



PROPERTY DESCRIPTION

The Shops at Bagdad Corner offers a premier retail destination in the rapidly expanding Leander, Texas market. This Class A neighborhood retail center showcases exceptional architectural design and meticulous craftsmanship—every element has been thoughtfully executed to create an inviting, high quality environment for both tenants and visitors. Positioned at a high growth corridor, it provides outstanding visibility, accessibility, and long term value.

PROPERTY HIGHLIGHTS

- Access to Bagdad Rd and Municipal Dr
- Up to 4,400 sf Drive Thru available for Lease or Purchase
- Parking ratio: 4.5/1000
- Shops consist of 4 Retail Buildings between 1,192sf-2,538sf suites
- Drive Thru Available

OFFERING SUMMARY

Sale Price:	Call Broker for Pricing
Lease Rate:	Negotiable SF/yr (NNN)
Number of Units:	19
Available SF:	1,192 - 9,500 SF
Lot Size:	3.12 Acres
Building Size:	Construction Delivered March 2026 (Drive Thru) Building 1 - 4,433 sf Building 2 - 8,165 sf Building 3 - 9,760 sf Building 4 - 9,184 sf

FOR LEASE / FOR SALE

THE SHOPS AT BAGDAD CORNER

1012 MUNICIPAL DRIVE, LEANDER, TX 78641



**FOR MORE
INFORMATION:**

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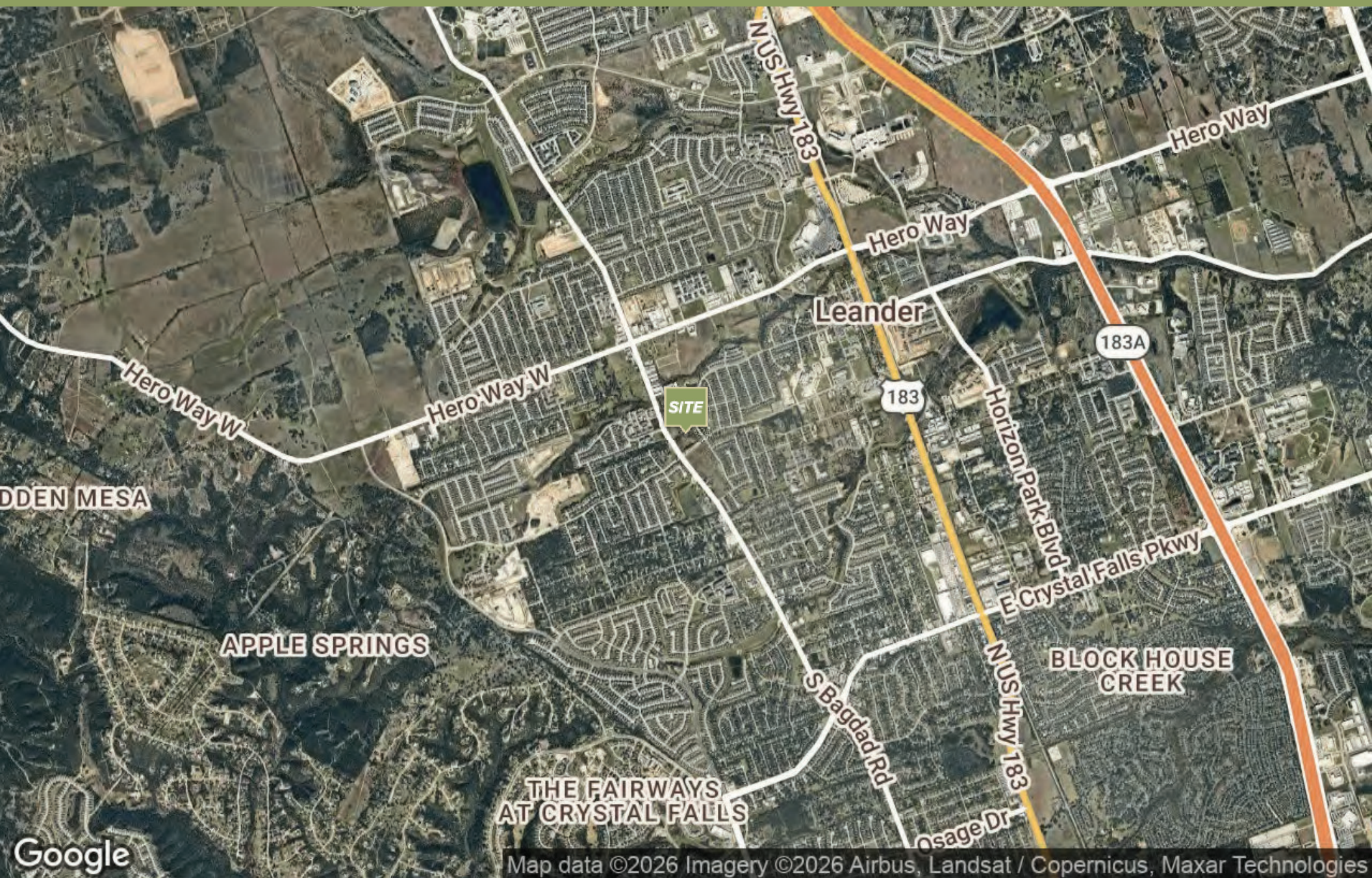
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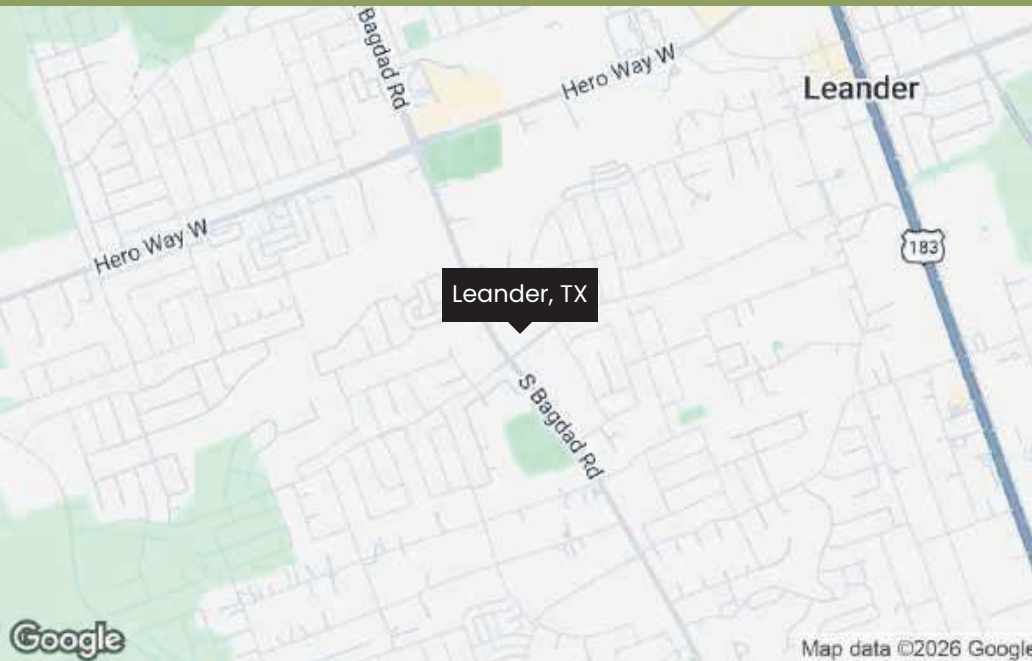
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LEANDER, TX

Explosive Population Growth:

Leander is one of the fastest growing cities in the U.S., with population increases reported at 8.62% year over year, reflecting sustained demand for retail, services, and lifestyle amenities.

Affluent Consumer Base:

Leander households have exceptional buying power, with a median household income of approximately \$140,180, significantly higher than Texas and Austin metro averages. This positions retailers to tap into a strong, discretionary spending consumer market.

Highly Educated & Family Driven Community:

The area attracts families seeking high quality schools—Leander ISD is among the fastest growing districts in the U.S., serving nearly 40,000 students across 42 campuses. This drives demand for neighborhood services, dining, health, and family oriented retail.

Strong Commuter Patterns & Mobility:

Residents report an average 30 minute commute, with the overwhelming majority traveling by car. High car dependency supports inline retail, quick service tenants, and convenience driven shopping.

Established Economic Growth & Stability:

Leander has a diversified economic environment supported by technology, manufacturing, and healthcare, with excellent regional connectivity via US 183A and proximity to booming Austin area employment centers.

High Homeownership & Long Term Residency Patterns:

With a 75.6% homeownership rate, Leander attracts stable, long term residents—ideal for retailers seeking predictable foot traffic and repeat clientele.

BUILDING 1



**FOR MORE
INFORMATION:**

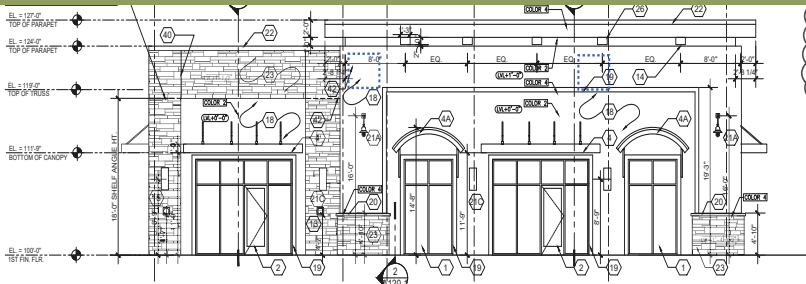
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BUILDING 1



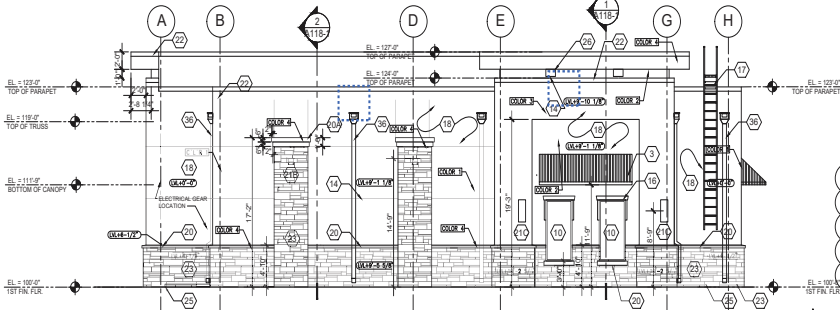
1 APPROACH-FRONT ELEVATION
SCALE = 1/8"=1'-0"

BUILDING 1

FUTURE TENANTS RTU

ELEVATION - 1
Exterior Wall Materials Calculations

Total Exterior Surface	2,262.17
Openings	426.17
Total Exterior Wall Surface	1,836.00
Exterior Stone	374.17
Stucco, 3 part finish	1,260.17
Subtotal Masonry	1,634.17
Metals	201.83
Total Exterior Wall Surface	1,836.00

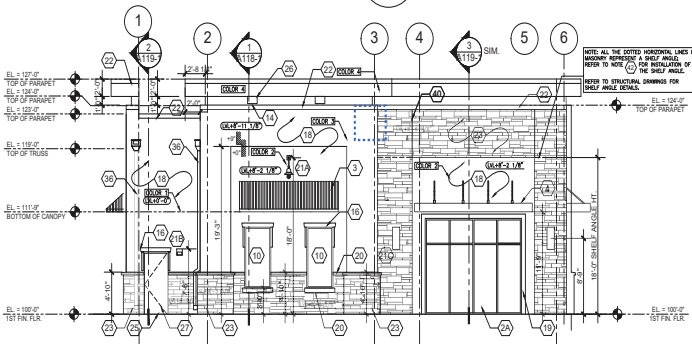


2 ROAD FACING ELEVATION
SCALE = 1/8"=1'-0"
MUNICIPAL DRIVE FACING ELEVATION

BUILDING 1

ELEVATION - 2
Exterior Wall Materials Calculations

Total Exterior Surface	2,779.17
Openings	467.17
Total Exterior Wall Surface	1,792.00
Exterior Stone	146.17
Stucco, 3 part finish	1,241.17
Metals	404.66
Total Exterior Wall Surface	1,792.00
Subtotal Masonry	1,739.17

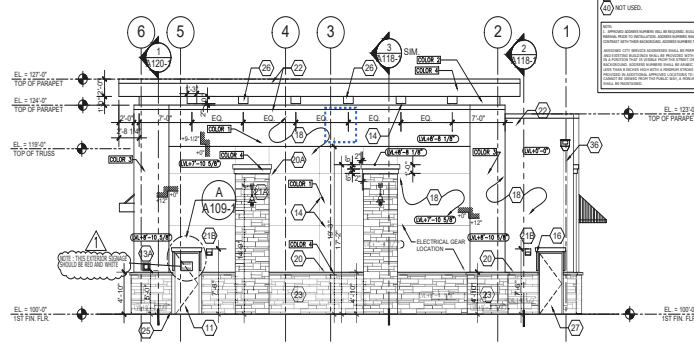


3 SIDE ELEVATION
SCALE = 1/8"=1'-0"
SOUTH-EAST ELEVATION

BUILDING 1

ELEVATION - 3
Exterior Wall Materials Calculations

Total Exterior Surface	1,539.17
Openings	225.17
Total Exterior Wall Surface	1,314.00
Exterior Stone	425.17
Stucco, 3 part finish	1,236.17
Subtotal Masonry	1,761.17
Metals	55.83
Total Exterior Wall Surface	1,314.00



4 SIDE ELEVATION
SCALE = 1/8"=1'-0"
SOUTH BAGDAD FACING ELEVATION

BUILDING 1

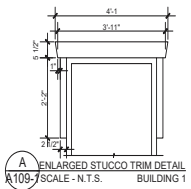
ELEVATION - 4
Exterior Wall Materials Calculations

Total Exterior Surface	1,545.17
Openings	148.17
Total Exterior Wall Surface	1,397.00
Exterior Stone	338.17
Stucco, 3 part finish	1,139.17
Subtotal Masonry	1,497.17
Metals	9.83
Total Exterior Wall Surface	1,345.17

NOTE:

- All permanent exterior lighting shall be non-flashing and shielded such that the light source is not visible from the public right-of-way or adjacent residential uses at the property line. Wall pack lighting and other lighting that directs the light in a horizontal direction without an adequate shield is not permitted if there are streets or residential uses in the direction of the light.
- All site utility lines are proposed to be located underground.
- Windows shall have a maximum exterior reflectivity of (20%) percent.

- KEYNOTE LEGEND**
- GLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - GLAZED ALUMINUM STOREFRONT PER DOOR SCHEDULE.
 - GLAZED ALUMINUM STOREFRONT PER WINDOW SCHEDULE.
 - METAL BRACKET, EXTERIOR SHEATHING AND STANDING SEAM SLOPING CANOPY ON TOP, 4" DEEP WITH SUPPORT BRACKETS; REFER ELEVATIONS FOR HEIGHTS. CANOPY SCOPES WILL BE DESIGN BY CANOPY SUBCONTRACTOR. PROVIDE TEXAS PIPE SIZES AND SEALED SHOP DRAWING.
 - 4" DEEP CANOPY DESIGN IN ALUMINUM DESIGN. REFER ELEVATION FOR HEIGHTS. CANOPY SCOPES TO BE DESIGN BY THE CANOPY SUBCONTRACTOR. PROVIDE TEXAS PIPE SIZES AND SEALED SHOP DRAWING FOR REVIEW.
 - 4" DEEP ARCHED METAL CANOPY WITH METAL BRACKET; REFER ELEVATIONS FOR HEIGHTS.
 - FIXED GLAZED ALUMINUM WINDOW PER DOOR SCHEDULE.
 - FIXED RISER ROOF DOOR.
 - NOT USED.
 - PER DEPARTMENT APPROVED INDUSTRY (DIA) (MMS) (MMS) (MMS) INTO THE WALL SYSTEM. MOUNT AT 10" OF HT. (INDUSTRY) CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL. BEFORE INSTALLATION.
 - PER DEPARTMENT APPROVED INDUSTRY (DIA) (MMS) (MMS) (MMS) INTO THE WALL SYSTEM. MOUNT AT 10" OF HT. (INDUSTRY) CONTRACTOR SHALL FIELD LOCATE WITH FIRE CODE OFFICIAL. BEFORE INSTALLATION.
 - STUCCO - GROOVE PER MANUF. SPECS.
 - INCLUDE AN APPROVED FIRE DEPARTMENT CONNECTION FOR FIRE STOP. COUSE AND SPECS. REFER TO DIAL PLANS FOR EXACT LOCATION. ALL FIRE DEPARTMENT CONNECTIONS FOR AUTOMATIC FIRE SPRINKLER WILL REQUIRE LOOKING UNDER FLOOR. CONTRACTOR TO COORDINATE THE EXACT LOCATION WITH DIAL PLANS. THE FIRE DEPARTMENT CONNECTION (FDC) NEEDS A SIGN TO ASSIST WITH IDENTIFYING ITS LOCATION. IT SHALL HAVE A RED BACKGROUND WITH WHITE LETTERS THAT READ "FDC". IT SHALL BE INSTALLED HIGH ABOVE THE CONNECTION AS TO NOT BE OBSTRUCTED BY VEHICLES, LANDSCAPE, ETC.
 - 1/2" STUCCO TOP TRIM W/ 2" DEEP TRIM. USE ELEVATION.
 - WOOD ACES/LINER PER BUILDERS SPECS. SEE A BARRIER MANUFACTURERS RECOMMENDATIONS AND DETAILS.
 - 1/2" STUCCO BEAD. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
 - 1/2" STUCCO FLASHER MOIST. SLOPE AWAY FROM WALL FOR WATER DRAINAGE.
 - STEM LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - WALL PACK LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - WALL PACK LIGHT FIXTURE PER ELECTRICAL. REFER REFLECTED CEILING PLAN FOR FIXTURE HEIGHTS.
 - NOT USED.
 - BREAK METAL CLADDING 18 GAUGE COPPER GAP. CONTRACTOR TO PROVIDE ENOUGH ANCHORAGE TO GLAZE METAL TO PREVENT OIL DRAINING.
 - MANUFACTURED MASONRY. REFER ELEVATION (MMS) ASH FOR SPECS.
 - EXTERIOR STUCCO & COLOR W/ COVER. PROVIDE W/ HIDE AT LUG FOR CODE. PROVIDE VERT. & HOR. KEYS FOR FINISHES PER ENGINEERS DRAWINGS.
 - CONCRETE STUCCO.
 - WOODEN BRACKET EXPRESSO COLOR; REF. ELEV. FOR HTS.
 - BEAD/SIDE DOORS PER DOOR SCHEDULE.
 - GRADING PER SITE PLAN - ENSURE POSITIVE DRAINAGE AWAY FROM BLDG.
 - NOT USED.
 - FOUNDATION PLANTERS. REF CIVIL SITE PLAN AND LANDSCAPE PLAN FOR DETAILS.
 - IF A CONTRACTOR HEAD AND CORNER/POST AND OVERHUNG. SCULPTURE DRAINAGE AT GRADE - SEE PLUMBING DRAWING.
 - NOT USED.
 - NOT USED.
 - NOT USED.



A ENLARGED STUCCO TRIM DETAIL
A109-N.T.S. BUILDING 1

- ALUMINUM STOREFRONT**
OIL U.S. ALUMINUM SERIES
ROSE CENTER GLAZED STOREFRONT
OR APPROVED EQUAL.
BRONZE FINISH
- METAL COPING**
COLOR: SLATE GRAY 22-18 GAUGE
UNL. CLAD OR APPROVED EQUAL.
P. 800) 426-7737
- PAINT**
COLOR: 3 SHERWIN WILLIAMS SW
KILLEN GLASS OR APPROVED EQUAL.
CNA 100-1457
- METAL AWNING**
LAWRENCE FABRIC AND METAL
- STUCCO WALL SYSTEM**
SOPHOMORE (1) (EASO SERIES) SYSTEM
OR APPROVED EQUAL.
- MANUFACTURED MASONRY**
MANUFACTURER: CULTRADO STONE
PATTERN: COUNTRY LEGSTONE
COLOR: ECHO RIDGE
- NOTES**

NOTE:

- Please ensure the address is visible on the exterior of the building. Please see Article 505.1 in the Leander Code of Ordinance for more information. Building numbers and unit addressing shall be visible from the Fire Lane. Illuminated and contrasting in color from the background. The following criteria shall be applied for proper sizing and is based on the distance from the fire lane: 4' MIN. Height; Up to 50' = 4" MIN. Height 51' - 100'. Inspector will verify addressing for the building upon inspection.
- Provide a minimum 36-inch horizontal and 72-inch vertical clearance around all

400 chahin plano, tx
10/14/2025

CHRYSTAL QUALITY DESIGN
1012 MUNICIPAL DRIVE #119
LEANDER, TEXAS 78641
PH: 817.380.1199

Original Date: 03/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 11/19/2024

DRAWN BY: HARB
CHECKED BY: HRA

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**SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 1**
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

Sheet Number:
A109-1

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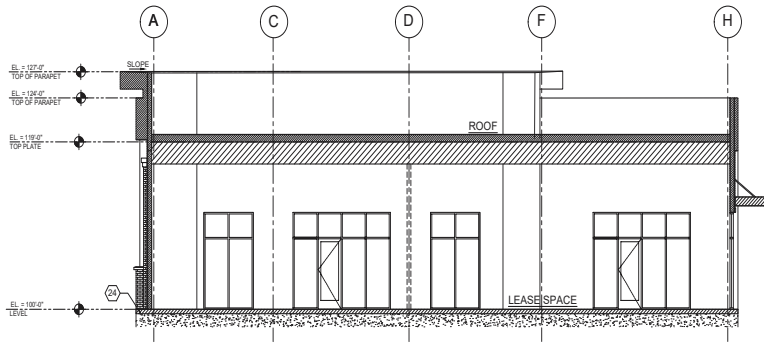
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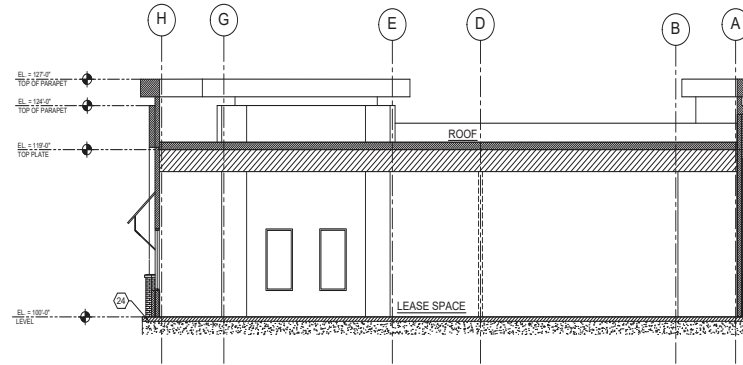
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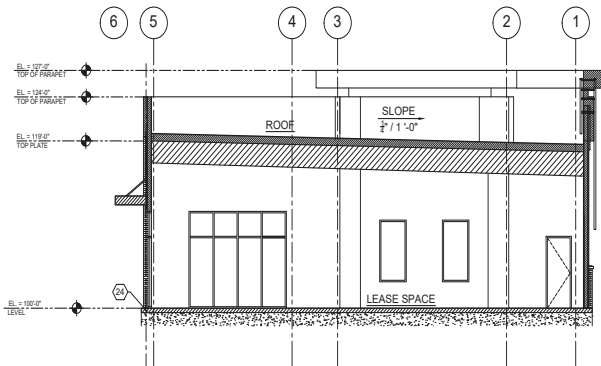
BUILDING 1



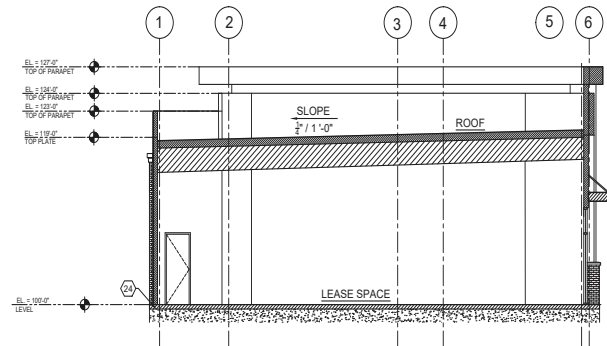
C LONGITUDINAL SECTION BUILDING 1
SCALE = 1/8"-1'-0"



D LONGITUDINAL SECTION BUILDING 1
SCALE = 1/8"-1'-0"



B CROSS SECTION BUILDING 1
SCALE = 1/8"-1'-0"



A CROSS SECTION BUILDING 1
SCALE = 1/8"-1'-0"

fk design
400 Ohio
plano, TX
09/27/2024
SEAL
STATE OF TEXAS
BOARD ARCHITECTS & ENGINEERS

CONFORMATIVE QUALITY DESIGN
MAY EXAMINER SIGNATURE
APPLY TO ALL PROJECTS IN
COMPLIANCE WITH THE APPLICABLE

Original Date: 03/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 09/24/2024

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RETAIL CENTER, BUILDING 1
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

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BUILDING 2



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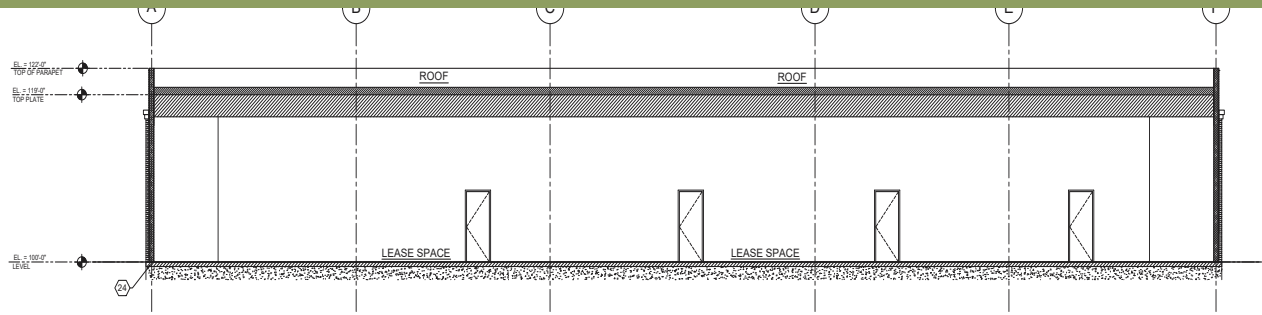
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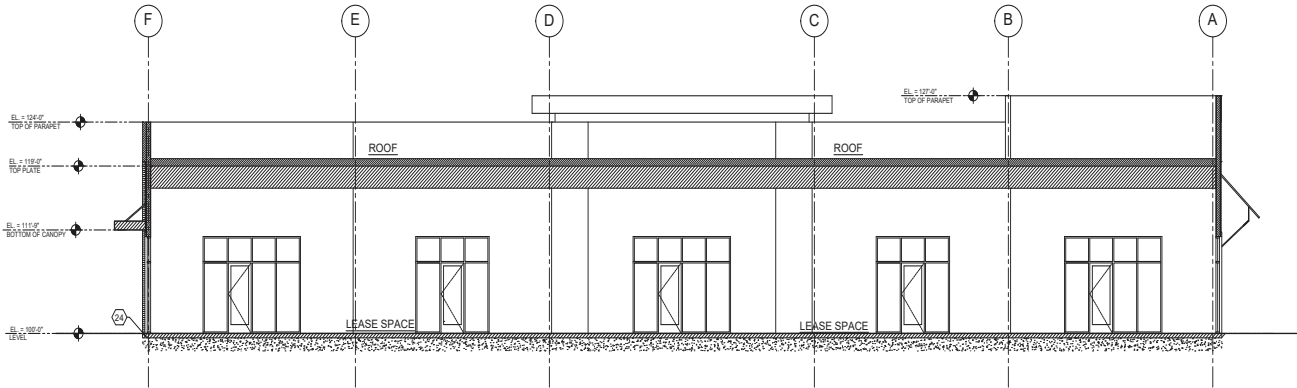
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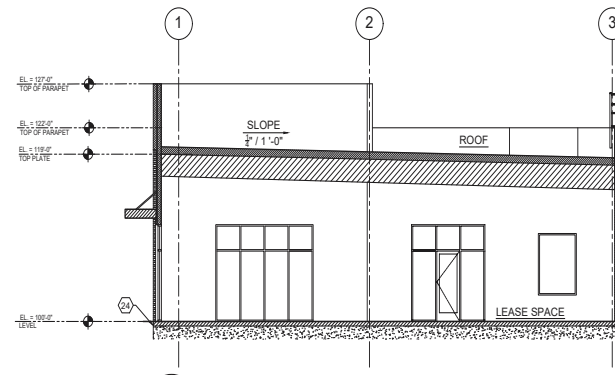
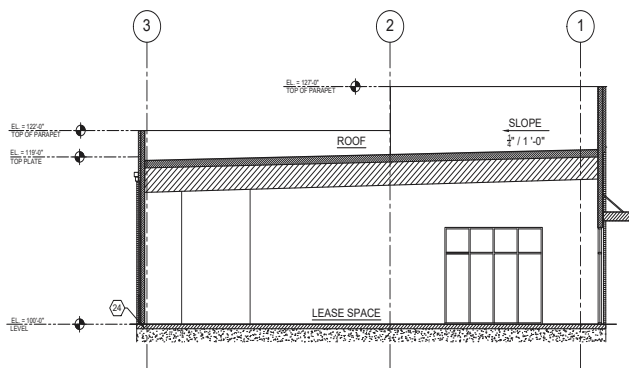
BUILDING 2



C LONGITUDINAL SECTION BUILDING 2
SCALE = 1/8"=1'-0"



D LONGITUDINAL SECTION BUILDING 2
SCALE = 1/8"=1'-0"



CROSS SECTION

fk design
400 Blue
plano, TX

09/27/2024

CREATIVE QUALITY DESIGN
MAY DESIGN/ESTIMATE
ARCHITECTS, INC. 10/15/14
COMMERCIAL/RESIDENTIAL/INDUSTRIAL

Original Date:
03/01/2023
Issue Log
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ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 09/24/2024

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SHOPS AT BAGDAD CORNER
RETAIL CENTER, BUILDING 2
1012 MUNICIPAL DRIVE
LEANDER, TEXAS 78641

ALL dimensions are in feet and inches unless otherwise noted. All dimensions are to the center of the member unless otherwise noted. All dimensions are to the finished surface unless otherwise noted. All dimensions are to the center of the member unless otherwise noted. All dimensions are to the finished surface unless otherwise noted. All dimensions are to the center of the member unless otherwise noted. All dimensions are to the finished surface unless otherwise noted.

Sheet Number:
A110-2

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BUILDING 3



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BUILDING 4



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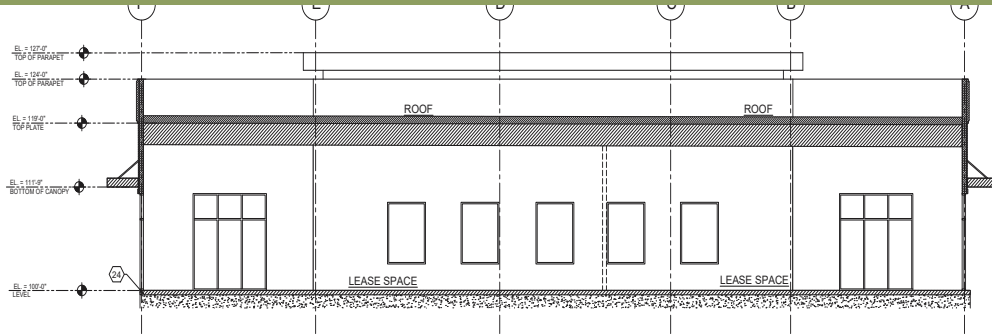
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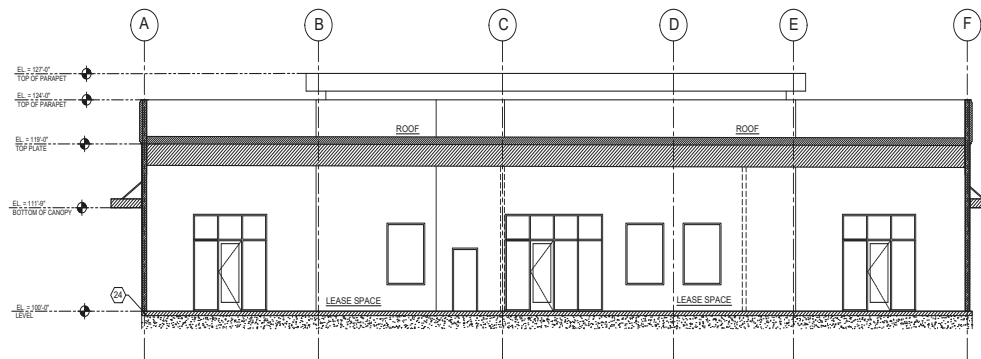
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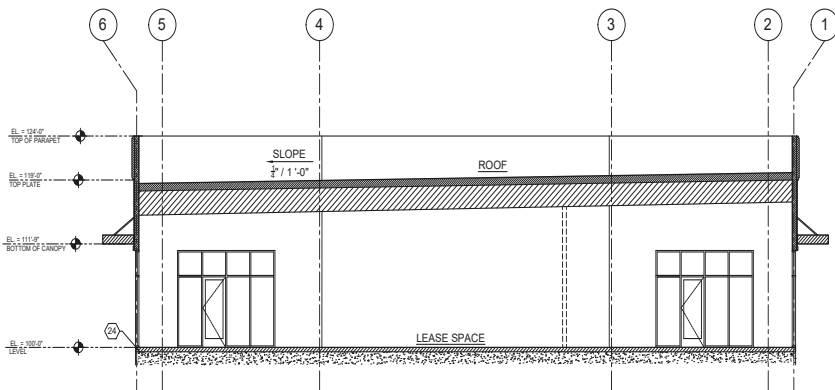
BUILDING 4



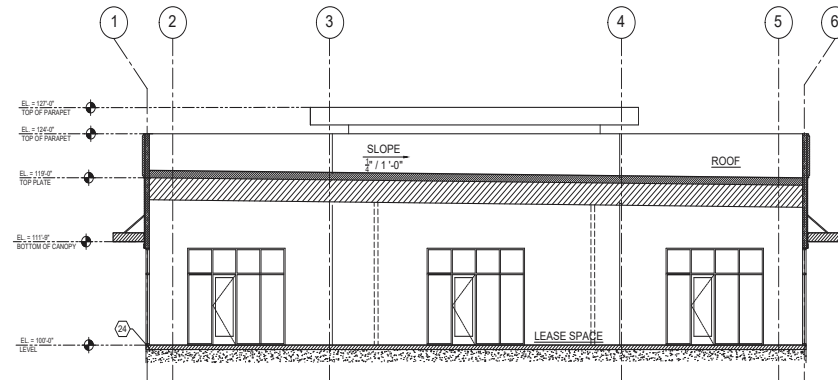
D LONGITUDINAL SECTION BUILDING 4
SCALE = 1/8"=1'-0"



C LONGITUDINAL SECTION BUILDING 4
SCALE = 1/8"=1'-0"



B CROSS SECTION BUILDING 4
SCALE = 1/8"=1'-0"



A CROSS SECTION BUILDING 4

fk design
400 Ohio
plano, TX
09/27/2024

M
CREATIVE QUALITY DESIGN
MAY DESIGN BE BIDDING
ADMITTED TO THE PROJECT BY
COMMERCIAL/INDUSTRIAL/RESIDENTIAL

Original Date: 09/01/2023
Issue Log
ISSUED FOR PERMIT: 09/24/2024
ISSUED FOR CONSTRUCTION: 09/24/2024
CITY COMMENTS: 09/24/2024

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RETAIL CENTER, BUILDING 4
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LEANDER, TEXAS 78641

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Information About Brokerage Services

Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

St. Croix Capital Realty Advisors, LLC	90033153	jcollins@stcroixca.com	(512)391-0718
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
John W. Collins IV	561707	jcollins@stcroixca.com	(512)391-0718
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
Jared Vincent	758362	jvincent@stcroixca.com	(512)391-0718
Sales Agent/Associate's Name	License No.	Email	Phone
_____	_____	_____	_____
Buyer/Tenant/Seller/Landlord Initials	Date	_____	_____

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TXR-2501

IABS 1-0 Date

St Croix Capital Realty Advisors, 901 S Moque Expressway Austin, TX 78746
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