

RIGHT-OF-WAY NOTE

OWNER IS TO OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY. FAILURE TO DO SO WILL RESULT IN ISSUANCE OF A STOP WORK NOTICE AND DOUBLE PENALTIES. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE HIS/HER PROPERTY LINE IS.

DRAINAGE NOTE

NO CONCENTRATED DRAINAGE FLOWS ARE PERMITTED OVER ADJACENT PROPERTY LINES. WATER IS TO DRAIN AWAY FROM STRUCTURES FOR A MINIMUM OF 5 FEET AT A 2% SLOPE AND BE CONVEYED TO AN APPROVED DRAINAGE FACILITY.

UTILITY NOTE

ALL UTILITIES SERVING THIS SITE SHALL BE INSTALLED UNDERGROUND.

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE DESIGN CONSTRUCTION STANDARDS OF THE CITY OF ENCINITAS AND THE SAN DIEGO AREA REGIONAL STANDARD SPECIFICATIONS. ANY CHANGES OR REVISIONS THEREFROM SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY REQUEST FOR INSPECTION.

2. THE SOILS REPORTS TITLED "REPT. PREPARED BY MORAN, SHALL BE CONSIDERED AS A PART OF THIS GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAID REPORTS.

3. SEPARATE APPROVALS AND PERMITS FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS SHALL BE OBTAINED IN CONJUNCTION WITH THIS GRADING PLAN.

4. WRITTEN PERMISSION SHALL BE OBTAINED FOR ANY OTSIFIC GRADING.

5. CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS REQUIRED TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATIONS. ANYTHING DAMAGED OR DESTROYED SHALL BE REPLACED OR REPAIRED TO CONDITION EXISTING PRIOR TO GRADING.

6. THE DEVELOPER SHALL BE RESPONSIBLE THAT ANY NOTIFICATION OF BENCH MARK WHICH IS DISTURBED OR DESTROYED SHALL BE RE-ESTABLISHED AND REPLACED BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.

7. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING STOPPING AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

8. GRADING AND EQUIPMENT OPERATING WITHIN GENERAL (17.2) MILE OF A STRUCTURE FOR PUBLIC USE SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:30 P.M. AND 7:30 A.M. NEAR OR ADJACENT TO A CITY STREET.

9. NO GRADING OPERATIONS SHALL COMMENCE UNTIL A PRE-CONSTRUCTION MEETING HAS BEEN HELD ON-SITE WITH THE FOLLOWING PERSONS PRESENT: CITY ENGINEER, CIVIL ENGINEER, SOILS ENGINEER, GRADING CONTRACTOR AND THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-BUILT PLAN. THIS MEETING SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH CONSTRUCTION.

10. PRIOR TO HAULING DIRT OR CONSTRUCTION MATERIALS TO ANY PROPOSED CONSTRUCTION SITE WITHIN THIS PROJECT THE DEVELOPER SHALL NOTIFY THE REGISTERED CIVIL ENGINEER FROM THE CITY ENGINEER FOR THE IMPROVED ROAD. THE DEVELOPER SHALL COMPLY WITH ALL CONDITIONS AND REQUIREMENTS THE CITY ENGINEER MAY IMPOSE WITH REGARD TO THE HAULING OPERATION.

11. UPON FINAL COMPLETION OF WORK UNDER THE GRADING PERMIT, PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN "AS BUILT" GRADING PLAN SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. [SEE LDE-XXXXX-2021] HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-BUILT PLAN. THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH CONSTRUCTION."

12. ALL GRADING SHALL BE INSPECTED AND TESTED BY A QUALIFIED SOILS ENGINEER OR UNDER HIS DIRECTION HE SHALL INSPECT AND TEST THE EXCAVATION FILLING AND COMPACTION OF FILLS AND BACKFILLS AND COMPACTION OF FILL. SOILS ENGINEER SHALL TEST SOILS TO DETERMINE THE SUITABILITY OF ANY FILL MATERIAL. UPON COMPLETION OF GRADING OPERATIONS HE SHALL STATE THAT OBSERVATIONS AND TESTS WERE MADE AND THAT IN HIS OPINION, ALL EMBANKMENTS AND EXCAVATIONS ARE ACCEPTABLE FOR THEIR INTENDED USE.

13. THE CONTRACTOR SHALL PROPERLY grade all excavated structures to provide positive drainage and prevent ponding of water. The soils engineer shall advise the contractor as to the appropriate properties of finished work on the site and shall take remedial measure to prevent erosion of freshly graded areas until such time as permanent drainage and erosion control measures have been installed.

14. ALL AREAS TO BE FILLED SHALL BE PREPARED TO BE FILLED AND FILL SHALL BE PLACED IN ACCORDANCE WITH STANDARD SPECIFICATION. ALL VEGETABLE MATTER AND OBJECTIVE MATERIAL SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED. LOOSE FILL AND ALL OTHER SOILS SHALL BE REMOVED TO SUITABLE FIRM EXISTING GROUND. EXCAVATIONS SHALL BE STABILIZED TO A DEPTH OF 12 INCHES AND THEN COMPACTED TO A MINIMUM OF 90 PERCENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE, SPREAD, WATER AND COMPACT THE FILL IN STRICT ACCORDANCE WITH SPECIFICATIONS.

15. CUT AND FILL SLOPES SHALL BE CUT AND TRIMMED TO FINISH GRADE TO PRODUCE SMOOTH SURFACE AND UNIFORM CROSS SECTION. THE SLOPE OF EXCAVATION AND EMBANKMENTS SHALL BE SHARP, PLANTED, AND TRIMMED AS DIRECTED BY THE ENGINEER OF WORK AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, RUBBLE AND OTHER MATERIALS EXPOSED ON EXCAVATION OR EMBANKMENT WHICH ARE LIABLE TO BE WORN AWAY SHALL BE REMOVED AND DISPOSED OF. THE TOP AND TOP OF ALL SLOPES SHALL BE ROUNDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

16. ALL TREES, BRUSH, GRASS, AND OTHER DISTRURBABLE MATERIAL SHALL BE COLLECTED, PILED OR OTHERWISE DISPOSED OF OFF THE SITE BY THE CONTRACTOR SO AS TO LEAVE THE AREAS THAT HAVE BEEN CLEARED WITH A NEAT AND UNIFORM APPEARANCE. THE FIRM INSTANTLY BEFORE APPROVAL OF LOCATION OF DIRT OR FILL SHALL BE SECURED FROM THE SOILS ENGINEER AND CITY ENGINEER PRIOR TO THE DISPOSAL OF DIRT OR FILL MATERIAL.

17. THE REMOVAL OF ANY AND ALL CITY TREES SHALL BE CONSISTENT WITH THE CITY'S BROWN TREE MANAGEMENT PROGRAM. TREES LOCATED WITHIN CITY STREET RIGHT-OF-WAY, ON CITY PROPERTY, OR WITHIN CITY EASEMENTS ARE REFERRED TO AS CITY TREES AND SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION UNLESS SPECIFICALLY APPROVED OTHERWISE. GRADING, EXCAVATION OR DISTURBANCE OF CITY TREE ROOT SYSTEMS SHALL OCCUR WITHIN THE CITY TREE DRIP LINE AREA (THE AREA FROM THE TRUNK OF A TREE TO THE OUTERMOST EDGE OF THE TREE CANOPY PROJECTION ON THE GROUND). IF A CITY TREE IS NOT CLEARLY LABELED TO BE REMOVED, IT MUST BE PROTECTED IN PLACE. WHEN IT APPEARS IMPROVEMENTS ARE IN CONFLICT WITH A CITY TREE, IT MUST NOT BE DISTURBED UNLESS THE PLAN IS REVISED TO ADDRESS THE TREE REMOVAL.

18. IF ANY ANTHROPOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE INADVERTENTLY DISCOVERED DURING ACTIVITY OF THE PROJECT, CONSTRUCTION SHALL STOP, EXCEPT FOR EMERGENCY OR OTHER UNUSUAL CIRCUMSTANCES. THE AREA OF DISCOVERY TO ALLOW EVALUATION OF THE SIGNIFICANCE OF SUCH RESOURCES, THE PROJECT APPLICANT SHALL IMMEDIATELY NOTIFY DEVELOPMENT SERVICES, DEPARTMENT STAFF OR SUCH AGENCY AT THE TIME OF DISCOVERY. THE SIGNIFICANCE OF THE DISCOVERED RESOURCES SHALL BE DETERMINED BY A QUALIFIED ANTHROPOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL CONSULTANT WITH THE DEVELOPMENT SERVICES DEPARTMENT AND, FOR ANTHROPOLOGICAL RESOURCES, THE NATIVE AMERICAN COMMISSION. THE DEVELOPMENT SERVICES DIRECTOR SHALL CONCUR WITH THE EVALUATION PROCEDURES AND ANY NECESSARY DATA RECOVERY SERVICES BEFORE GRADING ACTIVITIES ARE ALLOWED TO RESUME.

19. AS SPECIFIED BY CALIFORNIA HEALTH AND SAFETY CODE SECTION 70505, IF HUMAN REMAINS ARE FOUND ON THE PROJECT SITE DURING CONSTRUCTION ACTIVITY, THE PROJECT RESPONSIBLE FOR THE EXCAVATION OR USE OF HEAVY AUTHORIZED REPRESENTATIVE SHALL IMMEDIATELY NOTIFY THE SAN DIEGO COUNTY CORONER'S OFFICE BY TELEPHONE. NO FURTHER EXCAVATION OR DISTURBANCE OF THE DISCOVERY OF ANY HUMAN REMAINS UNLESS ADVISED TO DO OTHERWISE. REMAINS AS DETERMINED BY A QUALIFIED ANTHROPOLOGIST AND/OR A NATIVELY AND THE REMAINS SHALL BE REMOVED AND BURIED PURSUANT TO PUBLIC HEALTH AND SAFETY CODE SECTION 70505. NECESSARY FUNDING AS TO BURY AND BURIAL PURSUANT TO PUBLIC HEALTH AND SAFETY CODE SECTION 70505. IF SUCH A DISCOVERY OCCURS, A WRITTEN CONSTRUCTION STOP ORDER SHALL BE ISSUED IMMEDIATELY AND THE AREA OF DISCOVERY SO THAT THE AREA WOULD BE PROTECTED (AS DETERMINED BY THE QUALIFIED ANTHROPOLOGIST) AND/OR THE TCA WARE AND/OR WORKING AND CONSULTATION AND TREATMENT COULD OCCUR AS PERMITTED BY LAW AS FURTHER DEFINED BY STATE LAW. THE CORNER SHALL DETERMINE WITHIN THE WORKING CASE OF ANY DISCOVERY OF REMAINS ARE SUBJECT TO USE OF HER AUTHORITY IF THE CORNER RECOVERS THE REMAINS TO BE MARKED. THE CORNER OR HE OR SHE SHALL CONDUCT AN INVESTIGATION CONSIDERING CONSTRUCTION WITHIN 24 HOURS OF THE TIME OF DISCOVERY. THE REMAINS SHALL BE NOTIFIED BY THE CORNER TO THE PROJECT RESPONSIBLE TO MARK THE REMAINS FOUND AND THE ANALYSIS OF THE REMAINS SHALL ONLY OCCUR ON-SITE IN THE PRESENCE OF THE TCA NATIVE AMERICAN WARDEN.

EROSION CONTROL

1. IN CASE EMERGENCY WORK IS REQUIRED, CONTACT CASEY JOHNSON AT (619) 993-7529, 24 HOURS A DAY.

2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE ON OCTOBER 1 AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY EROSION CONTROL MEASURES WHEN RAIN IS IMMINENT.

3. DEVICES SHOWN ON PLANS SHALL NOT BE MOVED OR ADJUSTED WITHOUT THE APPROVAL OF THE ENGINEERING INSPECTOR.

4. THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE ENGINEERING INSPECTOR AND THE REGISTERED CIVIL ENGINEER.

5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE CITY ENGINEER DUE TO AN INCOMPLETE GRADING OPERATION OR UNFORESEEN CIRCUMSTANCES WHICH MAY OCCUR.

6. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC INGRESS INTO AREAS THAT ARE UNSAFE OR NOT POTENTIALLY UNSAFE.

7. ALL EROSION CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON.

8. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORK DAY.

9. ALL REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE (5) DAY RAIN PROBABILITY FORECAST EXCEEDS FORTY PERCENT (40%), SILT AND OTHER DEBRIS SHALL BE REMOVED AFTER EACH RAINFALL.

STORMWATER POLLUTION CONTROL BMP NOTES

1. FOR STORM WATER POLLUTION CONTROL PURPOSES, ALL IMPERVIOUS SURFACES INCLUDING ROOF DRAINS SHALL DISCHARGE INTO DRAINS AND LANDSCAPE AREAS PRIOR TO COLLECTION AND DISCHARGE INTO THE STREET AND/OR INTO THE PUBLIC STORM DRAIN SYSTEM.

2. GRASS AND LANDSCAPE AREAS DESIGNATED FOR STORM WATER POLLUTION CONTROL SHALL NOT BE MOVED WITHOUT A PERMIT FROM THE CITY.

3. ALL IMPERVIOUS AREAS WITHIN THE SITE SHALL DRAIN TO APPROVED WUP/BMP FACILITIES AND/OR TO RAIN OF LANDSCAPED AREAS WITH ADEQUATE GROUND COVER PRIOR TO DISCHARGE FROM THE SITE. ALL IMPERVIOUS AREAS MUST SLOPE TOWARD THE APPROVED WUP/BMP FACILITIES AND/OR TO RAIN OF LANDSCAPED AREAS.

4. NO DRAINS SHALL BE INSTALLED IN HARDSCAPE, DRIVEWAYS, OR ANY OTHER IMPERVIOUS AREA UNLESS DRAIN FROM THE DRAIN DISCHARGES TO AN APPROVED WUP/BMP.

5. DRIVEWAYS SHALL HAVE A MINIMUM 2% CROSS SLOPE TOWARD THE WUP/BMP AREA OR HAVE ANOTHER APPROVED DRAINAGE SYSTEM THAT IS DESIGNED TO COLLECT RUNOFF AND DISCHARGE IT TO AN APPROVED WUP/BMP.

6. ALL STORMWATER WUP/BMP FACILITIES SHOWN HEREON SHALL NOT BE MOVED OR ALTERED WITHOUT A PERMIT FROM THE CITY. 7. THE INSTALLATION OF ADDITIONAL WUP/BMP SURFACES NOT SHOWN ON THIS PLAN MAY BE REQUIRED IF THIS PLAN IS REVISED OR IF A SEPARATE ENGINEERING PLAN IS REQUIRED.

8. ALL EXISTING AND PROPOSED TRASH ENCLOSURES SHALL BE INSTALLED TO COMPLY WITH STORM WATER BEST MANAGEMENT PRACTICE REQUIREMENTS. THE TRASH ENCLOSURES SHALL HAVE AN IMPERVIOUS, NON-COMBUSTIBLE ROOF THAT WILL ALLOW RAINFALL WATER TO ENTER THE ENCLOSURE. THE ENCLOSURE SHALL BE LEAK-PROOF AND LOCKED IMMEDIATELY USE. A DRAIN SHALL BE INSTALLED AT ALL OPENINGS TO ALLOW IN ANY LOCATIONS THAT ESCAPE FROM THE DRAINAGE AND TO PREVENT ANY FLOW OF STORM WATER THROUGH THE TRASH ENCLOSURE. THE TRASH CAN BE CONSTRUCTED HERE AND LEFT TO ALLOW RAINFALL OF THE DRAINAGE IN AND OUT. THE ENCLOSURE SHALL BE SELF-CLEANING OR MAY HAVE A DRAIN THAT DISCHARGES THROUGH AN APPROVED SIZED SELF-CLEANING DRAIN SYSTEM AND IS THEN FILTERED THROUGH A SELF-CLEANING HORIZONTAL FILTER AND DISCHARGED INTO THE PUBLIC STORM DRAIN SYSTEM. NOT TO PLANTERS OF THE STORM DRAIN SYSTEM. A SEPARATE BUILDING PERMIT MAY BE REQUIRED FOR THIS SYSTEM.

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**STORMWATER POLLUTION CONTROL BMP NOTES
RELATIVE TO CONSTRUCTION ACTIVITIES**

CONCRETE WASHOUT
CONCRETE SHALL BE ESTABLISHED AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS ILLEGAL TO WASH CONCRETE, SLURRY, MORTAR, GROUT, OR ANY OTHER MATERIALS INTO ANY DRAINAGE CHANNELS OR DRAINAGE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.

CONSTRUCTION SITE ACCESS
A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES CROSS AND CROSSED TO AND FROM THE CONSTRUCTION SITE. ACCESS SHALL INCLUDE USING MATERIAL SUCH AS 3" THICK RIGID AND/OR CORRUGATED STEEL PANELS/PLATES.

CONSTRUCTION VEHICLES
CONSTRUCTION VEHICLES SHALL BE DESIGNED FOR CONSTRUCTION VEHICLES PARKING. VEHICLE REFUELING AND ROUTINE EQUIPMENT MAINTENANCE, ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

EROSION CONTROL
EROSION CONTROL MUST BE PROVIDED FOR ALL EROSION SURFACES SLOPED SURFACES ESPECIALLY SHALL BE PROVIDED AGAINST EROSION OF INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ASSOCIATE GRASSING COVER VEGETATION, AND BARRIERS TREE MATING.

EROSION CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON.
GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORK DAY.
ALL REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE (5) DAY RAIN PROBABILITY FORECAST EXCEEDS FORTY PERCENT (40%), SILT AND OTHER DEBRIS SHALL BE REMOVED AFTER EACH RAINFALL.

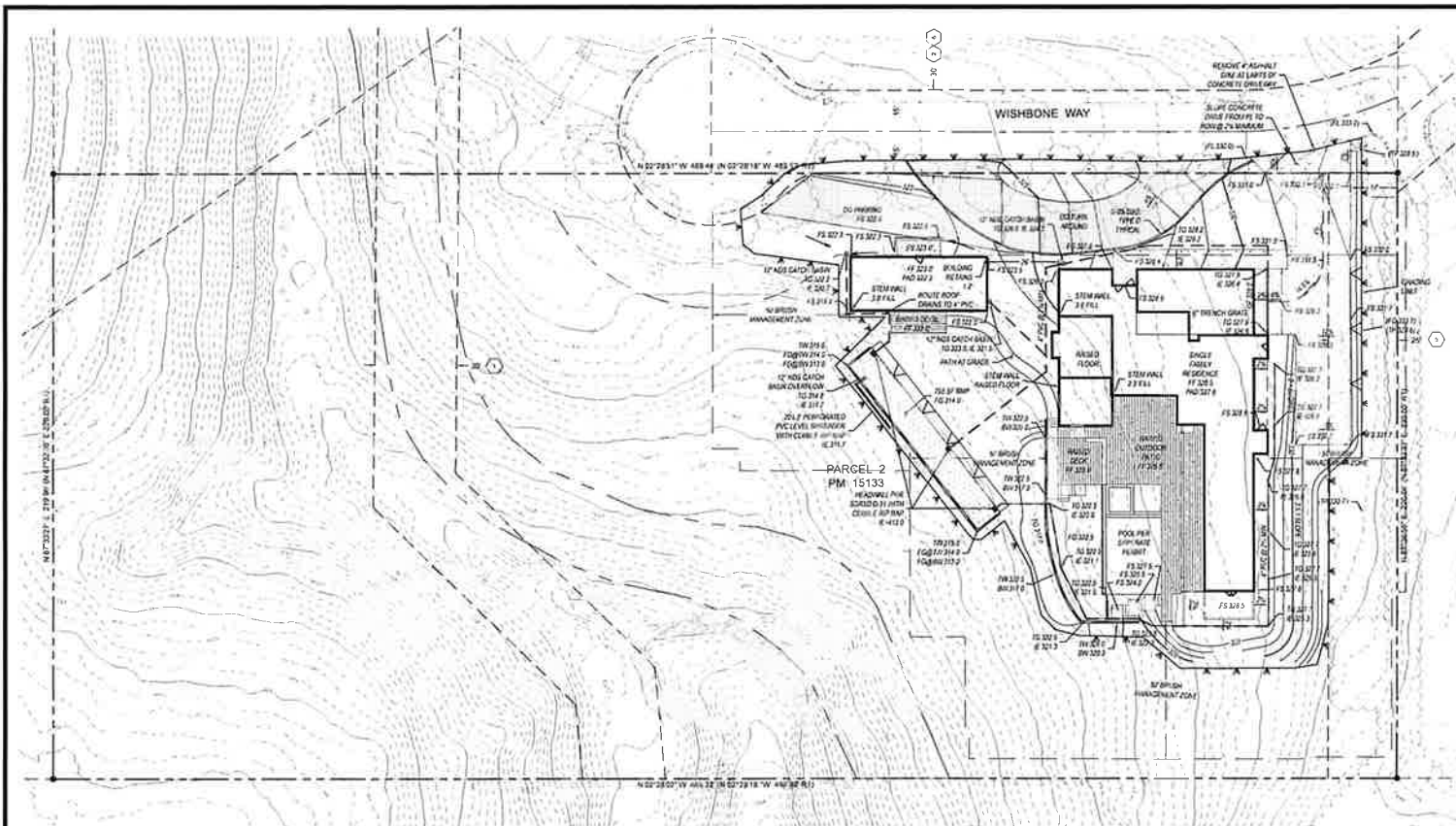
DIVERSION DICES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION SITE. CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES. REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GRASS COVER. DO NOT REMOVE TREES OR SHRUBS UNLESS NECESSARY; THEY HELP DECREASE EROSION.

TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL PURPOSES. EROSION SLOPES BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL VEGETATION TO SHIELD AND BIND THE SOIL.
PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE, ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.

WATER USAGE FOR DUST CONTROL SHALL BE MINIMIZED.
ON-SITE CONSTRUCTION MATERIAL STORAGE
STORMWATER MATERIALS SHALL BE STORED IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL STORE THESE PRODUCTS IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE.

TRAINING
CONTRACTOR'S EMPLOYEES WHO PERFORM CONSTRUCTION IN THE CITY OF ENCINITAS SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF ENCINITAS STORMWATER POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNER AND THE CONTRACTOR MUST REVIEW SUBCONTRACTORS ABOUT SUBWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.

WASTE MANAGEMENT
CONTRACT

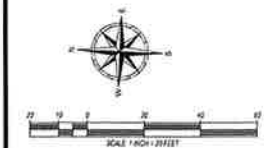


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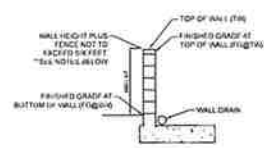
- PROPOSED FENCE
- ROOF OF WALL LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING CONTOUR LINE
- PROPOSED SETBACK
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PERMANENT BMP AREA SEE DET 115 SH
- PROPOSED CONCRETE
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED GRAVEL OVERLAY
- PROPOSED DO PATH
- PROPOSED ASPHALT
- CENTERLINE OF ROAD
- PROPOSED CONDUIT LINE
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- PROPOSED PVC STORM DRAIN
- PROPOSED #4 METAL DRAIN
- PROPOSED #12 CATCH BASIN
- PROPOSED FLOWLINE

IMPERVIOUS, PERVIOUS AND TREATMENT AREAS

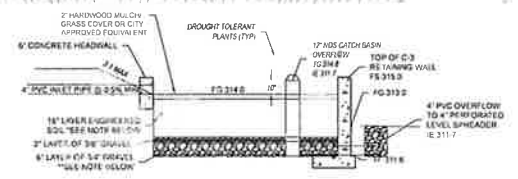
PAVEMENT TYPE	BMP AREA (SF)
IMPERVIOUS PAVEMENT BUILDINGS	9,482 SF
PERVIOUS LANDSCAPE AREA	19,485 SF
TOTAL AREA	28,967 SF
REQUIRED BMP AREA	190 SF
PROPOSED TREATMENT AREA	755 SF



GRADING PLAN
SCALE 1"=20'



TYPICAL WALL TYPICAL DETAIL AND CALLOUTS
NOT TO SCALE



*BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 5% SAND, 15% COMPOST OR HARDWOOD MULCH, AND 20% TOPSOIL, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.

** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 6" THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL DEPRECEASED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE.

BIORETENTION AREA DETAIL
NOT TO SCALE

C/DWG NO	DESCRIPTION	APP'D	DATE	BENCHMARK	AS-BUILT APPROVALS			DESIGNED BY	DRAWN BY	CHECKED BY	ENGINEERING DIVISION APPROVALS		CITY OF ENCINITAS - DEVELOPMENT SERVICES DEPARTMENT	DRAWING NO.	
					DATE	APP'D	DATE				RECOMMENDED	APPROVED			SEALING PLAN TYP.
				DESCRIPTION: WELL MOVEMENT IN THE CENTER OF THE SOUTHEAST END OF A BUILDING - 10'-5" x 5'-0" OF 500 BUREAU STAMPED "TOP 21554" POINT NUMBER 1011, CALLED 1350-003 AS SHOWN ON CITY OF ENCINITAS CONTROL NO. 18416 ELEV. 369.542 DATUM: MGS02	BRIAN ANDINO	DATE		PLANS PREPARED UNDER SUPERVISION OF				RECOMMENDED: STEVEN NOWAK	APPROVED: JILL T. BANKSTON ACTING CITY ENGINEER	WISHBONE WAY APN: 264-222-33-00	LOEV-XXXXX-2021
								<i>[Signature]</i>	R.C.E. NO: 71851					SHEET OF 3	



BASKIN, GILBERT, ANDY, PRESIDENT
 PHONE NO. 858-259-8212 // BASKIN@GMP-LSAENGINEERING.COM

LANDSCAPE EFFICIENCY BMP NOTES

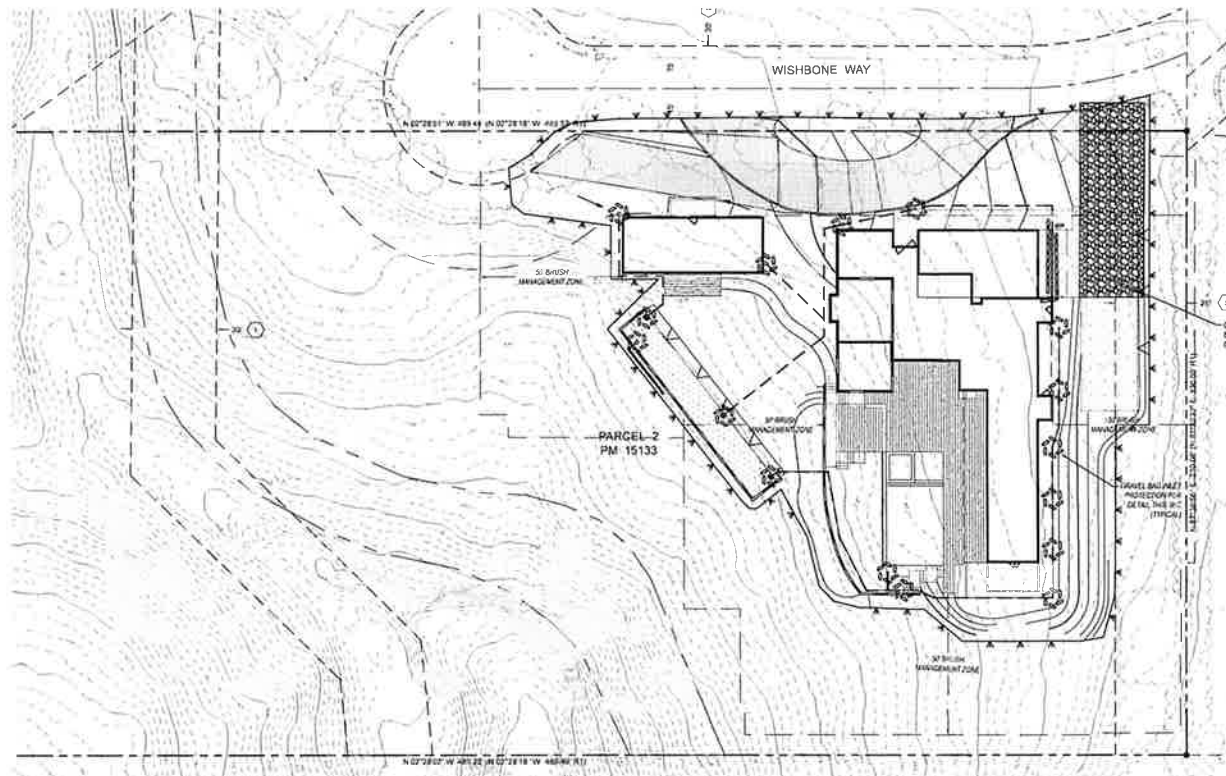
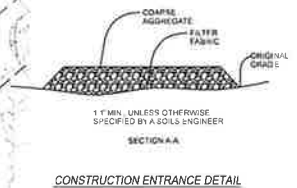
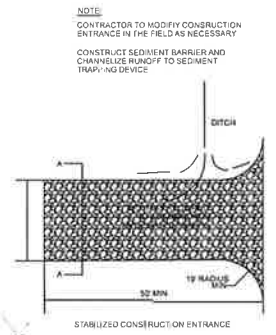
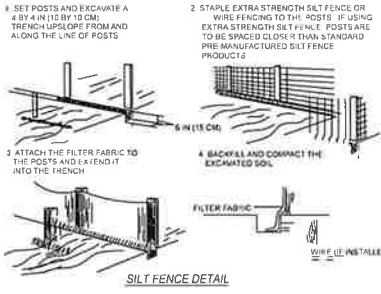
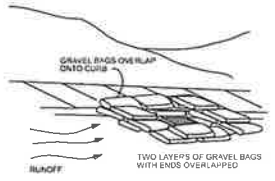
1. ROUTINE INSPECTION TO GUARD AGAINST RUNOFF AND EROSION AND TO DETECT PLANT OR IRRIGATION SYSTEM FAILURE
2. REPLACEMENT OF DEAD Dying AND DISEASED VEGETATION
3. ERADICATION OF INVASIVE SPECIES
4. MAINTAINING THE IRRIGATION SYSTEM AND ITS COMPONENTS WHEN REQUIRED
5. REPLENISHING MULCH AS NEEDED
6. SOIL AMENDMENT WHEN NECESSARY TO SUPPORT AND MAINTAIN HEALTHY PLANT GROWTH
7. FERTILIZING, PRUNING AND WEEDING AND MAINTAINING TURF AREAS
8. MAINTENANCE TO AVOID OBSTRUCTION OF MOTORISTS VIEWS
9. OWNER WILL BE RESPONSIBLE FOR MAINTENANCE
10. USE OF A TRAP OR VISE TO RUN ALL IRRIGATION (WHATEVER BACKLUP ALLOWANCE)
11. MAINTAIN THE SYSTEM CONSISTENT WITH MAXIMUM APPLIED WATER ALLOWANCE
12. REPLACEMENT OF VEGETATION TO BE CONSISTENT WITH PLANTS "HYDROZONE"
13. MAINTAIN THE IRRIGATION SYSTEM TO NOT EXCEED MAVA (MAX APPLIED WATER ALLOWANCE)

ADDITIONAL NOTES

1. EROSION CONTROL MEASURES (E.G. BONDED FIBER MATRIX VEGETATIVE COVER, JUTE MATING) MUST BE IMPLEMENTED WHERE APPLICABLE TO PREVENT SOIL EROSION ON SITE. SEDIMENT CONTROL MEASURES (SILT FENCING, FIBER ROLLS, GRAVEL BAGS) MUST BE IN PLACE TO PREVENT ERODED SOIL FROM LEAVING SITE. MATERIALS MANAGEMENT BMP MUST ALSO BE FOLLOWED TO ENSURE NO CONTACT OF RAINWATER WITH MATERIALS THAT MAY CONTRIBUTE TO WATER QUALITY DEGRADATION DOWNSTREAM (E.G. CONCRETE OR STUCCO WASHOUT AREAS, COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE)
2. NO DIRECTLY CONNECTED IMPERVIOUS AREAS (DCIA) SHALL BE ALLOWED. DCIA MEANS STORM RUNOFF GENERATED AND CONVEYED VIA IMPERVIOUS AREAS SUCH AS ROOF, PAVED DRIVEWAY AND STREET.
3. ALL PARCELS ARE SUBJECT TO ARCHITECTURAL DESIGN GUIDELINES FOR FUTURE SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. THESE GUIDELINES ARE AVAILABLE AT CITY HALL (505 S. VULCAN AVE., ENCINITAS, CA 92024) AND ARE APPROVED AS PER PG 203-206-27.

LEGEND

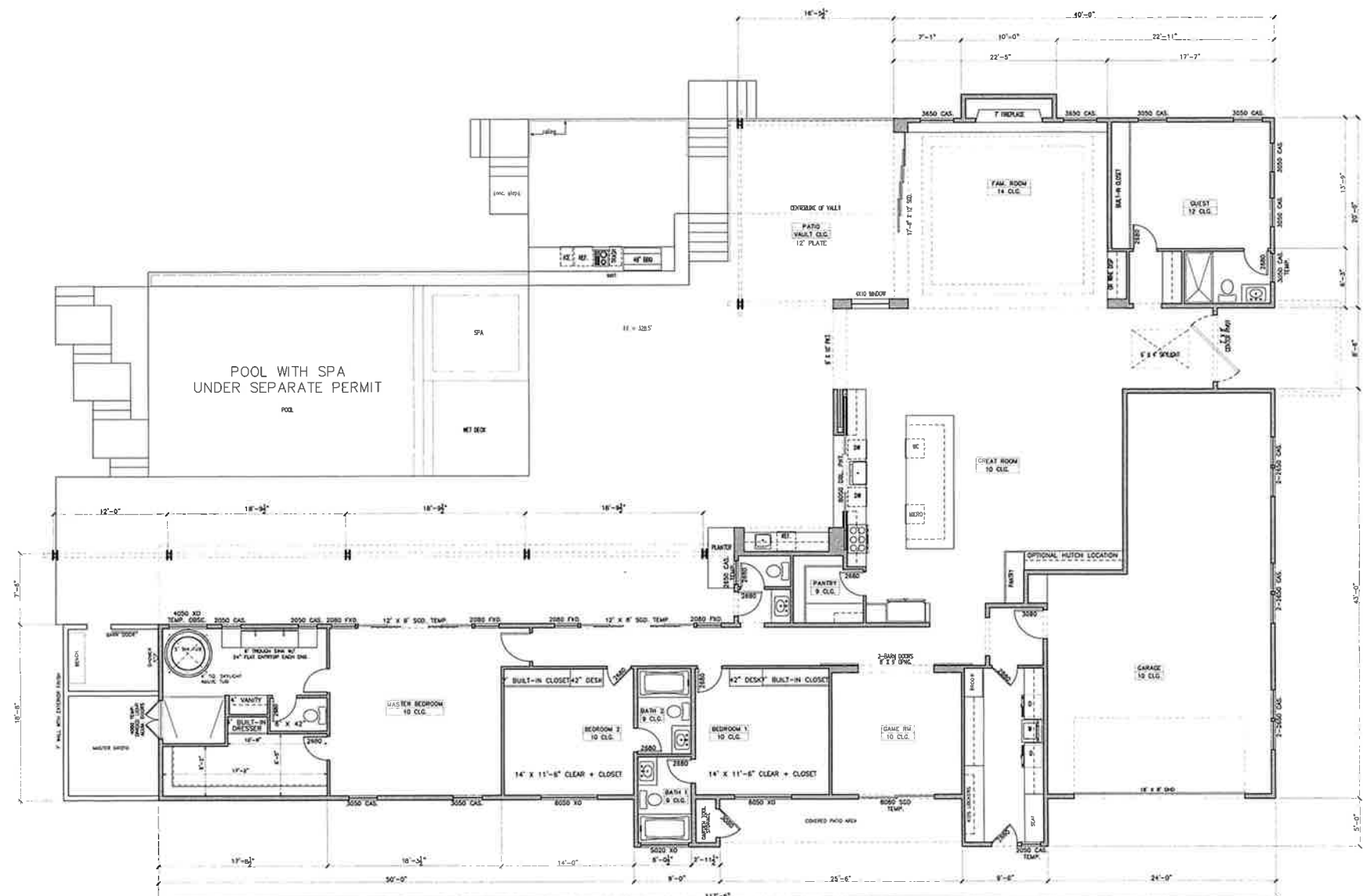
- PROPERTY LINE
- CENTERLINE OF ROAD
- PROPOSED CONSTRUCTION ENTRANCE PER DETAIL THIS SHEET
- PROPOSED GRAVEL BAG BERM
- PROPOSED SILT FENCE



DATE	DESCRIPTION	APPROVED	DATE	BENCHMARK	AS-BUILT APPROVALS	DESIGNED BY	DRAWN BY	CHECKED BY	ENGINEERING DIVISION APPROVALS	CITY OF ENCINITAS - DEVELOPMENT SERVICES DEPARTMENT	DRAWING NO.	
				BENCHMARK WILL BE LOCATED IN THE CENTER OF THE SOUTHWEST END OF A BUILT CURB-DE-SAC OF WISHBONE, SHOWN "ONE 23847" POINT NUMBER 201, CALLED "138-016" AS SHOWN ON CITY OF ENCINITAS CONTROL PLAN 2016. ELEV. 389.54'. DATUM: 621088	DATE	DATE	DATE	DATE	RECOMMENDED: STEVEN NOWAK	APPROVED: JILL T. BANKSTON, ACTING CITY ENGINEER	WISHBONE WAY APN: 264-222-33-00	LDEV-XXXXX-2021
					DATE	DATE	DATE	DATE	DATE	DATE		SHEET OF 3

PASCO KAREL, SUPERVISOR AND ASSOCIATES
 PHONE NO. 858-453-0624 // WWW.PASCOKAREL.COM/ENGINEERING.COM
 PLSA 35J2

10/23/2024 10:00 AM C:\Users\jdoyle\OneDrive\Documents\Projects\2024\10-23-2024\10-23-2024.dwg (10/23/2024 10:00 AM)



PROPOSED FLOOR PLAN
 1/4" = 1'-0"
 3,738 SQ. FT. HABITABLE
 869 SQ. FT. GARAGE



Tidwell Family Residence and Detached ADU

xxx Wishbone Way
 Folsom, CA 95634

Sheet Title
Proposed Floor Plan

Plan Prepared by: *Jan Paik*

Rev.	Date	By

Date: 10/08/21
 Scale: 1/4"=1'-0"

Sheet
A-1
 Sheet 7 of 16

Tidwell Family Residence and Detached ADU

xxx Wishbone Way,
 Encinitas, CA 92024

Sheet Title
Roof Plan
 Plan Prepared by: *Jan Pije - J.P. Co.*

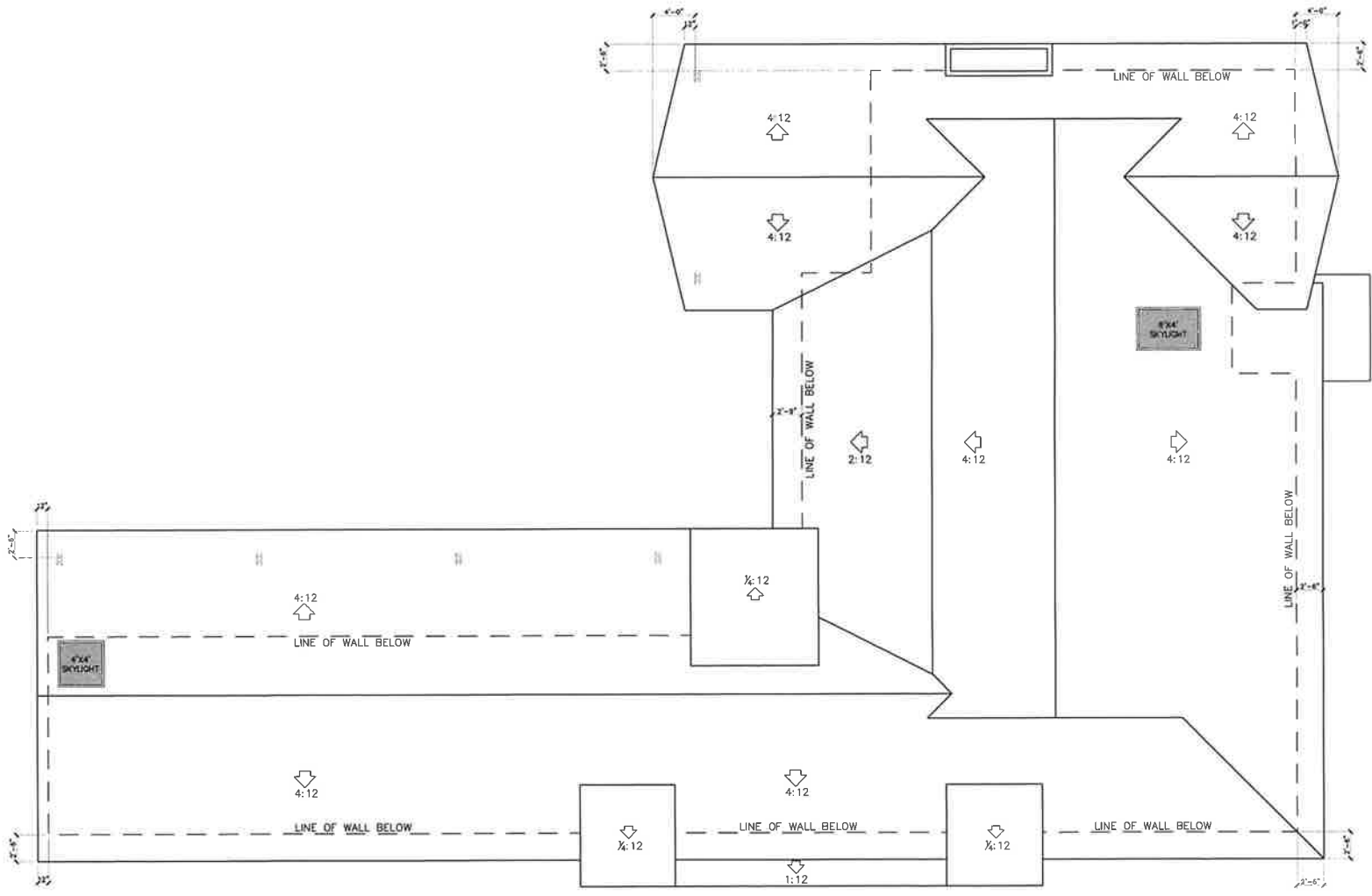
Rev.	Date	By

Date: 10/08/21

Scale: 1/4" = 1'-0"

Sheet
A-2

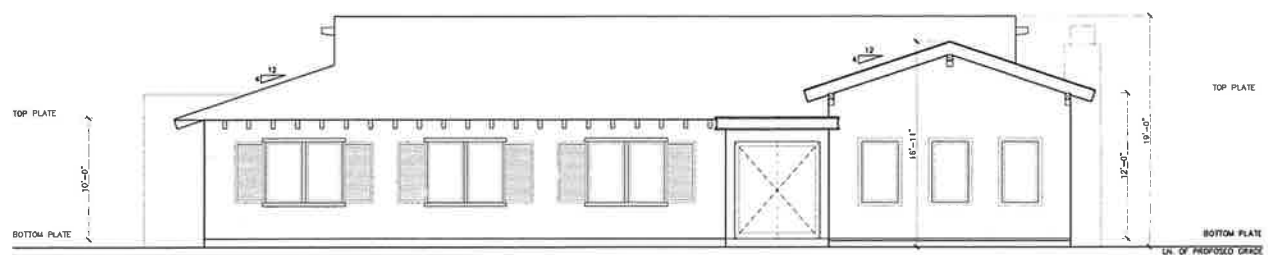
Sheet 8 of 18



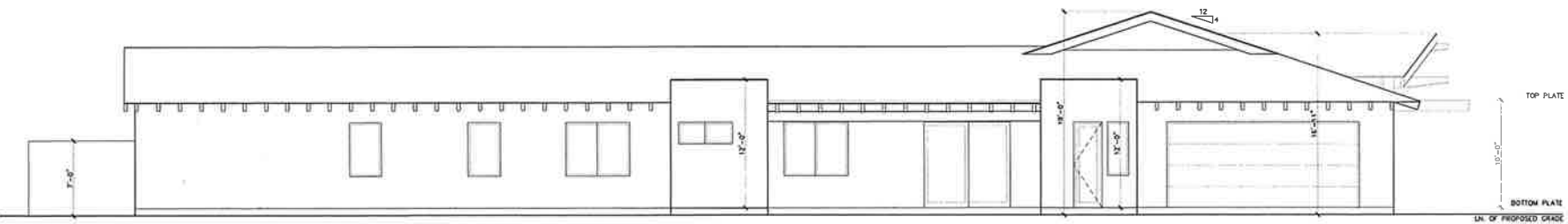
ROOF PLAN
 1/4" = 1'-0"



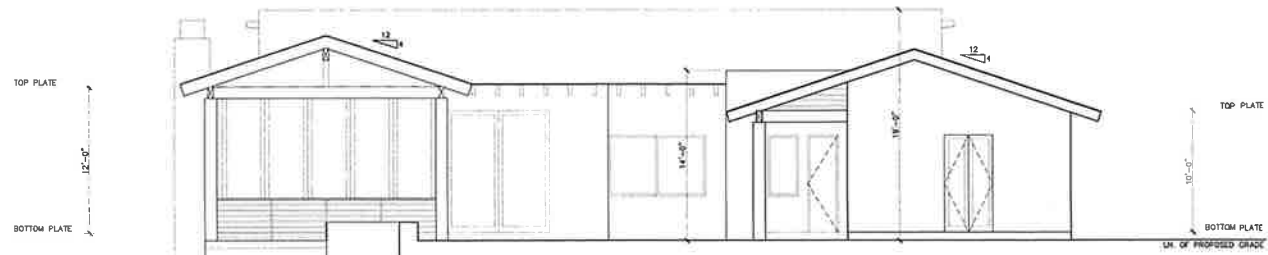
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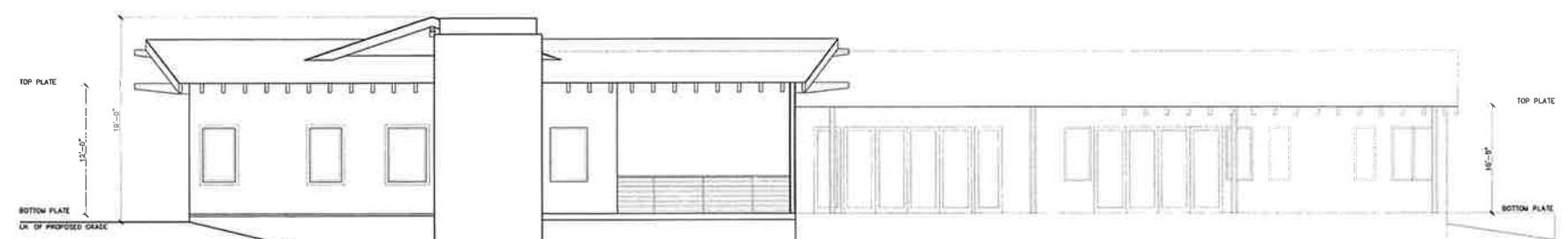
EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



Tidwell Family Residence and Detached ADU

xxx Wishbone Way,
Encinitas, CA 92024

Sheet Title: Elevations
Plan Prepared by: Ian Pric

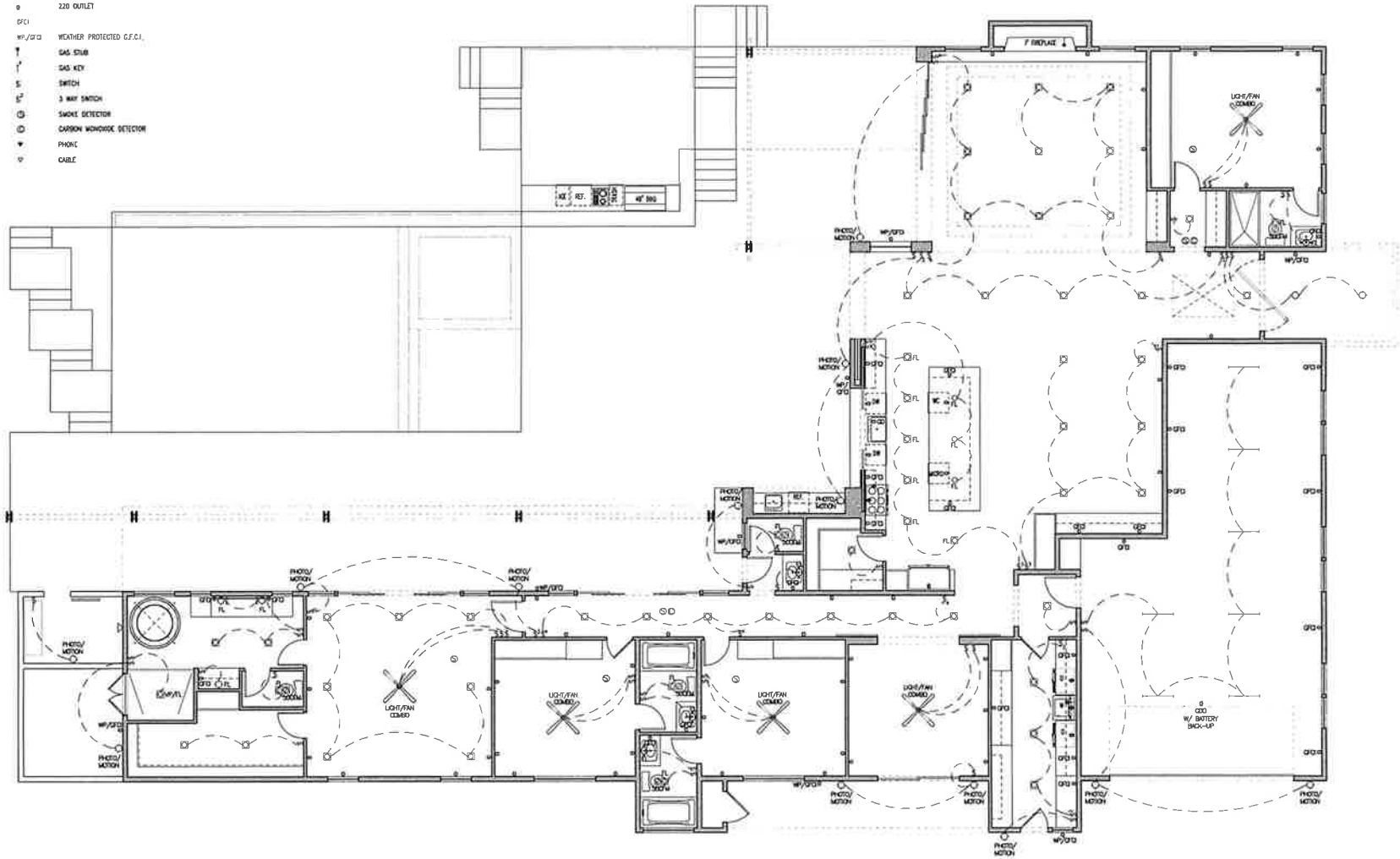
Rev	Date	By

Date: 03/08/21
Scale: 1/4" = 1'-0"

Sheet: **A-3**
Sheet 9 of 16

ELECTRICAL LEGEND

-  CEILING FAN
-  LIGHTING FIXTURE
-  CHandelier
-  PENDANT LIGHT
-  FLUORESCENT TUBE LIGHT
-  INDICATED FLUORESCENT
-  EXHAUST FAN
-  WATER PROTECTED
-  STANDARD OUTLET
-  220 OUTLET
-  WEATHER PROTECTED G.F.C.I.
-  GAS STUB
-  GAS KEY
-  SWITCH
-  3 WAY SWITCH
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  PHONE
-  CABLE



SFD ELECTRICAL PLAN
1/4" = 1'-0"



Tidwell Family Residence and Detached ADU

xxx Wraithbone Way,
Encinitas, CA 92024

Sheet Title:
SFD Electrical Plan

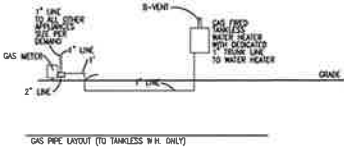
Rev	Date	By

Date: 10/08/21
Scale: 1/4"=1'-0"

Plan Prepared by: Ian Paic
MCC: E-1

ELECTRICAL LEGEND

- CEILING FAN
- LIGHTING FIXTURE
- CAN LIGHT
- PENDANT LIGHT
- FLUORESCENT TUBE LIGHT
- INDICATED FLUORESCENT
- EXHAUST FAN
- VAPOR PROTECTED
- STANDARD OUTLET
- 220 OUTLET
- WEATHER PROTECTED G.F.C.I.
- GAS STUB
- GAS KEY
- SWITCH
- 3 WAY SWITCH
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- PHONE
- CABLE



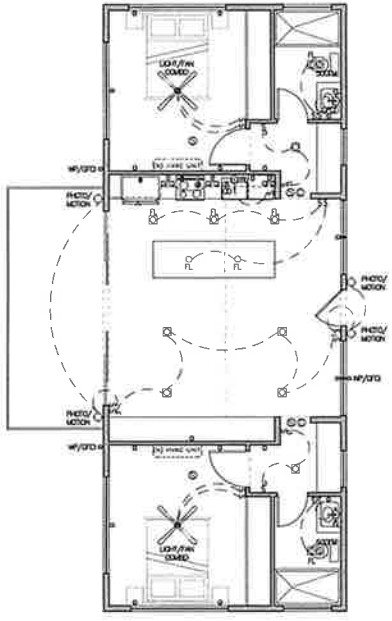
GAS PIPING SIZING BASED UPON A MIN. INPUT OF 200,000 BTU/HR.
 A CONDENSATION DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALLOWS FOR GRAVITY DRAINAGE.
 THE "B" VENT INSTALLED IN A STRAIGHT POSITION FROM THE ROOM CONTAINING THE WATER HEATER TO THE ROOF TERMINATION (FOR FUTURE POSSIBLE SIZING FOR HIGH EFFICIENCY HEATER VENTING)
 INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.
 ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED:
 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" (1-1/2" INSULATION)
 ADDITIONALLY, THE 3" HOT WATER PIPING TO THE KITCHEN SINK, AND THE COLD WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION.
 BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATERPROOF AND NON-CRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.

SHALER WILL BE A MINIMUM OF 2" SMALL APPLIANCE CIRCUITS WITHIN THE LOCATIONS SPECIFIED IN ARTICLE 210.52(B), 1- KITCHEN AND DINING AREAS.

- ELECTRICAL NOTES
- PERMANENTLY LABEL ALL CIRCUIT BREAKERS.
 - GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DEVICES ARE REQUIRED IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND OUTDOOR AREAS IN CLEAR ACCESSIBLE SPACE IN FRONT OF ALL ELECTRICAL PANELS AND DISCONNECTS.
 - SMOKE DETECTORS SHALL BE INSTALLED PER 2014 NEC.
 - IN EACH SLEEPING ROOM.
 - IN ANY ROOM OCCUPANCY LOCATED IN THE CHIMNEY OR AREA CHIMNEY EXTERIOR WALLS.
 - SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM.
 - SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM.
 - BATTERY OPERATED SMOKE DETECTORS MAY BE USED IN EXISTING SLEEPING ROOMS.
 - SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF 1 ALARM WILL ACTIVATE ALL OF THE ALARMS.
 - NEW LIST INTEROPERATION NOT MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED IN EACH SLEEPING ROOM. IT IS RECOMMENDED THAT THE SMOKE ALARMS BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
 - SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM.
 - RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH IEC ARTICLE 210.52(A).
 - INDOOR RECEPTACLES SHALL BE INSTALLED TO EACH BEDROOM OR
 - IN AT LEAST ONE 20 AMPERE BRANCH SUPPLYING ONLY BEDROOM RECEPTACLE OUTLETS.
 - FLUORESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS WITH A MAXIMUM LENGTH OF 40 LUMENS PER FOOT.
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY VACANCY SENSOR.
 - ELECTRICAL TO VERIFY PROPER OUTLET SPACING AND LIGHTING REQUIREMENTS PRIOR TO INSTALLATION OF EACH OUTLET AND LIGHTING.
 - VERIFY ALL SWITCH, RECEPTACLE AND LIGHTING LOCATIONS WITH OWNER.
 - TAMPER RESISTANT RECEPTACLES ARE REQUIRED THROUGHOUT ENTIRE DWELLING UNIT PER THE 2014 NEC ARTICLE 400.10. TAMPER RESISTANT RECEPTACLES ALL OUTLETS NOT NOTED AS GFI MUST BE WPO OUTLETS.
 - ALL ELECTRICAL DEVICES INSTALLED IN THE DWELLING SHALL BE COMPLIANT WITH IEC ARTICLE 210 & 400 (EXCEPT RECEPTACLE TYPE FOR RECEPTACLE LOCATIONS OUTSIDE).
 - LIGHTING NOTES:
 - ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ESI TABLE 150.0-A. LIGHT SOURCES THAT ARE NOT MARKED "JAN-2018-E" SHALL NOT BE INSTALLED IN UNCLOSED LUMINAIRES. ESI 150.0(A).
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - LUMINAIRES OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET).
 - RECESSIBLE CAN LIGHT FIXTURES SHALL BE LISTED AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SMALL LAMP HOLDER. ESI 150.0(A).
 - SPD OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICIENCY, BE MANUALLY AND ON/OFF SWITCH CONTROLLED, AND HAVE BOTH MOTION SENSOR AND PHOTOCELL CONTROL. SEE ESI 150.0(A) 3 FOR ADDITIONAL CONTROL OPTIONS.
 - MECHANICAL EXHAUST AND FRESH INTAKE SHALL COMPLY WITH THE FOLLOWING (COLUMN 3, 5, 6, 7).

- SMOKE DETECTORS
- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
 - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTIC AND NOT INCLUDING CHAIR SPACES AND UNHABITABLE ATTICS IN DWELLINGS OF DWELLING UNITS WITH SHAFT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SURFACE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FLOOR BELOW THE UPPER LEVEL.
 - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OPENING OF A BATHROOM THAT CONTAINS A BATHUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.
- ALL SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF UL74. SYSTEMS AND COMPONENTS SHALL BE CORROSION RESISTANT. FIRE RESISTANT LISTED AND APPROVED IN ACCORDANCE WITH COC, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
- BATTERY OPERATED SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN EXISTING AREAS OF BUILDINGS UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE. UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR BATTERY RECHARGE WITH THE REMOVAL OF INTERIOR FINISHES (NOT ALLOWED FOR THE PROPOSED PROJECT).
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STRINGS THAT ARE NOT EQUIPPED WITH BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL HAVE A SIGNAL WHICH THE BATTERIES ARE LOW WHICH SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2014 NEC SECTION R314.
 - ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED.
 - THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF THE 2014 NEC ARTICLE 760.

- CARBON MONOXIDE DETECTORS SHALL BE LOCATED AT:
- IN EACH SLEEPING ROOM.
 - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WHICH ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
- SMOKE AND MIXTURE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034.
 - CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STRINGS THAT ARE NOT EQUIPPED WITH BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL HAVE A SIGNAL WHICH THE BATTERIES ARE LOW WHICH SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - WHERE MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - CARBON MONOXIDE ALARMS WILL BE INSTALLED ACCORDING TO THE 2014 NEC SECTION R315.



ADU ELECTRICAL PLAN
 1/4" = 1'-0"



Tidwell Family Residence and Detached ADU
 xxx Washburn Way,
 Encinitas, CA 92024

Sheet Title
 ADU Electrical Plan
 Plan Prepared by: Ian Pyle, E.C.E.

Rev	Date	By

Date: 10/08/21
 Scale: 1/4"=1'-0"

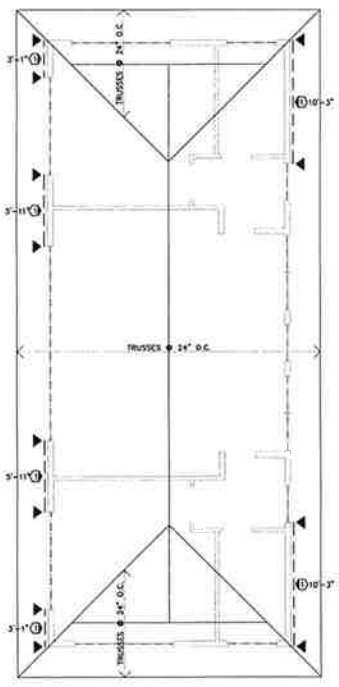
Sheet
 E-2
 Sheet 12 of 18

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

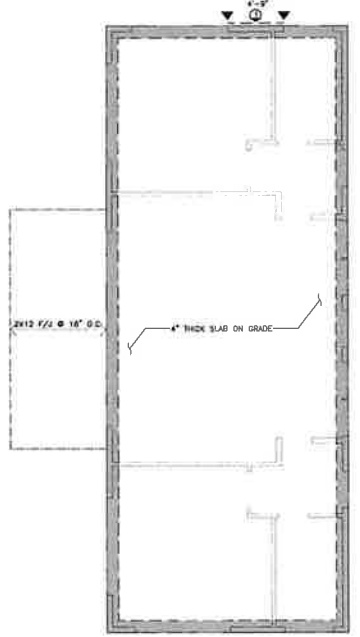
- FOUNDATION NOTES**
- CONTINUOUS FATHS PERMITS AND CONTINUOUS ANCHOR ALL ANCHORS TO BE LOCATED IN THE CENTER OF THE FOOTING. ALL ANCHORS TO BE LOCATED IN THE CENTER OF THE FOOTING. ALL ANCHORS TO BE LOCATED IN THE CENTER OF THE FOOTING.
 - FOUNDATION PLATES OR SILLS SHALL BE BOLTED TO THE FOUNDATION WITH ALL MIN. 5/8" DIA. GALV. STEEL BOLTS IN BOLDING LOCATED IN SEISMIC DESIGN CATEGORY E. BOLTS AT LEAST 2" EMBEDMENT INTO CONCRETE OR MASONRY AND NOT MORE THAN 6" SPACING.
 - ALL ANCHOR BOLTS, HOOKS, AND BOWELS SHALL BE TIED IN ACCORDANCE TO REDECS FOR EXPANSIVE SOILS AND FOR GRADING REQUIREMENTS AT THE FIRST FOUNDATION INSPECTION.
 - ALL FOOTINGS SHALL MAINTAIN MINIMUM 1" OF DRAINAGE CLEARANCE FROM THE OUTSIDE LEADING EDGE OF FOOTING TO DRAINAGE.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS (U N D).
 - ALL WOOD FRAMING MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVE TREATED.
 - ALL JOINTS SHALL BE VERIFIED WITH ELEVATION PLAN. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO WORKING.
 - ALL FOUNDATIONS SHALL BE PROTECTED WITH 1/2" OR GREATER EXCEPT: 1/2" AND GREATER STEEL BOLTS EXEMPT FROM PRESERVE TREATMENT.
 - ALL FOUNDATIONS SHALL BE PROTECTED WITH 1/2" OR GREATER EXCEPT: 1/2" AND GREATER STEEL BOLTS EXEMPT FROM PRESERVE TREATMENT.

- FRAMING NOTES**
- ROOF PITCH SHALL BE 4:12, VERIFY IN FIELD.
 - EXISTING ROOF IS CLASS 2" CONFORMING SHEET PLY (SEE 6509.11.2.1) VERIFY IN FIELD.
 - ROOF TRUSSING SHALL BE TO BE 12" WOOD TRUSS (SEE 1 INDEX FOR TRUSS DETAIL) WITH 2" X 4" BRACES AT 10'-0" ON CENTER.
 - PROVIDE MIN. 2X ROOF BLOCCING FOR DIAPHRAGM RAFTING.
 - EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED W/ SWEET METAL OR WATERPROOF BUILDING PAPER.
 - ALL ATTIC VENTILATION OPENINGS SHALL BE COVERED W/ CORROSION RESISTANT METAL W/ MIN. 1/8" OVERLAP OR 1/4" DIA. DIMENSION.
 - PROVIDE MIN. 2X ROOF BLOCCING FOR DIAPHRAGM RAFTING.
 - ALL BEARING WALLS TO HAVE DOUBLE TOP PLATE W/ MIN. 48" LAP SPICE W/ MIN. 8" END LAP SPICE.
 - ALL SHEARWALLS SHALL EXTEND TO ROOF SHEATHING.
 - ALL INTERIOR DOOR HEADERS TO BE MIN 4X4 (U N D).
 - ALL RAFTERS, JOISTS, & HEADERS TO BE DF #2 GRADE (U N D).
 - WALL STUD HEIGHTS: 8'-0" TO 8'-6" @ 16" O.C. FILE-BE MAX FOR NON-BEARING; 10'-0" TO 10'-6" @ 16" O.C. FILE-BE MAX FOR BEARING; 12'-0" TO 12'-6" @ 16" O.C. FILE-BE MAX FOR BEARING.
 - VENTS OR PROVIDE WITH MIN. 1/8" DIA. TO 1/2" ABOVE ATTIC AREA. AT EXISTING VENTS ATTIC AREA IS OVER 1/2" DIA. TO 1/2" ABOVE DORMER VENTS 1/2" DIA. TO 1/2" ABOVE ATTIC AREA = 478 SQ. FT. / 150 = 3.18 PROVIDE 4 VENTS. (CIRCLES INDICATES VENTS)
 - VENT OPENINGS SHALL BE COVERED WITH NON-COMB CORROSION RESISTANT MESH WITH SPRINGS SHALL BE 1/2" DIA.
 - ALL HANGERS SHALL BE SIMPSON "L" HANGERS (U N D).
 - FRAMING MEMBER SHALL BE PROVIDED AT THE EDGES OF ALL SHEETS IN PLYWOOD SHEARWALLS.
 - ALL EGG & BEAM TO TOP PLATE AND SILL PLATE CONNECTIONS SHALL BE SIMPSON A34 TO N D.
 - PROVIDE 3/8x24" STRIP ACROSS ALL DISCONTINUOUS DEL. TOP PLATES.
 - ALL SHEAR WALLS SHALL BE ADDED DIRECTLY TO STUDS PRIOR TO INSTALLATION OF EXTERIOR FLOORING AND TRIM.
 - ALL ROOF SHEATHING SHALL EXTEND UNDER CALIFORNIA FILL AREAS.
 - ALL PANEL EDGES OF DIAPHRAGMS ARE BACKED BY 2X OR WIDER FRAMING FLESHING.
 - WHERE TOP OF SILL PLATE ARE CUT TO FIT WITH A MINIMUM 3/4" GAP, THE JOINT SHALL BE STRIPPED SHALL NOT BE LESS THAN 1" BEHIND THE CUT TO SILL.

SYMBOL	SECTION	MATERIAL AND NAME DESCRIPTION	ANCHOR BOLT SCHEDULE	SHEAR WALLER PROVISION
⊕	200	2"x4" O.C. PLYWOOD W/ 8" MIN. O.C. EA. / 15" O.C. EA.	2" SLL W/ 5/8" DIA. ANCHOR BOLTS @ 36" O.C.	413 #10" S.E. (OR 1170 #10" S.E.)
⊕	200	2"x4" O.C. PLYWOOD W/ 8" MIN. O.C. EA. / 15" O.C. EA.	2" SLL W/ 5/8" DIA. ANCHOR BOLTS @ 36" O.C.	413 #10" S.E. (OR 1170 #10" S.E.)



ROOF FRAMING PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



Tidwell Family Residence and Detached ADU

xxx Wishbone Way,
Encinitas, CA 92024

ADU Structural Plans
Plan Prepared By: Ian Pale

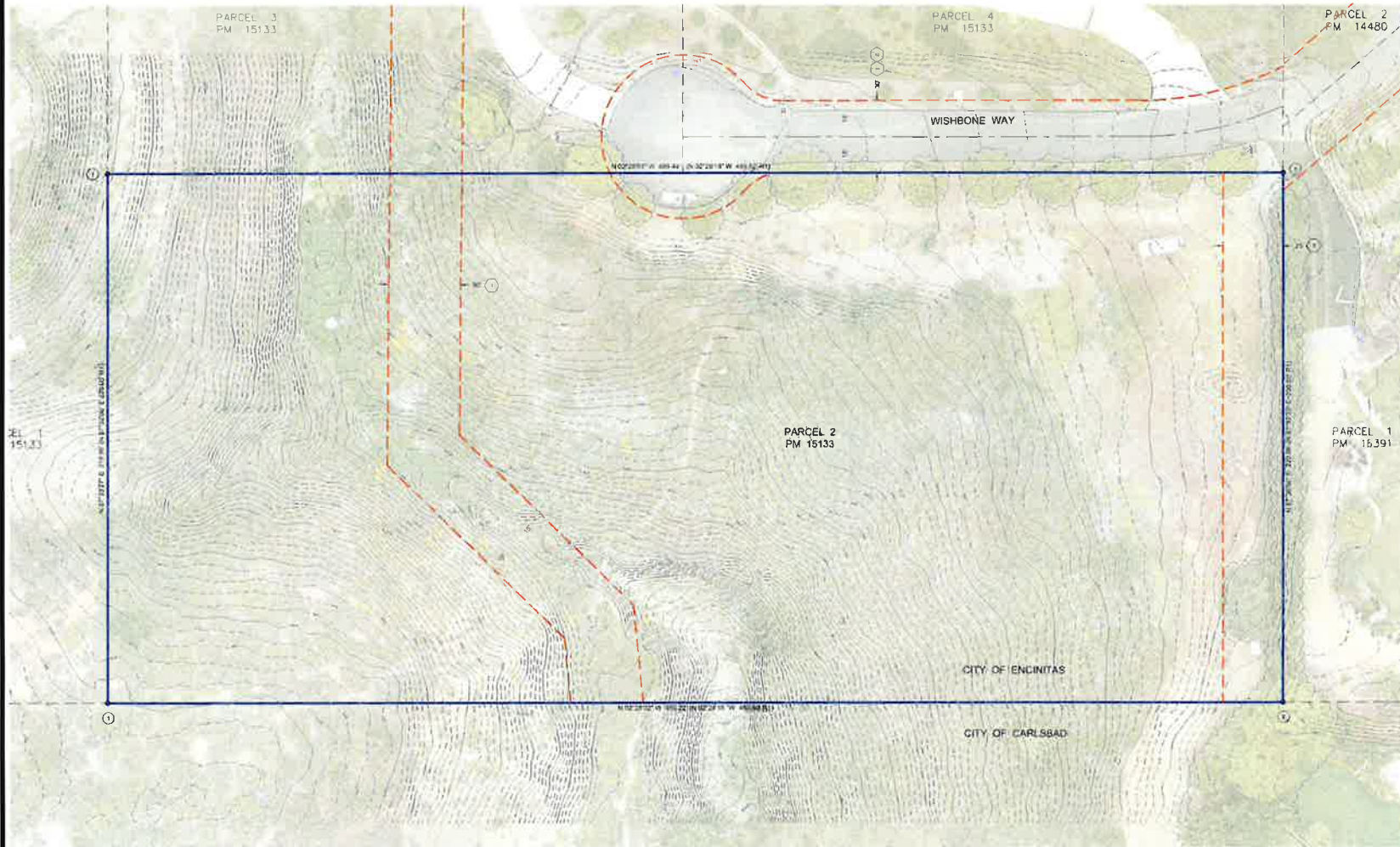
Rev	Date	By

Date: 10/06/24
Scale: 1/4" = 1'-0"

Sheet: S-3
Sheet 16 of 16

TOPOGRAPHIC SURVEY MAP -- WISHBONE WAY

SHEET 1 OF 1

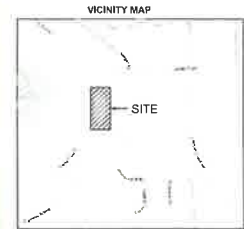


SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT ON MAY 13, 2021.
Gary D. Mellow 05/21/2021
 GARY D. MELLOW, P.L.S. 8537 DATE



PROJECT INFORMATION
 CLIENT: MICHAEL WESLOH
 ADDRESS: WISHBONE WAY, ENCINITAS, CA
 APN: 264-222-33

- SURVEY NOTES**
- THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCELS SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA AND ARE TO BE USED FOR PLANNING PURPOSES ONLY. FULL PROCEDURE OF SURVEY NOT SHOWN HEREON.
 - THE BASIS OF MEASUREMENT FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 1991.35, ZONE 8, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 1011 AND 1010 BEING A GRID BEARING OF N07°51'13"W AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 18418, CITY OF ENCINITAS SURVEY CONTROL, FILED ON 31/11/2013, 2004 AS FILE NUMBER 2004-042375 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
 - ELEVATIONS SHOWN HEREON ARE BASED ON A WELL MONUMENT FOUND IN THE CENTER OF THE SOUTHWEST CORNER OF A BUILDING 340 OF SIO BORDE, STAMPED "PCE 2396". THIS IS POINT NUMBER 1011 AND CALLED QLS-34000, AS SHOWN ON CITY OF ENCINITAS CONTROL RECORD OF SURVEY 18418, ELEVATION 399.543 (DATA M).
 4 THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON DISCOVERED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
 5 NO TITLE COMMITMENT PROVIDED.
 6 AERIAL MAPPING FLOWN MAY 13, 2021, PROVIDED BY PLSA ENGINEERING.
 7 ACCURACIES OF 8.52 CAN BE EXPECTED AS IT RELATES TO THE TOPOGRAPHICAL INFORMATION GENERATED FROM THE DIGITAL TERRAIN MODELING (DTM) INFORMATION.



ABBREVIATED LEGAL DESCRIPTION
 PARCEL 2 OF PARCEL MAP 15133, IN THE CITY OF ENCINITAS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 10, 2018.
PASCO LARET SUITER & ASSOCIATES
 San Diego | Solana Beach | Orange County
 Phone 858 259 8212 | www.pisaengineering.com

- FOUND MONUMENTS**
- FD 3/4" P BROKEN PLASTIC CAP "ILEGIBLE", ACCEPTED PER PM 15133
 - FD 1/2" PIN, CAP MISSING, ACCEPTED PER PM 8505, DN 1.0
 - FD 3/4" P W/ PLASTIC CAP "ICE 26375" PER CR 10553

- EASEMENTS OF RECORD**
- LEGADIA COUNTY WATER DISTRICT, SEWER EASEMENT, 01/13/1997, DOC 87-014603, OR
 - PROPOSED PRIVATE ROAD EASEMENT PER PM 15133
 - COUNTY OF SAN DIEGO, PUBLIC ROAD EASEMENT, 10/01/1988, BK 319 PG 304, DEEDS THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD OR.

- SAN DIEGO GAS & ELECTRIC COMPANY, PUBLIC UTILITY EASEMENT, 03/01/1988, DOC 88-04123, OR THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD
- OLIVENHAIN MUNICIPAL WATER DISTRICT, PUBLIC UTILITY EASEMENT, 07/21/1992, DOC 92-13475, OR
- PHILIP AND CYNTHIA SIMMONS ROAD AND UTILITY EASEMENT, 02/27/1991, DOC 189-0241107, OR

LEGEND

- FOUND MONUMENT AS INDICATED
- () RECORD BOUNDARY DATA AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- ADJOINING PROPERTY LINE
- - - EASEMENT LINE
- X - X - FENCE
- INDEX CONTOUR LINE
- - - INTERMEDIATE CONTOUR LINE
- ⊠ METER - WATER
- ⊙ VALVE - WATER
- ⊙ MH - SANITARY
- ⊙ DRAIN INLET
- ⊙ TREE
- ⊙ VEGETATION

