

Wellfield

P R E S T O N B R O O K

**Self-Contained
Office Building**

FOR SALE



Chester Road | Preston Brook | Warrington | WA7 3AZ

**Self-Contained
Office Building**

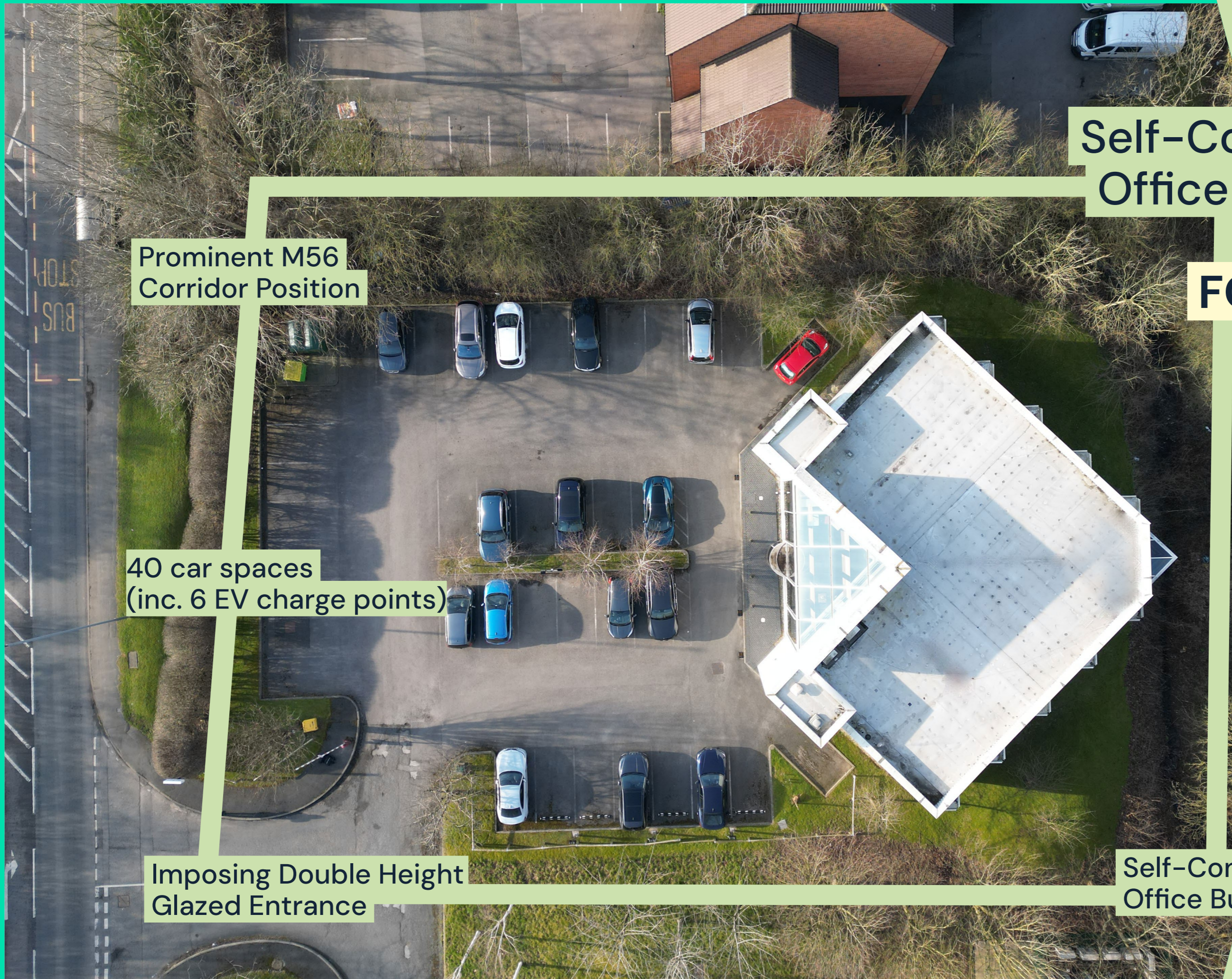
FOR SALE

**Prominent M56
Corridor Position**

**40 car spaces
(inc. 6 EV charge points)**

**Imposing Double Height
Glazed Entrance**

**Self-Contained
Office Building**



Wellfield is a contemporary, self-contained office building constructed in 2000. Originally designed and occupied by Ellis Williams Architects, it stands as a distinguished structure, reflecting a thoughtful and considered design. From its impressive double-height glazed reception lobby to the open, airy workspaces, the building offers a seamless flow, creating a harmonious balance between private and collaborative areas.

The general specification includes:

Gas fire central heating, with supplementary natural air ventilation system

Suspended LED Lighting

Under floor cable distribution

Open-plan working areas with meetings rooms at ground floor

High quality glazed partitioning

Large kitchen facility

Passenger lift for disabled access and loading

Two internal staircases

Double glazed windows

Demarcated parking for 40 cars (1:150 sq ft parking ratio)

The property serves as the current head quarter of Ellis Williams Architects who are soon to relocate providing vacant possession.



Accommodation: Measured in accordance with the RICS Code of Measuring Practice (7th Edition), the property offers the following areas:

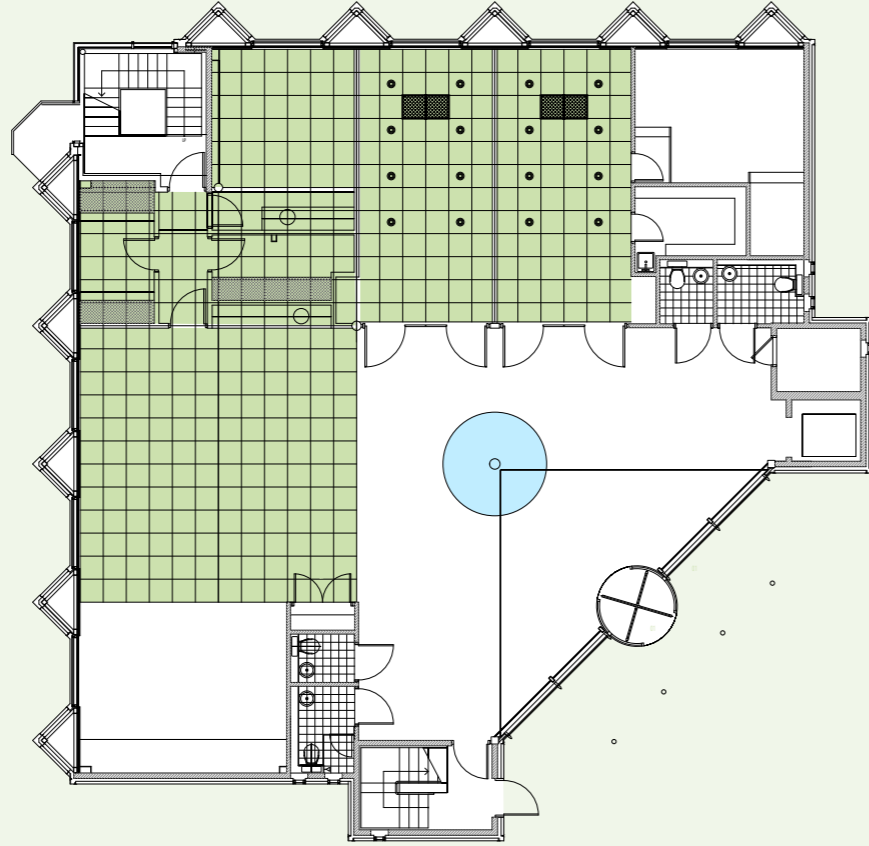
Area	Size (sqft)	Size (sqm)
Ground	3,313	307
First	2,753	255
Total	6,066	562



Ground floor

307 M²

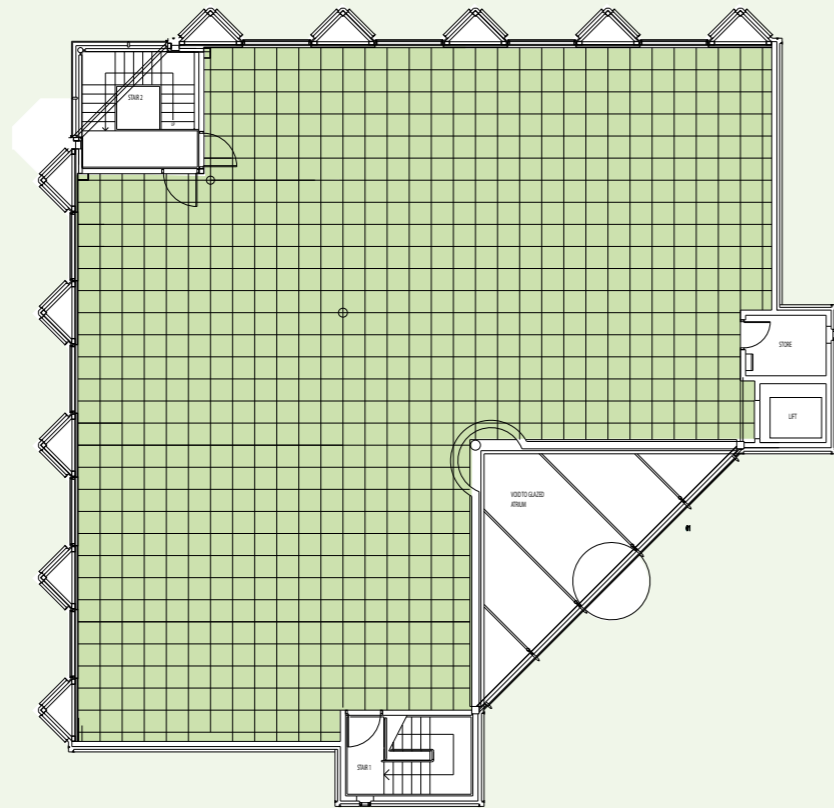
3,313 sq ft



First floor

255 M²

2,753 sq ft



Preston Brook is a well-established commercial hub that employs around 3,000 people. It is conveniently located just a short distance from Junction 11 of the M56 motorway, 26 miles (42km) southwest of Manchester, 7 miles (11km) southwest of Warrington, 16 miles (26km) northeast of Chester, and 19 miles (30km) southeast of Liverpool.

The area benefits from a prime position in central Cheshire, offering easy access to both Manchester and Liverpool John Lennon Airports, which are within a 20-minute drive. The M6 motorway (Junction 20a) is just 7 miles (11km) to the east, providing connections to the broader regional and national motorway network.

Runcorn East, located just 1 mile (1.6km) to the north, offers West Coast mainline services, linking the area to London Euston in approximately 2 hours.



WEST |  **M56**
02 mins J11
36 mins Central Liverpool
16 mins Liverpool John Lennon Airport

 **M6** | **EAST**
7 miles J20a
20 mins MCR Airport
43 mins Manchester

Situation

Wellfield is strategically located between the M56 motorway and the A56 trunk road, offering excellent visibility with dual aspects to both routes. Junction 11 of the M56 is just over half a mile (1km) to the northeast, while Junction 12 is 2 miles (3km) to the southwest.

The surrounding area is a well-established business and industrial hub, encompassing Daresbury Park, Abbots Park, and the Whitehouse Industrial Estate. These locations are home to several major companies, including Capita Business Services (O2), Teva, Unilever, Wincanton, and Cemex UK.

Local retail amenities are a short walk away, which includes a SPAR convenience store with bakery, while additional amenities such as hotels, restaurants, and a day nursery are also in the vicinity.



8 min drive to M56 (J11)
10 min drive to M6 (J12)



5 min drive to Runcorn East train station

Tenure

Freehold.

Rateable Value

Interested parties are advised to make their own enquiries direct with the local authority.

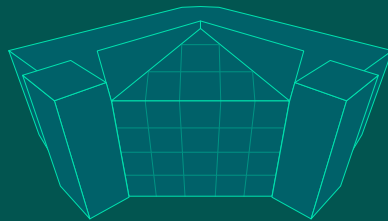
EPC

An energy performance certificate (EPC) is available upon request.

AML

Anti-Money Laundering Policy

In accordance with the anti-money laundering regulations, two forms of identification and confirmation of the source of funding will be required from the successful purchaser.



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