



Hammer Landing Center

3410-3436 W. Hammer Lane
Stockton, CA 95219



For Additional information, contact Exclusive Agent:

408.331.2308

Mark@BiaginiProperties.com

Vice President

Mark Biagini DRE#00847403

Biagini Properties, Inc.

333 W. El Camino Real, Suite 240

Sunnyvale, CA 94087

Rev. September 02, 2026

www.biaginiproperties.com



NEW EXTERIOR PAINT



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NEW LED OUTDOOR LIGHTING UPGRADED



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Property Description

Great freeway access, abundant parking around the project, lots of glass, excellent illuminated building signage plus large, illuminated monument sign on Hammer Lane.

Well maintained and professionally managed. New asphalt parking lot ADA compliant, new exterior paint, new energy efficient LED parking lot/exterior lighting and new roofs. Each space has separately metered utilities, separate HVAC units, separate restrooms, full height storefront glass, individual building signage, convenient storefront parking, most have rear doors, 100% drop t-bar ceilings with 2' x 4' drop in fluorescent light fixtures, AT & T broadband and data service available.

Location Description

Discover a prime retail leasing opportunity in the bustling Stockton market at Hammer Landing. This thriving location is surrounded by a diverse array of retail destinations and is in close proximity to major retailers including Walmart, Target, and Costco. With high visibility and easy access to main thoroughfares (I-5 at Hammer Lane and Mariners Drive), the area offers an ideal setting for retailers/offices seeking to establish a strong presence. Hammer Landing capitalizes on a robust consumer base, drawing visitors from nearby residential neighborhoods. This dynamic environment presents an unparalleled opportunity for retail tenants to thrive and capture the attention of shoppers in this vibrant market.



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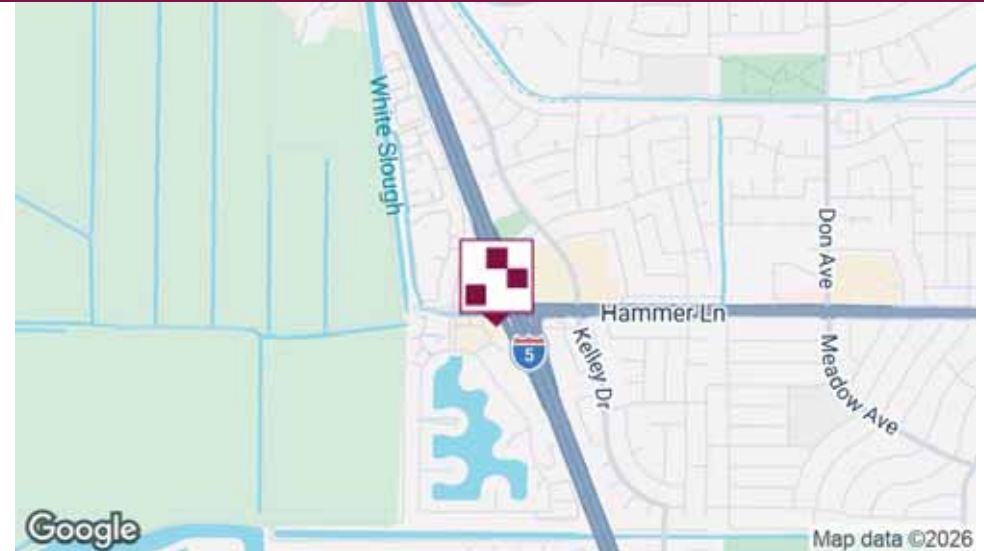
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Offering Summary

Lease Rate:	\$1.45 SF/month
Estimated NNN Charges	.69 SF/month - 2026
Number Of Units:	25
Available SF:	1,200 SF
Lot Size:	40,542 SF
Building Size:	42,689 SF

Property Highlights

- Hammer Lane at I-5 (111,000 Cars/Day ADT)
- Freeway Signage - 104,000 Cars Per Day
- Large Illuminated Monument Signage & Exterior Illuminated Building Signage
- AT & T Broadband-Voice & Data Service Available
- New Asphalt Parking Lot ADA Compliant
- New Exterior Paint
- New Energy Efficient LED Parking Lot/Exterior Lighting
- New Roofs
- Non-Fire Sprinklered Buildings



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Available Spaces

Suite	Tenant	Size (SF)	Lease Type	Lease Rate	Description
■ 3422-G W. Hammer Lane	Available	1,200 SF	NNN	\$1.45 SF/month	Currently BJJ Inside Martial Arts. ±20' W x 60' D. Features: - o Full-height storefront glass - o 100% Drop t-bar ceiling at 8' 6" AFF (Above Finish Floor) - o 2' x 4' Recessed lighting - o Large open area - o 1 ADA-compliant restroom - o Separate electrical panel rated 125 Amps; 208/120V; 3 PH; 4W - o Separate HVAC unit Availability: October 1, 2026. Please DO NOT disturb the occupant or its employees.



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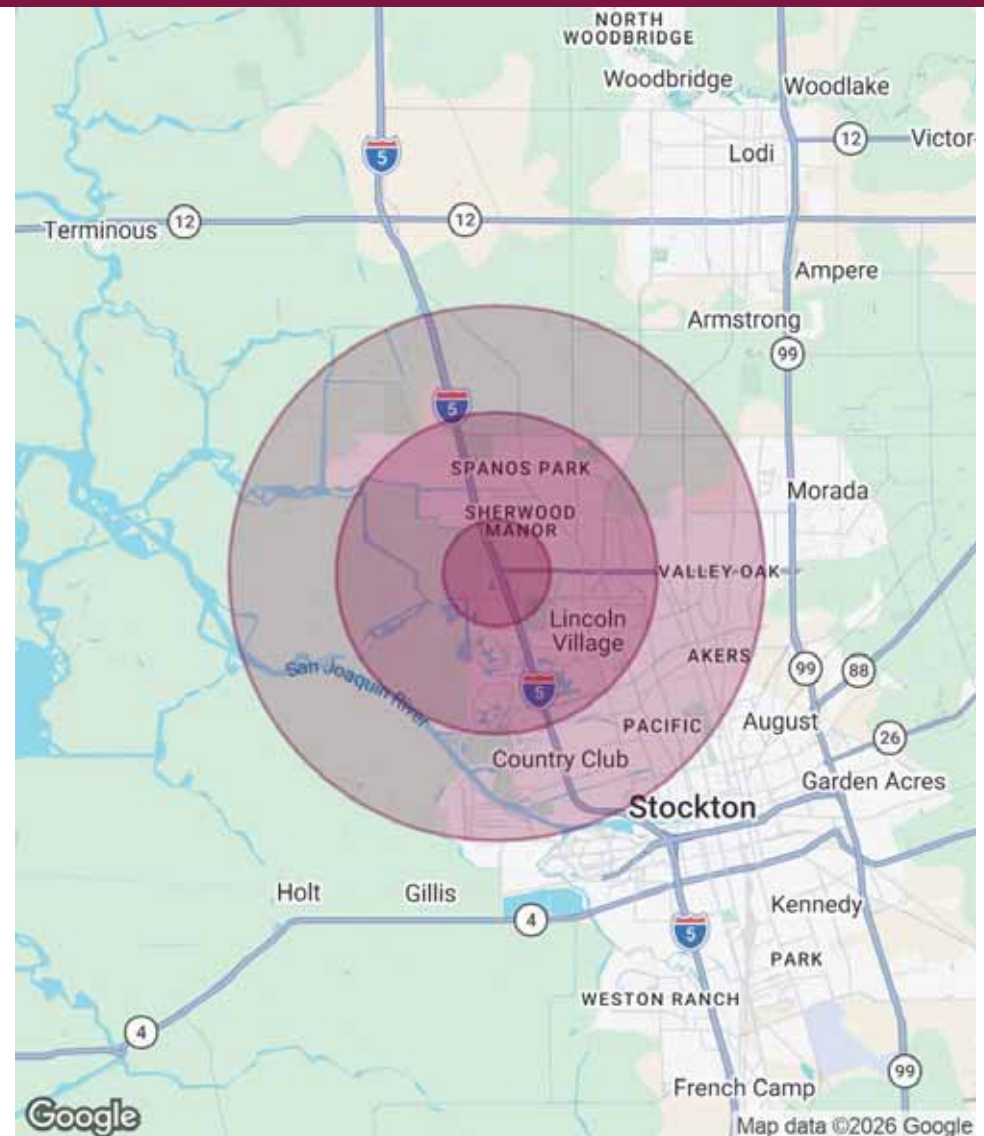
Population	1 Mile	3 Miles	5 Miles
Total Population	19,889	116,227	222,854
Average Age	35.8	36.3	35.4
Average Age (Male)	35.8	35.1	34.4
Average Age (Female)	34.9	37.5	36.4

Households & Income	1 Mile	3 Miles	5 Miles
Total Households	6,701	38,365	72,111
# of Persons per HH	3.0	3.0	3.1
Average HH Income	\$97,726	\$115,844	\$105,016
Average House Value	\$419,726	\$485,918	\$450,070

* Demographic data derived from 2020 ACS - US Census

Traffic Counts 24 Hour ADT 2018

W. Hammer Lane East of I-5	15,500
W. Hammer Lane at Rockford Avenue	29,000
W. Hammer Lane at Kelley Drive	41,600
I-5 at Hammer Lane	73,000
I-5 South at W. Benjamin Hold Drive	99,000



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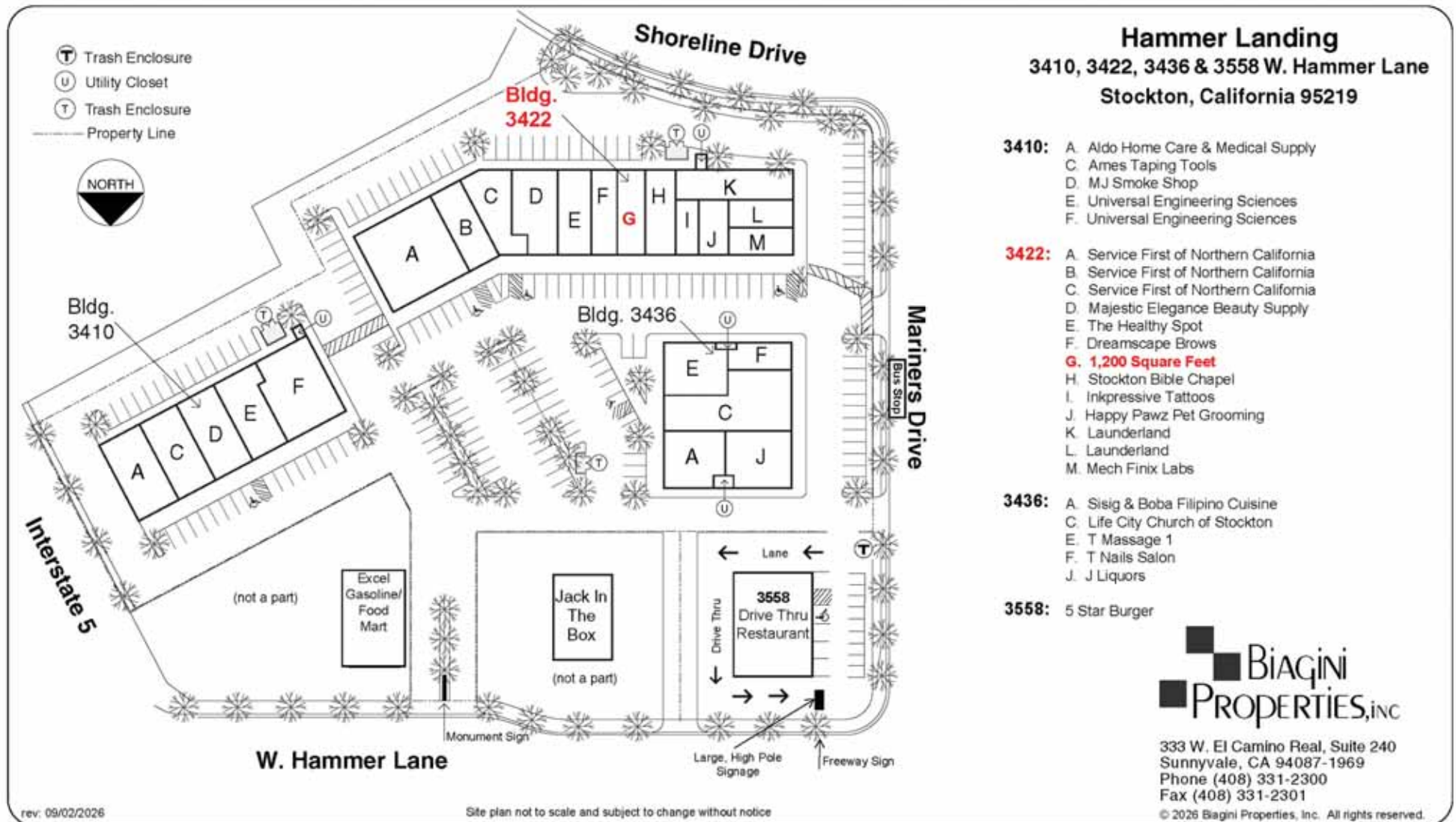
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± 1,200 Square Feet (± 20' W x 60' D)



- Full Height Storefront Glass
- 100% Drop T-Bar Ceiling at 8' 6" AFF
- 2' x 4' Recessed Lighting
- Large Open Area
- 1 ADA-Compliant Restroom
- Separate Electrical Panel rated 125 Amps, 208/120V, 3 PH, 4W
- Separate HVAC Unit
- Separately Metered Utilities
- No Fire Sprinklers

AFF = Above Finish Floor
EP = Electrical Panel

Rev. 09/02/2026

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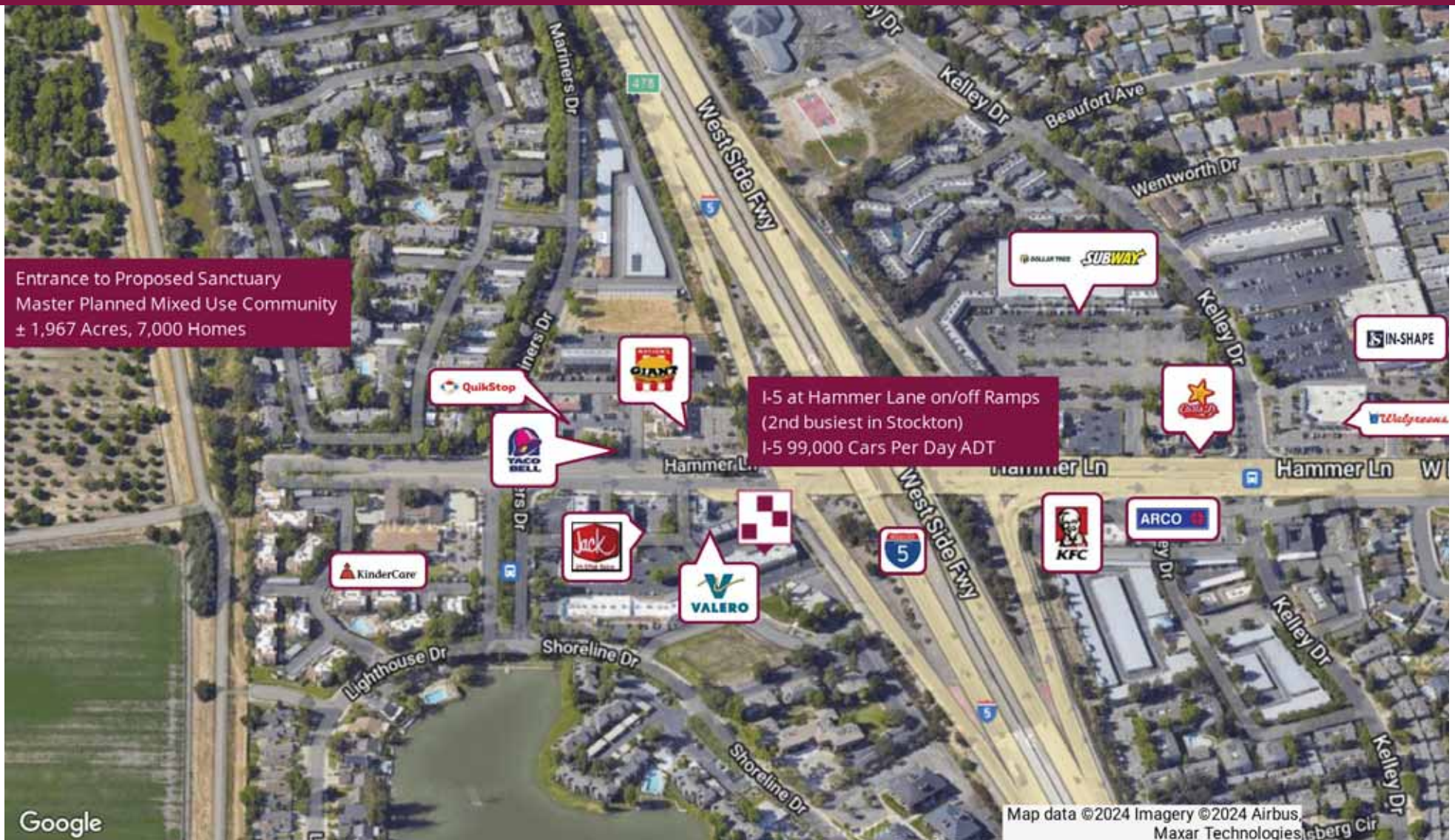
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