

PROJECT ADDRESS
1163 NORTH 2ND STREET EL CAJON CA 92021
EL CAJON CA 92021

SITE DATA
GROSS LAND AREA 57,807 SF
BUILDING FOOTPRINT 20,463 SF
COVERED PARKING AREA 24,653 SF
LOT COVERAGE FACTOR (INCLUDING COVERED PARKING) 78.0%
LOT COVERAGE FACTOR (EXCLUDING COVERED PARKING) 35.4%
LANDSCAPE AREA 8,326 SF

BUILDING DATA
OCCUPANCY CLASSIFICATION: R-2.1, A-2, A-3, B, S-2 (NON SEPERATED)
CONSTRUCTION TYPE: I-B
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE 6 (BASED ON R-2.1 OCCUPANCY, MOST RESTRICTIVE)
ACTUAL NUMBER OF STORIES ABOVE GRADE PLANE 3
ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE 180'-0" (SAME FOR A-2, B, S-2 & R-2.1 OCCUPANCIES)
ACTUAL BUILDING HEIGHT ABOVE GRADE PLANE 35'-4" (T.O. PARAPET), 43'-0" (MAX. HT. ARCH FEATURES)

ALLOWABLE AREA CALCULATIONS PER 2022 CBC 506.2.2, 508.3.2
ALLOWABLE BUILDING AREA:
AGGREGATE SUM OF THE RATIOS OF THE ACTUAL AREA OF EACH STORY DIVIDED
BY THE ALLOWABLE ARE OF SUCH STORIES SHALL NOT EXCEED 2 (2022 CBC 506.2.2)
ACTUAL BUILDING AREA (SEE CALCS FOR EACH STORY BELOW): (0.07 + 0.13 + 0.14) = 0.34 < 2

FIRST FLOOR
OCCUPANCY: R-2.1, B, S-2 (NON SEPERATED)
CONSTRUCTION TYPE: I-B
R-2.1 ALLOWABLE AREA: 165,000 SF
S-2 ALLOWABLE AREA: 237,000 SF
B ALLOWABLE AREA: UNLIMITED
R-2.1 ACTUAL AREA: 10,507 SF
S-2 ACTUAL AREA: 2,193 SF
RATIO (SHALL NOT EXCEED 1 PER STORY):
[(10,507 SF/165,000 SF) + (2,193 SF/237,000 SF)] = 0.07<1

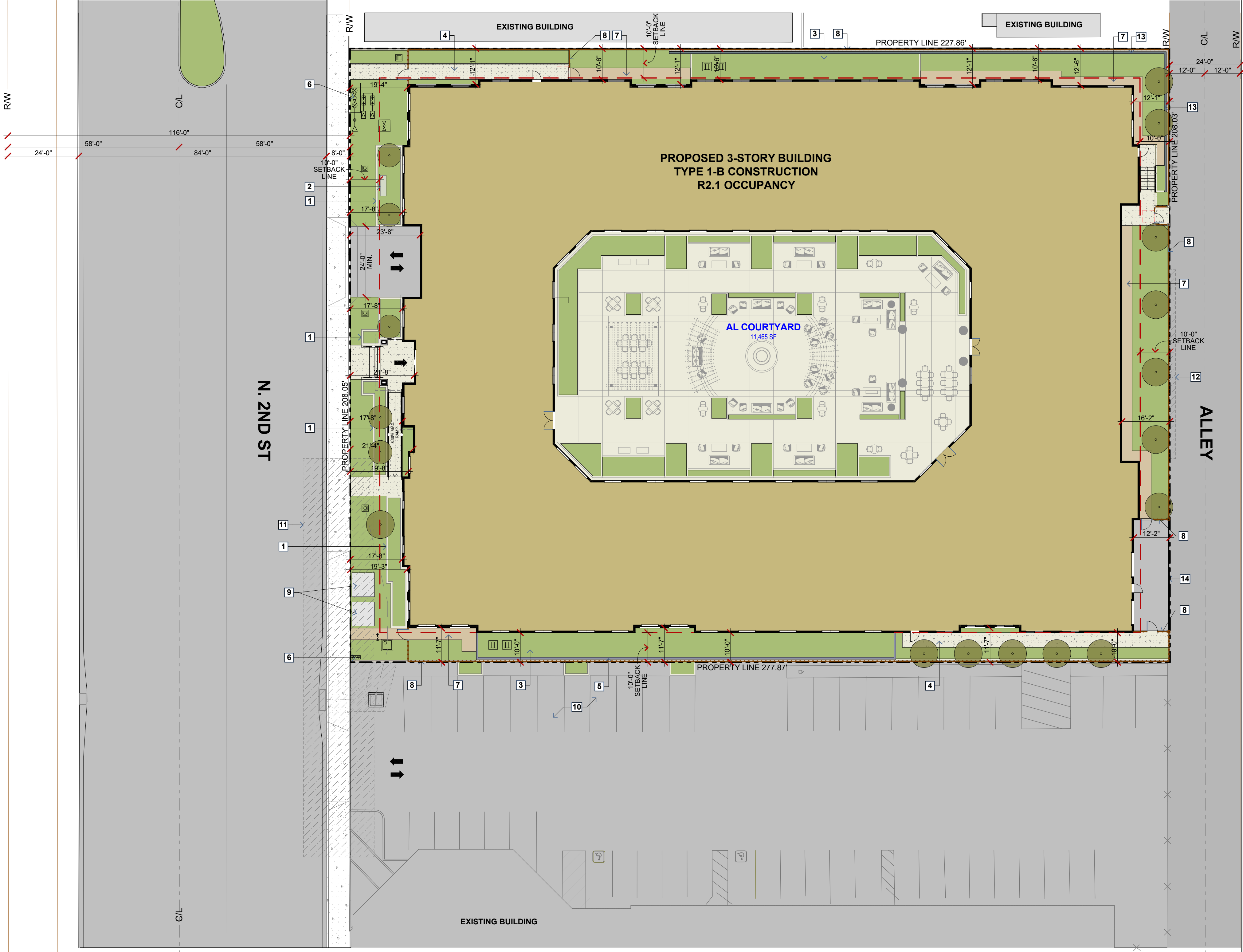
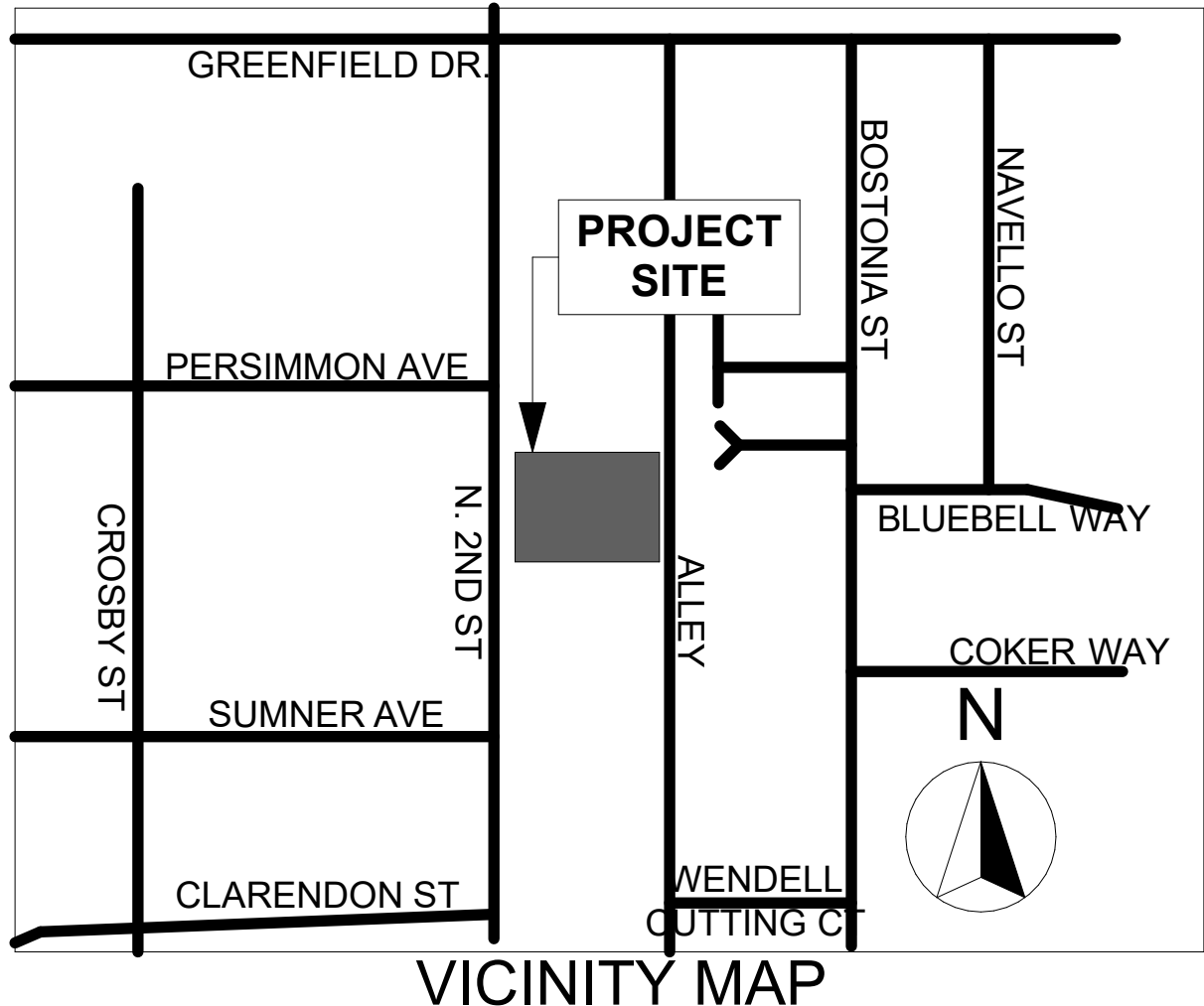
THIRD FLOOR
OCCUPANCY: R-2.1, A-2, B, S-2 (NON SEPERATED)
CONSTRUCTION TYPE: I-B
R-2.1 ALLOWABLE AREA: 165,000 SF
S-2 ALLOWABLE AREA: 237,000 SF
B, A-2 & A-3 ALLOWABLE AREA: UNLIMITED
R-2.1 ACTUAL AREA: 22,274 SF
S-2 ACTUAL AREA: 350 SF
RATIO (SHALL NOT EXCEED 1 PER STORY):
[(22,274 SF/165,000 SF) + (350 SF/237,000 SF)] = 0.14<1

SECOND FLOOR
OCCUPANCY: R-2.1, A-2, A-3, B, S-2 (NON SEPERATED)
CONSTRUCTION TYPE: I-B
R-2.1 ALLOWABLE AREA: 165,000 SF
S-2 ALLOWABLE AREA: 237,000 SF
B, A-2 & A-3 ALLOWABLE AREA: UNLIMITED
R-2.1 ACTUAL AREA: 21,117 SF
S-2 ACTUAL AREA: 630 SF
RATIO (SHALL NOT EXCEED 1 PER STORY):
[(21,117 SF/165,000 SF) + (630 SF/237,000 SF)] = 0.13<1

GROSS BUILDING AREA	
OCCUPANCY	AREA (SF)
FIRST FLOOR GROSS AREA	20,463
SECOND FLOOR GROSS AREA	34,176
THIRD FLOOR GROSS AREA	32,964
TOTAL	87,603

PARKING SUMMARY			
PARKING SPACES	CODE REQD.	PROVIDED	COMMENTS
PARKING ACCESSIBLE	4	3	PER CBC 1109A.5; 5% OF PARKING SPACES = 0.05X62 = 4 REQD.
PARKING -ACCESSIBLE VAN		1	
PARKING -E.V. READY	30	30	40% EV READY W/ RECEPTACLES
EMPLOYEE AND VISITOR		57 (30+27)	UNASSIGNED EMPLOYEE & VISITOR PARKING
ON SITE MEDICAL NON-EMERGENCY VAN		1	
TOTAL		62	
REQUIRED PARKING SPACES = 61 (0.39X156 UNITS) AS PER PARKING DEMAND STUDY			
REFER TO PARKING STUDY BY LINSOTT, LAW & GREEN SPAN ENGINEERS			
ANTICIPATED NO. OF EMPLOYEES = 40 (3 SHIFTS)			
COVERED PARKING AREA = 24,653 SF			
BICYCLE PARKING SPACES REQUIRED = 10% OF PARKING			
BICYCLE PARKING SPACES PROVIDED = 7			

UNIT MIX											
ASSISTED LIVING UNITS = 128 Units											
MEMORY CARE UNITS = 20 Units											
Unit Number	Unit Type	First Floor	Second Floor	Third Floor	Number of Units	Beds per Unit	Number Beds	Unit Area (SF)	Total Area (SF)		
AL-0A	Assisted Living Studio	16	35	27	78	1	78	315	24,570		
AL-0A ALT 1	Assisted Living Studio	0	2	2	4	1	4	345	1,380		
AL-0A ALT 2	Assisted Living Studio	0	1	2	3	1	3	341	1,023		
AL-0B	Assisted Living Studio	0	6	4	10	1	10	450	4,500		
AL-1A	Assisted Living 1 Bed	8	8	4	20	1	20	420	8,400		
AL-1A ALT 1	Assisted Living 1 Bed	0	1	0	1	1	1	440	440		
AL-1A ALT 2	Assisted Living 1 Bed	0	1	0	1	1	1	514	514		
AL-1B	Assisted Living 1 Bed	1	1	1	3	1	3	481	1,443		
AL-1B ALT 1	Assisted Living 1 Bed	1	1	1	3	1	3	469	1,407		
AL-1C	Assisted Living 1 Bed	1	1	1	3	1	3	599	1,797		
AL-1D	Assisted Living 1 Bed	1	1	0	2	1	2	558	1,116		
MC-1A	Memory Care 1 Bed	0	0	9	9	1	9	315	2,835		
MC-1A ALT 1	Memory Care 1 Bed	0	0	2	2	1	2	345	690		
MC-1A ALT 2	Memory Care 1 Bed	0	0	1	1	1	1	322	322		
MC-2A	Memory Care 2 Bed	0	0	2	2	2	4	450	900		
MC-2B	Memory Care 2 Bed	0	0	4	4	2	8	420	1,680		
MC-2C	Memory Care 2 Bed	0	0	1	1	2	2	527	527		
MC-2D	Memory Care 1 Bed	0	0	1	1	2	2	414	414		
		28	58	62	148		156		53,958		



SITE PLAN KEYNOTES

- PROPOSED RAISED PLANER WALLS PER CIVIL & LANDSCAPE PLANS
- MONUMENT SIGN
- BIO FILTRATION BASIN PER CIVIL PLANS
- PROPOSED SIDEWALK PER CIVIL PLANS
- PROPOSED RETAINING WALL PER CIVIL PLANS
- PROPOSED UTILITIES PER CIVIL PLANS
- PERIMETER MAINTAINCE PATH PER LANDSCAPE PLANS
- PROPOSED PERIMETER 6'-0" HIGH WROUGHT IRON FENCE PER CIVIL AND LANDSCAPE PLANS
- PROPOSED ELECTRICAL TRANSFORMER PER CIVIL PLANS
- (E) PARKING AND PLANTER ISLAND
- (E) ELECT. EASEMENT TO SDG&E RECORDED 12/1/1971 PER INSTRUMENT NO. 1971-279439 OF ORIGINAL RECORDS. REFER TO CIVIL PLANS
- (E) PUBLIC ALLEY EASEMENT TO CITY OF EL CAJON RECORDED 8/28/1972 PER INSTRUMENT NO. 1972-228141 OF ORIGINAL RECORDS. REFER TO CIVIL PLANS
- PROPOSED SHORING WALL W/ 6'-0" HIGH WROUGHT IRON FENCE
- 6'-0" HIGH METAL SLIDING SITE GATE

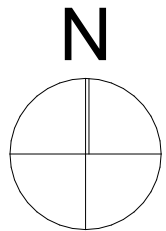
GENERAL NOTES

- REFER TO CIVIL PLANS FOR EASEMENTS, EXISTING AND PROPOSED UTILITIES.
- SITE PLAN SHOWS PROPOSED CONDITION. EXISTING SITE FEATURES ARE TO BE REMOVED UNLESS NOTED OTHER WISE. REFER TO DEMO + CIVIL CONSTRAINTS MAP SHEET FOR EXISTING SITE CONDITIONS AND SITE FEATURES TO BE REMOVED.
- ALL SIGNS SHALL BE AUTHORIZED BY SEPERATE SIGN PERMIT AND COMPLY WITH EL CAJON MUNICIPAL CODE CHAPTER 17.190

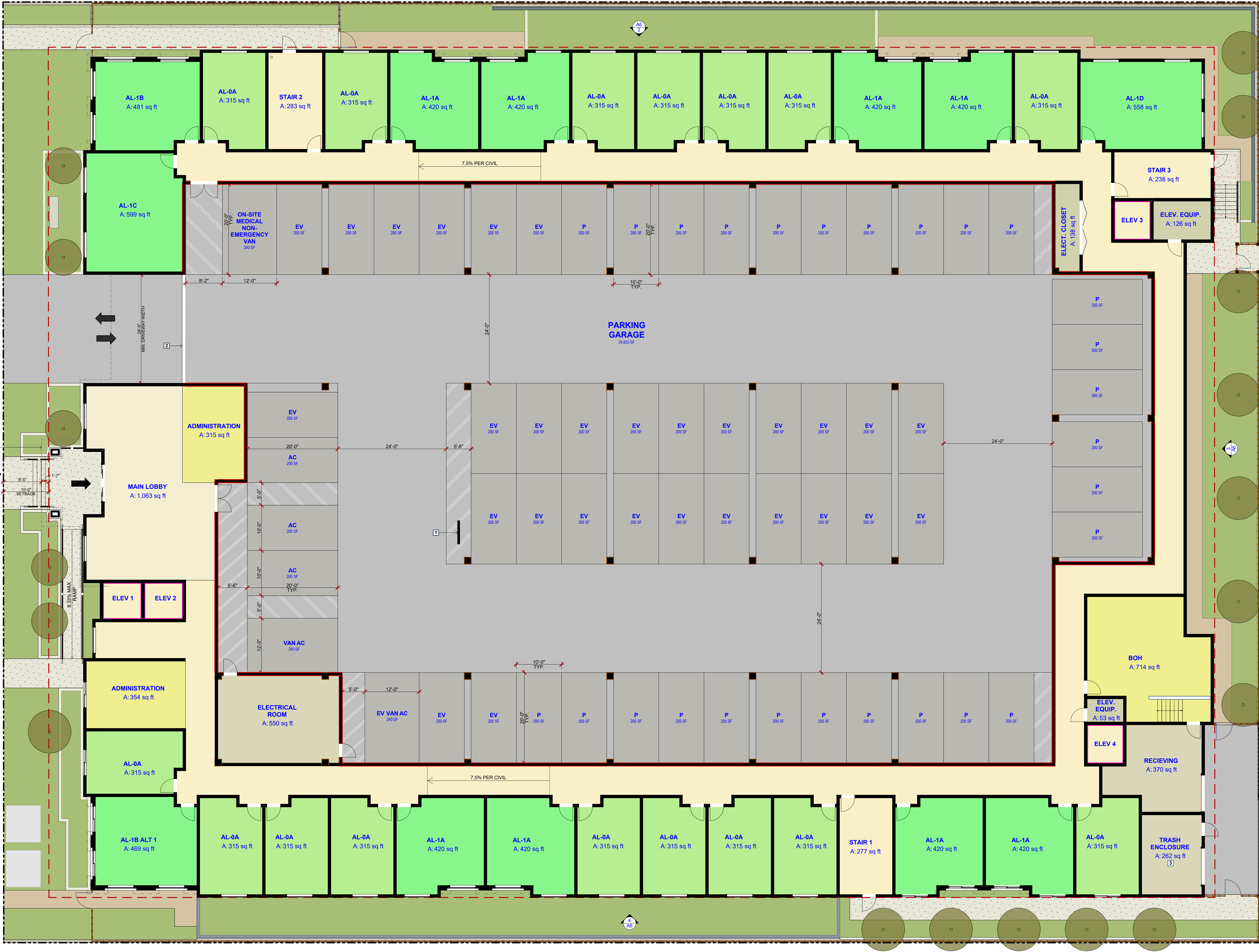
SITE PLAN LEGEND

	MAIN ENTRY		KEYNOTE NUMBER
	PARKING GARAGE ENTRANCE/EXIT		PROPOSED SIDEWALK
	PROPERTY LINE		PROPOSED PAVEMENT
	SETBACK LINES		EASEMENT PER CIVIL PLANS
	EXISTING FENCE		
	PROPOSED WROUGHT IRON METAL FENCE, 6'-0" HIGH		
	FIRE HYDRANT		

1 Site Plan
SCALE: 1" = 20'



CITY OF EL CAJON	
PERMIT NO. _____	
APPLICANT: MARSHAL LOTS LLC	
ASSESSOR PARCEL NO(S): 484 232 2700	
REQUEST: CONDITIONAL USE PERMIT (CUP)	
PC RESOLUTION No. _____	APPROVED BY: _____
CC RESOLUTION No. _____	_____
ORDINANCE No. _____	DATE: _____



1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

FIRST FLOOR PLAN DATA

GROSS LAND AREA	57,807 SF
BUILDING FOOTPRINT	20,463 SF
EXTERIOR COVERED PARKING AREA	24,653 SF
LOT COVERAGE FACTOR (INCLUDING COVERED PARKING)	78.0%
LOT COVERAGE FACTOR (EXCLUDING COVERED PARKING)	35.4%
LANDSCAPE AREA	8,326 SF

FLOOR PLAN KEYNOTES

- MULTI BEND BICYCLE RACK: WELLE RACKS HE607; COLOR BLACK, 7 BIKE CAPACITY, BY BIKEPARKING.COM OR EQUAL
- ROLL-UP SECURITY GRILLE: CUSTOM GRILLE DESIGN; 24'-0" WIDE AND 10'-0" HIGH FROM CURB FACE W/ PARKING GARAGE BEYOND.
- TRASH ENCLOSURE
- LINE OF ENTRY CANOPY ABOVE

PARKING SUMMARY

PARKING SPACES	CODE REQD.	PROVIDED	COMMENTS
PARKING ACCESSIBLE	4	3	PER CBC 1109A.5; 5% OF PARKING SPACES = 0.05X62 = 4 REQD.
PARKING - ACCESSIBLE VAN		1	
PARKING - E.V. READY	30	30	40% EV READY W/ RECEPTACLES
EMPLOYEE AND VISITOR		57 (30+27)	10% EV READY W/ CHARGERS
ON SITE MEDICAL NON-EMERGENCY VAN		1	UNASSIGNED EMPLOYEE & VISITOR PARKING
TOTAL		62	

REQUIRED PARKING SPACES = 61 (0.39X156 UNITS) AS PER PARKING DEMAND STUDY
REFER TO PARKING STUDY BY LINSOTT, LAW & GREEN SPAN ENGINEERS
ANTICIPATED NO. OF EMPLOYEES = 40 (3 SHIFTS)
COVERED PARKING AREA = 24,653 SF
BICYCLE PARKING SPACES REQUIRED = 10% OF PARKING
BICYCLE PARKING SPACES PROVIDED = 7

FIRST FLOOR UNIT MIX
ASSISTED LIVING UNITS = 28 UNITS

Unit Name	Unit Type	First Floor Number Of Units	Beds Per Unit	Number Beds	Unit Area (SF)	Total Area (SF)
AL-0A	Assisted Living Studio	16	1	16	315	5,040
AL-1A	Assisted Living 1 Bed	8	1	8	420	3,360
AL-1B	Assisted Living 1 Bed	1	1	1	481	481
AL-1B ALT 1	Assisted Living 1 Bed	1	1	1	469	469
AL-1B ALT 2	Assisted Living 1 Bed	1	1	1	558	558
AL-1C	Assisted Living 1 Bed	1	1	1	599	599
		28		28		10,507

COMMON AREA SUMMARY

Zone Name	Occ. Group	Zone Description	Area (SF)
First Floor			
ADMINISTRATION	B	Lobby, Discovery , Employee Offices, Mail Room, Employee Work Area	669
BOH	S-2	Laundry, Staff Break, Storage	714
ELECT. CLOSET	S-2	Mechanical/Electrical	138
ELECTRICAL ROOM	S-2	Mechanical / Electrical	550
ELEV. EQUIP.	S-2	Elevator Equipment	179
MAIN LOBBY	B	Main Lobby Seating, Activity, Reception	1,063
RECIEVING	S-2	Recieving Area	370
TRASH ENCLOSURE	S-2	Trash	262

CITY OF EL CAJON

PERMIT NO. _____

APPLICANT: **MARSHAL LOTS LLC**

ASSESSOR PARCEL NO(S): **484 232 2700**

REQUEST: **CONDITIONAL USE PERMIT (CUP)**

PC RESOLUTION No. _____ APPROVED BY: _____

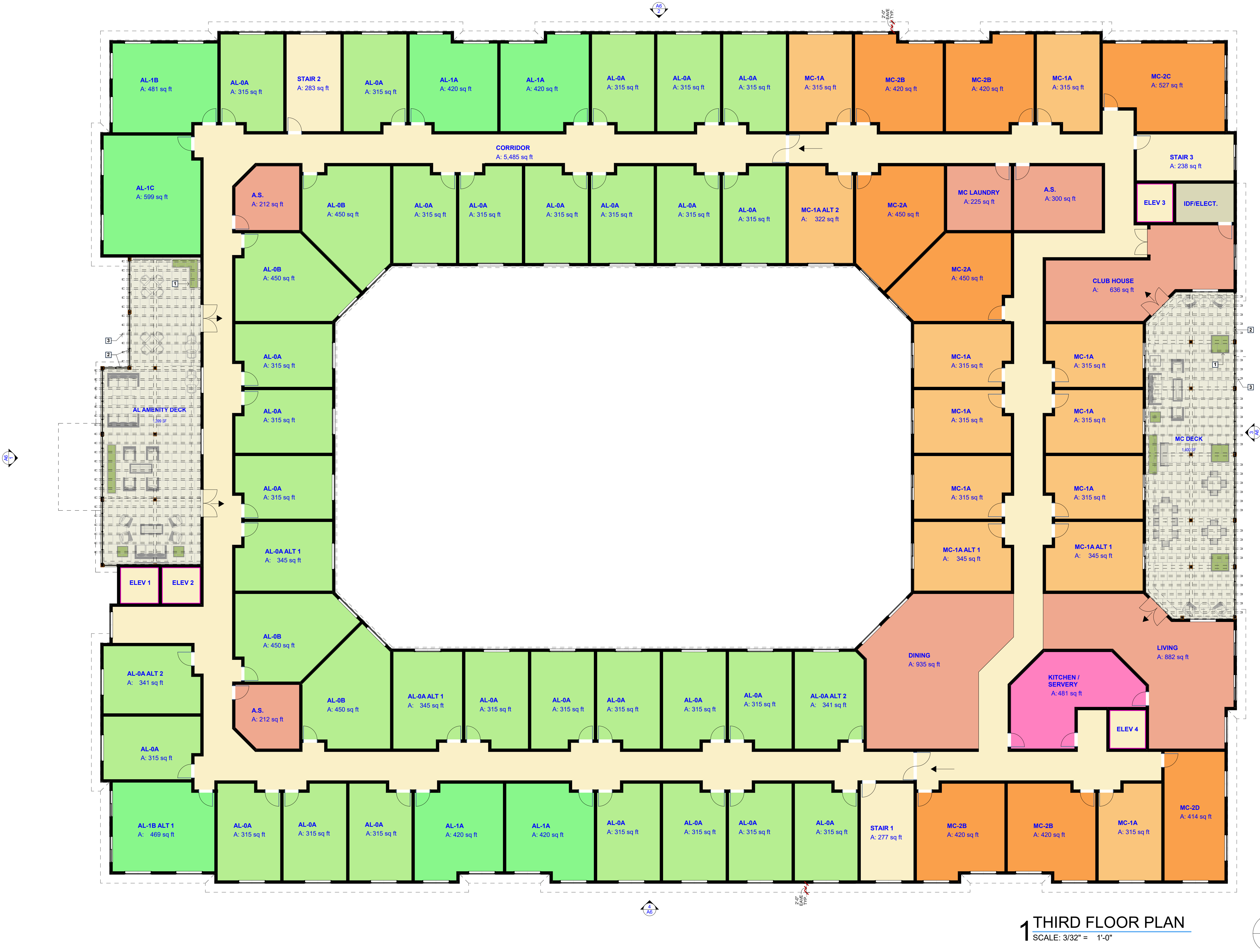
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ORDINANCE No. _____ DATE: _____



Zone Name	Occ. Group	Zone Description	Area (SF)
Second Floor			
A.S.	B	(Ancillary Support) Care Office, Med Room, Offices, Housekeeping	424
AMENITIES	A-3	Beauty Salon, Seating Area / Living Room, Game Room	677
BISTRO	A-2	Servery Area, Private Dining	728
DINING	A-2	Assisted Living Dining Room	1,431
IDF/ELECT.	S-2	Mechanical / Electrical	215
KITCHEN	B	Commercial Kltchen	1,035
LAUNDRY	S-2	Laundry Room	300
MEN'S RESTROOM	B	Public Restroom	253
VIEWING LOUNGE	A-3	Seating Area / Living Room	403
WOMEN'S RESTROOM	B	Public Restroom	257

SECOND FLOOR PLAN



THIRD FLOOR PLAN DATA	32,964 SF
SECOND FLOOR GROSS AREA	1399 SF (OCCUPANCY GROUP A-3;
AL AMENITY DECK	OCCUPANT LOAD = 94 OCCUPANTS; 2 EXITS PROVIDED)
EXTERIOR MEMORY CARE (MC) DECK	1400 SF (OCCUPANCY GROUP A-3;
	OCCUPANT LOAD = 94 OCCUPANTS; 2 EXITS PROVIDED)

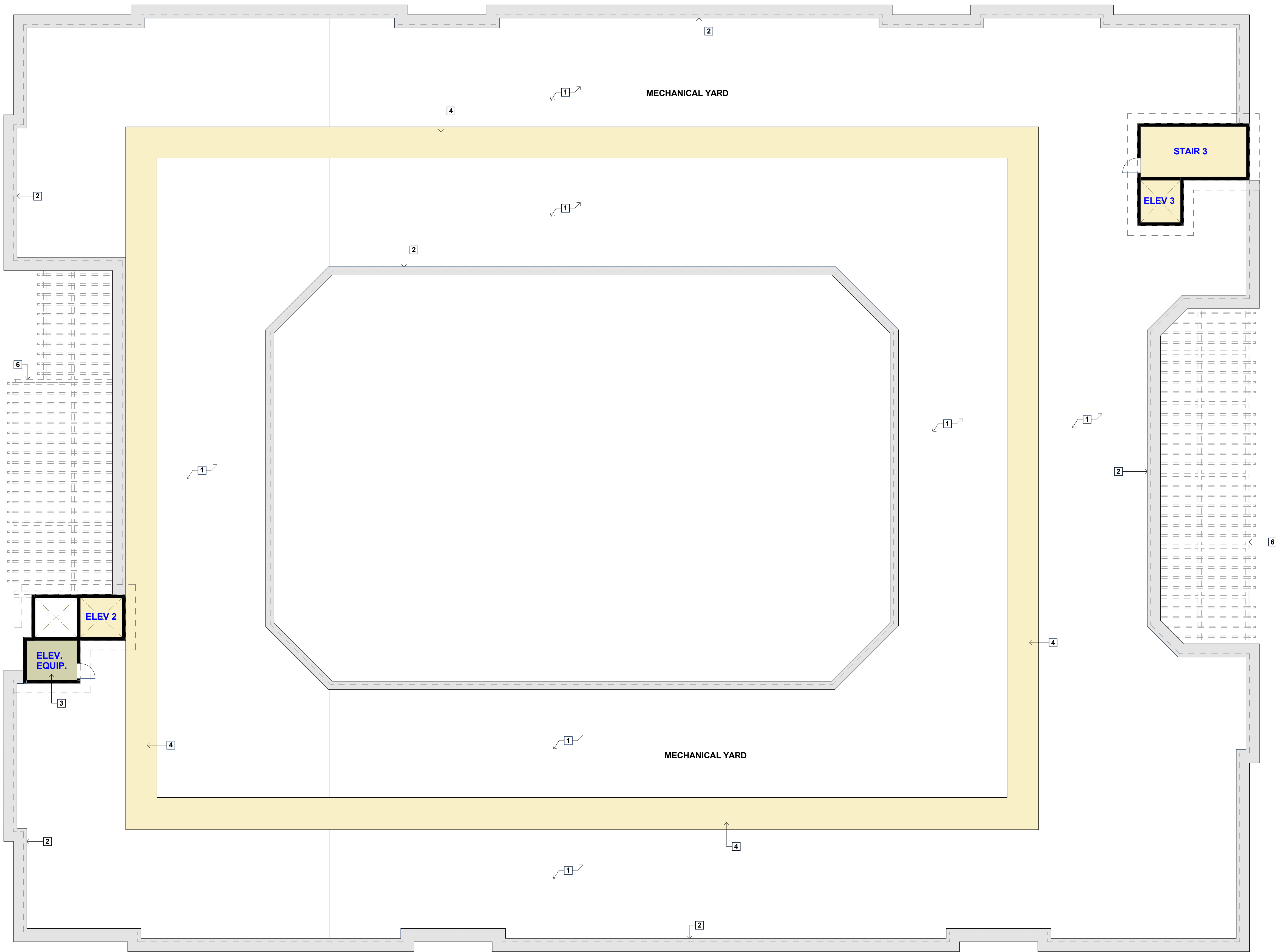
FLOOR PLAN KEYNOTES

1. RAISED PLANTERS PER LANDSCAPE DRAWINGS
2. 7'-0" HIGH GLASS RAILING BARRIER AT DECK
3. WOOD TRELLIS STRUCTURE WITH OPEL POLYCARBONATE ROOFING COVER

THIRD FLOOR UNIT MIX						
ASSISTED LIVING UNITS = 42						
MEMORY CARE UNITS = 20						
Unit Number	Unit Type	Third Floor Number Units	Beds per Unit	Number Beds	Area/Unit	Total Area
AL-0A	Assisted Living Studio	27	1	27	315	8,505
AL-0A ALT 1	Assisted Living Studio	2	1	2	345	690
AL-0A ALT 2	Assisted Living Studio	2	1	2	341	682
AL-0B	Assisted Living Studio	4	1	4	450	1,800
AL-1A	Assisted Living 1 Bed	4	1	4	420	1,680
AL-1B	Assisted Living 1 Bed	1	1	1	481	481
AL-1B ALT 1	Assisted Living 1 Bed	1	1	1	469	469
AL-1C	Assisted Living 1 Bed	1	1	1	599	599
MC-1A	Memory Care 1 Bed	9	1	9	315	2,835
MC-1A ALT 1	Memory Care 1 Bed	2	1	2	345	690
MC-1A ALT 2	Memory Care 1 Bed	1	1	1	322	322
MC-2A	Memory Care 2 Bed	2	2	4	450	900
MC-2B	Memory Care 2 Bed	4	2	8	420	1,680
MC-2C	Memory Care 2 Bed	1	2	2	527	527
MC-2D	Memory Care 2 Bed	1	2	2	414	414
		62		70		22,274

COMMON AREA SUMMARY			
Zone Name	Occ. Group	Zone Description	Area (SF)
Third Floor			
A.S.	B	(Ancillary Support) Care Office, Med Room, Offices, Housekeeping	724
CLUB HOUSE	B	Fitness & Wellness Room	636
DINING	A-2	Memory Care Dining Room	935
IDF/ELECT.	S-2	Mechanical / Electrical	126
KITCHEN / SERVRY	B	Memory Care Kitchen / Servery	481
LIVING	A-3	Seating Area / Living Room	882
MC LAUNDRY	S-2	Laundry Room	225

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1 ROOF DECK
SCALE: 3/32" = 1'-0"

ROOF PLAN KEYNOTES

1. FLAT ROOF AREA
2. PARAPET (AT 35'-0" MAX. BUILDING HEIGHT)
3. ELEVATOR EQUIPMENT ROOM
4. 30" WIDE ROOF WALKWAY
5. STAIR / ELEVATOR TOWER
6. WOOD TRELLIS STRUCTURE WITH OPEL POLYCARBONATE ROOFING COVER

ROOF GENERAL NOTES

- A. MECHANICAL EQUIPMENT SHALL BE SCREENED CONSISTENT WITH EL CAJON MUNICIPAL CODE SECTION 17.130.120
B. MECHANICAL EQUIPMENT SHALL COMPLY WITH EL CAJON MUNICIPAL CODE SECTION 17.115.130

ROOF ARCHITECTURAL PROJECTION CALCULATIONS

ROOF AREA 32,960 SF

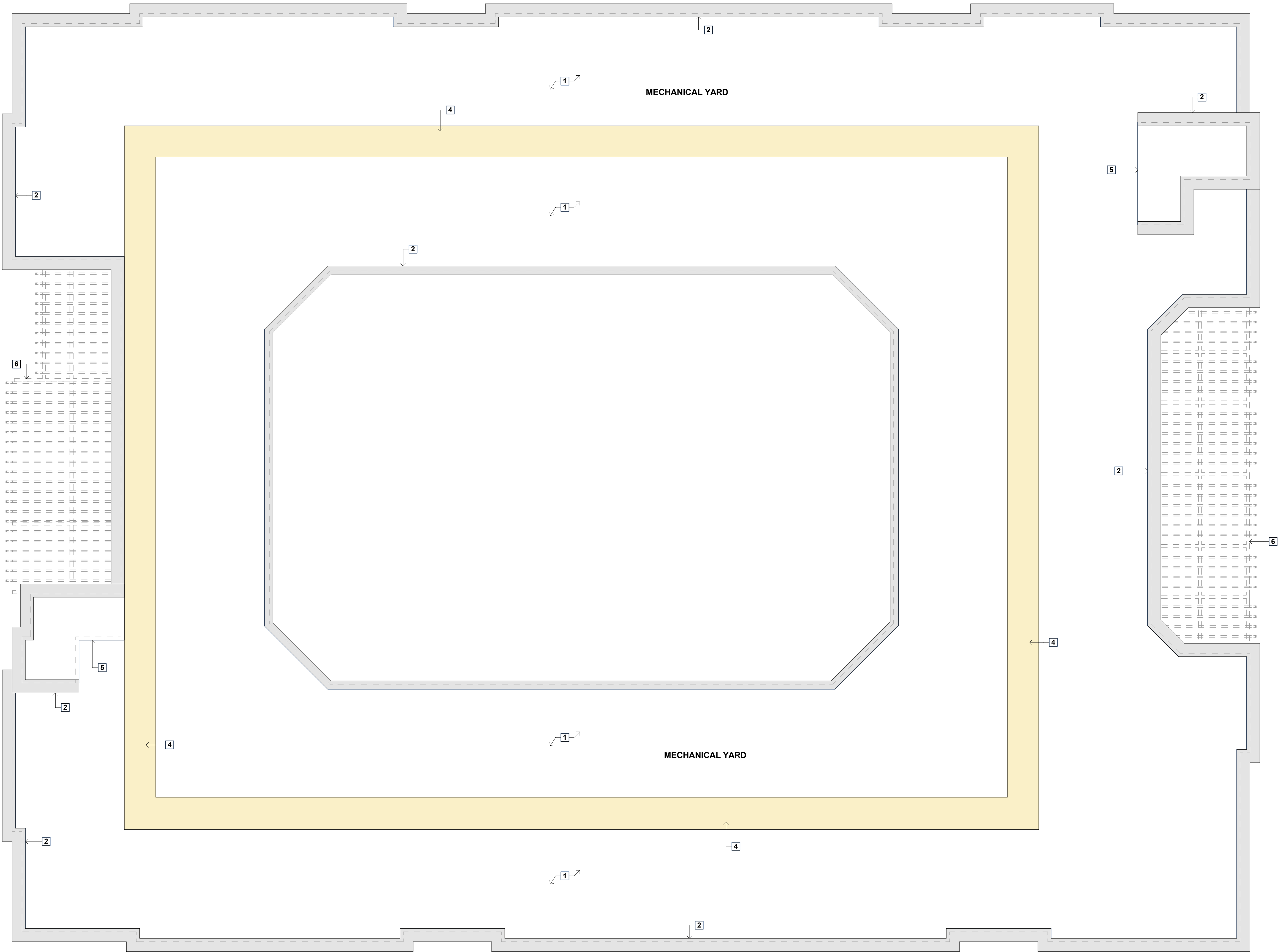
PROJECTION SF
ELEVATOR 2 / ELEV. EQUIPMENT 272 SF
STAIR 3 / ELEVATOR 3 339 SF

TOTAL PROJECTION SF 611 SF

32,960 SF (ROOF AREA) X 0.25 = 8,240 SF > 611 SF (PROJECTION) ; **COMPLIES**

PER EL CAJON MUNICIPAL CODE SECTION 17.130.115 FEATURES COVERING A COMBINED TOTAL OF LESS THAN 25% OF THE ROOF AREA OF A BUILDING MAY EXCEED THE MAXIMUM BUILDING HEIGHT BY UP TO 20 FEET

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ROOF PLAN KEYNOTES

- 1. FLAT ROOF AREA
- 2. PARAPET (AT 35'-0" MAX. BUILDING HEIGHT)
- 3. ELEVATOR EQUIPMENT ROOM
- 4. 30" WIDE ROOF WALKWAY
- 5. STAIR / ELEVATOR TOWER
- 6. WOOD TRELLIS STRUCTURE WITH OPEL POLYCARBONATE ROOFING COVER

ROOF GENERAL NOTES

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ROOF ARCHITECTURAL PROJECTION CALCULATIONS

ROOF AREA 32,960 SF

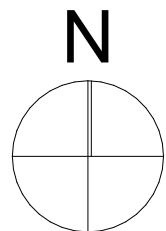
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1 ROOF PLAN
SCALE: 3/32" = 1'-0"



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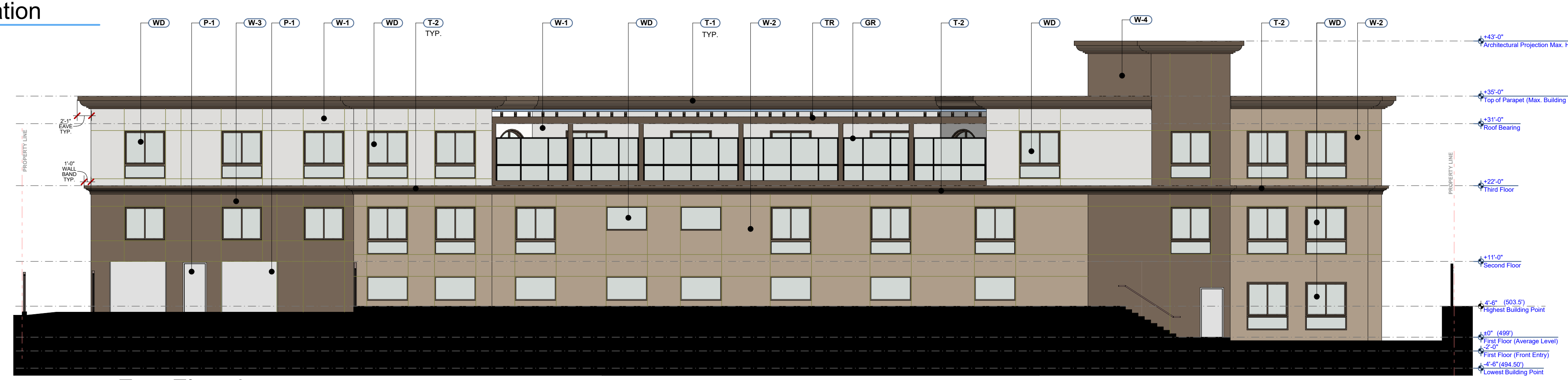
1 West Elevation

SCALE: 3/32" = 1'-0"



2 North Elevation

SCALE: 3/32" = 1'-0"



3 East Elevation

SCALE: 3/32" = 1'-0"



4 South Elevation

SCALE: 3/32" = 1'-0"

EXTERIOR FINISHES

EXTERIOR WALLS PAINTED STUCCO	W-1	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: IGLOO ICBO NO.: DEW379
PAINTED STUCCO	W-2	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: BIRCHWOOD ICBO NO.: DEC752
STONE VENEER	W-3	MANUF: CULTURED STONE TYPE: PRO-FIT ALPINE LEDGESTONE COLOR: SUMMIT PEAK
PAINTED STUCCO	W-4	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: CARVED WOOD ICBO NO.: DE8125
DOOR PAINT	P-1	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: IGLOO ICBO NO.: DEW379
DOOR SURROUND	P-2	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: IGLOO ICBO NO.: DEW379
EXTERIOR TRIM FOAM FASCIA	T-1	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: COCOA ICBO NO.: DEC755
FOAM CORNICE	T-2	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: COCOA ICBO NO.: DEC755
TRELLIS	TR	MANUF: DUNN EDWARDS TYPE: EXTERIOR PAINT COLOR: COCOA ICBO NO.: DEC755
WINDOWS	WD	MANUF: MILGARD WINDOW TYPE: VINYL EXTERIOR COLOR: COCOA MUNTINS: COLOR TO MATCH FRAME
EXTERIOR DOORS ROLL-UP SECURITY GRILLE	D-1	MANUF: CORNELLCOOKSON TYPE: ROLL-UP SECURITY GRILLE: EXTREME MICROCOIL GRILLE-500K CYCLES. MATERIAL: STAINLESS STEEL. CUSTOM GRILLE DESIGN ICBO NO.: EPG324C
GLASS RAILING BARRIER	GR	MANUF: TBD TYPE: GLASS EXTERIOR COLOR: BLACK

GENERAL NOTES

- MECHANICAL EQUIPMENT SHALL BE SCREENED CONSISTENT WITH EL CAJON MUNICIPAL CODE SECTION 17.130.120
- MECHANICAL EQUIPMENT SHALL COMPLY WITH EL CAJON MUNICIPAL CODE SECTION 17.115.130

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ASSESSOR PARCEL NO(S): **484 232 2700**

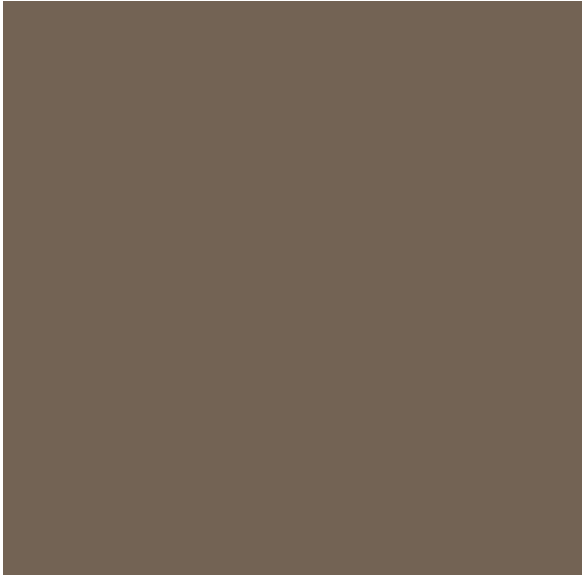
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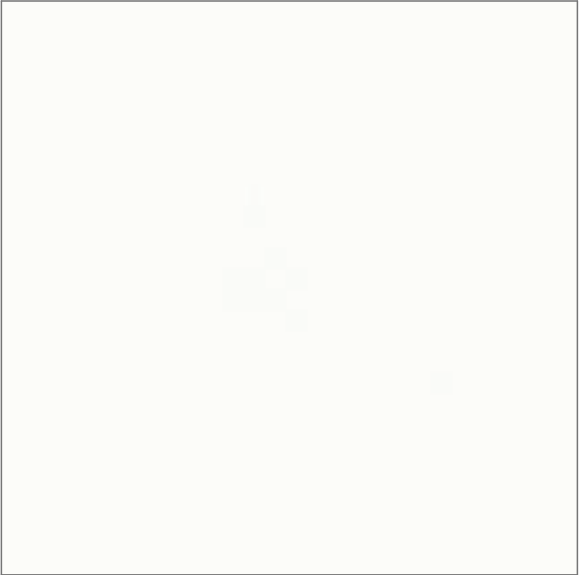
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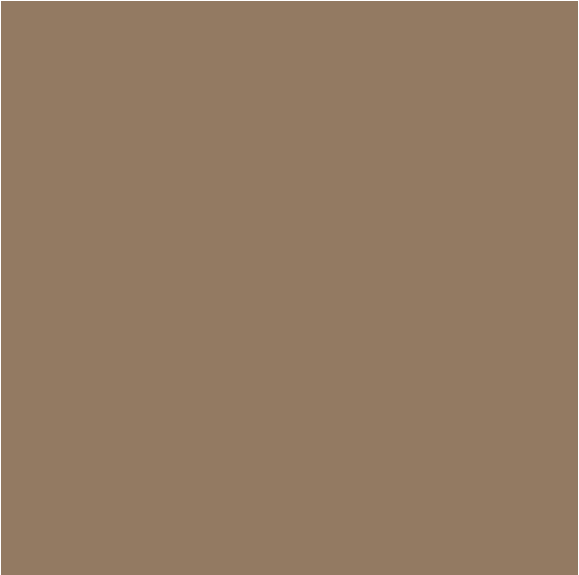
T-1
T-2
FOAM TRIM
MANUF: DUNN EDWARDS
TYPE: EXTERIOR PAINT
COLOR: COCOA
ICBO NO.: DEC755



W-2
PAINTED STUCCO
MANUF: DUNN EDWARDS
TYPE: EXTERIOR PAINT
COLOR: RINCON COVE
ICBO NO.: DEC757



W-1
PAINTED STUCCO
MANUF: DUNN EDWARDS
TYPE: EXTERIOR PAINT
COLOR: IGLOO
ICBO NO.: DEW379



W-4
PAINTED STUCCO
MANUF: DUNN EDWARDS
TYPE: EXTERIOR PAINT
COLOR: CARVED WOOD
ICBO NO.: DE6125



RF
ROOF SHINGLES
MANUF: EAGLE ROOFING
TYPE: CAPISTRANO
COLOR: TERRACAMBRA RANGE



W-3
STONE VENEER
MANUF: CULTURED STONE
TYPE: PRO-FIT ALPINE LEDGESTONE
COLOR: SUMMIT PEAK



D-1
ROLL-UP SECURITY GRILLE
MANUF: CORNELLCOOKSON
TYPE: ROLL-UP SECURITY GRILLE: EXTREME MICROCOIL GRILLE-500K CYCLE OR EQUAL
MATERIAL: STAINLESS STEEL; CUSTOM GRILLE DESIGN



N. 2ND STREET VIEW



MAIN ENTRY & ASSISTED LIVING AMENITY DECK VIEW



EAST ELEVATION BACK ALLEY VIEW



MEMORY CARE DECK AT ALLEY VIEW

CIVIL TITLE SHEET

1163 N. 2ND ST. EL CAJON, CA 92021
APN: 484-232-27

BENCHMARK + SOURCE OF TOPOGRAPHY:

VERTICAL RELIEF CONTOURS SHOWN HEREON ARE BASED ON A FIELD SURVEY COMPLETED BY OMEGA LAND SURVEYING ON JANUARY 12, 2023. THE BENCHMARK USED AS THE SOURCE OF THE VERTICAL DATUM IS AS FOLLOWS:

DESCRIPTION: CITY OF EL CAJON STANDARD BENCHMARK IN TOP OF CURB AT EAST END OF CURB RETURN AT NORTHEAST CORNER OF COKER WAY & BOSTONIA STREET.

ELEVATION: 506.785' (NAVD88)

BASIS OF BEARINGS:

THE CENTERLINE OF GREENFIELD DRIVE AS SHOWN ON MAP 15943, SAID BEARING BEING "N 89°38'24" W".

PROJECT AREAS:

THE GROSS LAND AREA IS: 57,807 SQUARE FEET (1.327 ACRES)
THE NET LAND AREA IS: 57,807 SQUARE FEET (1.33 ACRES)

LOT COVERAGE

PARCEL AREA: 57,807 SF
DISTURBED PROJECT AREA: 57,807 SF
IMPERVIOUS AREA: 46,273 SF
PERVIOUS AREA: 11,534 SF
% IMPERVIOUS: 80%

ABBREVIATIONS:

AC	ASPHALT CONCRETE	GAS	GAS FACILITIES	SMH	SEWER MANHOLE
BB	BROOKS BOX	GTR	GUTTER	SW	STEM WALL
CRB	CURB	IE	INVERT ELEVATION	SWR	SEWER UTILITIES
DF	DEEPENED FOOTING	IRR	IRRIGATION SERVICES	TC	TOP OF CURB
ELEC	ELECTRICAL UTILITIES	MH	MANHOLE	TEL	TELEPHONE UTILITIES
FF	FINISHED FLOOR	P/PVMT	PAVEMENT	TF	TOP OF FOOTING
FG	FINISHED GRADE	PVT	PRIVATE	TC	TOP OF GRADE
FH	FIRE HYDRANT	SCO	SEWER CLEAN-OUT	TW	TOP OF WALL
FIRE	FIRE WATER SERVICE	SD	STORM DRAIN UTILITIES	WM	WATER METER
FL	FLOWLINE	SD AD	STORM DRAIN AREA DRAIN	WTR	WATER UTILITIES
FS	FINISHED SURFACE	SDMH	STORM DRAIN MANHOLE	WV	WATER VALVE

SHEET INDEX:

SHEET 1: TITLE SHEET
SHEET 2: CONCEPTUAL GRADING PLAN
SHEET 3: DMA MAP
SHEET 4: DEMO & CONSTRAINTS MAP

EARTHWORK:

CUT: 1,539 CY
FILL: 1,230 CY
UNDERCUTS: 1,036 CY
DEMO HAUL OFF: 16 CY
EXPORT: 2,366 CY

FEMA NOTE:

THE PROPERTY SHOWN HEREON IS CONTAINED WITHIN F.E.M.A. FLOOD ZONE "X" BEING AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 06073C1666G, REVISED MAY 16, 2012. ANY LIMITS OF SAID FLOODPLAIN WITHIN THE EXTENT OF THIS PLAT ARE SHOWN HEREON.

ZONE X AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

EASEMENT + EXCEPTIONS NOTES:

THE FOLLOWING IS A LIST OF ALL EASEMENTS, SERVITUDES, RIGHTS OF WAY, ACCESS, AND OTHER SURVEY RELATED DOCUMENTS THAT BURDEN THE SUBJECT PROPERTY WHICH ARE LISTED UNDER THE EXCEPTIONS FOR THE ABOVE REFERENCED PRELIMINARY REPORT. ITEMS THAT CAN BE PLOTTED ARE SHOWN HEREON. THE EFFECT OF SAID EXCEPTIONS ARE MORE FULLY DESCRIBED IN THE ABOVE REFERENCED TITLE REPORT. ANY AGREEMENTS, ASSESSMENTS, COVENANTS & CONDITIONS & RESTRICTIONS (CCRs), FINANCING STATEMENTS, LEASES, LIENS, PERMITS, RESOLUTIONS, TAXES, OR WAIVERS THAT APPEAR IN SAID REPORT WHICH ARE NOT SURVEY RELATED ARE NOT LISTED HEREON.

Ⓔ INDICATES EXCEPTION ITEM IS PLOTTABLE AND SHOWN HEREON.

Ⓔ AN ELECTRICAL EASEMENT IN FAVOR OF SD&E RECORDED DECEMBER 1, 1971 AS INSTRUMENT NO. 1971-279439 OF OFFICIAL RECORDS.

Ⓔ AN ALLEY EASEMENT IN FAVOR OF THE CITY OF EL CAJON RECORDED AUGUST 28, 1972 AS INSTRUMENT NO. 1972-228141 OF OFFICIAL RECORDS.

LEGAL DESCRIPTION:

PARCEL 1:
THE SOUTH 75 FEET OF THE NORTH 175 FEET OF LOT 13 OF SUNSHINE TRACT, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1709, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 8, 1919.

EXCEPTING THEREFROM THE INTEREST IN THE WEST 25 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR PUBLIC STREET PURPOSES BY DEED RECORDED MAY 31, 1968 AS FILE NO. 91471 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE INTEREST IN THE EAST 2 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR ALLEY PURPOSES BY DEED RECORDED FEBRUARY 20, 1970 AS FILE NO. 32140 OF OFFICIAL RECORDS.

PARCEL 2:
THE NORTH 50 FEET OF LOT 12, AND ALL OF LOT 13 EXCEPT THE NORTH 175 FEET THEREOF, OF SUNSHINE TRACT, ACCORDING TO MAP THEREOF NO. 1709, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 8, 1919;

EXCEPTING THEREFROM THE INTEREST IN THE WEST 25 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR PUBLIC STREET PURPOSES BY DEED RECORDED MARCH 15, 1968, AS DOCUMENT NO. 44151 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE INTEREST IN THE EAST 2 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR PUBLIC ALLEY PURPOSES BY DEED RECORDED AUGUST 28, 1972 AS DOCUMENT NO. 228141 OFFICIAL RECORDS.

PARCEL 3:
THE SOUTH 69 FEET OF THE NORTH 119 FEET OF LOT 12 OF SUNSHINE TRACT, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1709, FILED IN COUNTY RECORDER'S OFFICE DECEMBER 8, 1919.

EXCEPTING THEREFROM THE INTEREST IN THE WEST 9 FEET AND THE EAST 2 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR PUBLIC STREET PURPOSES BY DEED RECORDED OCTOBER 3, 1963 AS DOCUMENT NO. 176822 OFFICIAL RECORDS.

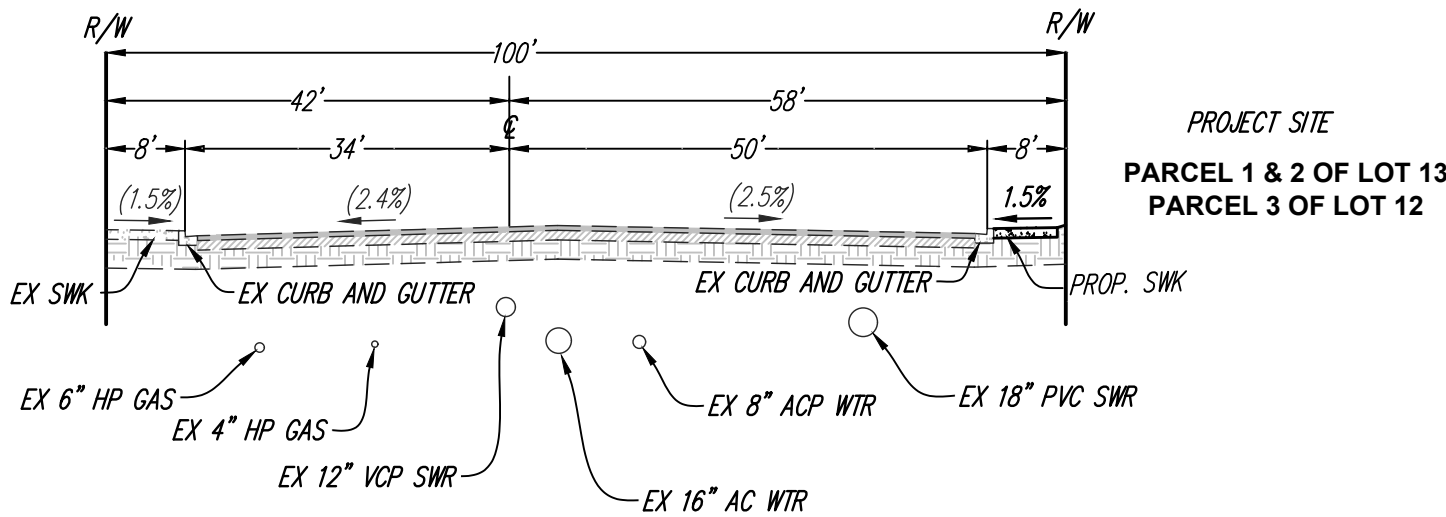
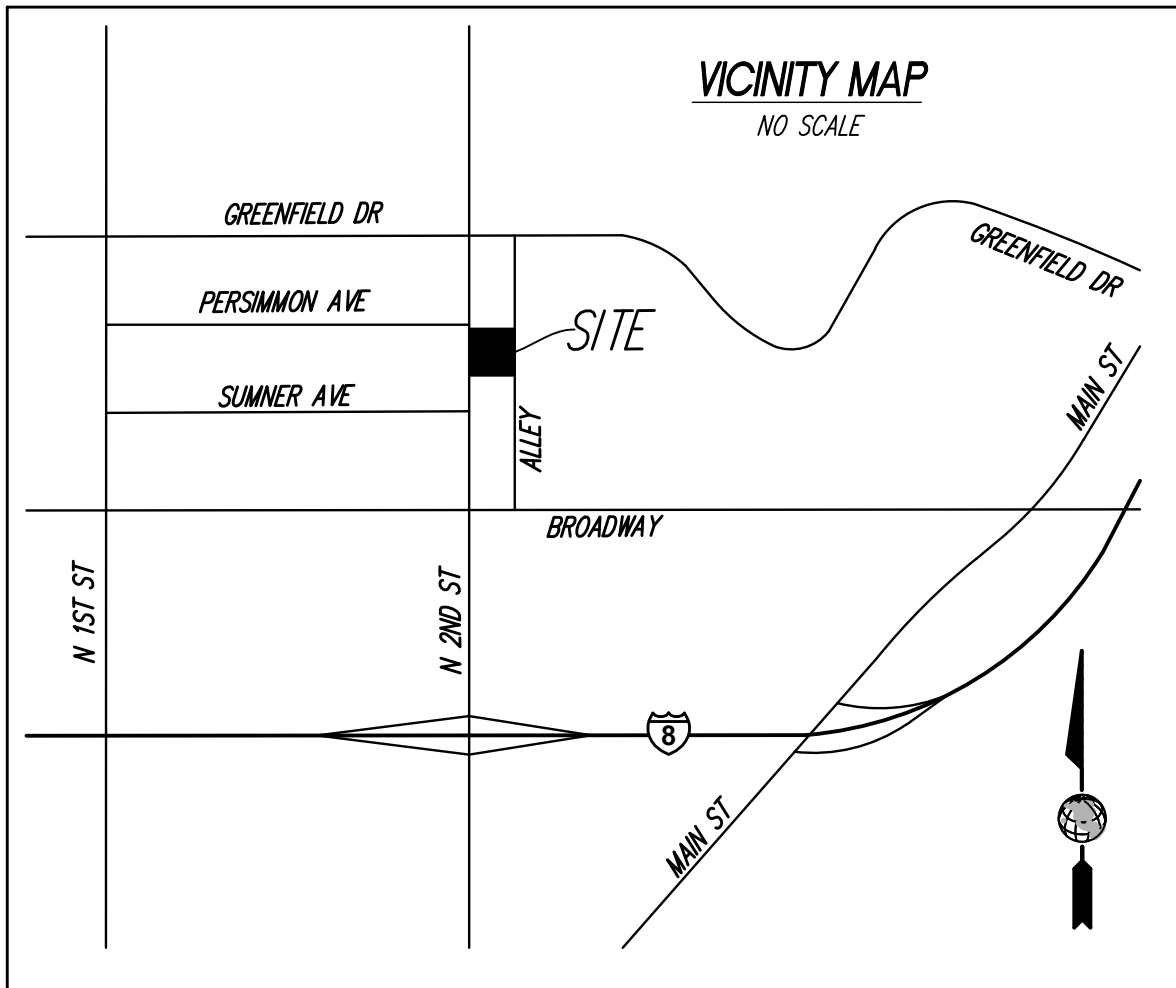
ALSO EXCEPTING THEREFROM THE INTEREST IN THE EAST 16 FEET OF THE WEST 25 FEET THEREOF CONVEYED TO THE CITY OF EL CAJON FOR PUBLIC STREET PURPOSES BY DEED RECORDED MAY 31, 1968 AS DOCUMENT NO. 91472 OFFICIAL RECORDS.

REFERENCES:

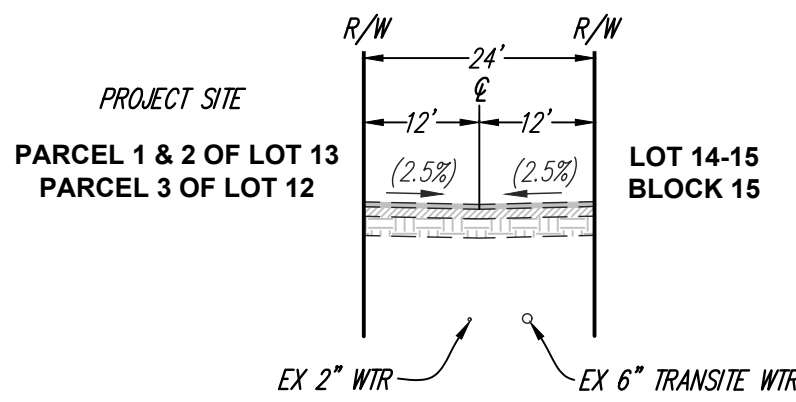
CITY OF EL CAJON SEWER & STORM DRAIN DRAWINGS 2016 AND 3677
HELIX WATER DISTRICT DRAWING 6834

ZONING:

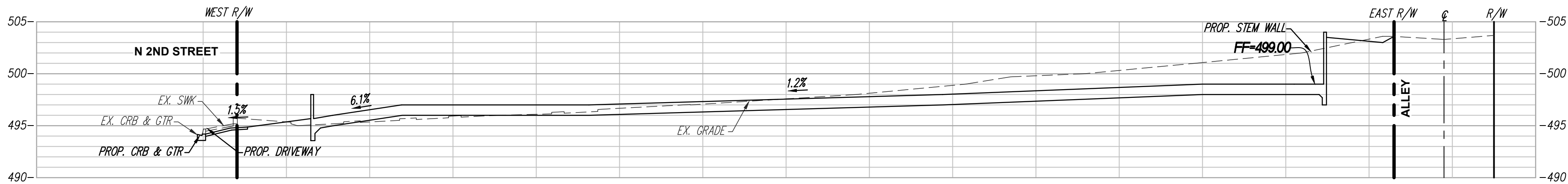
EXISTING ZONING: C-6 (GENERAL COMMERCIAL)



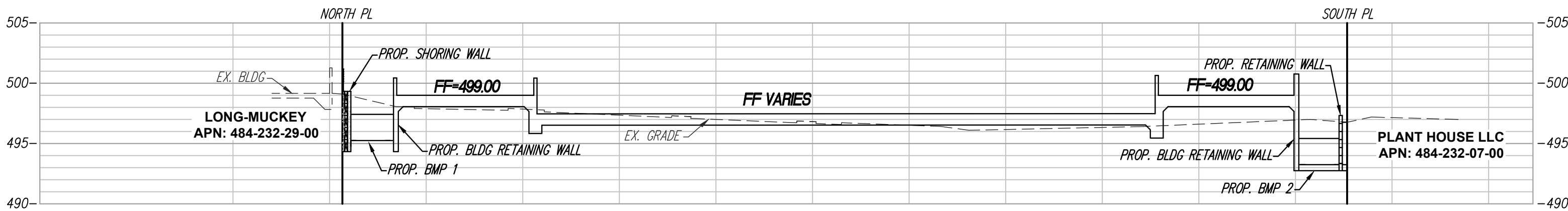
TYPICAL STREET SECTION - N 2ND STREET
NTS



TYPICAL STREET SECTION - ALLEY
NTS



SECTION A-A
HORIZONTAL SCALE 1"=20'
VERTICAL SCALE 1"=8'



SECTION B-B
HORIZONTAL SCALE 1"=20'
VERTICAL SCALE 1"=8'

LEGEND

ITEM	SYMBOL
RIGHT-OF-WAY / PROPERTY LINE	---
LOT LINES	---
PROPOSED CONTOUR	---
PROPOSED SLOPE (3:1 MAX)	---
PROPOSED BUILDING FOOTPRINT	---
PROPOSED FINISH FLOOR ELEVATION	FF=52.00
PROPOSED TOP OF CURB ELEVATION	374.00TC
PROPOSED PAVEMENT ELEVATION	374.00P
PROPOSED FLOWLINE ELEVATION	374.00FL
PROPOSED FINISHED GRADE ELEVATION	374.00FG
PROPOSED GRADIENT	0.5%
PROPOSED CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED DEEPENED SIDEWALK	---
PROPOSED CONC PAVEMENT	---
PROPOSED SIDEWALK	---
PROPOSED BIOFILTRATION BASIN	---
PROPOSED DRIVEWAY	---
PROPOSED SANICUT	---
PROPOSED FENCE	---
PROPOSED SEWER	---
PROPOSED FIRE HYDRANT ASSEMBLY	---
PROPOSED SEWER CLEANOUT	---
PROPOSED WATER LATERAL	---
PROPOSED 2" WTR SERVICES PVT. MANIFOLD TO 4" SUPPLY	---
PROPOSED BACKFLOW	---
PROPOSED FIRE SERVICE BACKFLOW WITH FDC	---
PROPOSED IRRIGATION POINT OF CONNECTION	---
PROPOSED FIRE POINT OF CONNECTION	---
PROPOSED SEWER POINT OF CONNECTION	---
PROPOSED RETAINING WALL	---
PROPOSED CURB OUTLET	---
PROPOSED STORM DRAIN	---
PROPOSED CATCH BASIN	---
PROPOSED STORM DRAIN AREA DRAIN	---
PROPOSED TRENCH DRAIN	---
PROPOSED SHORING WALL	---
PROPOSED GRADED SWALE	---
PROPOSED ROOF DRAIN	---
PROPOSED RETAINING WALL	---
PROPOSED RIP RAP	---
PROPOSED TREE PER LANDSCAPE PLANS	---
EX. 1" WTR TO BE KILLED AT MAIN	---
PROPOSED A4 CO.	---
PROPOSED HWD ESMT.	---
PROPOSED PVT. DRAINAGE ESMT.	---

SHEET C-1

CITY OF EL CAJON	
CUP NO. 2023-0004	
APPLICANT: MARSHALL LOTS, LLC	
ASSESSORS PARCEL NO(S): 484-232-27-00	
REQUEST: (CUP) CONDITIONAL USE PERMIT	
PC RESOLUTION NO:	APPROVED BY:
CC RESOLUTION NO:	
ORDINANCE NO:	DATE:

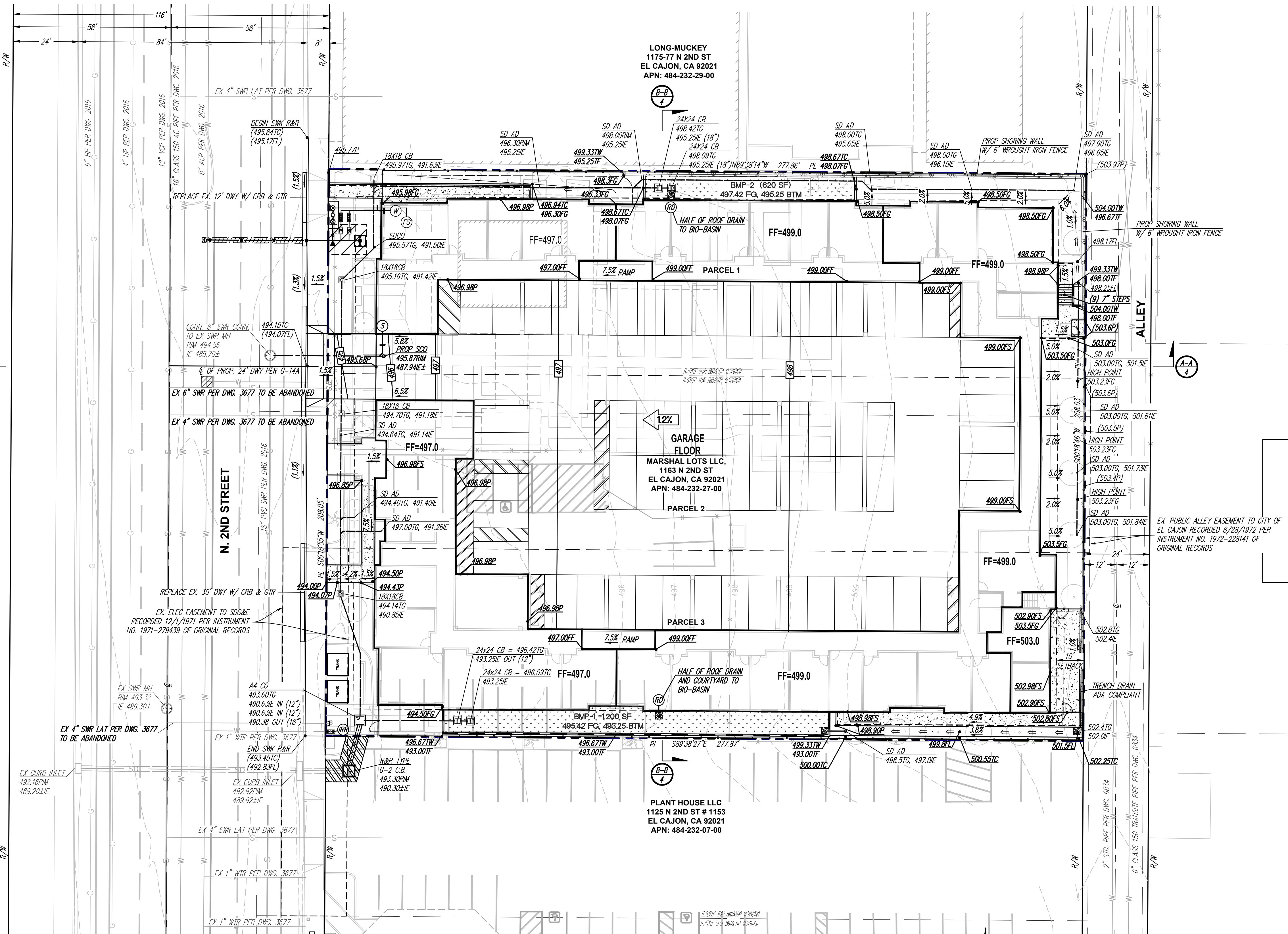


SEAN M. SAVAGE R.C.E. 75677

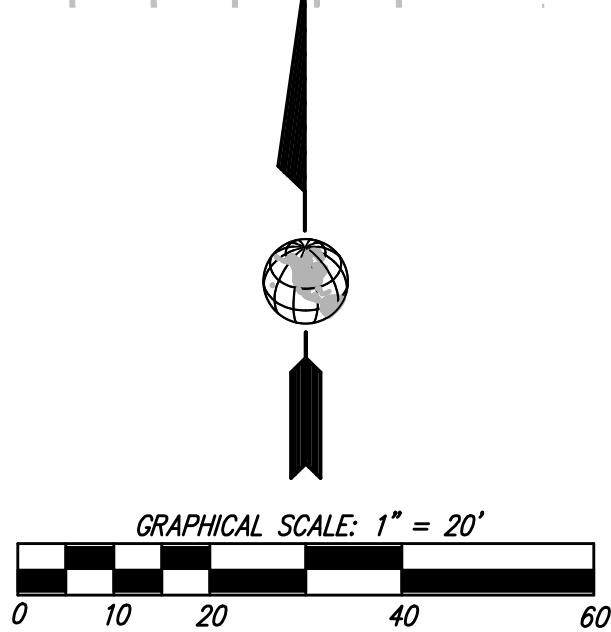
9/15/2023
DATE

CONCEPTUAL GRADING PLAN

1163 N. 2ND ST. EL CAJON, CA 92021
APN: 484-232-27



SHEET C-2



SEAN M. SAVAGE R.C.E. 75677

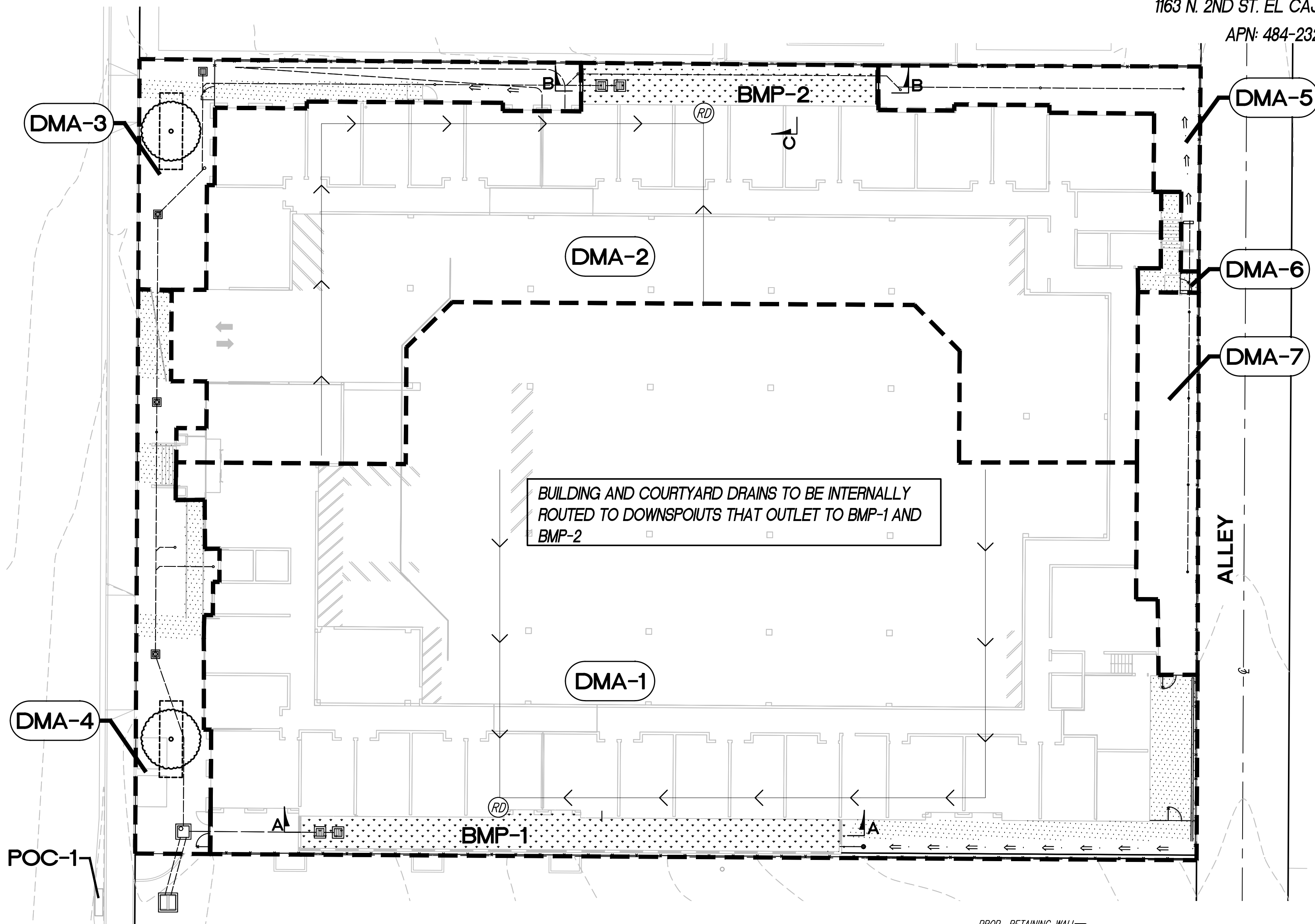
5/28/2024
DATE

CITY OF EL CAJON	
CUP NO. 2023-0004	
APPLICANT: MARSHALL LOTS, LLC	
ASSESSORS PARCEL NO(S): 484-232-27-00	
REQUEST: (CUP) CONDITIONAL USE PERMIT	
PC RESOLUTION NO:	APPROVED BY:
CC RESOLUTION NO:	
ORDINANCE NO:	DATE:

DMA MAP

1163 N. 2ND ST. EL CAJON, CA 92021

APN: 484-232-27



BMP INSPECTION SCHEDULE NOTES

CONTRACTOR MUST CONTACT ENGINEER FOR INSPECTION OF BMPs AT THE FOLLOWING STAGES OF CONSTRUCTION:

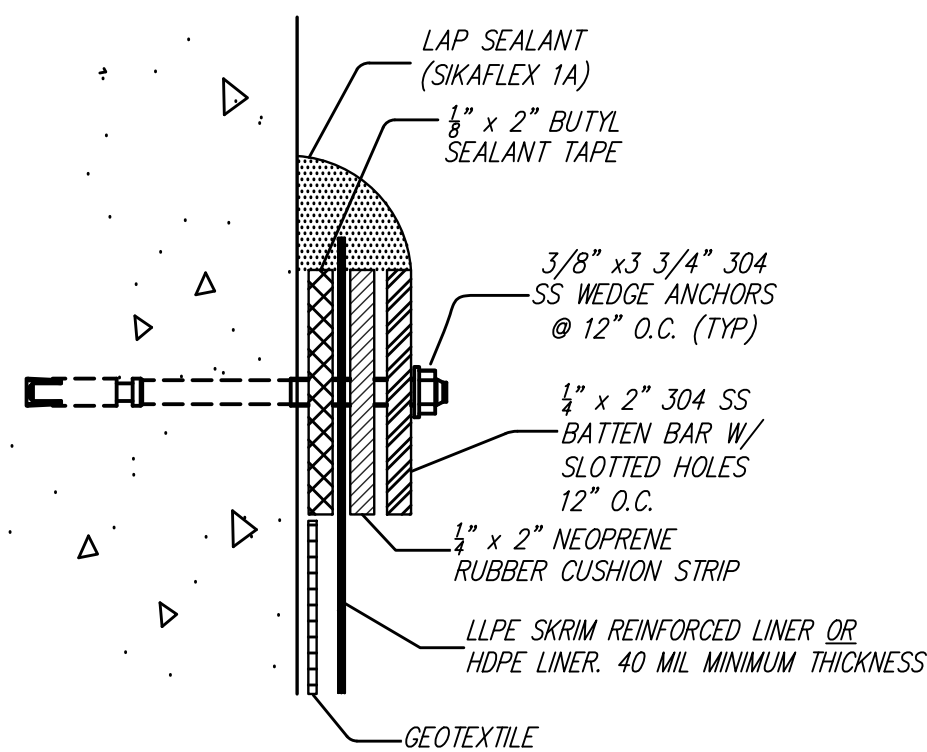
- PRIOR TO START OF CONSTRUCTION OF BIOFILTRATION AREA
- PRIOR TO CONSTRUCTION OF OUTLET STRUCTURES
- AFTER GRADING OF THE BASIN AREA FOR CERTIFICATION
- AFTER PLACEMENT OF IMPERMEABLE LINER (W/ EXTRA LENGTH FOR EMBEDMENT)
- AFTER PLACEMENT OF SUB-DRAIN
- AFTER THE PLACEMENT OF RAINSTORE3 UNITS
- AFTER PLACEMENT OF TREATMENT SOIL
- AFTER IRRIGATION AND LANDSCAPING ACTIVITIES

*SURVEY STAKES SHALL BE AVAILABLE FOR EACH AND EVERY INSPECTION

BIOFILTRATION SOIL MEDIA NOTE

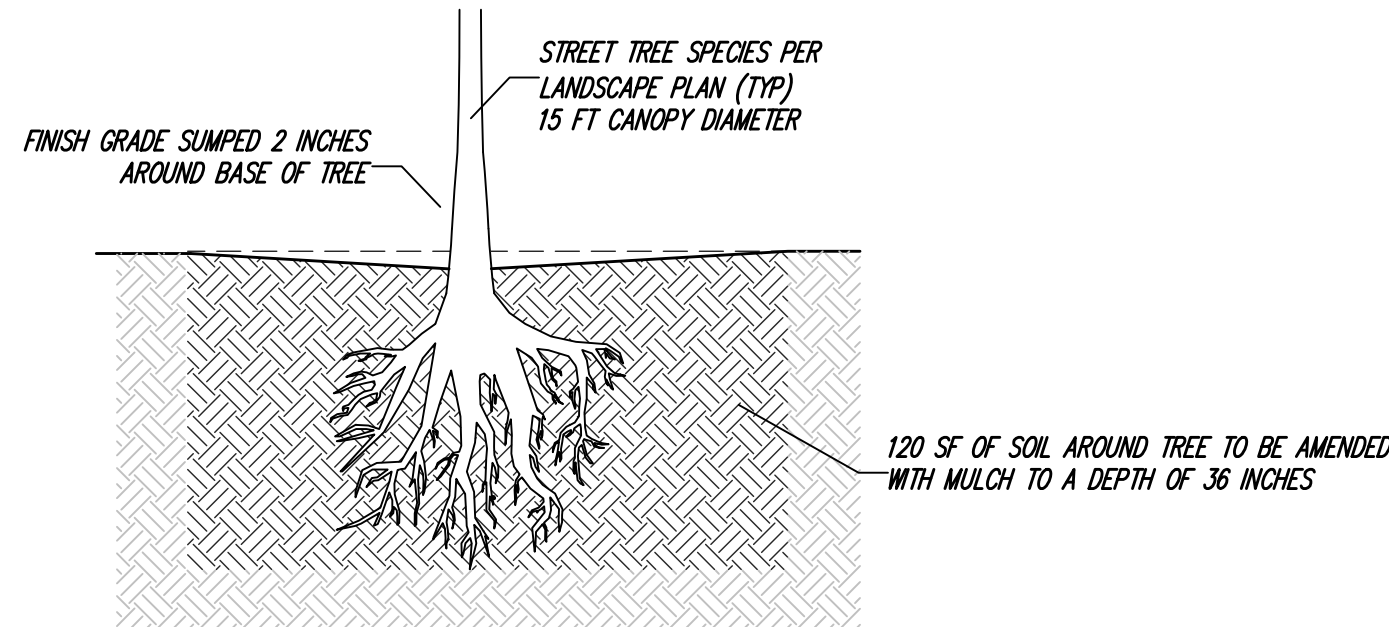
1. LONG-TERM PERCOLATION RATE OF 5.0 IN/HR MIN. & MAXIMUM RATE OF 10 IN/HR.
2. SOIL MEDIA SHALL BE LOOSELY PLACED (<80% COMPACTION)
3. CONTRACTOR SHALL SUBMIT BIO-MEDIA BLEND MATERIAL CUTSHEETS AND INFILTRATION INFORMATION FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND PLACEMENT.
4. BIORETENTION SOIL MEDIA COMPOSITION BY VOLUME:*

- 80% SAND (PER APPENDIX G.1, COUNTY OF SAN DIEGO LID MANUAL)
- 5% SILT (PER APPENDIX G.1, COUNTY OF SAN DIEGO LID MANUAL)
- 5% CLAY (PER APPENDIX G.1, COUNTY OF SAN DIEGO LID MANUAL)
- 10% ORGANIC MATTER



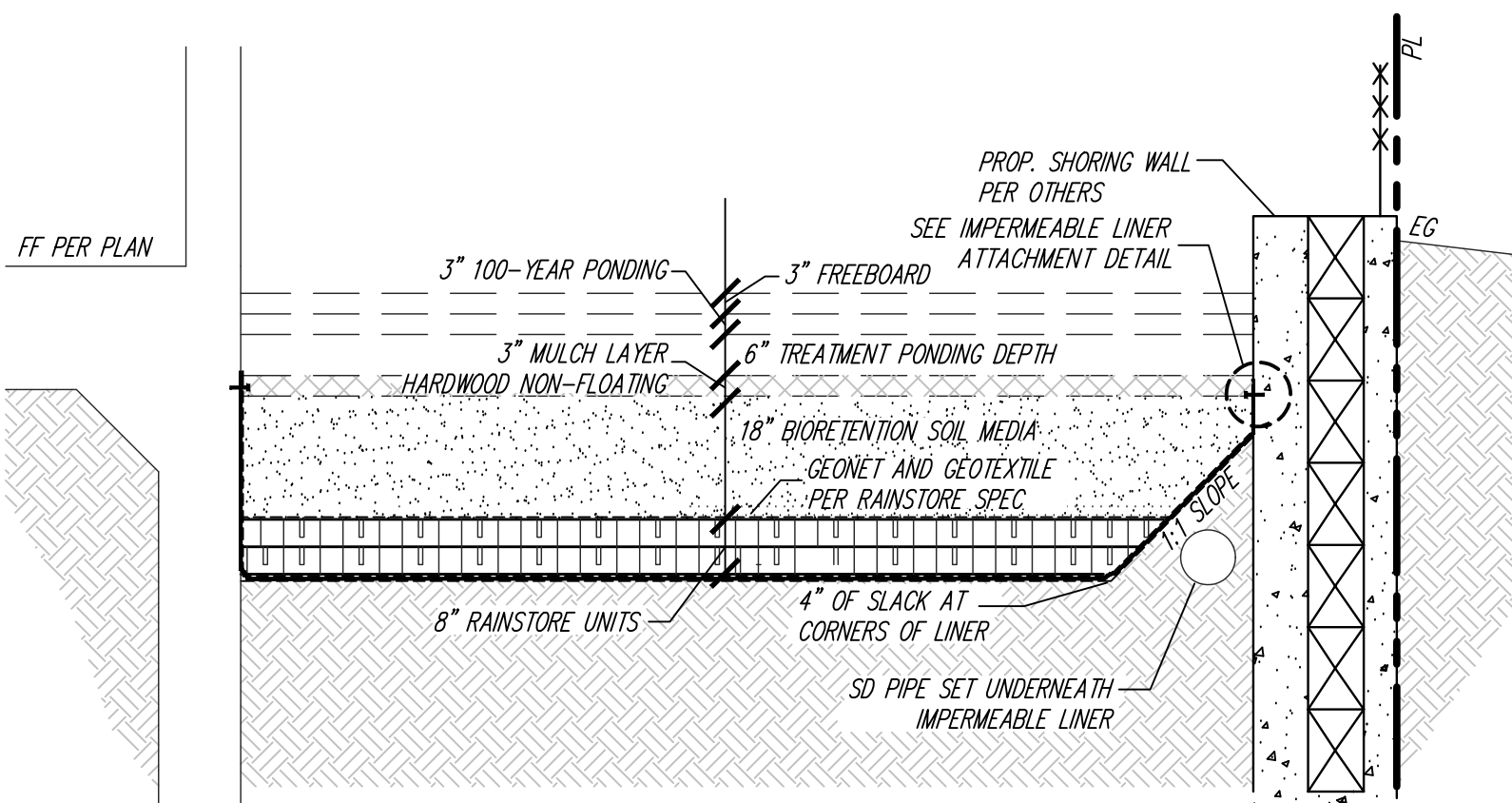
IMPERMEABLE LINER ATTACHMENT DETAIL

NOT TO SCALE



STREET TREE SECTION (TYPICAL)

NOT TO SCALE



BMP-2, BIOFILTRATION BMP SECTION C-C

NOT TO SCALE

LEGEND

DMA BOUNDARY	---
DRAINAGE ARROWS	→
DRAINAGE MANAGEMENT AREA	DMA-#
POINT OF COMPLIANCE	POC-#
STRUCTURAL BEST MANAGEMENT PRACTICE	BMP-#
SIDEWALK AREA	[Pattern]
BIOFILTRATION AREA	[Pattern]
ROOF DRAIN LOCATION	[Symbol]
15 FT DIAMETER STREET TREE	[Symbol]

DMA DATA TABLE

DMA-NO.	TOT. AREA (SF)	IMPERVIOUS (%)	DESIGN DCV (CF)	TYPE/TREATED BY
DMA-1	31,926	93	1,229	BMP-1, BIOFILTRATION
DMA-2	18,114	95	711	BMP-2, BIOFILTRATION
DMA-3	2,251	17	41	15' DIAMETER STREET TREE
DMA-4	2,382	25	48	15' DIAMETER STREET TREE
DMA-5	1,339	0	-	SELF-MITIGATING
DMA-6	202	100	-	DE MINIMIS
DMA-7	1,593	0	-	SELF-MITIGATING

TREATMENT BMP DATA TABLE

BMP#	TRIBUTARY DMA	REQUIRED FOOTPRINT	PROPOSED FOOTPRINT	DESCRIPTION
BMP-1	DMA-1	824 SF	1,177 SF	FULLY LINED BIOFILTRATION BASIN W/ 1/2" LOW FLOW ORIFICE
BMP-2	DMA-2	473 SF	620 SF	FULLY LINED BIOFILTRATION BASIN W/ 1/2" LOW FLOW ORIFICE

STREET TREE DATA TABLE

TREE NO.	TRIBUTARY DMA	CANOPY DIA.	SOIL AREA	SOIL DEPTH
1	DMA-3	15 FT	120 SF	3.0 FT
2	DMA-4	15 FT	120 SF	3.0 FT

MISC NOTES

1. UNDERLYING NRCS HYDROLOGIC SOIL GROUP FOR SITE IS TYPE D
2. GROUNDWATER DEPTH IS BETWEEN 7-12 BELOW GRADE
3. NO EXISTING NATURAL HYDROLOGIC FEATURES EXIST
4. NO CRITICAL COARSE SEDIMENT YIELD AREAS ON SITE
5. AVOID USING COOPER WHEN SELECTING ROOF DRAINAGE AND ROOFING TRIM MATERIALS

SOURCE CONTROL BMP NOTES

- ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE UTILIZED
- A. ALL ON-SITE INLETS TO BE MARKED "NO DUMPING" OR SIMILAR AND ALL OPERATIONAL PRECAUTIONS TO AVOID NON-Storm WATER DISCHARGE SHALL BE FOLLOWED PER THE CITY'S BMP DESIGN MANUAL.
 - B. PROPOSED REFUSE AREA WILL REMAIN COVERED AND PROTECTED FROM WIND DISPERSAL. SIGNS SHALL BE PLACED WITH WORDS "DO NOT DUMP HAZARDOUS MATERIALS OR LIQUIDS HERE" OR SIMILAR. OWNER SHALL BE RESPONSIBLE TO KEEP THE AREA CLEAN OF LITTER AND SPILLS.
 - C. OWNER TO BE RESPONSIBLE FOR SWEEPING PLAZAS, SIDEWALKS, AND PARKING LOTS. THIS IS TO BE DONE REGULARLY AND AS NEEDED TO PREVENT ACCUMULATION OF LITTER AND DEBRIS.
 - D. FIRE SPRINKLER TEST WATER SHALL BE DRAINED TO THE BIOFILTRATION BASIN OR THE SANITARY SEWER.
 - E. AIR CONDITIONING CONDENSATION SHALL BE DRAINED TO THE LANDSCAPED AREA ADJACENT TO THE BUILDING.

RAINSTORE3 UNIT INSTALLATION

1. EXCAVATE BOTTOM OF BASIN TO BE LEVEL AND SMOOTH.
2. PLACE GEOTRID (TENSAR BX1200 OR EQUIVALENT) ALONG THE BOTTOM OF THE EXCAVATION. OVERLAP JOINTS BY A MINIMUM 12 INCHES.
3. PLACE 8 OZ. GEOTEXTILE FABRIC ON TOP OF GEOTRID.
4. PLACE 40 MIL PVC LINER ON TOP OF GEOTEXTILE FABRIC.
5. PLACE 8 OZ. GEOTEXTILE FABRIC ON TOP OF 40 MIL PVC LINER.
6. PLACE RAINSTORE3 UNIT ON TOP OF GEOTEXTILE FABRIC.
7. PLACE GEOTRID (TENSAR BX1200 OR EQUIVALENT) ON TOP OF RAINSTORE3 UNIT.
8. PLACE 8 OZ. GEOTEXTILE FABRIC ON TOP OF GEOTRID.

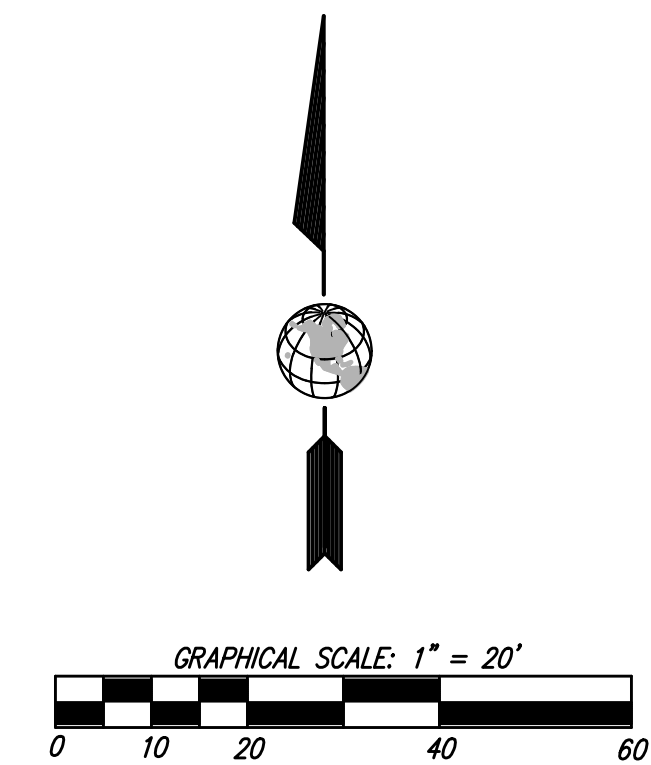
SHEET C-3

CITY OF EL CAJON

CUP NO. 2023-0004

APPLICANT: MARSHALL LOTS, LLC
ASSESSORS PARCEL NO(S): 484-232-27-00
REQUEST: (CUP) CONDITIONAL USE PERMIT

PC RESOLUTION NO: _____
CC RESOLUTION NO: _____
ORDINANCE NO: _____
APPROVED BY: _____
DATE: _____



OMEGA
ENGINEERING CONSULTANTS
4320 VIEWRIDGE AVE. SUITE C
SAN DIEGO, CA 92123
PH: (858) 634-8620 FAX: (858)-634-8627



SEAN M. SAVAGE R.C.E. 75677

5/23/2024
DATE

DATE: 5/24/2024 2:36:32 PM FILENAME: P:\DMG\DMG\10729 CARNO 2ND ST EL CAJON\ACAD\CUP\0722-CUP-03-DMA.DWG BY: JIGUAL SWANEY

DEMO + CONSTRAINTS MAP

1163 N. 2ND ST. EL CAJON, CA 92021

APN: 484-232-27

LONG-MUCKEY
1175-77 N 2ND ST
EL CAJON, CA 92021
APN: 484-232-29-00

MARSHAL LOTS LLC,
1163 N 2ND ST
EL CAJON, CA 92021
APN: 484-232-27-00

PLANT HOUSE LLC
1125 N 2ND ST # 1153
EL CAJON, CA 92021
APN: 484-232-07-00

PLANT HOUSE LLC
1125-53 N 2ND ST
EL CAJON, CA 92021
APN: 484-232-08-00

LEGEND

ITEM	SYMBOL
RIGHT-OF-WAY / PROPERTY LINE	-----
EXISTING EASEMENT LINE	-----
SETBACK LINE	-----
STREET CENTERLINE	-----
EXISTING SPOT ELEVATIONS	-----
EXISTING CONTOUR	-----
EXISTING WATER LINE	-----
EXISTING SEWER LINE	-----
EXISTING GAS LINE	-----
EXISTING STORM DRAIN	-----
EXISTING CATCH BASIN	-----
EXISTING CURB & GUTTER	-----
EXISTING UTILITY BOX	-----
EXISTING SMR MANHOLE	-----

DEMOLITION NOTES

1	(E) STRUCTURE TO BE REMOVED	(1,438 SF)
2	(E) AC PAVEMENT TO BE REMOVED	(22,974 SF)
3	(E) TREE TO BE CUT DOWN, REMOVE STUMP & ROOTS	(1 EA)
4	(E) REMOVE BRICK CURB	(343 LF)
5	(E) REMOVE FENCE	(818 LF)
6	(E) REMOVE SIGN	(1 EA)
7	(E) REMOVE/REPLACE G2 CATCH BASIN (SEE CONCEPTUAL GRADING PLAN)	(1 EA)

ITEMS TO REMAIN NOTES

1	(E) RELOCATE EX. IRR BACKFLOW (SEE CONCEPTUAL GRADING PLAN)	(1 EA)
2	(E) COMM BOX TO REMAIN	(1 EA)

UTILITY NOTES

- ALL EXISTING UTILITIES SHALL BE REMOVED I.E. ELECTRICAL, GAS, WATER, SEWER UP TO PL UNLESS OTHERWISE NOTED
- SEPARATE WORK ORDER FOR DISCONNECTION OF GAS SERVICES SHALL BE OBTAINED FROM SDGE PRIOR TO START OF DEMO
- SEPARATE WORK ORDER FOR DISCONNECTION OF ELECTRIC SERVICES SHALL BE OBTAINED FROM SDGE PRIOR TO START OF DEMO

SHEET C-4

CITY OF EL CAJON

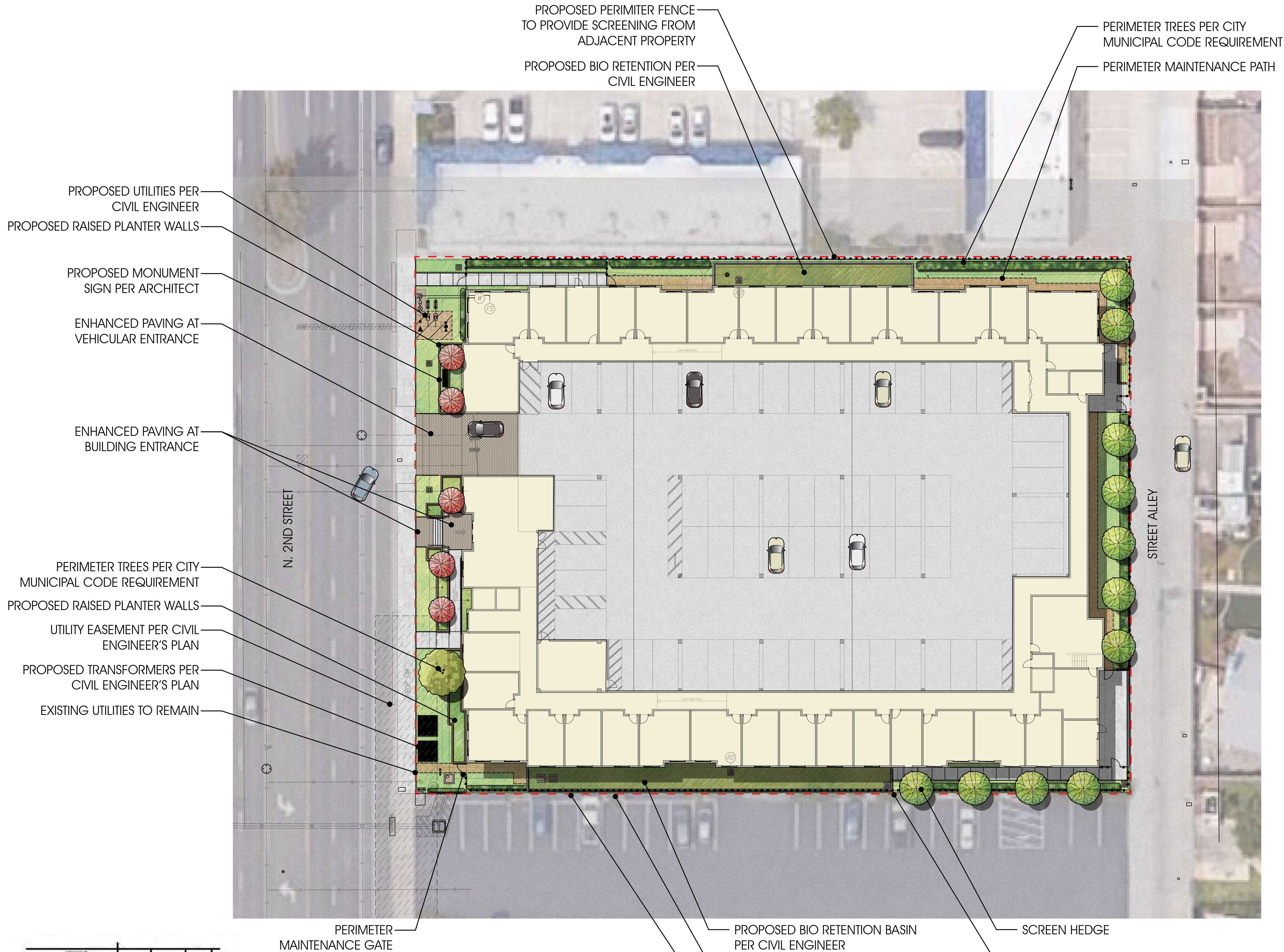
CUP NO. 2023-0004

APPLICANT: MARSHAL LOTS, LLC
ASSESSORS' PARCEL NO(S): 484-232-27-00
REQUEST: (CUP) CONDITIONAL USE PERMIT

PC RESOLUTION NO: _____
CC RESOLUTION NO: _____
ORDINANCE NO: _____

APPROVED BY:

DATE:



FIRST FLOOR PLANT PALETTE

Symbol	Botanical Name	Common Name	WUCOLS
TREES - ALL TREES TO BE A MINIMUM OF 15 GALLON			
	Lagerstromia indica	Crape Myrtle	Mod
	Lophostemon conferta	Brisban Box	Mod
	Magnolia g. 'Little Gem'	Little Gem Dwarf Magnolia	Mod

Symbol	Botanical Name	Common Name	WUCOLS	SPACING
SHRUBS/ GROUNDCOVERS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON				
	Agave species	Avave	Low	42" o.c.
	Aloe species	Aloe	Low	36" o.c.
	Bougainvillea spp.	Bougainvillea	Low	36" o.c.
	Callistemon v. 'Little John'	Dwarf Bottlebrush	Low	36" o.c.
	Lantana spp.	Lantana	Low	48" o.c.
	Lavandula spp.	Lavender	Low	36" o.c.
	Leucophyllum f. 'Compacta'	Texas Ranger	Low	36" o.c.
	Ligustrum japonica 'Texanum'	Texas Privet	Mod	42" o.c.
	Muhlenbergia capilaris	Pink Muhly	Mod	42" o.c.
	Rosa 'Flower Carpet'	Groundcover Rose	Mod	36" o.c.
	Rosmarinus o. 'Huntington Carpet'	Creeping Rosemary	Very Low	36" o.c.
	Westringia f. 'Mundi'	Mundi Coast Rosemary	Low	36" o.c.

SCREEN SHRUBS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON				
	Dodonaea v. 'Purpurea'	Hopseed Bush	Low	36" o.c.
	Prunus caroliniana 'Compacta'	Compact Cherry Laurel	Mod	36" o.c.
	Westringia 'Blue Gem'	Blue Gem Coast Rosemary	Low	36" o.c.

BIO-SWALE PLANTINGS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON				
	Muhlenbergia rigens	Deer Grass	Low	36" o.c.
	Carex o. 'Evergold'	Evergold Japanese Sedge	Mod	24" o.c.
	Lomandra 'Breeze'	Dwarf Mat Rush	Low	36" o.c.

Decomposed Granite

NOTES:

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

PLANT QUANTITIES DETERMINED BY FUTURE PLANTING DESIGN LAYOUT.

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.

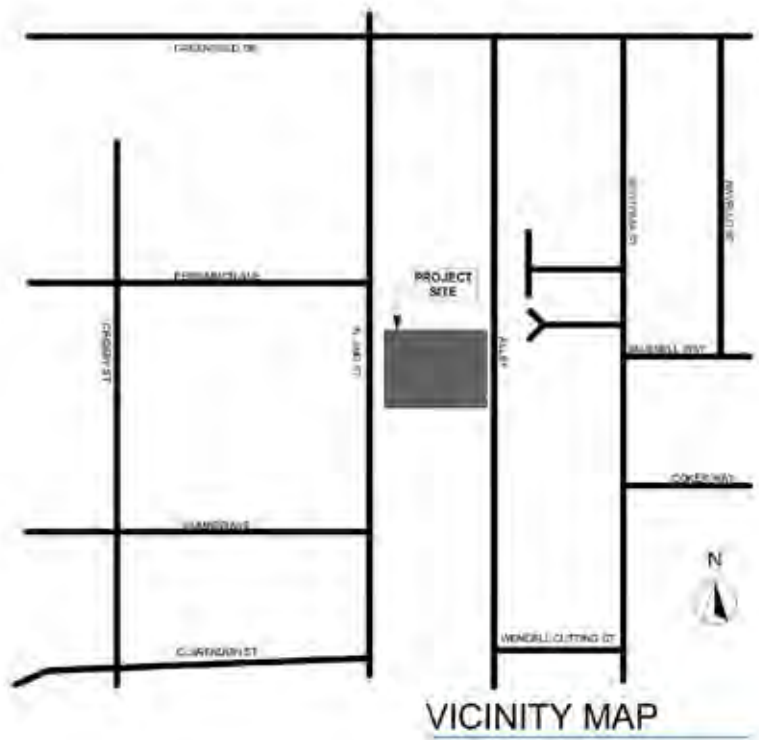
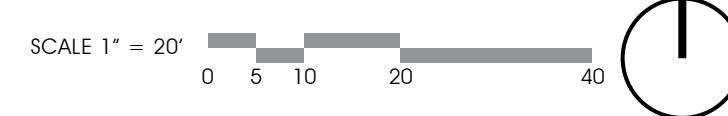
ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM WITH WEATHER SENSOR. SEE ECMC 17.195.020.

ALL LANDSCAPE SHOWN SHALL BE SERVED BY DRIP, BUBBLER OR OTHER LOW VOLUME IRRIGATION CONSISTENT WITH ECMC SECTION 17.195.200(c)(7)

ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

(2) ONSITE EXISTING PALM TREES ALONG N. 2ND AVE WILL BE REMOVED

PERIMETER LANDSCAPE - FIRST FLOOR



ALL REQUIRED LANDSCAPED AREAS SHALL SATISFY THE FOLLOWING MAINTENANCE REQUIREMENTS.

A. ALL PLANT MATERIAL IN REQUIRED LANDSCAPE AREAS SHALL BE SUFFICIENTLY WATERED AND PERIODICALLY FERTILIZED TO ESTABLISH AND MAINTAIN HEALTHY GROWTH.

B. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A NEAT, LITTER AND WEED FREE CONDITION AND ALL PLANTS SHALL BE PRUNED AND TRIMMED AS NECESSARY.

C. UPON NOTIFICATION BY THE PLANNING DIVISION, ALL PLANT MATERIALS THAT HAVE DIED OR HAVE FAILED TO SHOW HEALTHY GROWTH SHALL BE REPLACED BY PLANTS OF THE SAME OR SIMILAR SPECIES. REPLACEMENT BY MORE DROUGHT RESISTANT PLANTS MAY ALSO BE APPROVED.

D. MAINTENANCE SHALL INCLUDE REGULAR INSPECTION, ADJUSTMENT, REPAIR AND REPLACEMENT OF THE IRRIGATION SYSTEM, INCLUDING MAKING SEASONAL CHANGES TO THE IRRIGATION CONTROLLER. (ORD. 5072, 32, 2018)

JIM BALDOVIN - OWNER, RLA #4176

conceptual design & planning company

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3195-C Airport Loop Drive
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Costa Mesa, CA 92626
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COSTA MESA / ATASCADERO / LAS VEGAS



CITY OF EL CAJON	
PERMIT NO. _____	
APPLICANT: GARMO & GARMO, LLP	
ASSESSOR PARCEL NO(S): 484 232 2700	
REQUEST: CONDITIONAL USE PERMIT (CUP)	
PC RESOLUTION No. _____	APPROVED BY: _____
CC RESOLUTION No. _____	
ORDINANCE No. _____	DATE: _____

SECOND FLOOR PLANT PALETTE

Symbol	Botanical Name	Common Name	WUCOLS
TREES			
	Cercis occidentalis	Western Redbud	Low
	Magnolia g. 'Little Gem'	Little Gem Dwarf Magnolia	Mod

Symbol	Botanical Name	Common Name	WUCOLS	SPACING
SHRUBS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON				
	Agave attenuata	Fox Tail Agave	Low	42" o.c
	Anigozanthos spp.	Kangaroo Paw	Mod	36" o.c.
	Agapanthus africanus	Agapanthus	Mod	36" o.c.
	Camellia spp.	Camellia	Mod	36" o.c.
	Cordylina spp.	Cordylina	Mod	48" o.c.
	Carex spp.	Sedge	Mod	24" o.c.
	Gardenia spp.	Gardenia	Mod	36" o.c.
	Jaminum sambac	Arabian Jasmine	Low	42" o.c.
	Lavandula spp.	Lavender	Low	42" o.c.
	Liriope spp.	Lily Turf	Mod	36" o.c.
	Lomandra longifolia	Dwarf Mat Rush	Low	36" o.c.
	Ophiopogon japonicus	Mondo Grass	Mod	24" o.c.
	Ophiopogon planiscapus	Black Mondo Grass	Mod	24" o.c.
	Trachelospermum jasminoides	Star Jasmine	Mod	36" o.c.

POTTERY PLANTS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON			
	Aspidistra elatior	Cast Iron Plant	Mod
	Agapanthus africanus	Agapanthus	Mod
	Brunfelsia pauciflora	Yesterday, Today and Tomorrow	Mod
	Camellia spp.	Camellia	Mod
	Carex spp.	Sedge	Mod
	Cordylina spp.	Cordylina	Mod
	Dianella tasmanica	Flax Lily	Mod

NOTES:

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

PLANT QUANTITIES DETERMINED BY FUTURE PLANTING DESIGN LAYOUT.

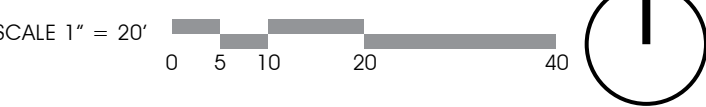
ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.

ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM WITH WEATHER SENSOR. SEE ECMC 17.195.020.

ALL LANDSCAPE SHOWN SHALL BE SERVED BY DRIP, BUBBLER OR OTHER LOW VOLUME IRRIGATION CONSISTENT WITH ECMC SECTION 17.195.200(c)(7)

ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

ASSISTED LIVING COURTYARD - SECOND FLOOR



CITY OF EL CAJON	
PERMIT NO. _____	
APPLICANT: GARMO & GARMO, LLP	
ASSESSOR PARCEL NO(S): 484 232 2700	
REQUEST: CONDITIONAL USE PERMIT (CUP)	
PC RESOLUTION No. _____	APPROVED BY: _____
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ALL REQUIRED LANDSCAPED AREAS SHALL SATISFY THE FOLLOWING MAINTENANCE REQUIREMENTS.

A. ALL PLANT MATERIAL IN REQUIRED LANDSCAPE AREAS SHALL BE SUFFICIENTLY WATERED AND PERIODICALLY FERTILIZED TO ESTABLISH AND MAINTAIN HEALTHY GROWTH.

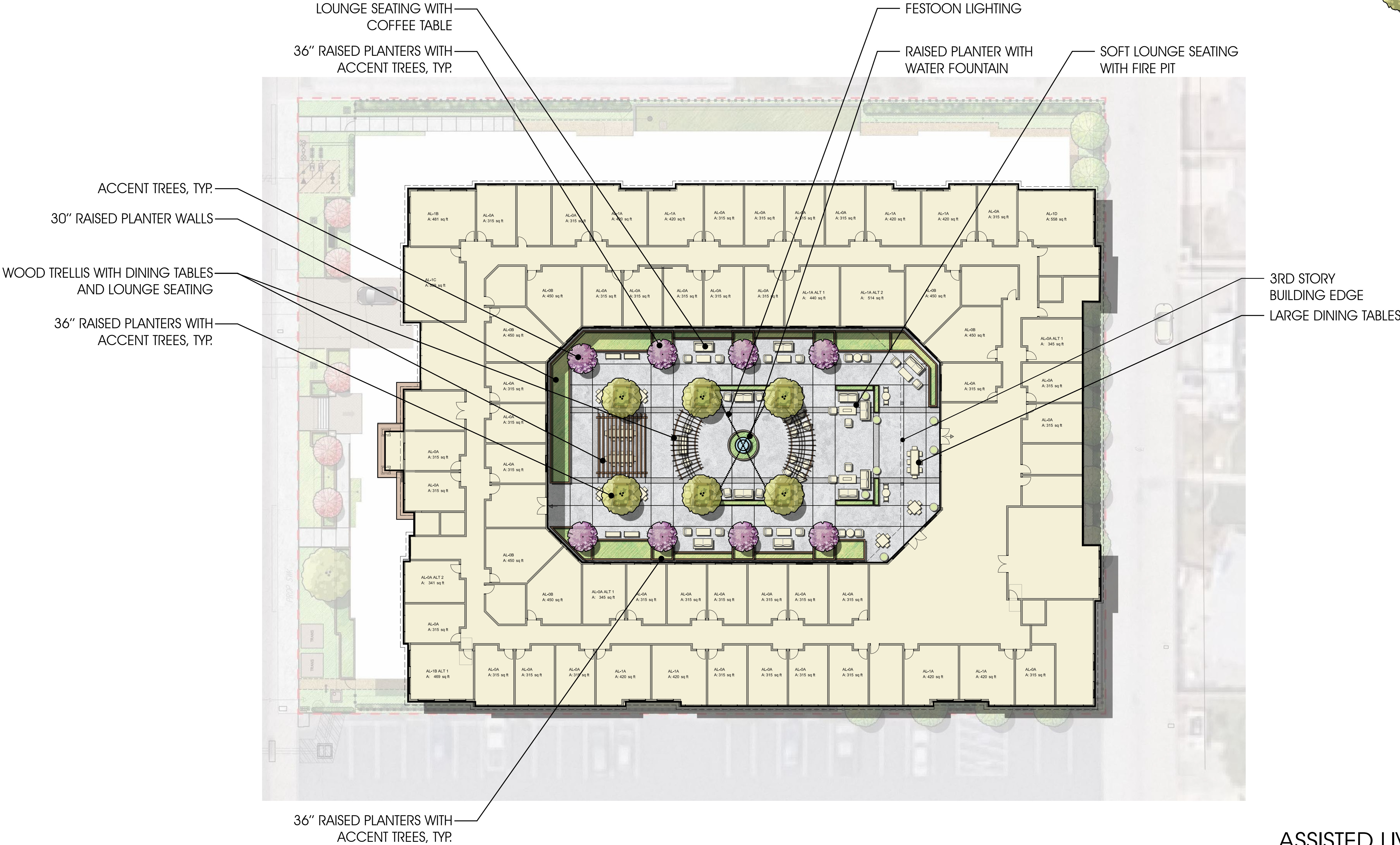
B. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A NEAT, LITTER AND WEED FREE CONDITION AND ALL PLANTS SHALL BE PRUNED AND TRIMMED AS NECESSARY.

C. UPON NOTIFICATION BY THE PLANNING DIVISION, ALL PLANT MATERIALS THAT HAVE DIED OR HAVE FAILED TO SHOW HEALTHY GROWTH SHALL BE REPLACED BY PLANTS OF THE SAME OR SIMILAR SPECIES. REPLACEMENT BY MORE DROUGHT RESISTANT PLANTS MAY ALSO BE APPROVED.

D. MAINTENANCE SHALL INCLUDE REGULAR INSPECTION, ADJUSTMENT, REPAIR AND REPLACEMENT OF THE IRRIGATION SYSTEM, INCLUDING MAKING SEASONAL CHANGES TO THE IRRIGATION CONTROLLER. (ORD. 5072, 32, 2018)



VICINITY MAP

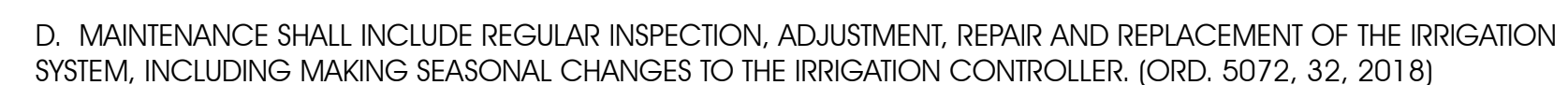


Symbol	Botanical Name	Common Name	WUCOLS
POTTERY PLANTS- ALL PLANTS TO BE A MINIMUM OF 5 GALLON			
	Aspidistra elatior	Cast Iron Plant	Mod
	Agapanthus africanus	Agapanthus	Mod
	Brunfelsia pauciflora	Yesterday, Today and Tomorrow	Mod
	Camellia spp.	Camellia	Mod
	Camellia x 'Winter's Snowman'	Winter's Snowman Ice Angels	Mod
	Carex spp.	Sedge	Mod
	Cordylone spp.	Cordylone	Mod
	Dianella tasmanica	Flax Lily	Mod
	Sedum spp.	Sedum	Low

ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.



SCALE 1" = 20'



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TREE(S)



Acer palmatum spp.
Japanese Maple



Cercis occidentalis
Western Redbud



Lagerstromia indica
Crape Myrtle



Lophostemon conferta
Brisbane Box



Magnolia g. 'Little Gem'
Little Gem Magnolia

SHRUBS



Agave attenuate
Fox Tail Agave



Agave species
Agave



Aloe species
Aloe



Agapanthus africanus
Agapanthus



Anigozanthos spp.
Kangaroo Paw



Bougainvillea spp.
Bougainvillea



Callistemon v. 'Little John'
Dwarf Bottlebrush



Camellia spp.
Camellia



Carex spp.
Sedge



Cordylne spp.
Cordylne



Dodonaea v. 'Purpurea'
Hopseed Bush



Gardenia spp.
Gardenia



Jasminum sambac
Arabian Jasmine



Lantana spp.
Lantana



Lavandula spp.
Lavender



Leucophyllum l. 'Compacta'
Texas Ranger



Ligustrum j. 'Texanum'
Texas Privet



Lirope spp.
Lily Turf



Lomandra longifolia
Dwarf Mat Rush



Muhlenbergia capillaris
Pink Muhly



Ophiopogon japonicus
Mondo Grass



Ophiopogon planiscapus
Black Mondo Grass



Prunus c. 'Compacta'
Compact Cherry Laurel



Rosa 'Flower Carpet'
Groundcover Rose



Rosmarinus o. 'Huntington Carpet'
Creeping Rosemary



Trachelospermum
jasminoides
Star Jasmine



Westringia 'Blue Gem'
Blue Gem Coast
Rosemary



Westringia f. 'Mundi'
Mundi Coast Rosemary

PLANTING PALETTE IMAGE BOARD

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POTTERY PLANTS



Agapanthus africanus
Agapanthus



Aspidistra elatior
Cast Iron Plant



Bougainvillea spp.
Bougainvillea



Brunfelsia pauciflora
Yesterday, Today and
Tomorrow Plant



Camellia spp.
Camellia



Camellia x Winter's Snowman
Winter's Snowman Ice Angel



Carex spp.
Sedge



Cordyline spp.
Cordyline



Dianella tasmanica
Flax Lily



Festuca g. 'Elijah Blue'
Elijah Blue Fescue



Hemerocallis x 'Stella de Oro'
Stella De Oro Dwarf Daylily



Impatiens spp.
Touch-Me-Not



Lavandula spp
Lavender



Salvia x Jamensis
Purple Salvia

BIO-SWALE PLANTING



Carex o. 'Evergold'
Evergold Japanese Sedge



Lomandra 'Breeze'
Dwarf Mat Rush



Muhlenbergia rigens
Deer Grass

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