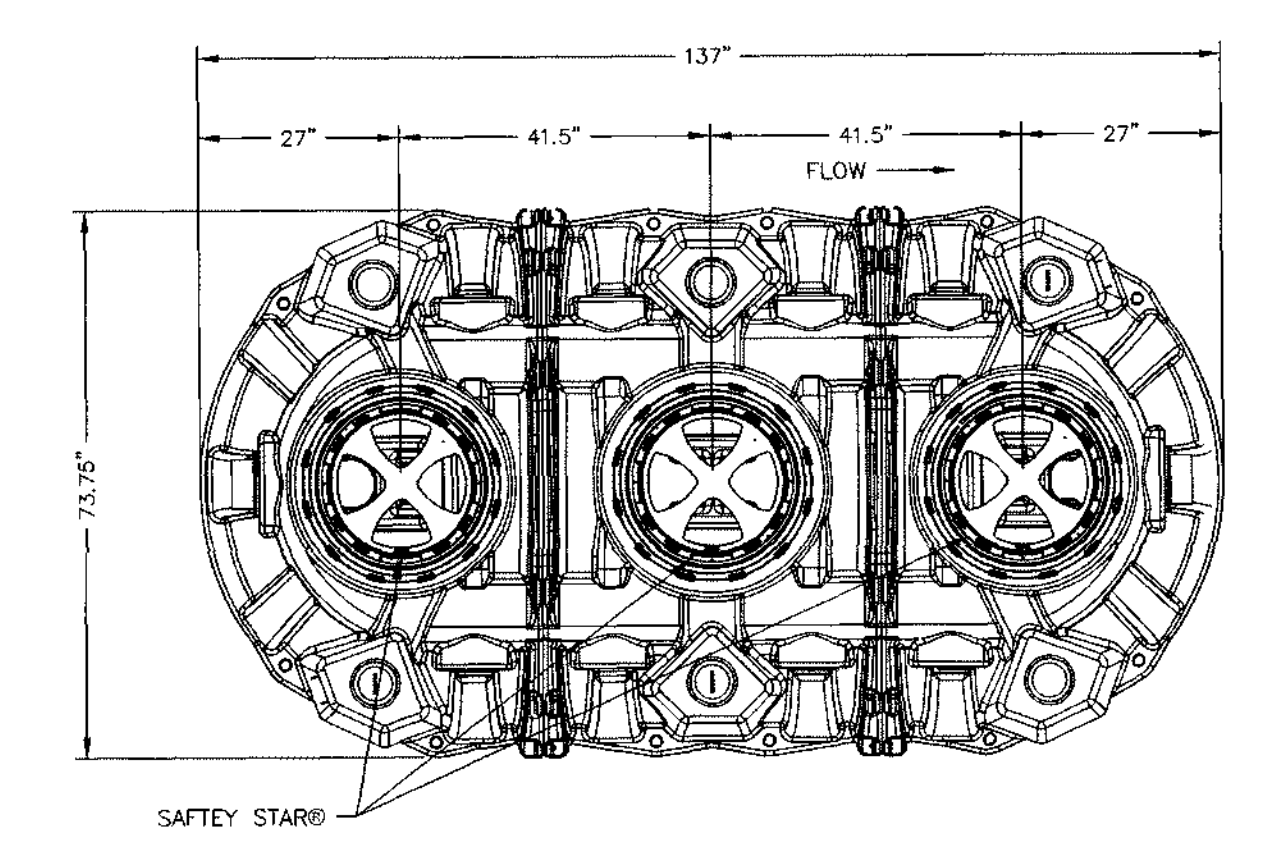
1 TYPICAL TRENCH DETAIL FOR SEWER MAIN
SCALE: NTS

NOTES:
1. NATIVE EXCAVATED GRANULAR MATERIAL MAY BE USED FOR BACKFILL IF APPROVED BY THE ENGINEER.
2. CRUSHED STONE FOR BEDDING MATERIAL NOT TO EXCEED 1" IN DIAMETER. A.O.B.E. = AS ORDERED BY ENGINEER
3. GRAVITY LINE SHALL BE SDR 21 OR 26, INCLUDING FITTINGS
4. FORCE MAIN LINE SHALL BE C-900, DR 9 OR 11 (200 PSI MINIMUM).
5. THE GRAVITY SEWER LATERAL SHALL BE LAID AT A UNIFORM GRADE OF 1/4" INCH PER FOOT (ABOUT 2%).
6. WHERE A WATER TABLE CONDITION EXISTS, STONE BEDDING SHALL BE WRAPPED IN A NON-WOVEN GEO-TEXTILE ENVELOPE (FABRIC EQUIVALENT TO PROPEX GEOTEX 451)
7. CONTRACTORS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS.
8. TRACER WIRE SHALL BE GREEN IN COLOR.
9. TRACER WIRE SHALL BE A MINIMUM OF #10 GAUGE STRANDED STAINLESS STEEL.
10. TRACER WIRE SHALL BE APPROVED FOR HORIZONTAL DIRECTIONAL DRILLING (HDD) APPLICATIONS.
11. TRACER WIRE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) INSULATED STRANDED STAINLESS STEEL OR APPROVED BY SCS2H.

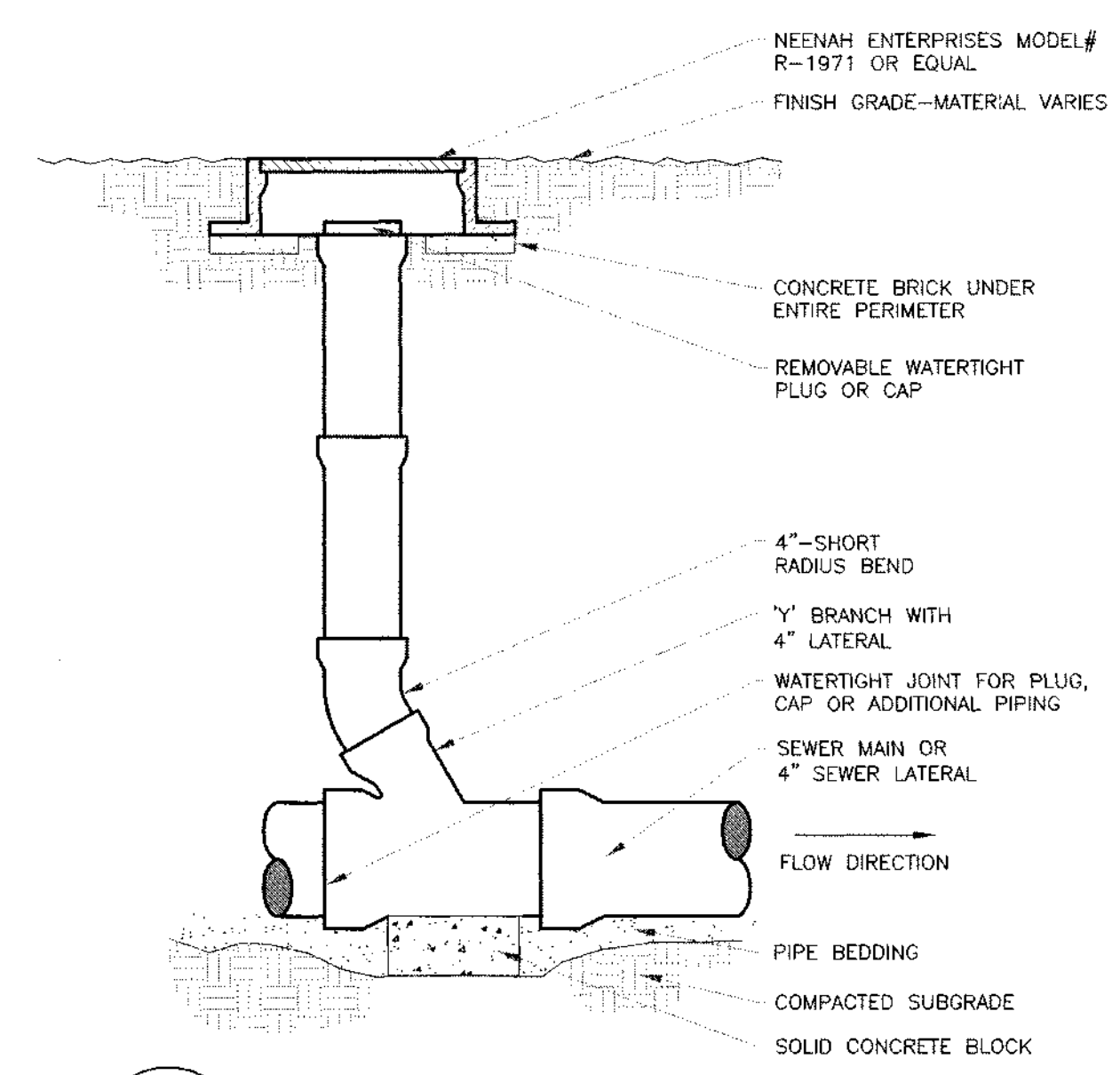


2 E-ONE DH-152 EXTERNAL GRINDER PUMP
SCALE: N.T.S.

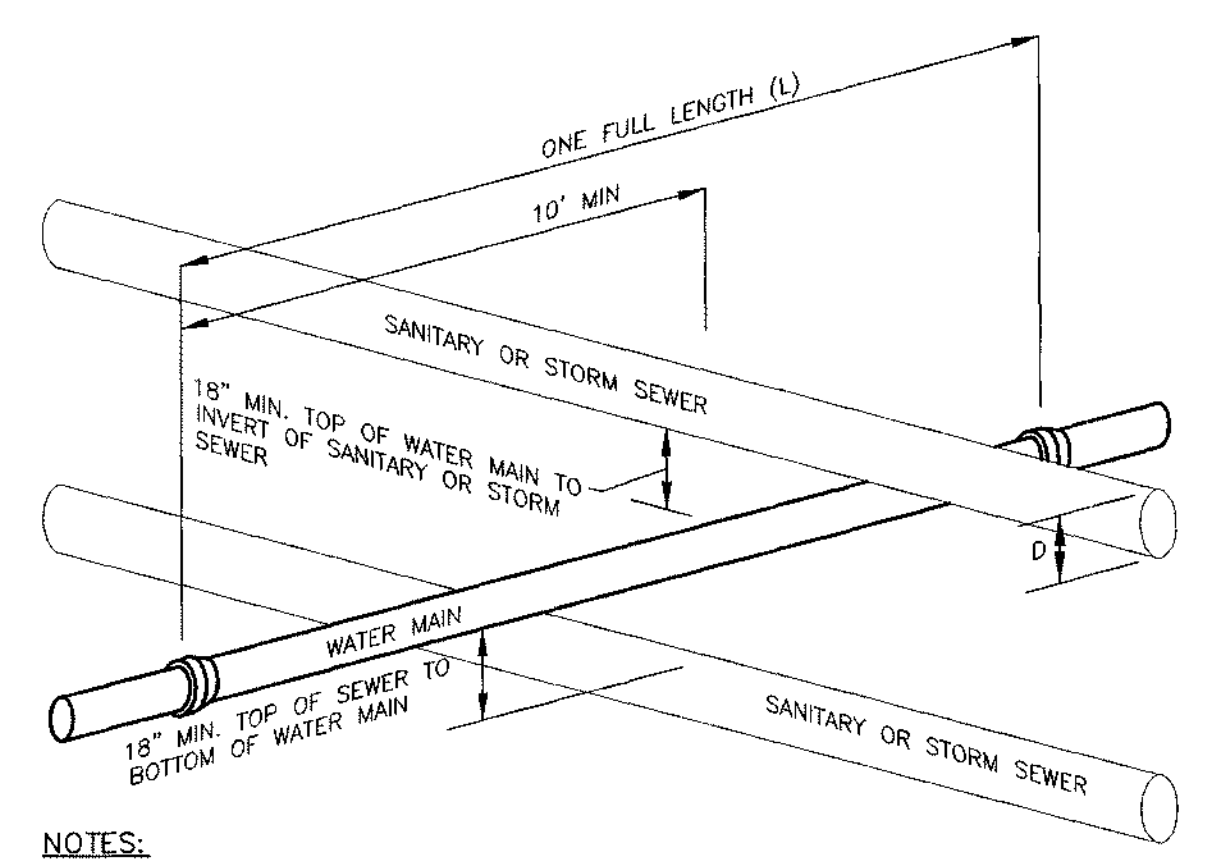
NOTES:
1. THE PROPERTY OWNER SHALL ASSUME OWNERSHIP, MAINTENANCE AND POWER SUPPLY RESPONSIBILITIES FOR THE PROPOSED GRINDER PUMPS.
2. GRINDER PUMP, MODEL DH272-97 AS MANUFACTURED BY ENVIRONMENT ONE. GRINDER PUMP SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
3. GRINDER PUMP SHALL BE SET UP SO THAT THE CONTROLS CAN RUN BY A STANDBY GENERATOR.



3 GB-1500 WATER & OIL SEPARATOR
SCALE: NTS



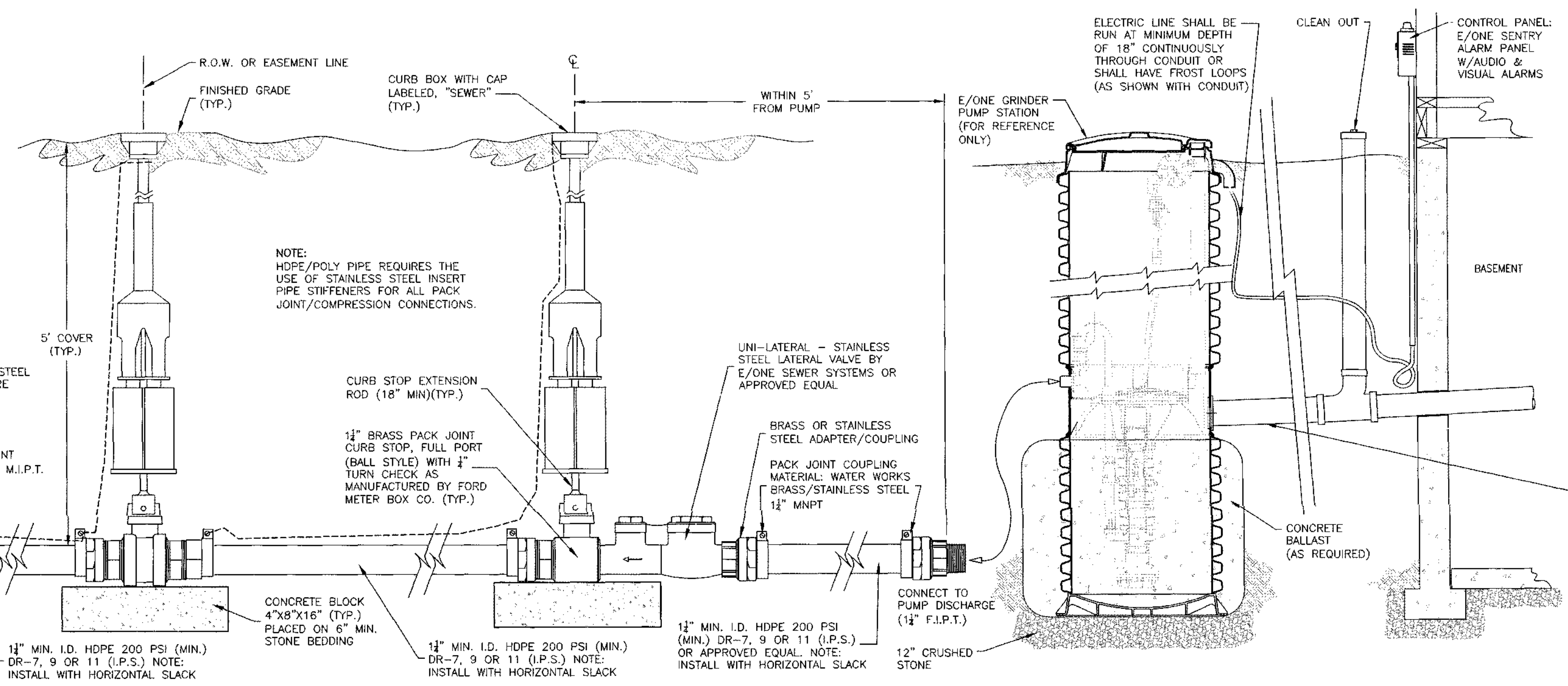
4 TYPICAL CLEAN OUT
SCALE: NTS



5 TYP. SEPARATION REQUIREMENTS
SCALE: NTS

NOTES:
IF 18" VERTICAL SEPARATION CAN NOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
1. CONSTRUCT SANITARY SEWER OF PVC PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN/STORM SEWER AND TEST PROPOSED SANITARY SEWER AT 150 PSI.
2. ENCASE SEWER PIPE IN CONCRETE 6" DISTANCE ON EACH SIDE OF WATER MAIN/STORM SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE MINIMUM 6" ALL AROUND PROPOSED SEWER PIPE.

NOTES:
- GRINDER PUMP MUST BE AT LEAST 10' FROM FOUNDATION.
- ALL COMPRESSION FITTINGS WILL BE BRASS OR STAINLESS STEEL.
- ALL CURB STOP EXTENSION RODS SHALL BE STAINLESS STEEL.
- HDPE/POLY PIPE REQUIRES THE USE OF STAINLESS STEEL INSERT PIPE STIFFENERS FOR ALL PACK JOINT/COMPRESSION CONNECTIONS.
- STAINLESS STEEL BRASS OR FUSED DRESSER COUPLINGS TO BE USED WHERE EXISTING LINE IS CUT FOR TEE.
- ALL FORCEMAIN SANITARY SEWER LINES SHALL BE AT A DEPTH OF 5' OR GREATER. IF LESS THAN 5', LINE SHALL BE INSULATED. (SEE SCS2H TRENCH DETAIL).
- WHEN CONNECTING TO EXISTING FORCEMAIN, CURB STOP MUST BE PLACED AS CLOSE AS POSSIBLE TO EXISTING FORCEMAIN AND OUTSIDE OF PAVEMENT WITH VALVE BOX.
- TEE-IN SADDLE TO BE STAINLESS STEEL BENDED TAPPING SLEEVE, BENDED REPAIR SERVICE SADDLE, FULL CIRCLE REPAIR CLAMP FOR TAPPING BY SMITH BLAIR, PIPE FUSING OR APPROVED EQUAL.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING FLOW.



6 TYPICAL EXTERNAL GRINDER PUMP LAYOUT
SCALE: NTS

NOTES:
- THE PROPERTY OWNER WILL OWN AND MAINTAIN THE GRINDER PUMP SYSTEM TO POINT OF CONNECTION INTO SEWER MAIN.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING FLOW AND FINAL GRINDER PUMP START UP.
- ALL FITTINGS ON PRESSURE SIDE OF GRINDER PUMP SHALL BE BRASS OR STAINLESS STEEL.
- ALL FORCEMAIN SANITARY SEWER LINES SHALL BE AT A DEPTH OF 5' OR GREATER. IF DEPTH IS LESS THAN 5', LINE SHALL BE INSULATED. (SEE SARATOGA COUNTY SEWER DISTRICT #1 TRENCH DETAIL).
- ALL GRAVITY SANITARY SEWER LINES SHALL BE AT A DEPTH OF 4' OR GREATER. IF DEPTH IS LESS THAN 4', LINE SHALL BE INSULATED. (SEE SARATOGA COUNTY SEWER DISTRICT #1 TRENCH DETAIL).
- THE GRAVITY SEWER LATERAL SHALL BE LAID AT A UNIFORM GRADE OF 1/4" FT. (ABOUT 2%).
- CURRENT NATIONAL ELECTRIC CODE SHALL BE FOLLOWED.
- FINISHED GRADE SHALL DRAIN AWAY FROM GRINDER PUMP.
- TANK SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- CONTROL PANEL:
- SHALL HAVE VISUAL AND AUDIBLE ALARMS WITH ONLY BOTTOM PENETRATIONS AND NEMA 4X RATED FITTINGS.
- SHALL BE A MIN. OF 36" ABOVE FINAL GRADE.
- SHALL BE LOCATED IN SIGHT FROM THE GRINDER PUMP.
- IF NOT PLACED ON BUILDING, THE POST SHALL BE 6"X6" PRESSURE TREATED WOOD OR APPROVED EQUAL.
- SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 6" GRAVITY CONNECTION LINE AND FITTINGS SHALL BE SDR 21 OR 26 WITH 6" STONE BEDDING (6" SDR 21 OR 26 FOR COMMERCIAL INSTALLATION) SEE TRENCH DETAIL FOR FURTHER INSTRUCTION.

10 SHENANDOAH DRIVE SITE PLAN
10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

DATE: 6/10/2025
REVISIONS: PER TOWN REVIEW COMMENTS
6/23/2025
FINAL PLANS

LANSING ENGINEERING
2485 STATE ROUTE 180, SUITE 301
CANTON, NY 12018
(518) 486-8840

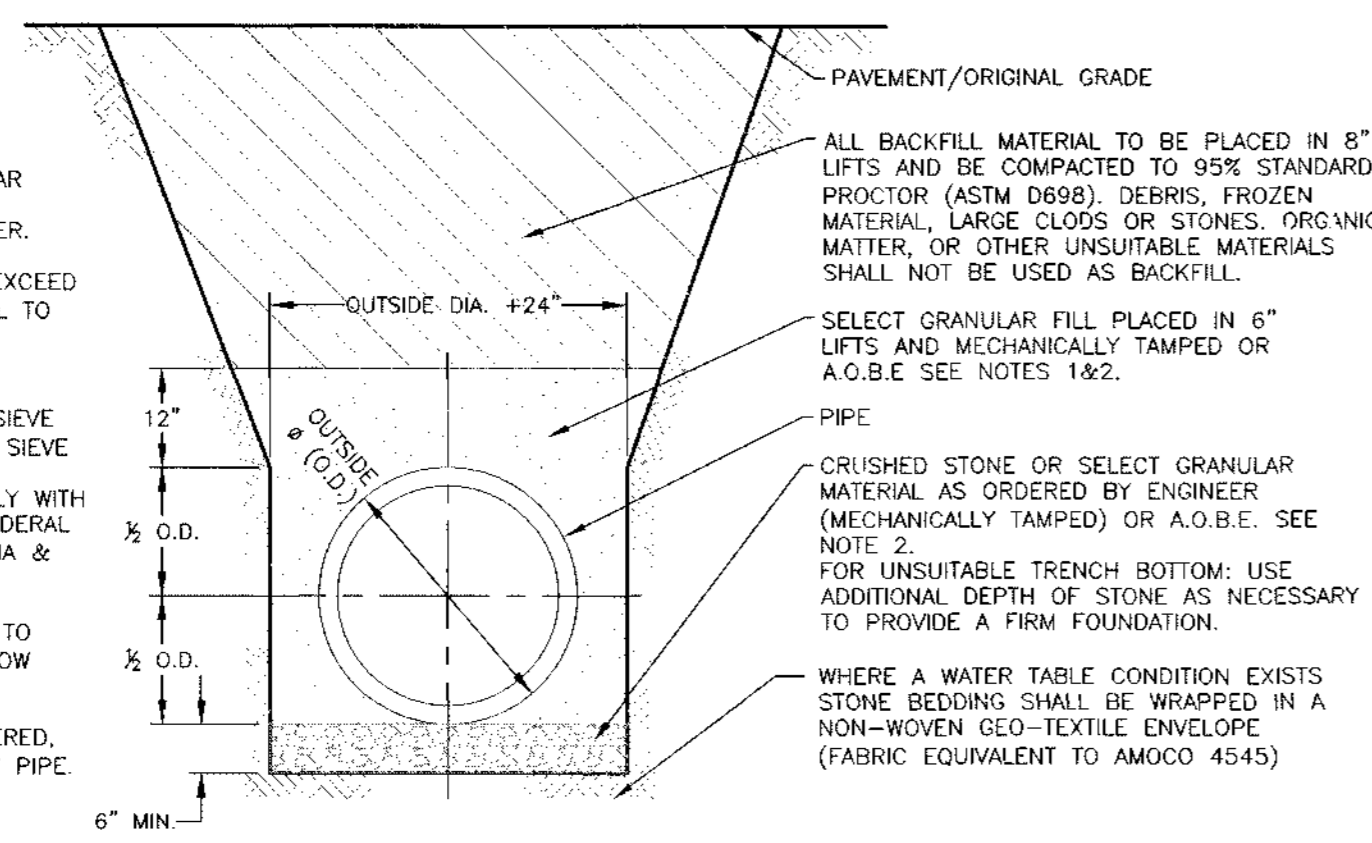
SANITARY SEWER DETAILS

Town of Stillwater, Refer To First Page For Approval and Signature

PROJ. NO: 747.13
SCALE: AS SHOWN
DATE: 03/04/2025

DT-2
SHEET 12 OF 14

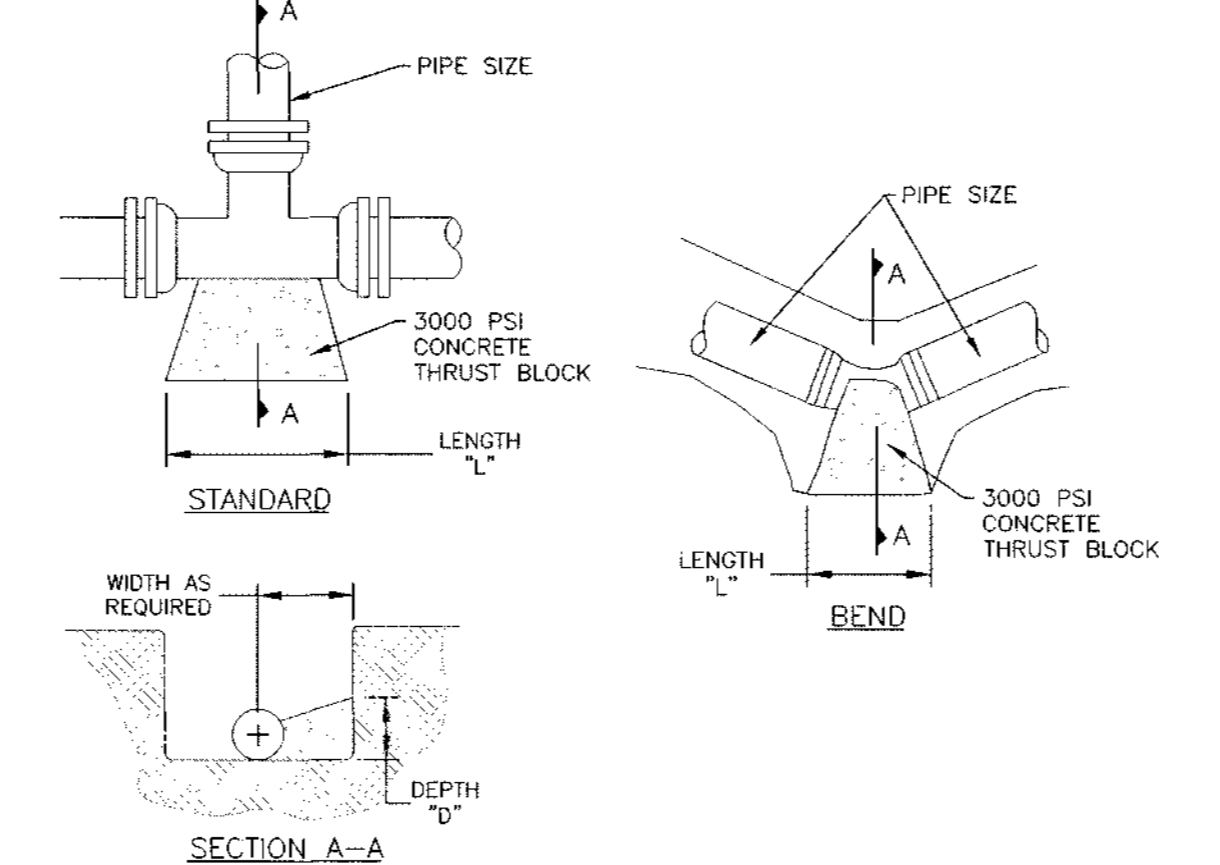
- NOTES:
1. NATIVE EXCAVATED GRANULAR MATERIAL MAY BE USED IF APPROVED BY THE ENGINEER.
 2. CRUSHED STONE NOT TO EXCEED #2 IN SIZE, GRANULAR FILL TO MEET THE FOLLOWING REQUIREMENTS:
0% IN EXCESS OF 3" 25% - 75% PASSING #4 SIEVE 0% - 15% PASSING #200 SIEVE
 3. CONTRACTORS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS. (OSHA & NYSDOT)
 4. OVER-EXCAVATE AT BELLS TO PROVIDE 6" BEDDING BELOW BELLS.
 5. WHERE ROCK IS ENCOUNTERED, EXCAVATE A MIN 6" BELOW PIPE.



1 TYPICAL TRENCH DETAIL FOR DUCTILE IRON PIPE
SCALE: NTS

REQUIRED BEARING AREAS & DIMENSIONS FOR CONCRETE THRUST BLOCKS

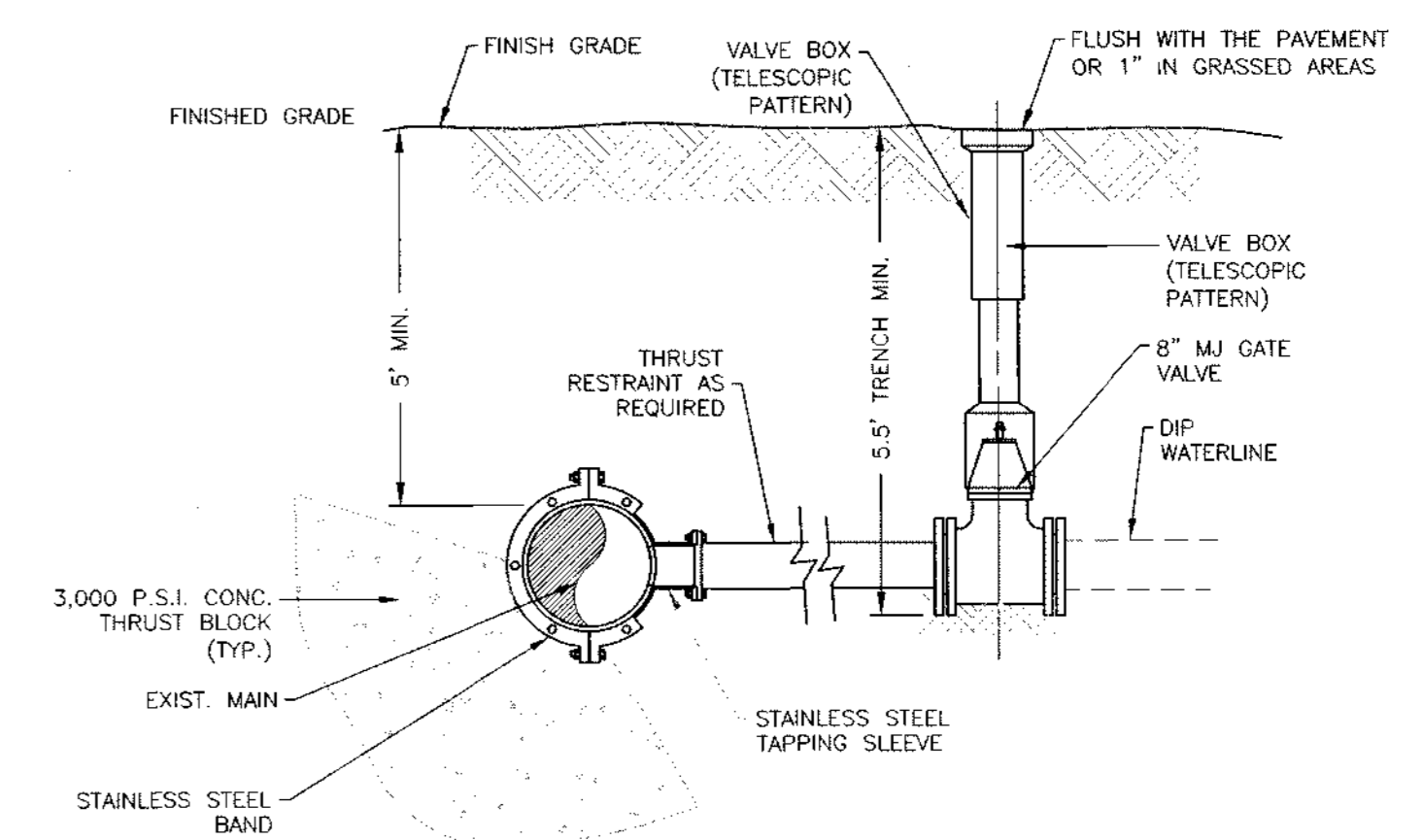
PIPE SIZE (IN.)	TEESIDE NOTE 3)	90°(0) BEND		45°(0) BEND		225°(0) BEND		112.5°(0) BEND	
		AREA	DIMEN.	AREA	DIMEN.	AREA	DIMEN.	AREA	DIMEN.
4"	5.7	0.8 x 1.1	5.7	1.0 x 1.1	5.7	1.0 x 1.1	5.7	1.0 x 1.1	
6"	3.2	1.5 x 2.5	4.5	2.0 x 2.5	2.4	1.5 x 2.0	1.2	1.0 x 1.5	
8"	5.7	2.0 x 3.0	8.0	2.0 x 4.0	4.3	2.0 x 2.5	2.2	1.5 x 1.5	
12"	12.7	3.5 x 3.5	18.0	4.0 x 4.5	9.7	2.5 x 4.0	3.0	2.0 x 2.5	



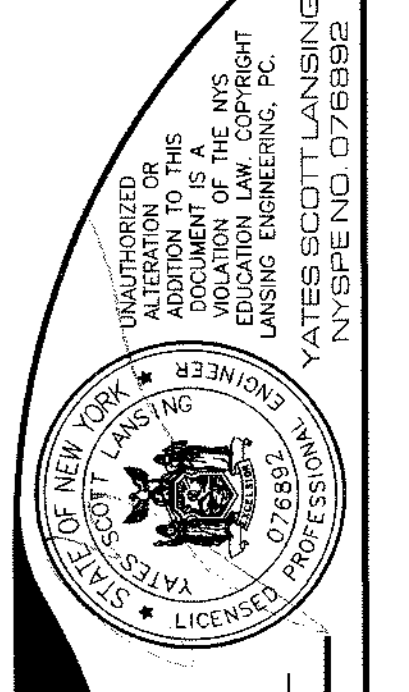
2 THRUST BLOCK DETAIL
SCALE: NTS

THRUST BLOCK NOTES

1. FOR REQUIRED BEARING AREA DIMENSIONS D & L SEE TABLE AT LEFT. DIMENSIONS OF D & L OTHER THAN THOSE SHOWN IN THE TABLE MAY BE USED PROVIDED THEY YIELD A BEARING AREA EQUAL TO OR LARGER THAN THAT REQUIRED.
2. CONCRETE NOT TO OVERLAP ANY JOINT.
3. CONCRETE TO BE PLACED SO AS NOT TO INTERFERE WITH REMOVING OR INSTALLING ANY OF THE JOINTING HARDWARE.
4. APPROXIMATE VOLUME OF CONCRETE THRUST BLOCK:
 $V = LD \frac{(W+ID)}{81}$
WHERE:
V = VOLUME IN CUBIC YARDS
L = LENGTH OF BLOCK IN FEET
D = DEPTH OF BLOCK IN FEET
W = WIDTH OF BLOCK IN FEET
ID = INSIDE DIAMETER OF PIPE IN FEET
5. VALVES FOR TEE ALSO APPLY TO END PLUGS, CAPS AND TAPPING SLEEVES.
6. REQUIRED BEARING AREAS ARE DUE TO THRUST CAUSED BY 150 PSI WORKING PRESSURE PLUS 50 x (7.5 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. NORMAL PIPE DIAMETER USED.
7. REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 2000 LBS. PER SQUARE FOOT FIRM SAND. DUE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS MAY BE MODIFIED BY ENGINEER.
8. IN MUCK, PEAT, OR RECENTLY PLACED FILL ALL THRUST SHALL BE RESISTED BY PILES OR RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.



3 TAPPING SLEEVE AND VALVE
SCALE: NTS



10 SHENANDOAH DRIVE SITE PLAN
10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

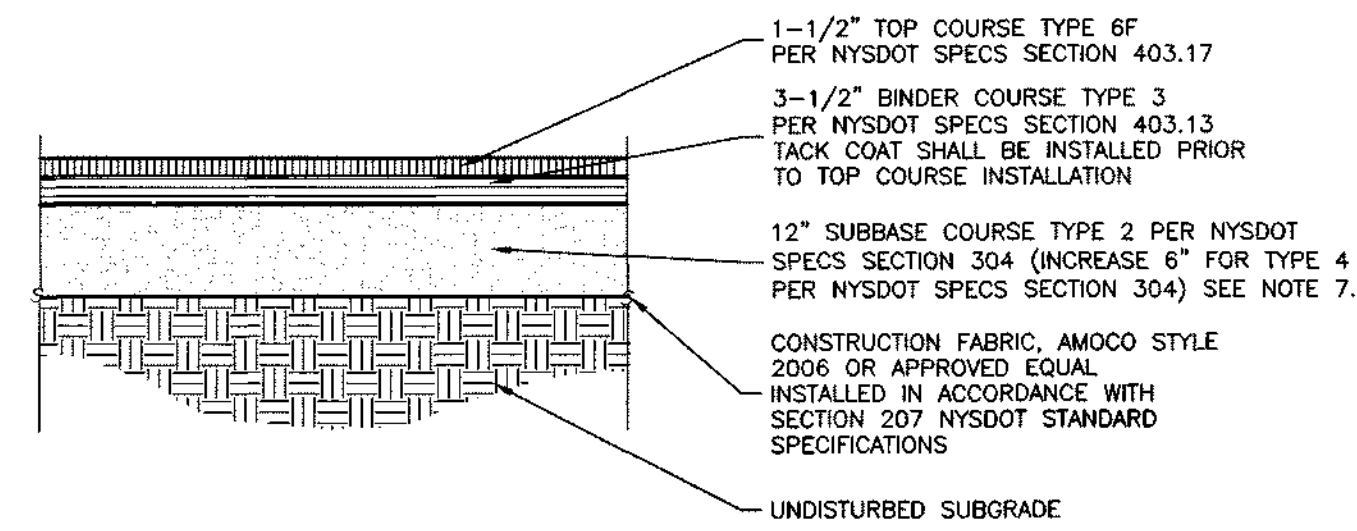
DATE: 4/10/2025
REVISIONS: REVISION RECORD/DESCRIPTION
9/22/2025 FINAL PLOWS

YATES SCOTT LANSING
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW YORK
LICENSE NO. 076889

WATER DETAILS

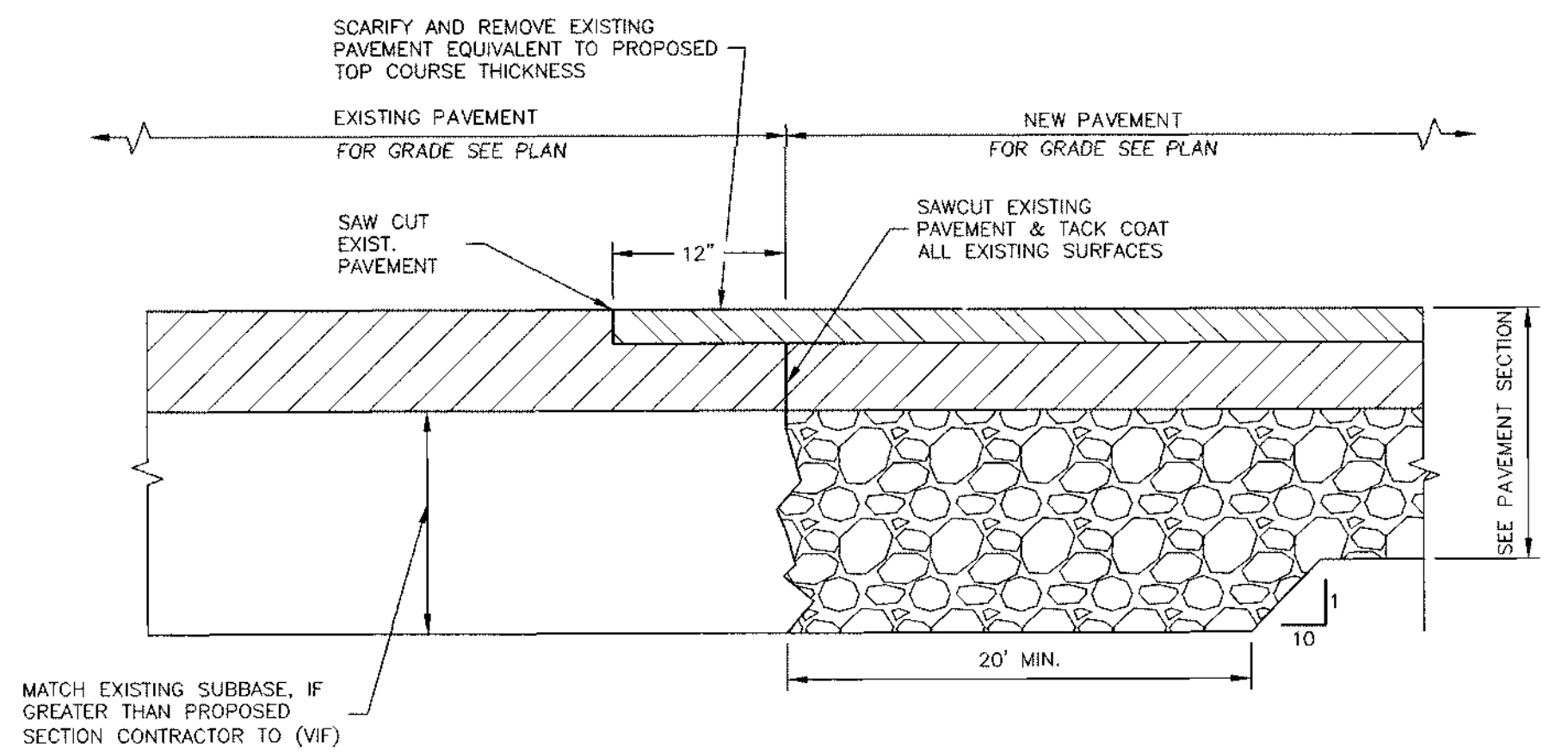
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SCALE: AS SHOWN
DATE: 03/04/2025

DT-3
SHEET 13 OF 14

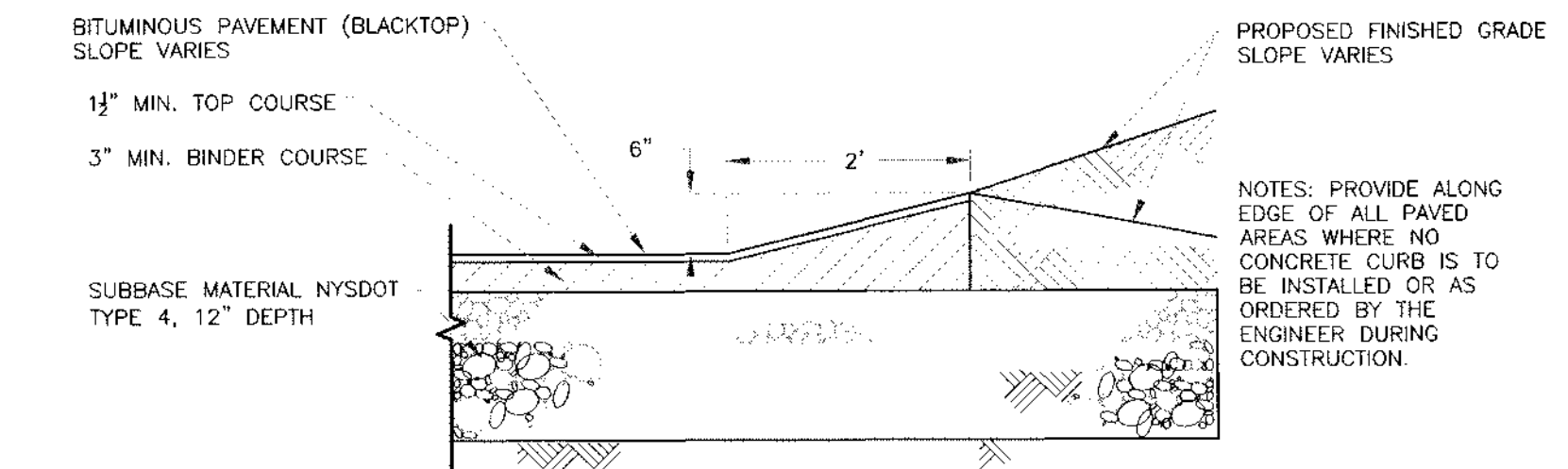


- THICKNESS OF ALL COURSES SHOWN ON THE DRAWINGS ARE COMPACTED THICKNESSES.
- ALL MATERIALS SHALL CONFORM TO NYS DOT, SECTION 400 AND SECTION 300.
- CONSTRUCT ASPHALT PAVEMENT IN ACCORDANCE WITH NYS DOT SECTION 401-3.
- IF SUBGRADE IS UNSUITABLE FOR SUBBASE INSTALLATION AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER INDICATING PROPOSED CORRECTIVE MEASURES (E.G., FILTER FABRIC, UNDERDRAINS, ADDITIONAL GRAVEL, ETC.).
- CURBS SHALL BE FORMED INTEGRALLY WITH BINDER COURSE AND TOP COURSE.
- BITUMINOUS TACK COAT SHALL BE APPLIED BETWEEN PAVEMENT COURSES. TACK COAT WHEN USED SHALL BE APPLIED PER NYS DOT SECTION 407-2 AT APPLICATION RATE OF 0.05 - 0.1 GAL/SQ. YD.
- ALL TESTING FOR COMPACTION SHALL BE AS ORDERED BY THE ENGINEER. THE CONTRACTOR SHALL PAY FOR ALL TESTING.
- IF MORE THAN 30 DAYS WILL ELAPSE BETWEEN PAVING OF BINDER COURSE PAVEMENT AND TOP COURSE PAVEMENT, ALL SANITARY SEWER AND STORM SEWER FRAME SECS AND VALVE BOXES SHALL BE SET AT THE BINDER COURSE ELEV. AND SHALL BE RAISED AT THE TIME OF APPLICATION OF THE TOP COURSE PAVING.
- ALL FILL TO CONSTRUCT ROADWAY TO SUBGRADE ELEVATIONS SHALL BE COMPACTED TO 95% PROCTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND COORDINATION OF THE TESTING AND DOCUMENTATION OF THE FILL MATERIAL AND THE COMPACTION OF THE FILL MATERIAL.
- FILL AREAS - BACKFILL WITH CLEAN SAND AND GRAVEL COMPACTED IN 12" LOOSE LIFTS UP TO 24" BELOW SUBBASE, THEN COMPACT IN 8" LOOSE LIFTS TO REQUIRED SUBBASE. SAND AND GRAVEL TO BE WELL GRADED WITH NO MATERIAL LARGER THAN 3" AND LESS THAN 10% FINER THAN THE #200 SIEVE. COMPACTION TO BE 95% STANDARD PROCTOR DENSITY, MEASURED AT EACH LIFT. PROVIDE SIEVE TEST OF FILL MATERIAL FOR APPROVAL PRIOR TO USE. PROVIDE COMPACTION RESULTS DEMONSTRATING CONFORMANCE. SUITABLE NATIVE MATERIAL SHALL BE PERMITTED IN FILL AREAS AS AN ALTERNATE TO THE MATERIAL SPECIFIED ABOVE, SUBJECT TO DESIGN AND TOWN ENGINEERS REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GEOTECHNICAL ANALYSES TO DETERMINE THE SUITABILITY OF THE NATIVE MATERIAL AS ROAD FILL TO THE SATISFACTION OF THE DESIGN AND TOWN ENGINEER.

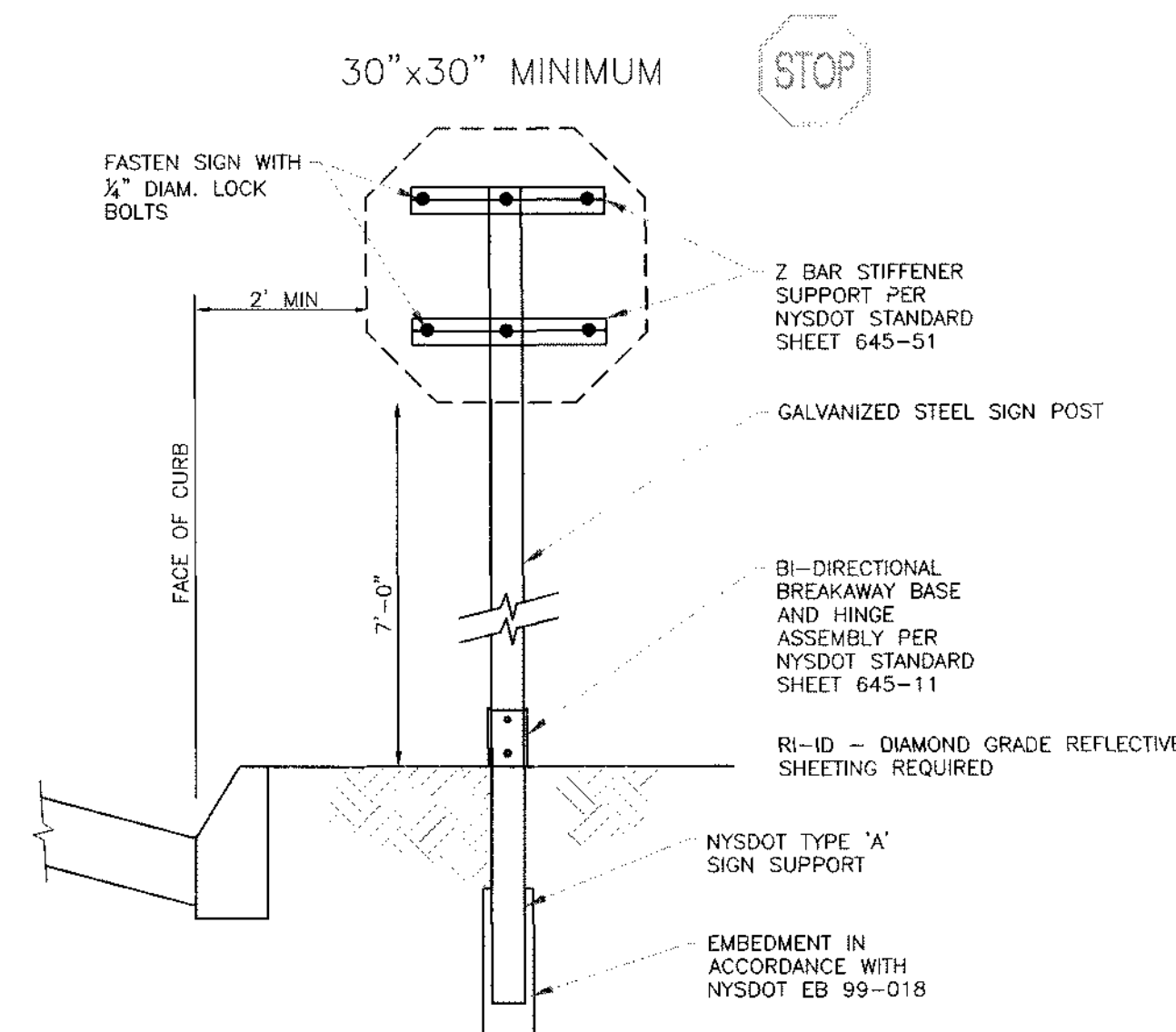
1 ASPHALT PAVEMENT DETAIL
SCALE: N.T.S.



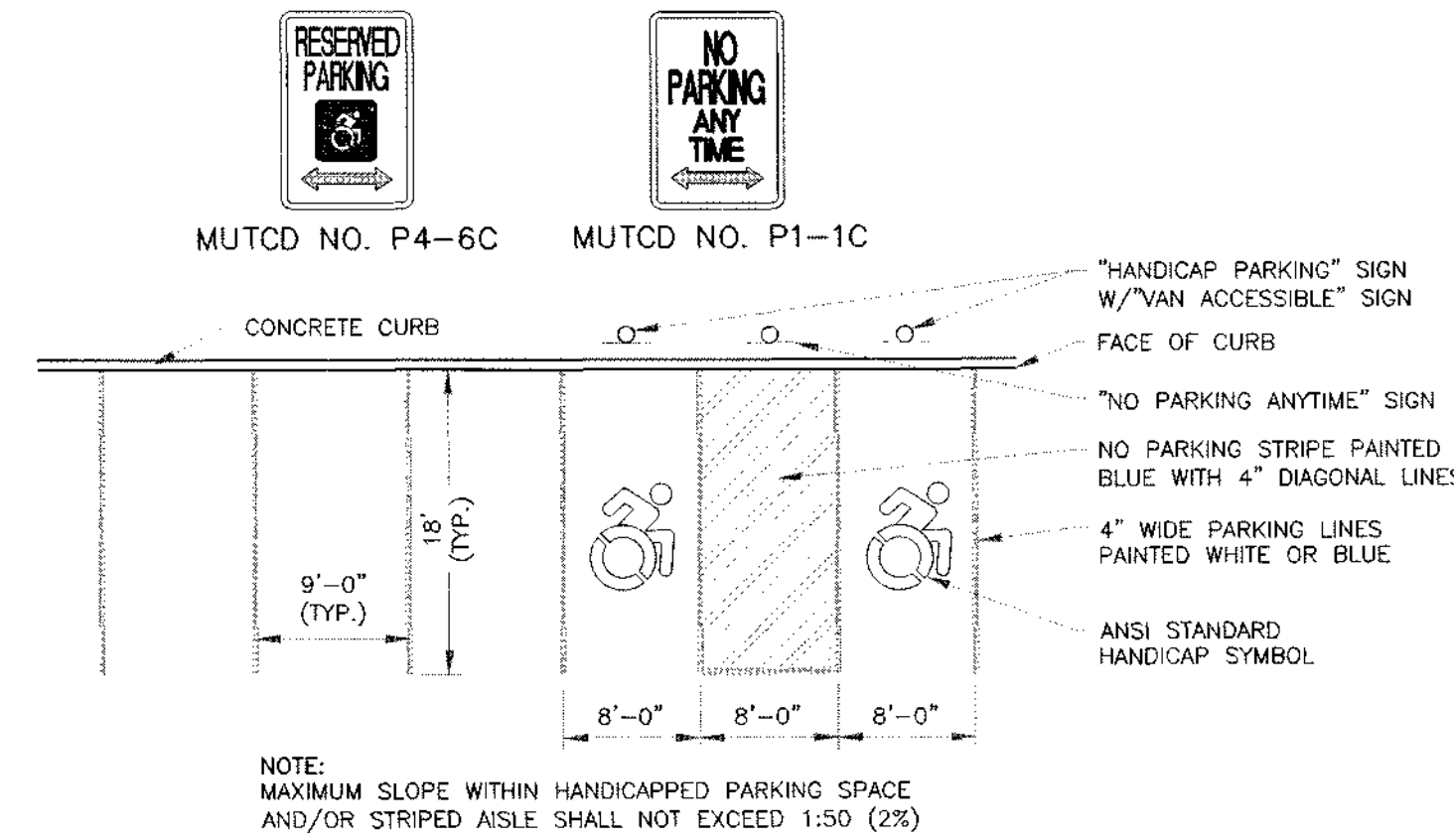
2 STANDARD TRANSITION
SCALE: N.T.S.



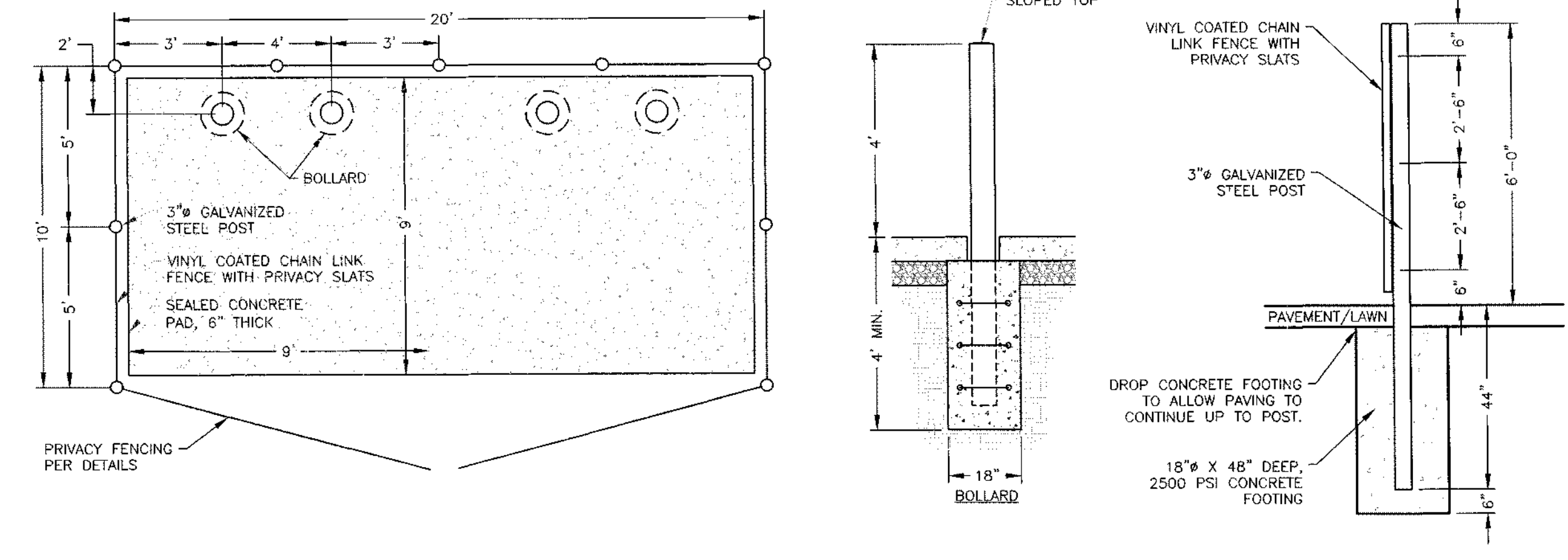
3 ASPHALT WING-EDGE
SCALE: N.T.S.



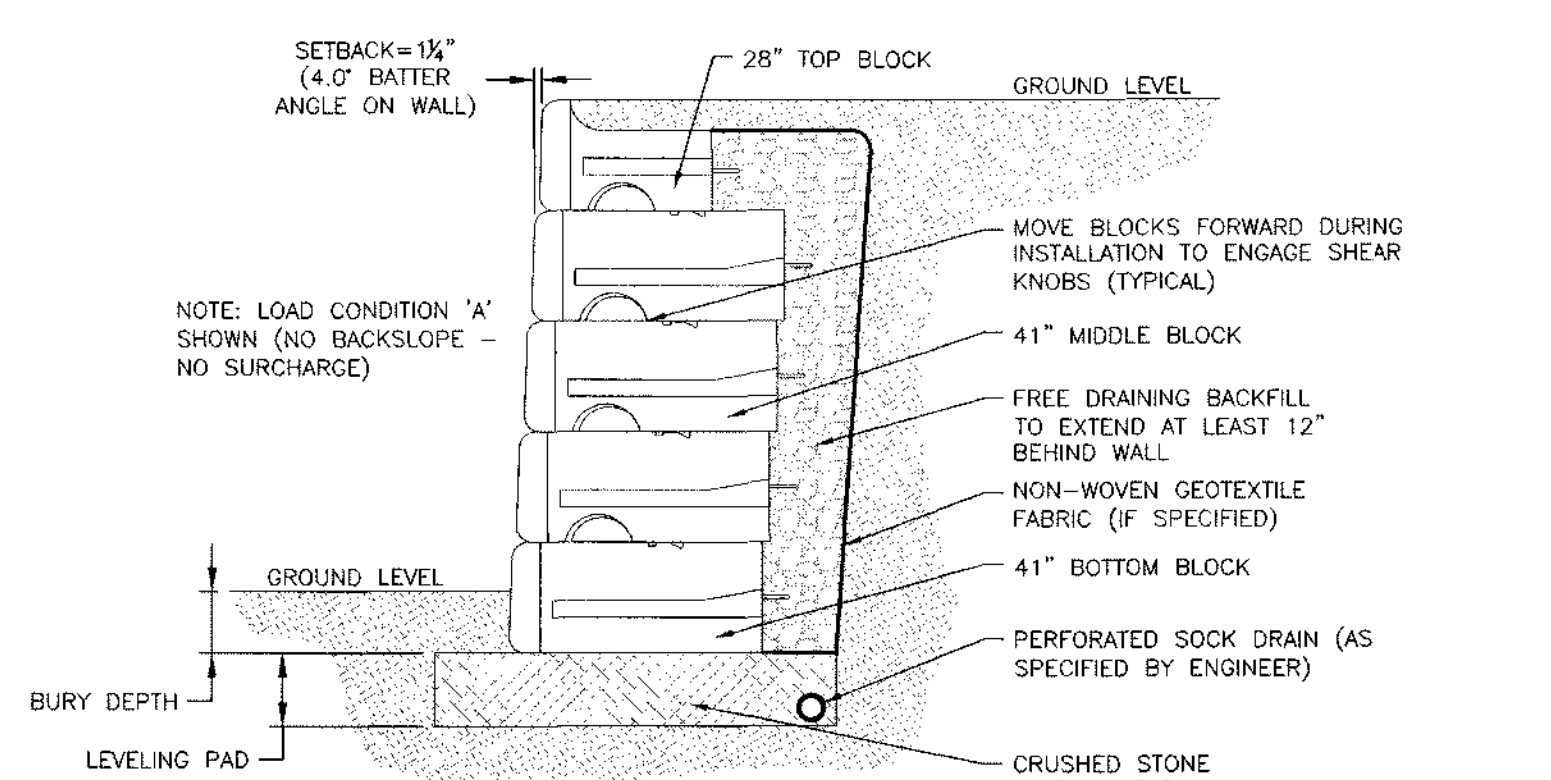
4 STOP SIGN MOUNTING DETAIL
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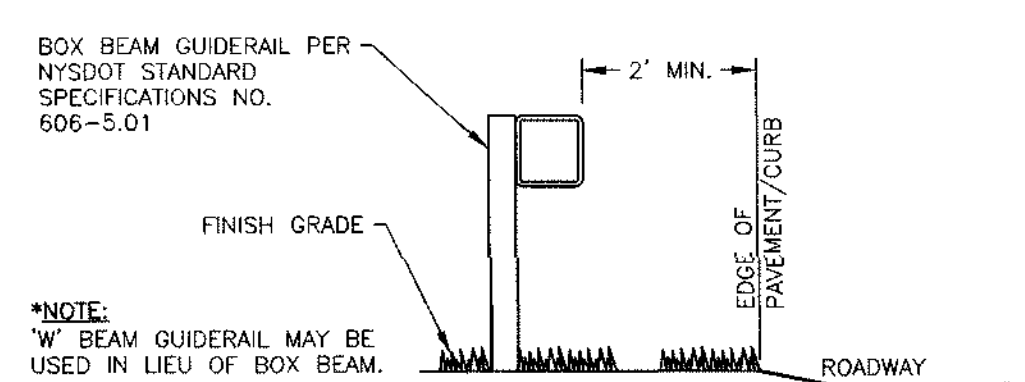
5 TYPICAL PARKING SPACE LAYOUT
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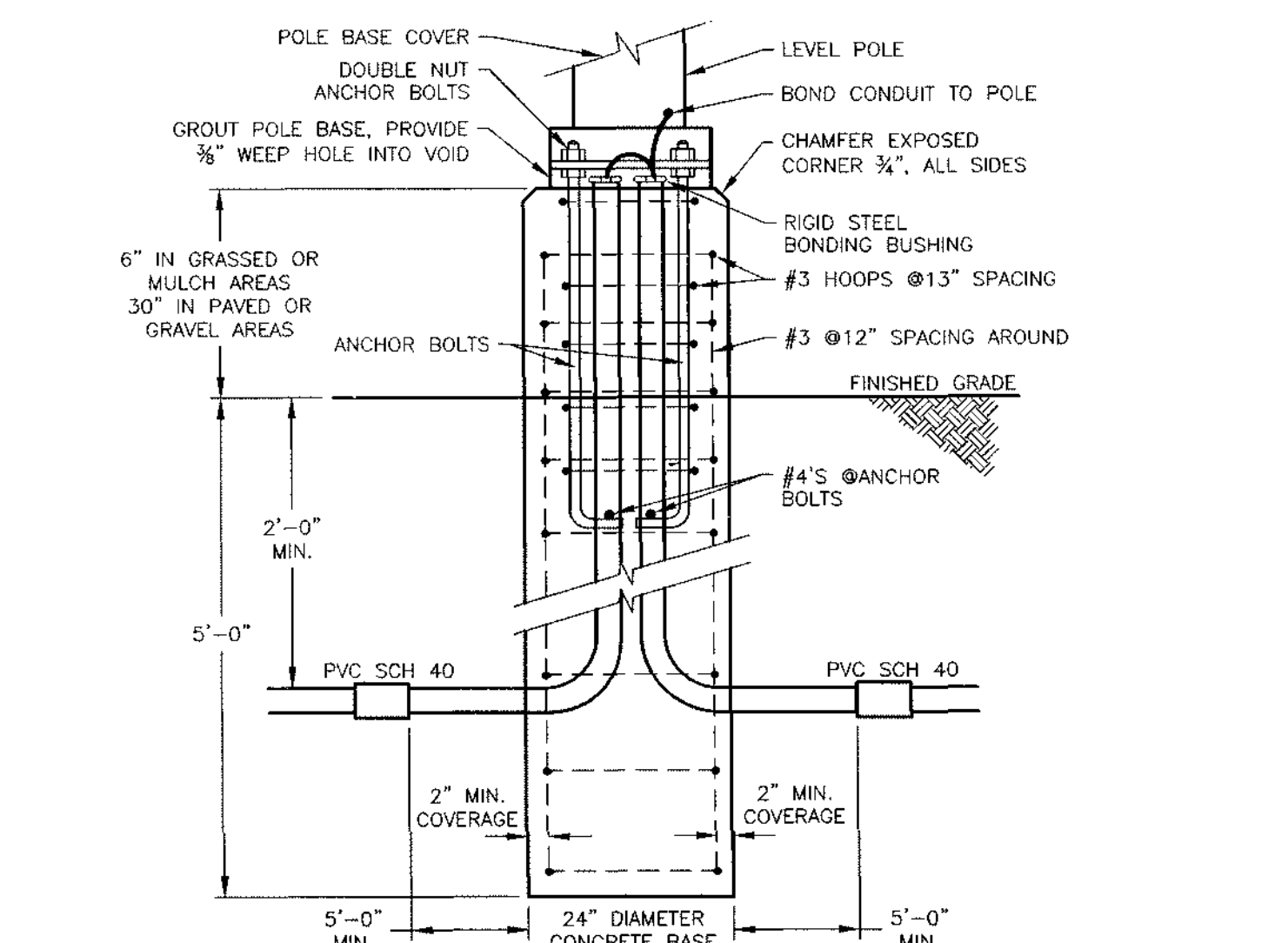
6 DOUBLE DUMPSTER ENCLOSURE
SCALE: N.T.S.



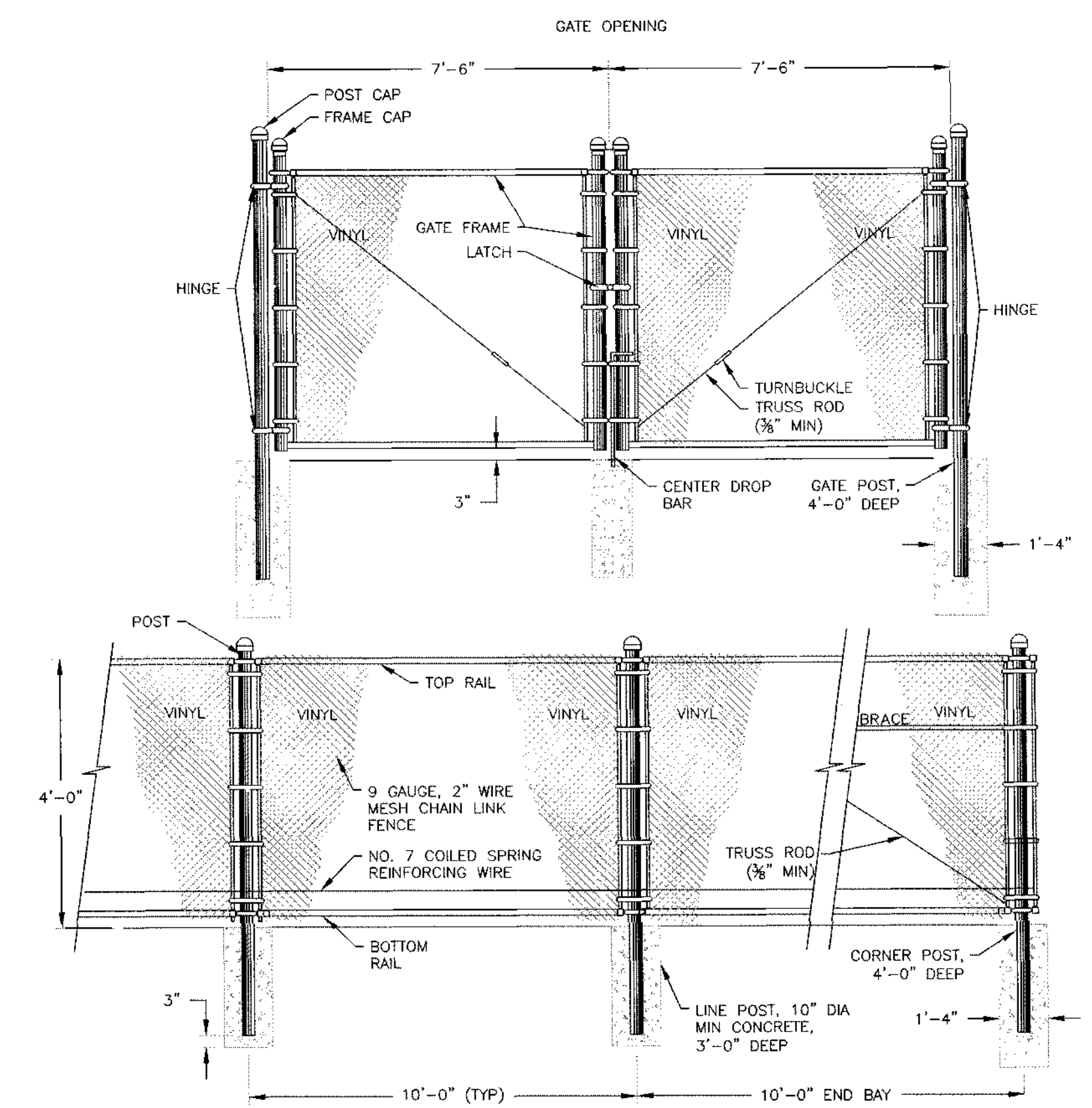
7 TYPICAL RED-ROCK RETAINING WALL
(OR APPROVED EQUAL)
SCALE: N.T.S.



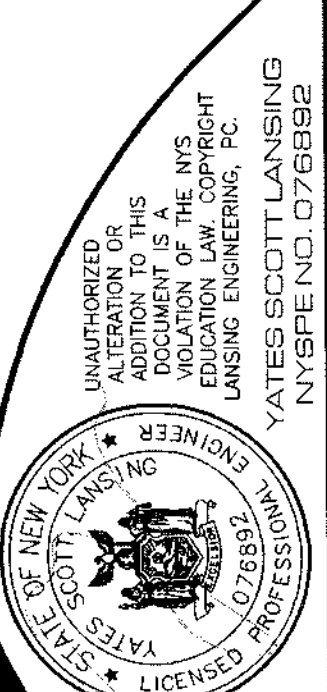
8 METAL BEAM GUIDERAIL
SCALE: N.T.S.



9 TYPICAL POLE MOUNTING DETAIL
SCALE: N.T.S.



10 CHAIN LINK VINYL FENCE & SWING GATE DETAIL
SCALE: N.T.S.



10 SHENANDOAH DRIVE SITE PLAN
10 SHENANDOAH DRIVE, TOWN OF STILLWATER, SARATOGA COUNTY, NEW YORK

LANSBURG ENGINEERING
200 N. ALBANY STREET, SUITE 202
ALBANY, NY 12208
518-486-1111

DATE: 4/12/2025
REVISED PER TOWN REVIEW COMMENTS: 8/23/2025
FINAL PLANS

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MISCELLANEOUS DETAILS

Town of Stillwater, Refer to First Page For Approval and Signature

PROJ. NO: 747.13
SCALE: AS SHOWN
DATE: 03/04/2025

DT-4
SHEET 14 OF 14



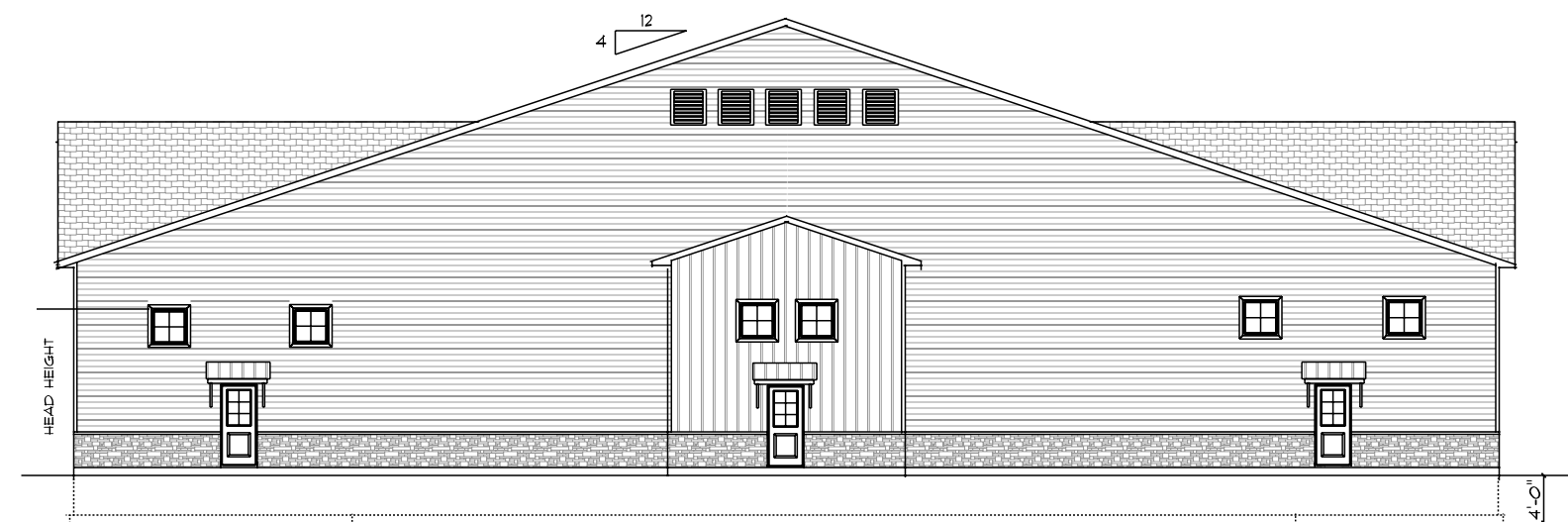
EAST ELEVATION

1/16" = 1'-0"



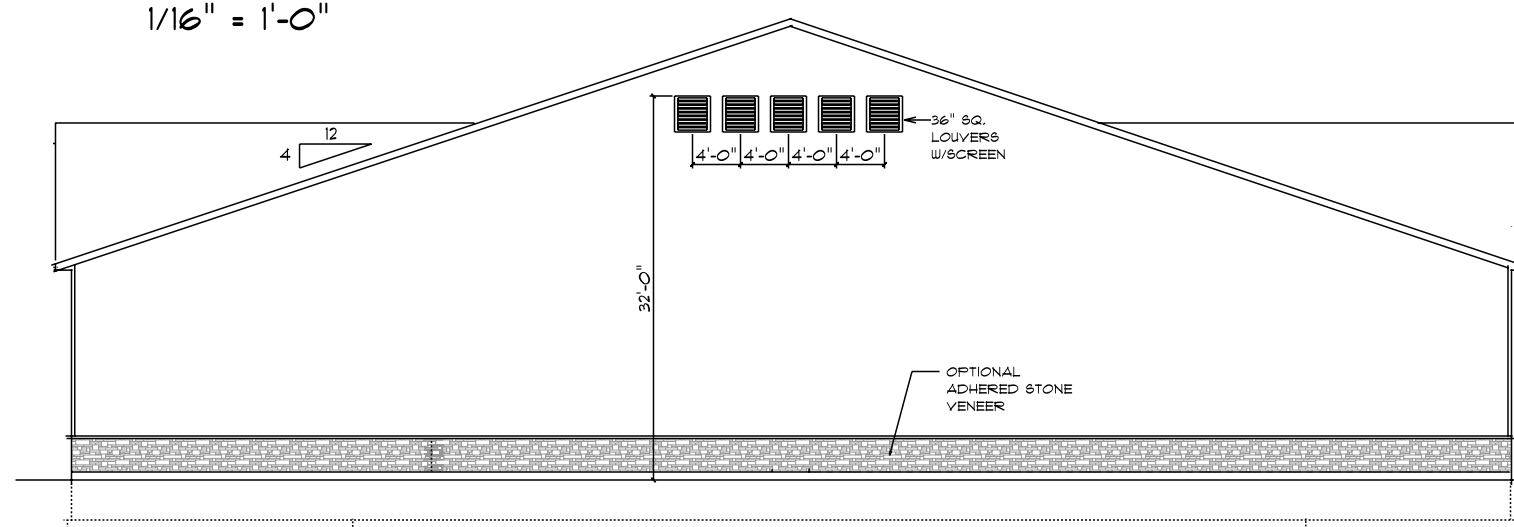
WEST ELEVATION

1/16" = 1'-0"



SOUTH ELEVATION

1/16" = 1'-0"



NORTH ELEVATION

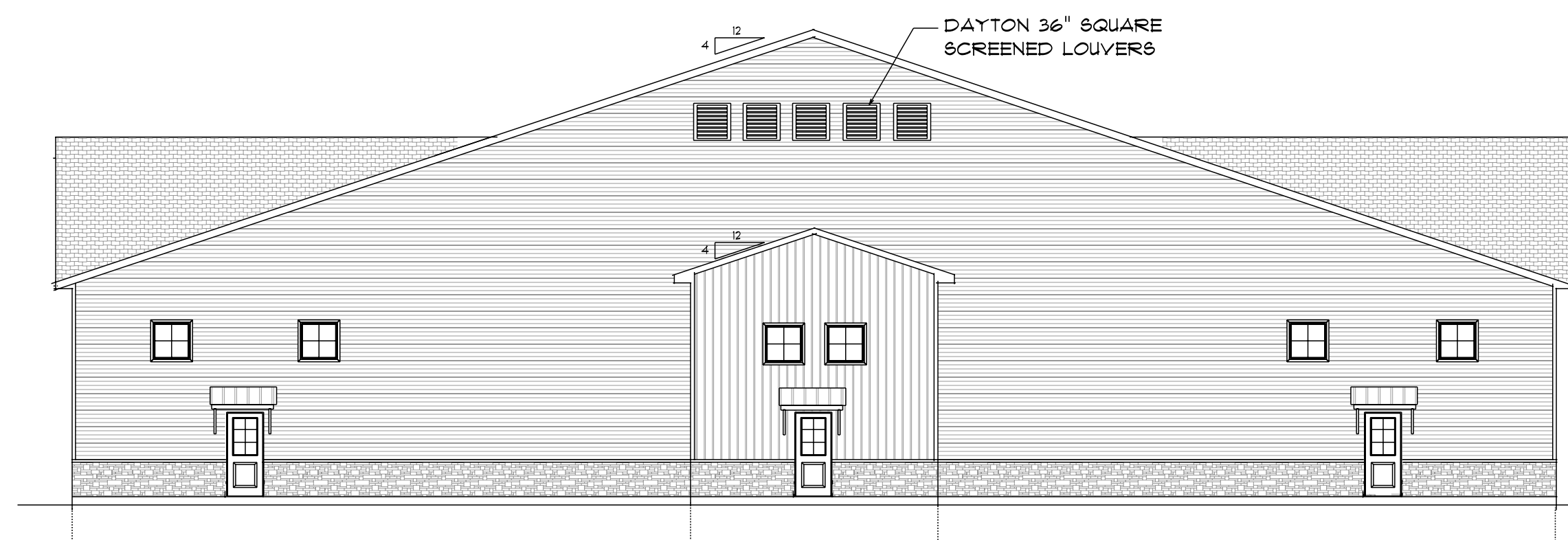
1/16" = 1'-0"

BUILDING HEIGHT AND AREA CODE ANALYSIS

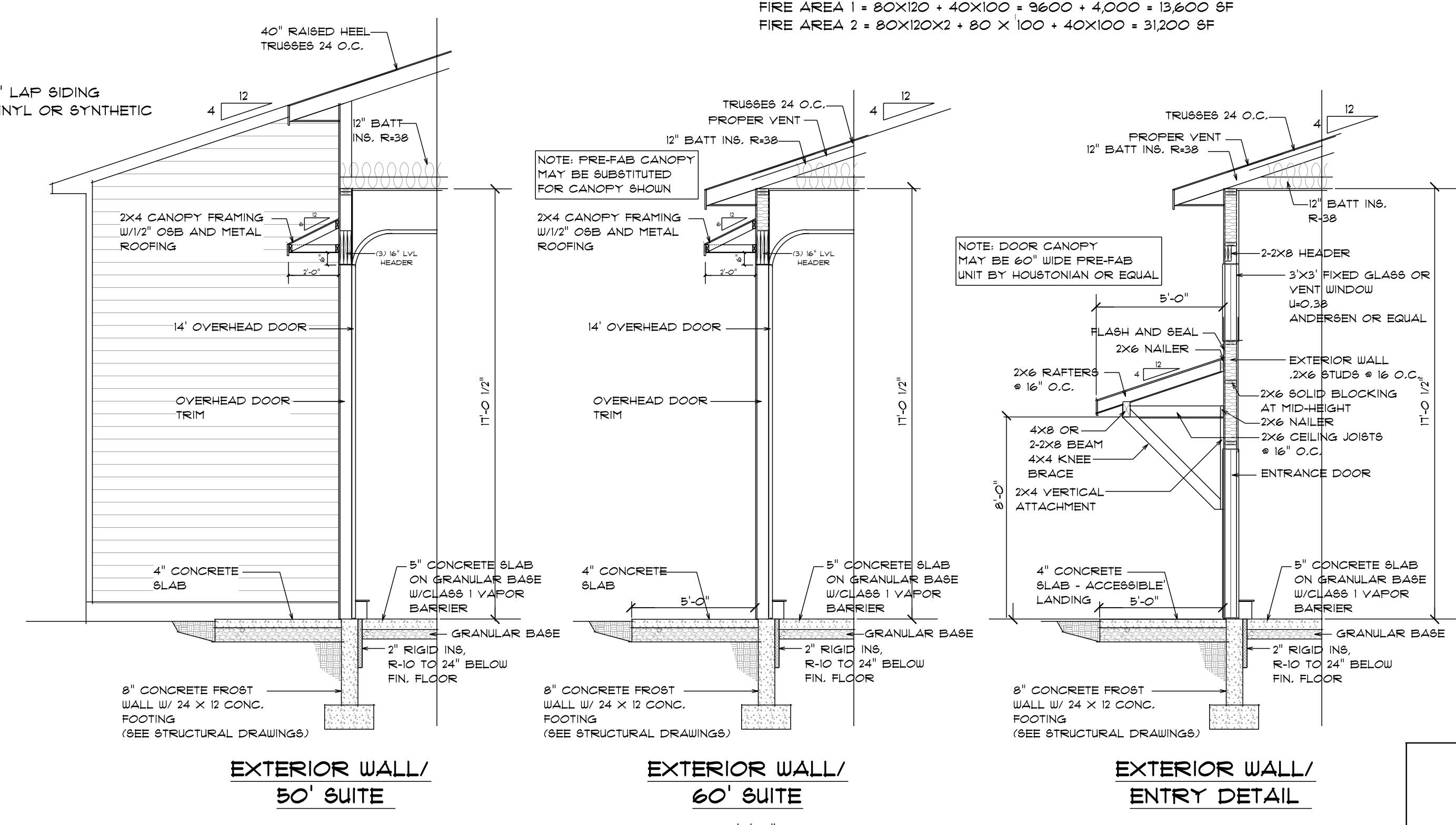
- 302.1 - OCCUPANCY CLASSIFICATION:
B-BUSINESS W/ ACCESSORY STORAGE [B11.1.1]
- BUILDING TO HAVE NFPA 13 SPRINKLER SYSTEM [B06.2.1]
- BUILDING TO BE FULLY ACCESSIBLE WITH MINIMUM 20 FEET CLEARANCE AT PERIMETER [B06.2.1]
- 504.3 - ALLOWABLE BUILDING HEIGHT - IN FEET - 70 FEET
ACTUAL BUILDING HEIGHT 21' [B04.3]
- 504.4 - ALLOWABLE BUILDING HEIGHT - IN STORIES - 2 [B04.4]
ACTUAL BUILDING HEIGHT - 1-STORY
- 505.2 - MEZZANINES - LIMITED TO 33% OF THE CONTAINING SPACE
- 2400 SF SPACE - 800 SF MEZZANINE ALLOWED
- 2000 SF SPACE - 660 SF MEZZANINE ALLOWED
- 506.2.2 - SINGLE STORY - BUSINESS OCCUPANCY BUILDING AREA
- FORMULA: ALLOWABLE AREA = A₁ + (N₆ X I_F)
B (BUSINESS) TABULAR W/NFPA 13 SPRINKLER = 36,000 SF
B (BUSINESS) N₆ TABULAR = 9,000 SF
ALLOWABLE BUILDING AREA = 36,000 SF + (.75 X 9,000)
36,000 SF + 6,750 SF = 42,750 SF
-ACTUAL BUILDING AREA = 44,800 SF (FIREWALL REQUIRED)
- FIRE AREA 1 = 80X120 + 40X100 = 9,600 + 4,000 = 13,600 SF
FIRE AREA 2 = 80X120X2 + 80 X 100 + 40X100 = 31,200 SF



**TYPICAL LARGE SCALE
EAST OR WEST ELEVATIONS**



**LARGE SCALE
SOUTH END ELEVATION**



**EXTERIOR WALL/
50' SUITE**

**EXTERIOR WALL/
60' SUITE**

**EXTERIOR WALL/
ENTRY DETAIL**

1/4" = 1'-0"

W R SCOTT ARCHITECT PLLC
13 HILLMAN LOOP - ROUND LAKE NY - 12151
(516) 424-3191 e-mail: rkrect1736@gmail.com

DRAWN BY: W R SCOTT
SCALE: 1/16" = 1'-0"
DATE: OCTOBER 2025

PROJECT LOCATION:
10 SHENANDOAH DRIVE
TOWN OF STILLWATER

SHENANDOAH BUSINESS SUITES

A-1
DRAWING NO.