

RETAIL FACILITY RENOVATION

FOR:
PTS, INC.



SITE LOCATION MAP

DATE: JANUARY 10, 2020
ARCHITECTS PROJECT No. 1952

ARCHITECT:



**EGGEMEYER ASSOCIATES
ARCHITECTS**

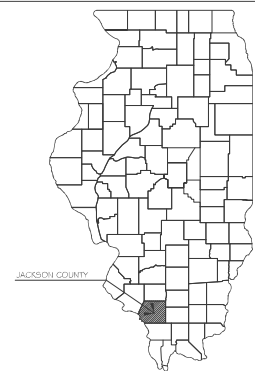
3029 South Park Ave.
P.O. Box 640
Herrin, IL 62948
IDPR 184-000255

T 618.988.2380
F 618.988.2381
eaarchitects.com

INDEX OF DRAWINGS

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STATE LOCATION MAP



SEAL



Expires 11-30-2020

Signature

JANUARY 10, 2020
Date

PROJECT No. 1952 SET No.

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PTS, INC.

Proj. No.: 1952
Drawn By: EFB
Checked By: EJK
Approved By: EJB
Date: JAN 10, 2020
Rev: FEB 6, 2020
1 By: Date:
2 By: Date:
Sheet Title:
COVER SHEET

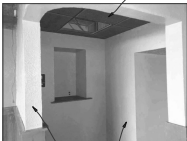
Sheet No.:
G-1
of Sheets



PIC 1



PIC 2



PIC 3



PIC 4



PIC 5

ROOM FINISH SCHEDULE									
* ONLY ROOMS AFFECTED BY WORK IN THIS PROJECT ARE INCLUDED IN THIS SCHEDULE									
ROOM No.	ROOM NAME	FLOOR	BASE	WALL FINISH			CEILING	CEILING HEIGHT	REMARKS
1	VAULT	VP	BB	PT	PT	PT	GYP. BD.	10'-0"	SEE VAULT NOTES ON A-2
2	CORRIDOR	VP	BB	PT	PT	PT	ACT	10'-0"	
3	PRODUCT PREP	VP	BB	PT	PT	PT	ACT	10'-0"	
4	P.O.S. STATIONS	VP	BB	PT	PT	PT	ACT	10'-0"	
5	BREAKROOM	VP	BB	PT	PT	PT	ACT	10'-0"	
6	SERVER LT.	VP	BB	PT	PT	PT	ACT	10'-0"	
7	OFFICE	VP	BB	PT	PT	PT	ACT	10'-0"	
8	WOMEN'S	CT	CT	PT	PT	PT	ACT	10'-0"	5
9	MEN'S	CT	CT	PT	PT	PT	ACT	10'-0"	3
10	ALL ACCESS AREA	VP	BB	PT	PT	PT	ACT	10'-0"	
11	LOBBY	VP	BB	PT	PT	PT	ACT	10'-0"	

ABBREVIATIONS
ACT: ACQUISITION CEILING TILE (TYPE NOTED)
CT: CERAMIC TILE
BB: BASE
PT: PAINT
GYP. BD: GYPSUM BOARD

REMARKS
5: CERAMIC TILE FROM FLOOR TO 60" HIGH

PROJECT GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY TO WORK WITH EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- DIMENSIONS SHOWN ARE FROM FACE OF EXISTING FINISH AT EXISTING WALLS. DIMENSIONS GIVEN ARE FOR CONTRACTOR'S GENERAL INFORMATION ONLY.
- GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES.
- PROTECT EXISTING SURFACES/EQUIPMENT FROM DUST, DEBRIS, ETC. DURING ALL CONSTRUCTION ACTIVITIES. AFTER ALL WORK IS COMPLETE, CONTRACTOR SHALL CLEAN ROOMS WHERE WORK WAS PERFORMED SO THEY ARE FREE OF ANY CONSTRUCTION DIRT AND DEBRIS.
- PAINT ALL WALLS AFFECTED BY WORK IN THIS CONTRACT FROM CORNER TO CORNER AND FLOOR TO CEILING. SAND AND PREP ALL SURFACES PRIOR TO PAINTING AND PAINT PER MANUFACTURER'S RECOMMENDATIONS. REPAIR ALL NAIL POPS, DIMPLES, SCRATCHES, AND DRILL HOLES. ALL GYP. BOARD SURFACES SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS.
- HVAC DESIGN AND LAYOUT BY OTHERS.
- BUILDING HAS A BASEMENT FOR ACCESS TO PLUMBING FROM BELOW.
- REMOVE / REPLACE EXISTING DOOR FRAME AND THRESHOLD WITH PREPARED 6-PANEL SOLID CORE WOOD DOORS WITH WOOD FRAME AND TRIM. PAINTED.

CODE REQUIREMENTS

THE FOLLOWING CODES SHALL APPLY TO THE DESIGN AND CONSTRUCTION OF THIS PROJECT:

- CITY OF CARBONDALE ZONING CODE
- INTERNATIONAL BUILDING CODE (2021 EDITION)
- NFPA 70, NATIONAL ELECTRICAL CODE, 2021 EDITION
- STATE OF ILLINOIS CAPITAL DEVELOPMENT BOARD
- ILLINOIS ENERGY CONSERVATION CODE, 2021 EDITION
- ILLINOIS ACCESSIBILITY CODE, 2021 EDITION
- STATE OF ILLINOIS, DEPT. OF PUBLIC HEALTH (IDPH)
- ILLINOIS STATE PLUMBING CODE, CURRENT EDITION
- STATE OF ILLINOIS, OFFICE OF THE CLERK OF THE SUPREME COURT
- NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
- STATE OF ILLINOIS, ENVIRONMENTAL PROTECTION AGENCY (EPA)
- USE POLLUTION BY-PRODUCTS
- NOISE POLLUTION STANDARDS
- WATER POLLUTION STANDARDS
- PUBLIC WATER SUPPLIES
- SOLID WASTE STANDARDS

LEGEND OF SYMBOLS

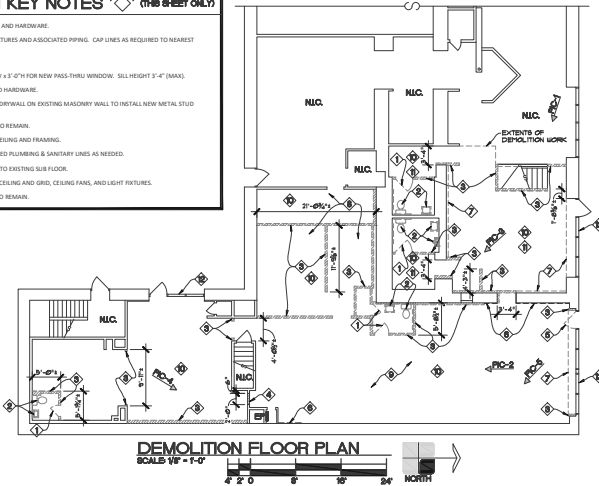
- MINIMUM ADA MANEUVERING CLEARANCES
- NUC: NOT IN CONTRACT
 - PICTURE NUMBER AND DIRECTION
 - EXISTING ELECTRICAL PANEL
 - TV: TV PROVIDED AND INSTALLED BY OWNER
 - 2x4 METAL STUD PARTITION WITH 1/2" GYP. BD. (UNPAINTED)

RENOVATION KEY NOTES 'O' (THIS SHEET ONLY)

- VAULT - SEE NOTES ON SHEET A-2
- POINT OF SALE STATIONS WITH 1/2" HALF WALLS WITH PLASTIC LAMINATE TOP AND 2x4" BASE CABS. SEE DETAIL L&A-1
- RECEPTION DESK AND COUNTER
- 1/2" PLASTIC LAMINATE COUNTERTOP
- 2x4" PLASTIC LAMINATE COUNTERTOP AND BRACKETS
- EXISTING HVAC UNIT TO REMAIN
- 2'-0" W x 8'-0" H ALUMINUM FRAME AND 1/2" GLAZING WITH SLIDING PASS THROUGH WINDOW
- PROVIDE NEW ALUMINUM DOOR FOR EXISTING STOREFRONT SYSTEM. DOOR TO SWING TO THE EXTERIOR AS SHOWN

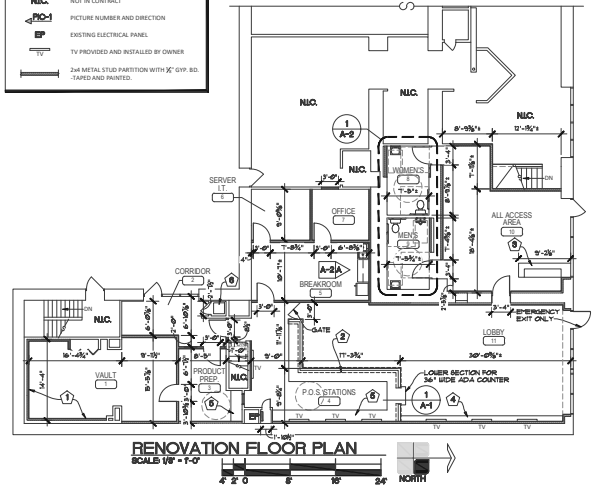
DEMOLITION KEY NOTES 'X' (THIS SHEET ONLY)

- REMOVE EXISTING DOOR, FRAME AND HARDWARE.
- REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP LINES AS REQUIRED TO NEAREST INTERSECTION.
- REMOVE EXISTING PARTITIONS.
- CREATE OPENING IN WALL 2'-0" W x 3'-0" H FOR NEW PASS-THRU WINDOW. SILL HEIGHT 3'-4" (MAX).
- REMOVE STOREFRONT DOOR AND HARDWARE.
- REMOVE EXISTING PLASTER AND DRYWALL ON EXISTING MASONRY WALL TO INSTALL NEW METAL STUD PARTITION.
- EXISTING SOFFIT AND DRYWALL TO REMAIN.
- REMOVE EXISTING GYP. BOARD CEILING AND FRAMING.
- REMOVE ALL EXISTING ABANDONED PLUMBING & SANITARY LINES AS NEEDED.
- REMOVE EXISTING FLOOR FINISH TO EXISTING SUB FLOOR.
- REMOVE EXISTING LAY-IN PANEL CEILING AND GRID, CEILING PANELS, AND LIGHT FIXTURES.
- SHOOTING STOREFRONT SYSTEM TO REMAIN.



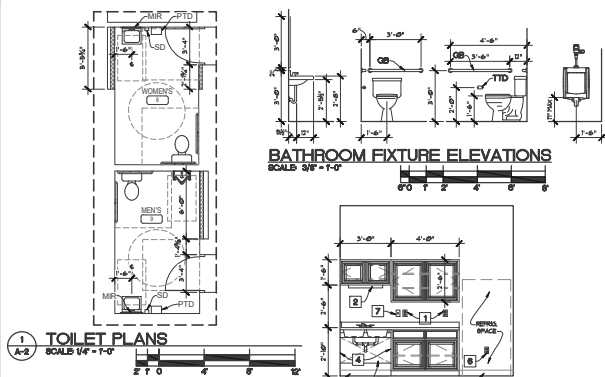
DEMOLITION FLOOR PLAN

SCALE 1/8" = 1'-0"



RENOVATION FLOOR PLAN

SCALE 1/8" = 1'-0"



ELEVATION KEY NOTES

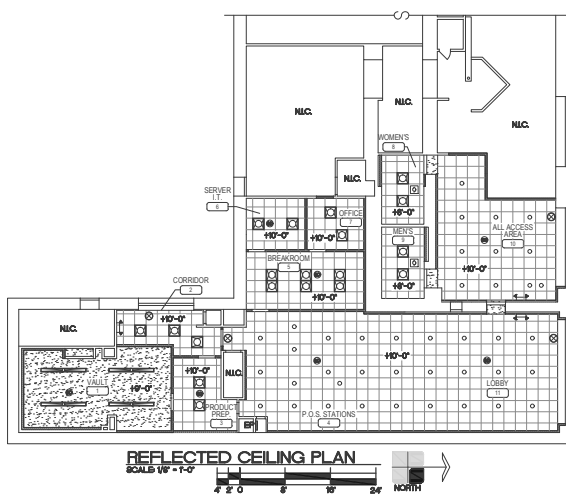
- 1 ELECTRICAL OUTLET - GFCI
- 2 LIGHT FIXTURE - UNDER CABINET MOUNTED FIXTURE
- 3 4" VINYL BASE
- 4 END PANEL - FINISHED TO MATCH CABINET FRONTS
- 5 ADA COMPLIANT BASIN GUARD
- 6 OUTLET FOR REFRIGERATOR
- 7 LIGHT SWITCH

ACCESSORIES SCHEDULE

GB	GRAB BAR
MR	MIRROR
SD	SOAP DISPENSER
TD	TOILET TISSUE DISPENSER
PTH	PAPER TOWEL HOLDER

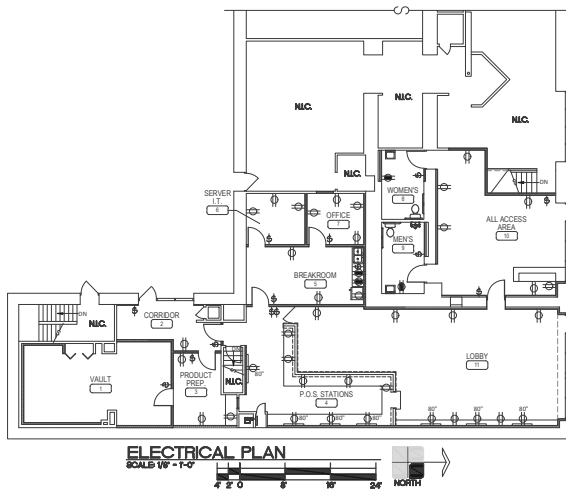


- VAULT NOTES**
1. THE VAULT MUST MEET OR EXCEED ALL EXPECTATIONS SET FORTH BY THE STATE TO MEET THE OGA REQUIREMENT FOR SCHEDULE C CONTROLLED SUBSTANCES.
 2. THE WALLS, FLOORS, AND CEILING OF THE VAULT SHOULD BE CONSTRUCTED OF 18-GAUGE STRUCTURAL STEEL MADE OF GALVANIZED SHEET METAL MEETING REQUIREMENTS OF ASTM A336, 18-GAUGE, TYPE II, CLASS 1 CARBON STEEL SECURITY MESH AND ATTACHMENT CLIPS MEETING ASTM F2387 FOR OTHER SIDE OF THE STEEL, AND AN INTERIOR COVERED BY 48 UL AND LSC CLASSIFIED, TYPE X (PER ASTM C568), IMPACT RESISTANT, MOISTURE RESISTANT, NONCOMBUSTIBLE GYPSUM BOARD TESTED TO ASTM E338.
 3. THE DOOR AND FRAME UNIT OF THE VAULT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS OR THE EQUIVALENT:
 - 90 MINUTE AGAINST BURGLARIOUS ENTRY
 - 30 MINUTE AGAINST FORCED ENTRY
 - 20 MINUTE AGAINST LOCK MANIPULATION
 - AND 20 MINUTE AGAINST RADIOLOGICAL TECHNIQUES.
 4. THE WALLS OR PERIMETER OF THE VAULT SHALL BE EQUIPPED WITH AN ALARM, WHICH UPON UNAUTHORIZED ENTRY TRANSMITS A SIGNAL DIRECTLY TO A CENTRAL STATION PROTECTION COMPANY, OR A LOCAL OR STATE POLICE AGENCY WHICH HAS A LEGAL DUTY TO RESPOND, OR A 24-HOUR CONTROL STATION OPERATED BY THE REGISTRANT.
 5. THE DOOR OF THE VAULT SHALL BE EQUIPPED WITH CONTACT SWITCHES.



LEGEND OF SYMBOLS

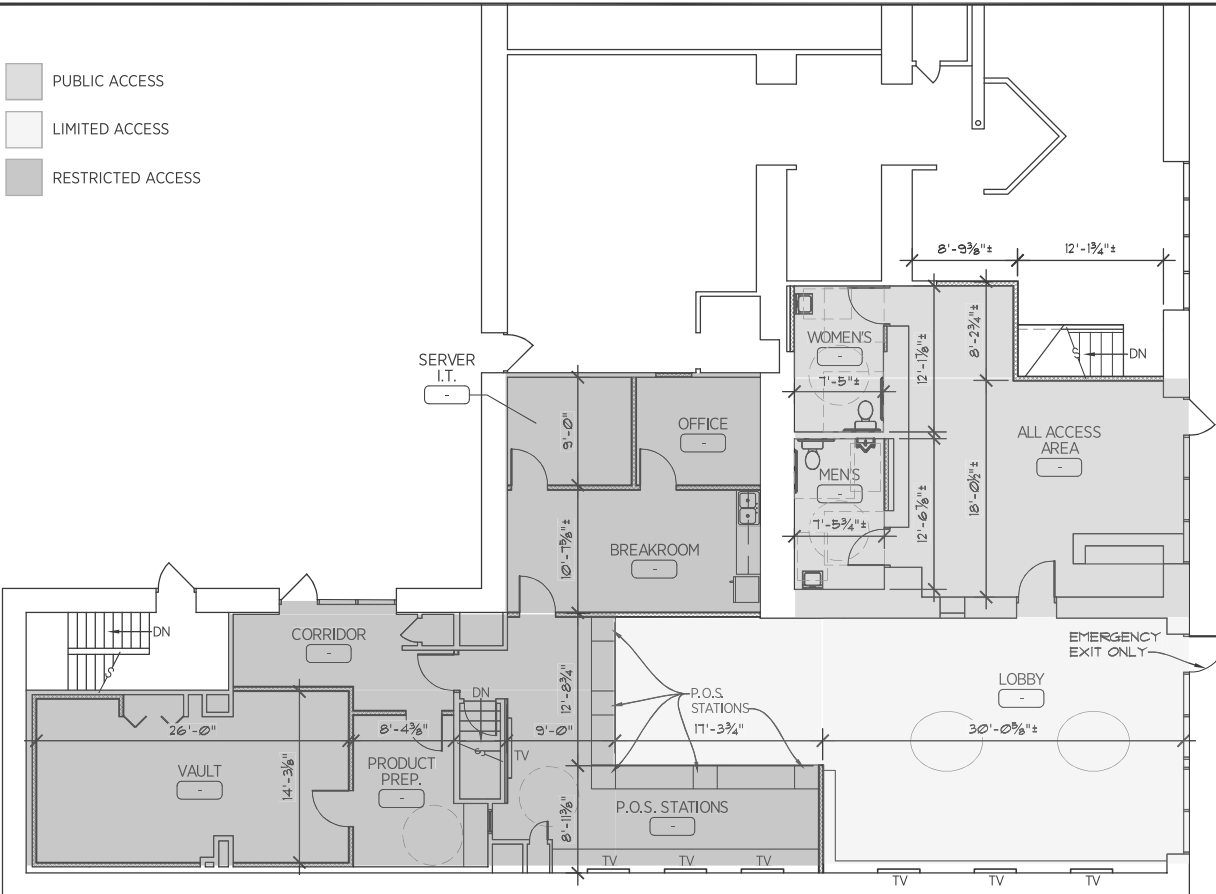
NEW SINGLE POLE LIGHT SWITCH, 120 VOLT RATED INCLUDING SINGLE GANG PLATE & BOX MOUNT AT 48" ABOVE FINISH FLOOR TO BOTTOM
NEW DUPLEX RECEPTACLE, BOX AND PLATE, 120" A.P.F. TO BOTTOM (TYP.) UNLESS NOTED OTHERWISE
NEW GFCI DUPLEX RECEPTACLE, BOX AND PLATE, HEIGHT NOTED ON PLAN
EMERGENCY LIGHTS
EXISTING ELECTRICAL PANEL - "EP"
8" LED SURFACE MOUNTED FIXTURE
2 x 2 LIGHT FIXTURE
LED DOWNLIGHT
EXIT SIGN, CEILING MOUNTED
SUSPENDED ACOUSTIC CEILING TILE & GRID
GYP. BOARD CEILING
EXHAUST FAN - COORDINATE WITH ELECTRICAL FOR CONNECTIONS. CONNECT TO EXISTING EXHAUST DUCTWORK.
CEILING ELEVATION ABOVE FINISHED FLOOR
120V SMOKE DETECTOR, HARD WIRE TO THE NEAREST POWER SUPPLY.



EGGEMEYER ASSOCIATES ARCHITECTS
435.682.2280
3070 South Park Ave.
Harris, IL 62248
EGGEMEYER ASSOCIATES ARCHITECTS

Project Name: JEFFERSON FACILITY RENOVATION
Arch. No.: 1952
Drawn By: ERS
Checked By: ERS
Approved By: ERS
Date: JAN. 10, 2020
Rev: 1
By: [Signature]
Date: [Signature]
Sheet Title: ELECTRICAL PLAN, REFLECTED CEILING PLAN, INTERIOR ELEVATIONS AND NOTES
Sheet No.: A-2
of 2 Sheets

- PUBLIC ACCESS
- LIMITED ACCESS
- RESTRICTED ACCESS



RENOVATION FLOOR PLAN

SCALE: 1/8" = 1'-0"



**EGGEMEYER
ASSOCIATES
ARCHITECTS**
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P.O. Box 640
Herrin, IL 62948
T 618.988.2380
F 618.988.2381
eggemeyer-architects.com
IDPR 184-000255

Project Title:
**CARBONDALE
RETAIL STORE**

For The:
**ARNEY
SILVESTRI**

Drawn By: ERB

Sheet Title:
**RENOVATION
FLOOR PLAN**

Sheet No.:

A-2

of 2 Sheets